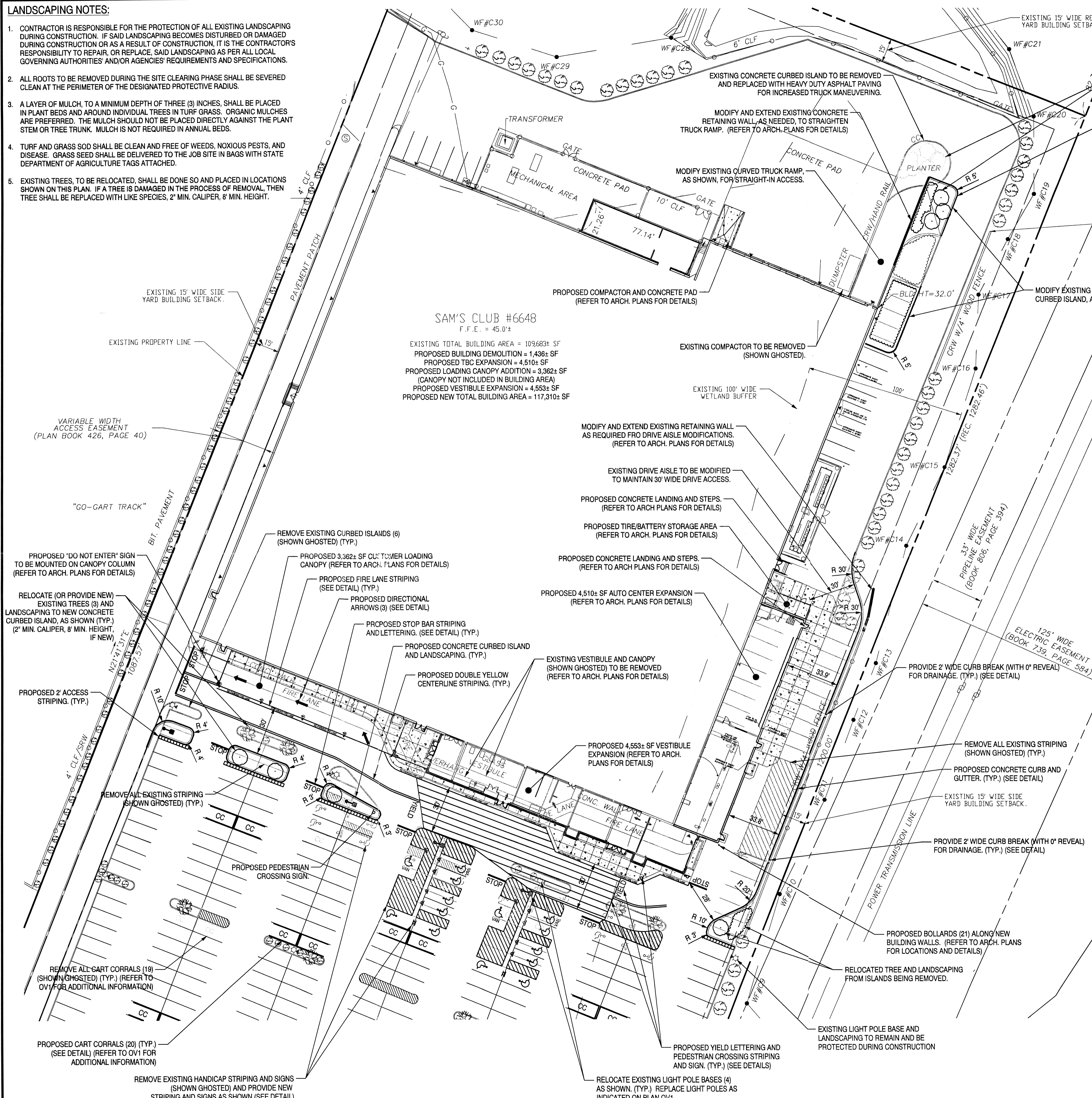


LANDSCAPING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPING DURING CONSTRUCTION. IF SAID LANDSCAPING BECOMES DISTURBED OR DAMAGED DURING CONSTRUCTION OR AS A RESULT OF CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, OR REPLACE, SAID LANDSCAPING AS PER ALL LOCAL GOVERNING AUTHORITIES' AND/OR AGENCIES' REQUIREMENTS AND SPECIFICATIONS.
- ALL ROOTS TO BE REMOVED DURING THE SITE CLEARING PHASE SHALL BE SEVERED CLEAN AT THE PERIMETER OF THE DESIGNATED PROTECTIVE RADIUS.
- A LAYER OF MULCH, TO A MINIMUM DEPTH OF THREE (3) INCHES, SHALL BE PLACED IN PLANT BEDS AND AROUND INDIVIDUAL TREES IN TURF GRASS. ORGANIC MULCHES ARE PREFERRED. THE MULCH SHOULD NOT BE PLACED DIRECTLY AGAINST THE PLANT STEM OR TREE TRUNK. MULCH IS NOT REQUIRED IN ANNUAL BEDS.
- TURF AND GRASS SOD SHALL BE CLEAN AND FREE OF WEEDS, NOXIOUS PESTS, AND DISEASE. GRASS SEED SHALL BE DELIVERED TO THE JOB SITE IN BAGS WITH STATE DEPARTMENT OF AGRICULTURE TAGS ATTACHED.
