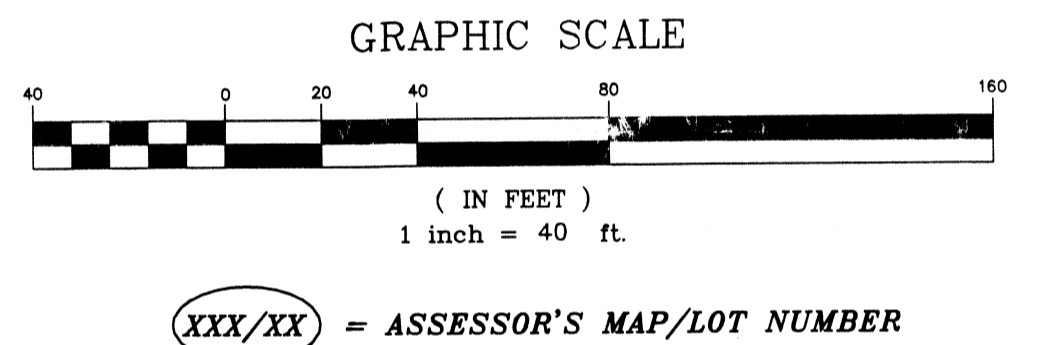


**GENERAL NOTES TO INSTALLING CONTRACTOR:**

1. THE CONSTRUCTION OF THIS ON SITE SEWAGE DISPOSAL SYSTEM SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE V OF THE STATE ENVIRONMENTAL CODE AND THE LOCAL BOARD OF HEALTH REGULATIONS.
2. ALL UNSUITABLE IMPERVIOUS MATERIAL MUST BE EXCAVATED AND REMOVED AND SHALL BE REPLACED WITH CLEAN COARSE GRAVEL IN CONFORMANCE WITH REGULATION 15.255 OF TITLE V.
3. THE LEACH SYSTEM IS NOT DESIGNED FOR A GARBAGE DISPOSAL SYSTEM.
4. NO GRADING FOR LEACHING AREA SHALL TAKE PLACE WITHIN 5 FEET OF ANY PROPERTY LINE.
5. NO COMPONENT OF THE LEACHING SYSTEM TO BE MORE THAN 3 FEET BELOW FINISH GRADE.
6. FINISH FLOOR ELEVATION SHALL BE 18" TO 24" ABOVE CROWN OF ROAD DIRECTLY IN FRONT OF HOUSE LOCATION. (HEIGHT MAY VARY DEPENDING ON LOCAL REGULATIONS).
7. WATER LINES MUST BE A MINIMUM OF 10 FEET FROM AND 18" ABOVE LEACHING COMPONENTS.
8. ANY PART OF LEACHING AREA BELOW A PAVED AREA SHALL BE VENTED ABOVE GRADE. COMPONENTS MAY BE H-10 LOADING UNLESS LOCATED BELOW PAVED AREAS, DRIVES OR TRAVELED WAYS IN WHICH CASE THEY SHALL BE H-20 LOADING.
9. AS-BUILT REQUIRED, CONTRACTOR/HOMEOWNER SHALL NOT BACK FILL ANY COMPONENT OF THE SEWAGE DISPOSAL SYSTEM UNTIL AN AS-BUILT HAS BEEN PERFORMED AND APPROVAL IS GIVEN BY THE BOARD OF HEALTH AND THE OFFICE OF DONALD P. McNEILL.
10. NO CHANGES IN DESIGN IS ALLOWED WITHOUT PRIOR AUTHORIZATION BY THIS OFFICE AND THE LOCAL BOARD OF HEALTH AGENT. THIS OFFICE WILL NOT TAKE RESPONSIBILITY FOR UNAUTHORIZED CHANGES.
11. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES FOUND IN SITE CONDITIONS FROM THOSE SHOWN ON PLAN PRIOR TO COMMENCEMENT OF WORK.
12. STONE USED IN LEACHING AREA WILL BE DOUBLE WASHED CRUSHED STONE FREE FROM ALL DIRT, DUST, AND FINES.
13. ALL BENCHMARKS SHOWN ON THIS PLAN ARE PROJECT DATUM ONLY AND ARE TO BE CHECKED FOR CONSISTENCY BY THE CONTRACTOR, ANY DISCREPANCIES MUST BE RESOLVED BY THIS OFFICE PRIOR TO CONSTRUCTION.
14. THE LOCATION OF UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM THE BEST AVAILABLE INFORMATION. HOWEVER, IT IS NOT WARRANTED THAT THE LOCATIONS ARE CORRECT, NOR THAT ALL UTILITIES ARE SHOWN - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS THROUGH DIG SAFE OR OTHER APPROPRIATE AGENCIES THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
15. THE EXACT LOCATION OF THE FACILITIES AND STRUCTURES SHOWN HEREON RELATIVE TO THE PROPERTY LINES CANNOT BE DETERMINED WITHOUT AN ACCURATE INSTRUMENT SURVEY. THE NEED FOR A PROPERTY LINE SURVEY SHALL BE UP TO THE DISCRETION OF THE PROPERTY OWNER AND/OR OF THE INSTALLING CONTRACTOR.
16. NO BORDERING VEGETATED WETLANDS, STREAMS, WATERCOURSES, SALT MARSHES, INLAND AND COASTAL BANKS ARE KNOWN TO EXIST WITHIN 200 FT. OF THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM. ALL WELLS WITHIN 200 FT. OF THE S.S.D.S. ARE SHOWN.

