

PARKING SPACES REQUIREMENTS:
 REQUIRED PARKING SPACES: 63
DESIGNED PARKING SPACES:
 REGULAR PARKING SPACES: 60
 HANDICAP PARKING SPACES: 3
 LOADING PARKING SPACES: 1
TOTAL PARKING SPACES: 64

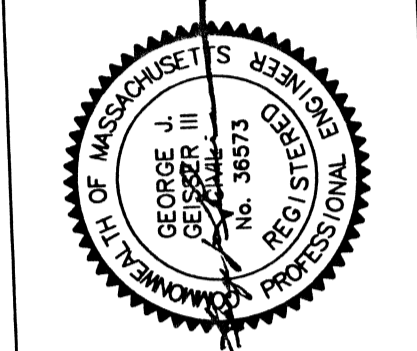
NOTE:
 1. ACCORDING TO FLOOD INSURANCE RATE MAPS ON A.P. 8, PREPARED BY STANLEY ENGINEERING, DATED APRIL 1960.
 2. THIS SURVEY REFERENCES A PLAN ENTITLED 'LOT 44 & 79 ON A.P. 8, PREPARED BY STANLEY ENGINEERING, DATED APRIL 1960.
 3. THIS SURVEY REFERENCES A PLAN ENTITLED 'LOT 119 & 181 ON A.P. 8, PREPARED FOR LOYDARD REALTY PARTNERSHIP, PREPARED BY DAVID D. GARDNER AND ASSOCIATES, INC., DATED SEPTEMBER 26, 2001.
 4. THIS SURVEY REFERENCES A PLAN ENTITLED 'LOT 192 ON A.P. 8, PREPARED FOR INTERNATIONAL LAND SERVICES, INC., PREPARED BY GEISSER ENGINEERING, 227 WAMPANOAG TRAIL, RIVERSIDE, RHODE ISLAND, DATED NOVEMBER 14, 2001.

REFERENCES:
 1. THIS SURVEY REFERENCES A PLAN ENTITLED 'LOT 44 & 79 ON A.P. 8, PREPARED BY STANLEY ENGINEERING, DATED APRIL 1960.
 2. THIS SURVEY REFERENCES A PLAN ENTITLED 'PLAN BOOK 63, PAGE 31A, SHOWING EASEMENT ACROSS LAND IN SEEKONK, MASSACHUSETTS CONVEYED TO NEW ENGLAND POWER COMPANY, DATED JUNE 30, 1955.
 3. THIS SURVEY REFERENCES A PLAN ENTITLED 'LOT 119 & 181 ON A.P. 8, PREPARED FOR LOYDARD REALTY PARTNERSHIP, PREPARED BY DAVID D. GARDNER AND ASSOCIATES, INC., DATED SEPTEMBER 26, 2001.
 4. THIS SURVEY REFERENCES A PLAN ENTITLED 'LOT 192 ON A.P. 8, PREPARED FOR INTERNATIONAL LAND SERVICES, INC., PREPARED BY GEISSER ENGINEERING, 227 WAMPANOAG TRAIL, RIVERSIDE, RHODE ISLAND, DATED NOVEMBER 14, 2001.

