

**PLANNING BOARD**

**Tuesday, February 6, 2018 Veteran's Memorial Building, Room 229, 7:30 P.M.**

**AGENDA**

7:35 p.m.      **“Dover Road Residences” Assisted Living Facility, Informal Discussion**  
Jim Williamson, David   - proposed field changes (see attached letter)  
Carter, Barberry Homes

**New Business:**

**Other Business:**      **Deliberation/Vote: Special Permit/Site Plan Approval -**  
                                 **1525 Main St. Medical Marijuana Dispensary**  
                                 (Ellen Realty Trust)  
                                 FY19 Budget Approval  
                                 Approval of Minutes from January 9, 2018

**Scheduled Meeting(s):** March 6, 2018  
                                 April 10, 2018

Correspondence/Bills

1/26/18

Hi Camille,

We're continuing to make good progress on The Dover Road Residences; site work is well under way and we are putting the finishing touches on our architectural plans in anticipation of starting construction of the main building soon. We thought this might be a good time for us to update the Planning Board on our progress if you would like to add us to your next agenda. In addition, we would like to request some guidance from the Planning Board on several field changes that we would like to implement. These field changes are listed below and are depicted on the attached revised plans (please see pages C6-A and C6-B):

- We have added the location of the underground gas and electric utilities
- We have added the two sewage holding tanks (one outside the kitchen and one outside the southwest corner of the building) that will be installed should the Town of Millis elect to have holding tanks installed in lieu of a donation towards the rebuilding of the Dover Road/Main Street pump station.
- In collaboration with the Millis Fire Department, we have created two ambulance entrances rather than having just one as shown on the approved plans. The extra entrance will provide emergency services with better access to the building.
- To accommodate the second emergency entrance, we relocated Drain Manhole #2 (DMH2) and Catch Basin #4 (CB4) a bit north.
- We were able to reduce the foot print of the main building creating more open space on the rear side of the building.
- We eliminated 20 parking spaces on the rear side of the building to further increase the amount of contiguous open space to the rear side of the building. Please know that, after eliminating the 20 spaces, we will have 27 spaces more than required by the Assisted Living Bylaw. That represents a parking ratio of .80 rather than the required .50 which is a 60% increase over the required number of parking spaces.
- We relocated the greenhouse to the new greenspace area on the rear side of the building.
- The location of the dumpster, greenhouse, generator, and maintenance buildings have all been moved slightly such that:
  - The greenhouse is now located in the newly created greenspace behind the building which is much more accessible for our residents.
  - The dumpster pad has been shifted and enlarged a bit to accommodate a recycling bin and to provide a better turning radius for truck access.
  - The generator has moved a bit to be closer to the main 3-phase transformer.
  - The maintenance building has moved slightly to be closer to the new dumpster pad location.

Please note all of these field changes are depicted on the attached plans but none of them have been implemented on-site; we are awaiting feedback from the Planning Board. If approved, the result of these field changes will be; a) more open space, and b) better access to the greenhouse and the dumpster.

# SITE DEVELOPMENT PLAN "THE DOVER ROAD RESIDENCES" ASSISTED LIVING COMMUNITY MILLIS, MASSACHUSETTS

DATE: MARCH 7, 2016  
 REVISED: MAY 10, 2016  
 JUNE 8, 2016; NOVEMBER 26, 2016  
 DECEMBER 21, 2016; JANUARY 5, 2017  
 JANUARY 16, 2017; JANUARY 31, 2017  
 AUGUST 22, 2017 JANUARY 18, 2018

APPROVED BY THE  
 MILLIS PLANNING BOARD:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DATE APPROVED: \_\_\_\_\_  
 DATE ENDORSED: \_\_\_\_\_

I TOWN CLERK OF THE TOWN OF MILLIS,  
 RECEIVED & RECORDED FROM THE PLANNING  
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 APPEAL HAS BEEN TAKEN FOR TWENTY DAYS  
 NEXT AFTER RECEIPT AND RECORDING OF SAME.

\_\_\_\_\_  
 TOWN CLERK                      DATE

**ZONING DATA:**

RESIDENCE (R-S)

	REQUIRED	PROVIDED
MAP 18, PARCEL 4		
LOT AREA:	25,000 S.F.	335,291 ± S.F. (7.697± ACRES)
FRONTAGE:	125 FT.	DOVER RD: 390.18 FT. BRIDGE ST: 384.22 FT.
LOT DEPTH:	200 FT.	400 + FT.
<b>SETBACKS:</b>		
FRONT:	40 FT.	77.9' (MAIN BLDG) 42.9' (COTTAGE)
SIDE:	20 FT.	88.3' (MAIN BLDG) 30.2' (COTTAGE)
REAR:	40 FT.	114.9' (MAIN BLDG) 58.0 (COTTAGE)

PERIMETER TO AREA RATIO: <0.08  
(PERIMETER)/(LOT AREA) < 0.08  
(2437.61 S.F.)/(335,291 S.F.) = 0.007

LOT COVERAGE ALLOWED:  
 BUILDING: 25% (83,822 S.F.)

