

REGISTRY USE ONLY

NOTES

- OWNERS: DECASTRO BUILDERS, INC.
25 ASYLUM ROAD, WARREN, RI 02885
- ASSESSORS DESIGNATION - MAP 6 LOT 40
- TITLE REFERENCE: DEED BOOK 1891 PAGE 174
- SITE SHOWN IS NOT LOCATED IN THE "WATER RESOURCE PROTECTION DISTRICT"
- WETLANDS DELINEATION BY ECOSYSTEM SOLUTIONS INC.
- SITE SHOWN IS NOT LOCATED IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 250063 0010 A DATED SEPTEMBER 5, 1979.
- ELEVATIONS SHOWN BASED ON AN ASSUMED DATUM.
- STREAM DETERMINED TO BE INTERMITTANT PER DEP WETLAND PROTECTION ACT REGULATION 310CMR 10.58.(2)(A)(1..XD) BASED ON FIELD OBSERVATION THAT THE STREAM IS NOT FLOWING ON DATES RECORDED BETWEEN SEPTEMBER 3, 2010 AND SEPTEMBER 16, 2010.
- POND DETERMINED NOT TO BE A VERNAL POOL DUE TO THE PRESENCE OF FISH POPULATION.
- ANORAD APPROVED BY SEEKONK CONSERVATION COMMITTEE DEP FILE #SE 069-0698
- ZONING DISTRICT REQUIREMENT FOR "R-2":
MINIMUM AREA = 22,500 Sq.Ft.
MINIMUM FRONTAGE = 150'
MINIMUM FRONTYARD = 35'
MINIMUM SIDEYARD = 20' + 5'/STORY
MINIMUM REARYARD = 50'

12. PLAN REFERENCE - APPROVAL NOT REQUIRED PLAN "OLNEY STREET ESTATES" PREPARED FOR DECASTRO BUILDERS, INC. DATED FEBRUARY 18, 2011 RECORDED IN PLAN BOOK 480 PAGE 64.

Lot 1	Lot 2
23,440 sq. ft. 0.54 ACRES	23,440 sq. ft. 0.54 ACRES
ALTERNATE MINIMUMS	ALTERNATE MINIMUMS
WIDTH @ SETBACK = 150' REQUIRED = 146.50 PROVIDED	WIDTH @ SETBACK = 150' REQUIRED = 146.50 PROVIDED
= 3.50 x 250 S.F./FT = 875 S.F. 22,500 + 875	= 3.50 x 250 S.F./FT = 875 S.F. 22,500 + 875
= 23,375 S.F. MIN. AREA	= 23,375 S.F. MIN. AREA
PROVIDED 23,440 S.F. < 23,375 S.F. REQUIRED OK	PROVIDED 23,440 S.F. < 23,375 S.F. REQUIRED OK

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

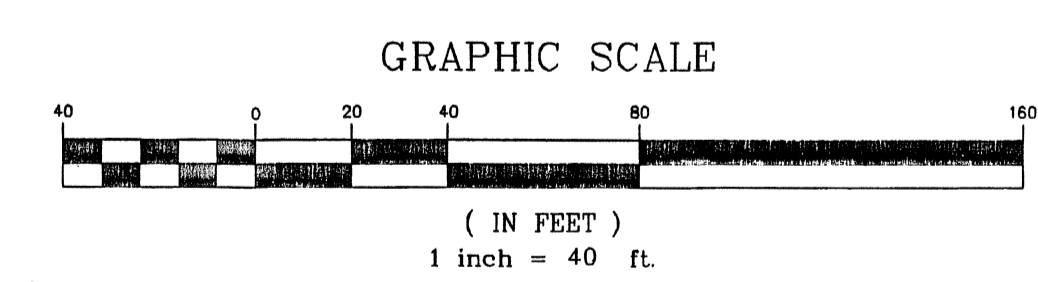
PREPARED _____ DATE _____

SUBJECT TO A COVENANT DULY EXECUTED DATED THE _____ DAY OF _____, RUNNING WITH THE LAND, TO BE DULY RECORDED BY OR FOR THE OWNER OF RECORD. THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE SEEKONK PLANNING BOARD CERTIFICATE OF ACTION DATED _____ FILED WITH THE SEEKONK TOWN CLERK ON _____ AND HERewith RECORDED AS A PART OF THIS PLAN.

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE 20 DAY STATUTORY APPEAL PERIOD.
DATE: _____ TOWN CLERK, TOWN OF SEEKONK, _____

SEEKONK PLANNING BOARD
APPROVED UNDER SUBDIVISION CONTROL LAW

PRELIM. PLAN FILED _____	CHAIRMAN _____
DEF PLAN FILED _____	CLERK _____
PUBLIC HEARING _____	
DEF PLAN APPROVED _____	
DEF PLAN ENDORSED _____	



LOTING PLAN 1 OF 2 69-707

"CALEB ESTATES"
160 OLNEY STREET SEEKONK, MASSACHUSETTS
ASSESSORS MAP 6 LOT 40

APPLICANT: DECASTRO BUILDERS, INC.
25 ASYLUM ROAD, WARREN R.I. 02885

JOB # 10-080	SCALE: 1"= 40'	DRAWN BY: SCA	DATE: MAR. 18, 2011
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REVISED: OCTOBER 24, 2011 ENGINEER COMMENTS

PROFESSIONAL ENGINEERS AND LAND SURVEYORS
INSITE PROFESSIONAL SERVICES, LLC
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SEEKONK, MA 02771
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SHEET 2 OF 10