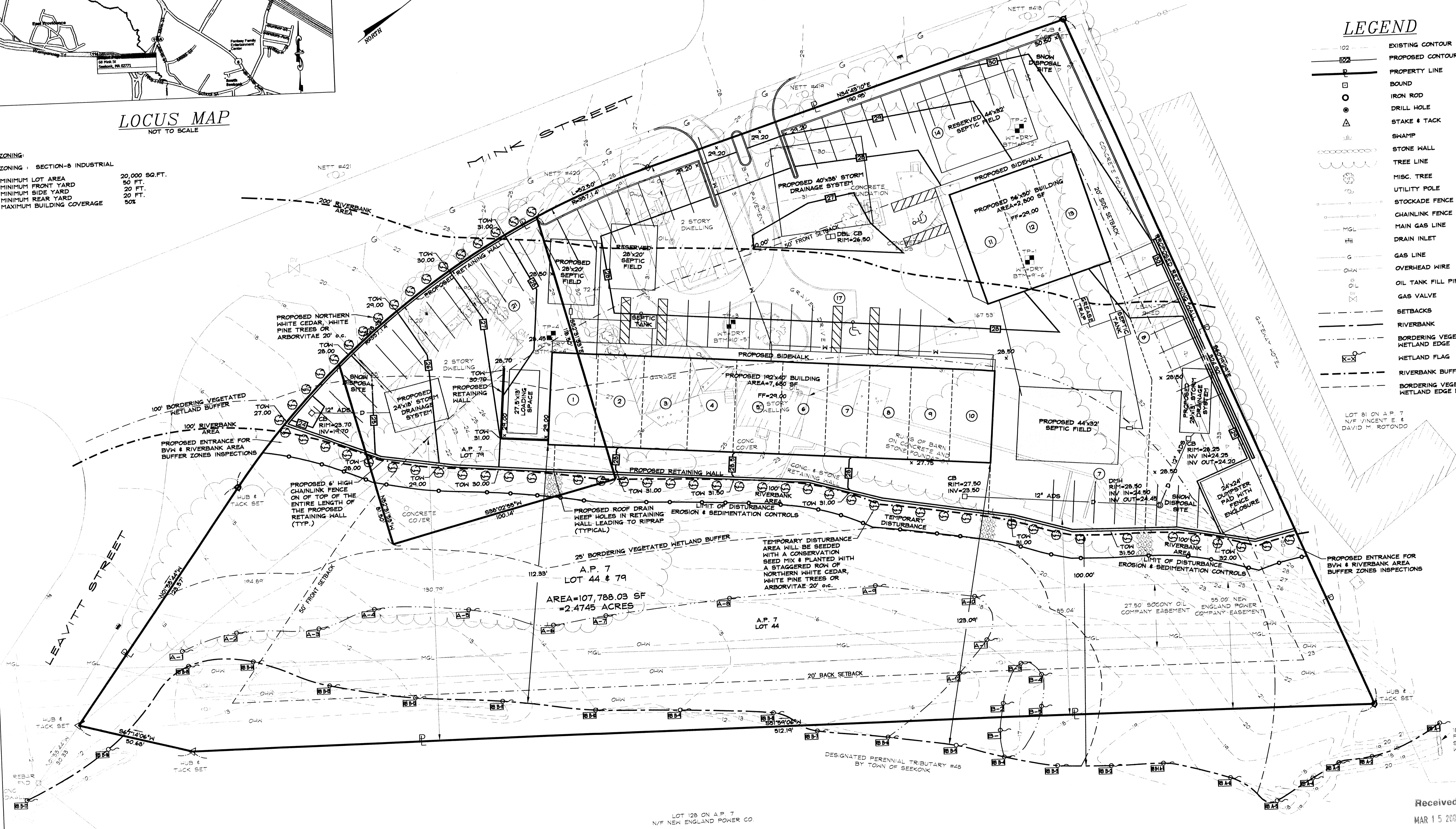
ZONING:
 ZONING: SECTION-8 INDUSTRIAL
 MINIMUM LOT AREA 20,000 SQ.FT.
 MINIMUM FRONT YARD 50 FT.
 MINIMUM SIDE YARD 20 FT.
 MINIMUM REAR YARD 20 FT.
 MAXIMUM BUILDING COVERAGE 50%

LEGEND

- 102 — EXISTING CONTOUR
- [] — PROPOSED CONTOUR
- [] — PROPERTY LINE
- [] — BOUND
- [] — IRON ROD
- [] — DRILL HOLE
- [] — STAKE & TACK
- [] — SWAMP
- [] — TREE LINE
- [] — MISC. TREE
- [] — UTILITY POLE
- [] — STOCKADE FENCE
- [] — CHAINLINK FENCE
- [] — MAIN GAS LINE
- [] — DRAIN INLET
- [] — GAS LINE
- [] — OVERHEAD WIRE
- [] — OIL TANK FILL PIPE
- [] — GAS VALVE
- [] — SETBACKS
- [] — RIVERBANK
- [] — BORDERING VEGETATIVE WETLAND EDGE
- [] — WETLAND FLAG
- [] — RIVERBANK BUFFER
- [] — BORDERING VEGETATIVE WETLAND EDGE BUFFER



NO.	DATE	COMMENTS
1	8/6/03	BUILDING & PARKING LOCATION
2	2/8/04	SEEKONK CON. COM. COMMENTS
3	2/23/04	SEEKONK CON. COM. COMMENTS
4	3/15/04	MOVED BUILDING



A.P. 7
 LOT 44 & 79
 AREA=107,788.03 SF
 =2.4745 ACRES

PROPOSED RETAIL PLAZA SITE PLAN
DOMENICO CASSASI
 68-72 MINK STREET
 SEEKONK, MASSACHUSETTS
 ASSESSOR'S PLAT 7, LOTS 44 & 79

SE 69-538

DATE: 4/13/02
 SCALE: 1"=20'
 DRAWN BY: JLAJPF
 CHECKED BY: JLA
 JOB NUMBER: R-710
 FIELD BOOK #:
 SHEET NO. 1 OF 3
 DRAWING NO. C-1

Received
 MAR 15 2004
 Con. Comm.

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