- EXISTING TREES, TO BE RELOCATED, SHALL BE DONE SO AND PLACED IN LOCATIONS SHOWN ON THIS PLAN. IF A TREE IS DAMAGED IN THE PROCESS OF REMOVAL, THEN TREE SHALL BE REPLACED WITH LIKE SPECIES, 2" MIN. CALIPER, 8' MIN. HEIGHT.



SAM'S CLUB #6648
 F.F.E. = 45.0'±

EXISTING TOTAL BUILDING AREA = 109,683± SF
 PROPOSED BUILDING DEMOLITION = 1,436± SF
 PROPOSED TBC EXPANSION = 4,510± SF
 PROPOSED LOADING CANOPY ADDITION = 3,362± SF
 (CANOPY NOT INCLUDED IN BUILDING AREA)
 PROPOSED VESTIBULE EXPANSION = 4,553± SF
 PROPOSED NEW TOTAL BUILDING AREA = 117,310± SF

RELOCATE (OR PROVIDE NEW) EXISTING TREES (3) AND LANDSCAPING TO NEW CONCRETE CURBED ISLAND, AS SHOWN (TYP.) (2" MIN. CALIPER, 8' MIN. HEIGHT, IF NEW)

PROPOSED CONCRETE CURB AND GUTTER. (TYP.) (SEE DETAIL)

SITE NOTES:

- TOTAL SAM'S CLUB PARCEL: 11.378± ACRES
- ZONING: HIGHWAY BUSINESS
- BUILDING SQUARE FOOTAGE:
 EXISTING RETAIL AREA = 84,830± SF
 EXISTING TBC AREA = 2,260± SF
 EXISTING OFFICE AREA = 12,620± SF
 EXISTING WAREHOUSE AREA = 9,973± SF
 EXISTING TOTAL BUILDING = 109,683± SF