- FOUNDATION -**  
 SIZE: SEE PLAN  
 FINISHED GRADE = 118.0+  
 GARAGE SLAB = 122.83  
 BASEMENT SLAB = 115.85  
 ASSUMED (USE 7.65' WALL)  
 CONTRACTOR SHALL VERIFY THAT TOP OF FOUNDATION IS AT OR ABOVE PROPOSED PLAN ELEVATION.
- SEPTIC TANK -**  
 CAPACITY = 1500 GALLONS  
 FINISH GRADE = 118.5+  
 SPECIFICATIONS:  
 STRENGTH: 4000LBS @ 28 DAYS  
 DENSITY: 140 PCF  
 CEMENT: PORTLAND TYPE I OR III PER ASTM C150-81  
 ADMIXTURES PER ASTM C233-82  
 REINFORCING PER ASTM A615 FOR WIRE FABRIC  
 GRADE 40/60 R'D OR EQUAL  
 DESIGN LOADING H-10 (MIN.)  
 WALL THICKNESS 4" MIN. 3" IF REINFORCED  
 STRUCTURE SHALL BE WATERTIGHT
- DISTRIBUTION BOX -**  
 NUMBER OF OUTLETS = 6  
 FINISH GRADE = 105.0+
- LEACHING FIELD -**  
 BASE OF STONE EL. = 102.50  
 FIELD SIZE = 24' X 35'  
 FINISH GRADE = 105.0+  
 NO. OF LATERALS = 5  
**REMOVE AND REPLACE REQUIREMENTS:**  
 EXCAVATE TO EL. = 99.4 OR UNTIL ALL UNSUITABLE MATERIAL IS REMOVED AND REPLACE TO EL. = 103.50 WITH CLEAN WASHED SAND OR GRAVEL WITH AN IN STATE PERC RATE OF LESS THAN 2 MINUTES PER INCH. LIMIT OF EXCAVATION INCLUDING 5' OVERDIG 34' X 45'.

TYPICAL CROSS SECTION - NOT TO SCALE- SEE PLAN VIEW FOR SYSTEM LAYOUT AND DIMENSIONS.



**NOTES & REFERENCES:**

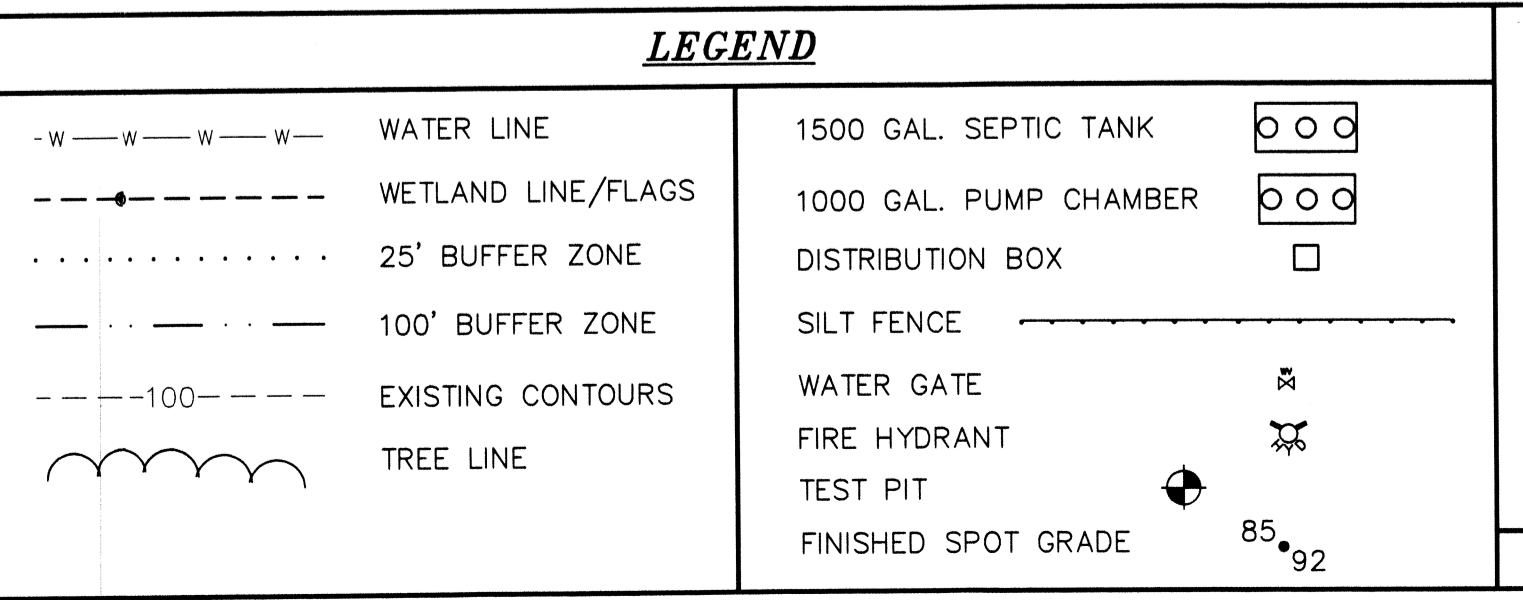
1. THE LOCUS PROPERTY IS SHOWN AS LOT 42 ON SEEKONK'S ASSESSOR MAP-23. THE OWNER OF THE PROPERTY IS JOHN & PENNY MONK. THE PROPERTY IS DESCRIBED IN DEED BOOK 8788, PAGE 7 AND IS SHOWN AS LOT 4 IN PLAN BOOK 379, PAGE 17.
2. THIS PROPERTY DOES NOT LIE WITHIN FLOOD HAZARD ZONE PER FIRM 250063 0005A, PANEL 5 OF 10, EFFECTIVE SEPTEMBER 5, 1979.

