

- NOTES:**
- FRONTAGE OF LOTS 2, 3, 7, 8, 9, 13, AND 14 REDUCED AT STREET LINE AND FRONTAGE OF LOTS 2, 3, 5, 6, 7, 8, 9, 11, 12, 13, AND 14 REDUCED AT BUILDING SETBACK LINE AND AREAS INCREASED IN ACCORDANCE WITH SECTION 6.10 OF THE SEEKONK ZONING BY-LAWS.
  - ALL ROAD WORK TO CONFORM TO THE SEEKONK PLANNING BOARD SUBDIVISION REGULATIONS, SEEKONK HIGHWAY DEPARTMENT RULES AND REGULATIONS, MASS HIGHWAY SPECIFICATIONS AND SEEKONK WATER DISTRICT SPECIFICATIONS AND RULES AND REGULATIONS.
  - IF CONDITIONS ENCOUNTERED DURING CONSTRUCTION DEFER FROM THESE PLANS THE CONTRACTOR/DEVELOPER ARE TO NOTIFY CAPUTO AND WICK LTD. IMMEDIATELY.
  - LOT A IS NOT A BUILDABLE LOT AND WILL BE MERGED WITH ONE OR MORE ADJUTING PARCELS AT A FUTURE DATE.

**LEGEND**

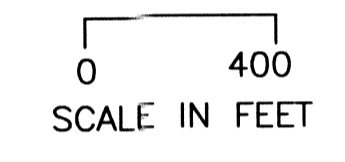
- STAKED HAYBALES
- ..... SILT FENCE
- ◆ DEEP OBSERVATION HOLE
- CB ⊙ CATCH BASIN
- ⊙ DRAIN MANHOLE
- GRANITE BOUND TO BE SET
- - - - - EXISTING CONTOUR
- 100 — PROPOSED CONTOUR
- RCP REINFORCED CONCRETE PIPE
- INV. INVERT OF PIPE
- CPEP CORRUGATED POLYETHYLENE PIPE
- △ A-0 50' FRONT YARD
- 80' REAR YARDS
- 40' SIDE YARD (2 STORY)
- 35' SIDE YARD (1 STORY)
- DI ⊙ DROP INLET

**INDEX**

- KEY PLAN SHEET 1 OF 11
- DRAINAGE AND GRADING PLANS NO. 1-3 SHEET 2 - 4 OF 11
- BOUNDARY MAP NO. 1-3 SHEET 5 - 7 OF 11
- ROADWAY PLANS AND PROFILES NO. 1-2 SHEET 8 - 9 OF 11
- DETAILS SHEET 10 - 11 OF 11
- DEFINITIVE SUBDIVISION MAP SHEET D1

ZONE R-4  
62,500 S.F.  
250' REAR YARD  
50' FRONT YARD  
80' REAR YARDS  
40' SIDE YARD (2 STORY)  
35' SIDE YARD (1 STORY)

**LOCATION MAP**



APPROVAL UNDER SUBDIVISION CONTROL LAW REQUIRED

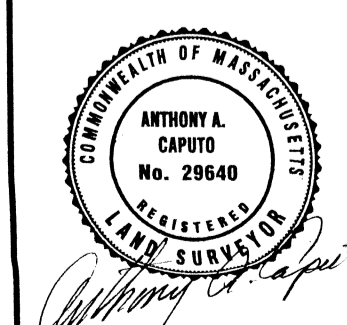
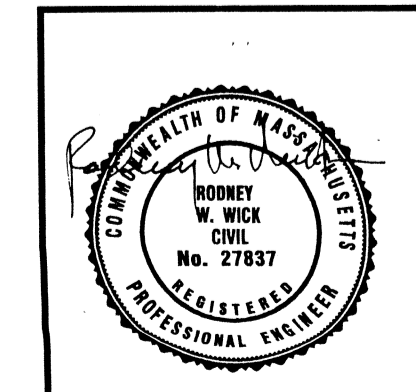
\_\_\_\_\_  
 TOWN OF SEEKONK PLANNING BOARD  
 DATE APPROVED: \_\_\_\_\_  
 DATE ENDORSED: \_\_\_\_\_

PERFORMANCE SURETY IN THE AMOUNT OF \_\_\_\_\_ HAVING BEEN DEPOSITED WITH THE SEEKONK TOWN TREASURER TO ASSURE COMPLETION OF THE WAYS SHOWN ON THIS PLAN TO THE SATISFACTION OF THE SEEKONK PLANNING BOARD ON OR BEFORE \_\_\_\_\_ SAID SURETY HAVING BEEN POSTED ON \_\_\_\_\_ THIS PLAN OF SUBDIVISION IS APPROVED BY THE SEEKONK PLANNING BOARD.

CLERK \_\_\_\_\_ DATE \_\_\_\_\_

I HEREBY CERTIFY THAT TWENTY DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

Received \_\_\_\_\_ DATE 69-575  
 AUG 22 2005  
 Con. Comm. KEY PLAN



ASSESSORS PLAT 26  
 LOT 1  
 AREA = 35.8 ACRES  
 OWNER:  
 H. CHARLES TAPALIAN  
 PO BOX 39  
 SEEKONK, MA 02771  
 ZONE: R-4/G.A.P.D.  
 DEED BOOK 3170 PAGE 39  
 REV. 8/18/05

DEFINITIVE SUBDIVISION  
 THREE LEDGES  
 H. CHARLES TAPALIAN  
 RICHARD CIRCLE  
 SEEKONK, MASSACHUSETTS  
 CAPUTO AND WICK LTD.  
 1150 PAWTUCKET AVE.  
 RUMFORD, R.I. 02916  
 401-434-8880

DATE FEBRUARY 22, 2005  
 REV. MAY 24, 2005  
 SHEET 1 OF 11