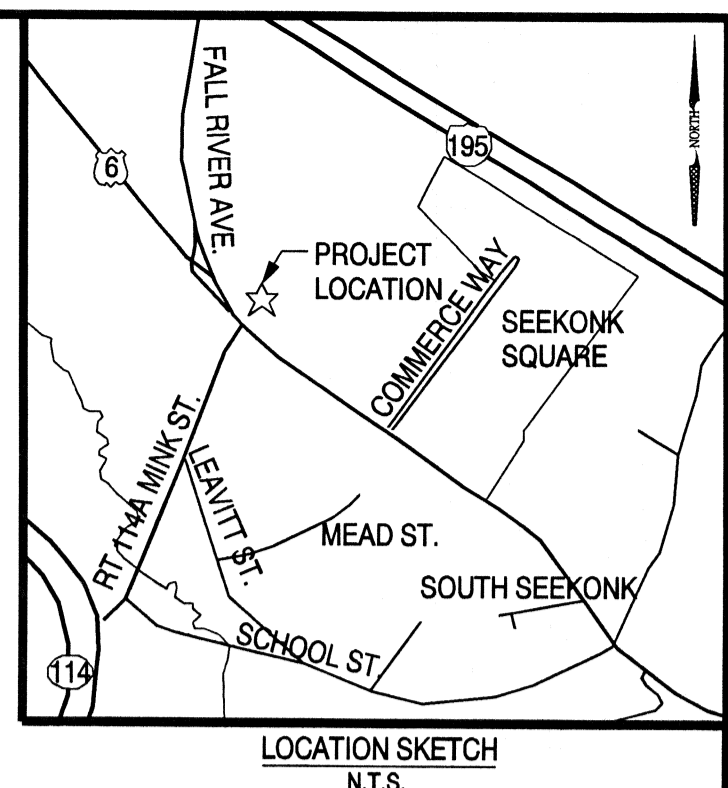
 PROPOSED RETAIL AREA = 85,264± SF
 PROPOSED TBC AREA = 4,510± SF
 PROPOSED OFFICE AREA = 7,658± SF
 PROPOSED RESTAURANT AREA = 2,146± SF
 PROPOSED WAREHOUSE AREA = 17,732± SF
 PROPOSED TOTAL BUILDING = 117,310± SF
- PARKING REQUIREMENTS:
 REQUIRED = 555 SPACES
 Retail Sales: 1 space/200 SF of total Gross Floor Area (GFA) - (85,264 SF/200 = 426.32 spaces)
 Automotive Service: 1 space/1,000 SF GFA - (4,510 SF/1,000 = 4.51 spaces)
 Office: greater of 1 space/300 SF GFA or 1 space/employee - (7,658 SF/300 = 25.53 spaces (or 30))
 Restaurant: 1 space/3 seats of total capacity - (40 seats/3 = 13.33 spaces)
 Warehouse, Food Prep, Storage, Misc.: 1 space/employee on largest shift = 30 spaces
 Employees: 1 space/employee (calculated as largest shift with rollover) = 50

 EXISTING = 624 SPACES
 PROPOSED = 575 SPACES
 HANDICAP = 14 (INCLUDED IN TOTAL ABOVE)
 (49 REGULAR SPACES LOST, INCLUDING 3 HANDICAP SPACES LOST)
 (TOTAL OF 20 CART CORRALS WILL BE UTILIZED AND ARE NOT INCLUDED IN PARKING TOTAL)
- LANDSCAPING REQUIREMENTS:
 REQUIRED = 20% OF PAVED AREA MUST BE LANDSCAPED (INCLUDES INTERIOR AND PERIMETER LANDSCAPING)
 EXISTING PAVED AREA = 300,238± SF
 EXISTING LANDSCAPED AREA = 60,048± SF (24.6%)
 PROPOSED PAVED AREA = 293,703± SF
 PROPOSED LANDSCAPED AREA = 58,741± SF (24.9%)
- VARIANCES REQUIRED: NONE
- APPLICABLE SETBACKS ARE AS FOLLOWS FOR DISTRICT HIGHWAY BUSINESS:

	REQUIRED	PROVIDED
FRONT YARD =	70'	595.1'±
SIDE YARDS =	15'	35.0'±
REAR YARD =	15'	158.3'±
- THE SETBACK LINES AND NOTES RELATED TO SETBACKS SHOWN HEREIN ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF SEEKONK, AS OF THE DATE OF THIS MAP, AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
- ALL EXISTING BUILDING AND SITE INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES.
- ANY NEW PAVEMENT SECTIONS THAT ARE TO BE REPLACED SHALL MATCH THE EXISTING PAVEMENT SECTION AND MATERIAL SPECIFICATIONS.
- ANY EXISTING STRIPING WHICH IS TO REMAIN IN PLACE AND WHICH MAY BECOME OBSCURED OR DAMAGED DUE TO THE CONSTRUCTION OF IMPROVEMENTS, SHALL BE REPLACED AND/OR REPAINTED AS NECESSARY.
- REFER TO ARCHITECTURAL PLANS FOR EXISTING AND PROPOSED BUILDING DIMENSIONS, SIDEWALK AND CURB DETAILS, UNLESS NOTED OTHERWISE.
- APD ENGINEERING IS ONLY RESPONSIBLE FOR THE PROPOSED SITE IMPROVEMENTS RELATED TO THIS EXPANSION PROJECT. APD ENGINEERING DID NOT PERFORM THE ORIGINAL SITE DESIGN OR SURVEY AND ACCEPTS NO RESPONSIBILITY FOR EXISTING SITE CONDITIONS OR FEATURES THAT WERE DESIGNED AND BUILT PREVIOUS TO THE PREPARATION OF THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING APPROVAL, FOR ALL PROPOSED TEMPORARY CONSTRUCTION STAGING AND WORK AREAS, FROM ALL REQUIRED MUNICIPAL DEPARTMENTS, PRIOR TO COMMENCEMENT OF SAID STAGING OR CONSTRUCTION.
- ALL SIGN POSTS AND SIGN FACES, WITHIN THE ENTIRE SAM'S CLUB SITE, SHALL BE REPLACED TO REFLECT CURRENT DETAIL STANDARDS. ALL TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS WILL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR DESIGN AND INSTALLATION.
- ALL PARKING LOT LIGHT POLES ARE TO BE REPLACED. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS. ALL EXISTING PAINTED LIGHT POLE BASES ARE TO BE SAND BLASTED TO BARE CONCRETE. SEAL BASE WITH CONCRETE SEALER PER ARCHITECTURAL SPECIFICATIONS.
- ALL EXISTING FEATURES, SHOWN GHOSTED, TO BE REMOVED OR RELOCATED, AS NOTED.

REVISIONS:

Revisions:	Date:
1 Revised Site Notes	5/21/08
2 Revised per Town Comments	8/21/08
3	
4	
5	
6	
7	
8	
9	



Seal **Seal**

PROJECT MANAGER DATE

PROJECT ENGINEER / ARCHITECT DATE

PROJECT DESIGNER DATE

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Sam's Club Expansion

Club #6648
 1110 Fall River Ave.
 Seekonk, MA 02771
 Bristol County

Project Name & Location:

Site Plan 69-637

Drawing Name:

Date: 12/21/07 Project No. 07-0205

Type:

Drawn By: JED C1

Scale: 1"=30' Drawing No.

- REFERENCES:**
- EXISTING SITE, BOUNDARY, UTILITY AND TOPOGRAPHIC SURVEY (SHEETS 1 OF 3, 2 OF 3 AND 3 OF 3) PREPARED BY COLER & COLANTONCO INC., DATED 5/27/05, AND LAST REVISED ON 8/5/05.
 - ARCHITECTURAL BUILDING PLANS PREPARED BY BRR ARCHITECTURE, HAVING DRAWING NAMES: "EXTERIOR BUILDING PLAN (SP1)", "EXTERIOR DETAILS (SP2)", "EXTERIOR BUILDING PLANS (SP2.1)", "DEMOLITION PLAN (D1)", "FLOOR PLAN (A1)", "EXTERIOR ELEVATIONS (A2)", "ENLARGED FLOOR PLANS (A5.1)", "TIRE AND BATTERY CENTER (TBC1)", AND "CUSTOMER LOADING CANOPY (LC1)". ALL DRAWINGS DATED 12/12/07.
 - PLUMBING PLANS PREPARED BY HENDERSON ENGINEERS, INC., HAVING DRAWING NAMES: "PLUMBING PLAN (P1)", "GROCERY WASTE AND VENT PLANS (P2)", "SNACK BAR PLUMBING PLANS (P2.4)", AND "TBC AND VESTIBULE PLUMBING PLANS (P2.6)". ALL DRAWINGS DATED 11/5/07.
 - PHOTOGRAPHS TAKEN BY APD ENGINEERING DURING SCOPING TRIP ON 10/23/07.