**SOIL EXAMINATION REPORT**  
 EXAMINATIONS TAKEN BY DEAN MONSEES (CERTIFIED SOIL EVALUATOR)  
 AND WITNESSED BY HAROLD CHENEVERT JR. BOARD OF HEALTH AGENT ON OCTOBER 4, 2004.

TEST PIT #	#	DEEP OBSERVATION HOLE LOG					
		DEPTH FROM SURFACE (INCHES)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	SOIL MOTTLING	OTHER (STRUCTURE, STONE CONSISTENCY)
#R1	GROUND SURFACE ELEVATION = 103.0	0"-6"	A	SANDY LOAM	10YR 3/1	NONE	
		6"-20"	B	SANDY LOAM	10YR 6/8	NONE	
		20"-36"	C1	LOAMY SAND	2.5Y 8/4	NONE	
		36"-120"	C2	LOAMY SAND	2.5Y 6/1	10YR 5/8	20% GRAVEL
#R2	GROUND SURFACE ELEVATION = 101.9	0"-6"	A	SANDY LOAM	10YR 3/1	NONE	
		6"-30"	B	SANDY LOAM	10YR 5/8	NONE	
		30"-96"	C	LOAMY SAND	2.5Y 6/1	10YR 5/8	

**ZONING REQUIREMENTS**  
**DISTRICT: RESIDENCE-4**  
 LOT AREA: 62,500 SF (MIN.)  
 LOT WIDTH: 250.0' (MIN.)  
 FRONT YARD: 50.0' (MIN.)  
 SIDE YARD: 35.0' + 5' FOR EACH STORY OVER ONE (MIN.)  
 REAR YARD: 80.0' (MIN.)

**DESIGN CALCULATIONS**  
**REQUIRED:**  
 4 BEDROOMS @ 110 GPD = 440 GALS.  
**LEACHING AREA DESIGN:**  
 DESIGN PERC RATE 20 MIN/INCH CLASS (2) SOIL  
 EFFECTIVE LOADING RATE 0.53 GPD/SF  
 BOTTOM AREA = 24' X 35' = 840 SF.  
 SIDEWALL AREA = N/A = N/A SF.  
 TOTAL AREA = 840 SF X 0.53 GPD/SF = 445 GPD



**LOCUS MAP N.T.S.**

**LOCUS**  
 WOODWARD AVENUE  
 PROSPECT STREET

**SUBSURFACE SEWAGE DISPOSAL SYSTEM**  
 OWNER/APPLICANT: JOHN & PENNY MONK  
 427 PINE STREET  
 PROVIDENCE, RI 02878  
 LOCATION: MAP 23, LOT 42  
 WOODWARD AVENUE  
 SEEKONK, MA 02771

**R.E.M. LAND SURVEYING CO., INC.**  
 LAND SURVEYING & CIVIL ENGINEERING  
 40 SWAN DRIVE, E. TAUNTON, MA 02718  
 TEL: 1-508-880-9179

REV: SEPTEMBER 29, 2006  
 DATE: JULY 27, 2005  
 SCALE: 1" = 40'  
 SHEET 2 OF 2  
 PROJECT: 2005-064