LOT COVERAGE PROVIDED:  
 MAIN BUILDING: 64,369 S.F.  
 COTTAGES: 15,645 S.F.  
 ACCESSORY: 1,376 S.F.  
 TOTAL: 81,390 S.F. (24.3%)

PARKING SCHEDULE: (MAIN BUILDING)

REQUIRED: ONE (1) SPACES PER UNIT

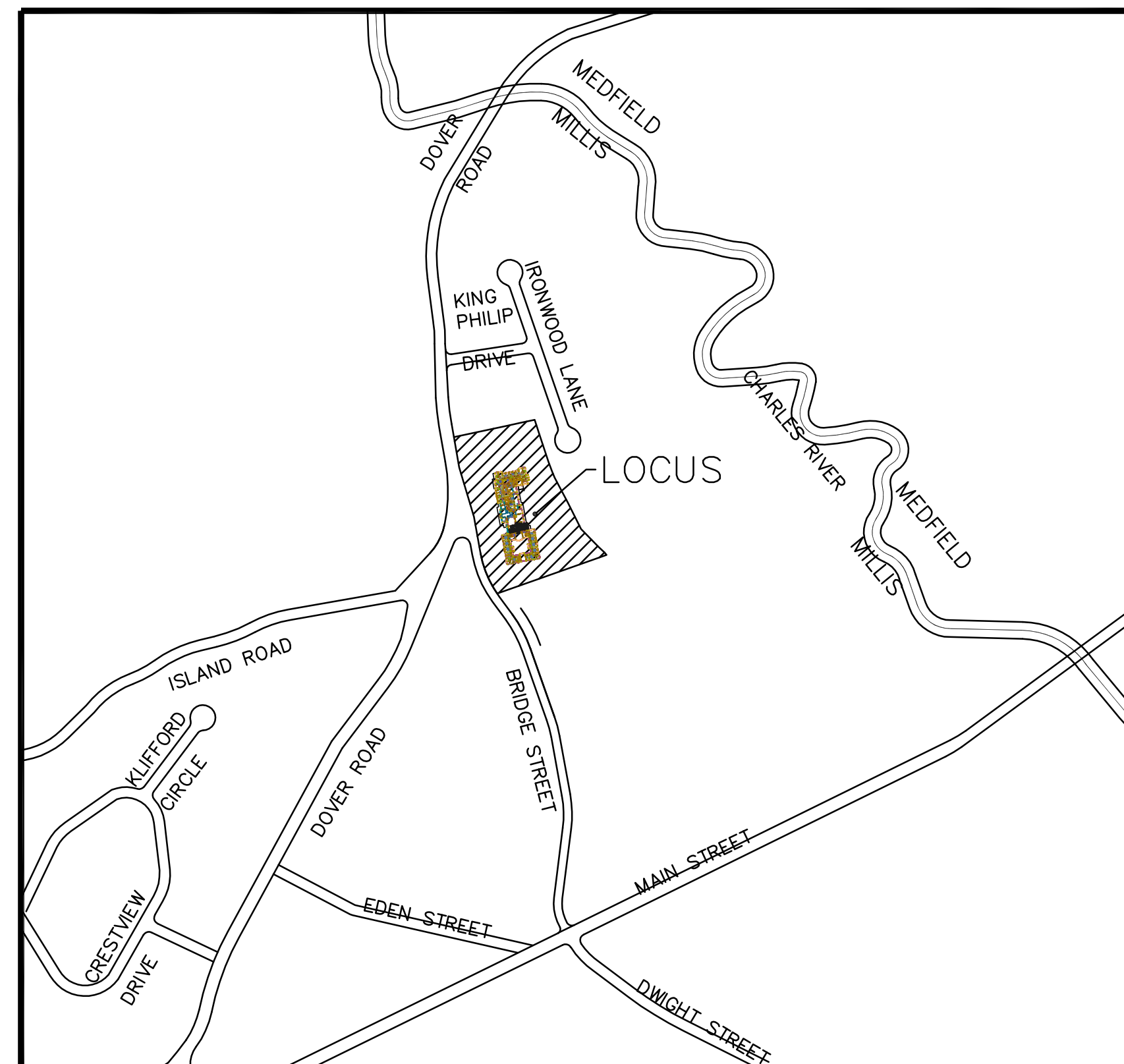
PROPOSED 93 UNITS

PARKING PROVIDED:  
 HANDICAP: 10 SPACES  
 STANDARD: 83 SPACES  
 TOTAL: 93 SPACES

ASSESSOR REFERENCE:  
 PARCEL C: MAP 18, PARCEL 4 - (PROJECT SITE)  
 PARCEL B: MAP 18, PARCEL 5 - (20' DRAIN EASEMENT)  
 PARCEL A: MAP 27, PARCEL 1 - (DRAIN EASEMENT RETENTION BASIN)

DEED REFERENCE:  
 BOOK 33928, PAGE 446  
 BOOK 33557, PAGE 308

PLAN REFERENCE:  
 NORFOLK COUNTY REGISTRY OF DEEDS  
 PLAN FILED AS BOOK 647, PAGE 42  
 PLAN No. 755 OF 1977, PL. BK. 262  
 PLAN No. 841 OF 1956, BK 3483, PG 250



**PREPARED BY:**

**GLM ENGINEERING**  
 CONSULTANTS, INC.  
 19 EXCHANGE STREET  
 HOLLISTON, MASSACHUSETTS 01746  
 (508)429-1100 fax:(508)429-7160

**OWNER:**

DOVER ROAD LLC  
 34 BRIDGE STREET  
 MILLIS, MASSACHUSETTS 02054

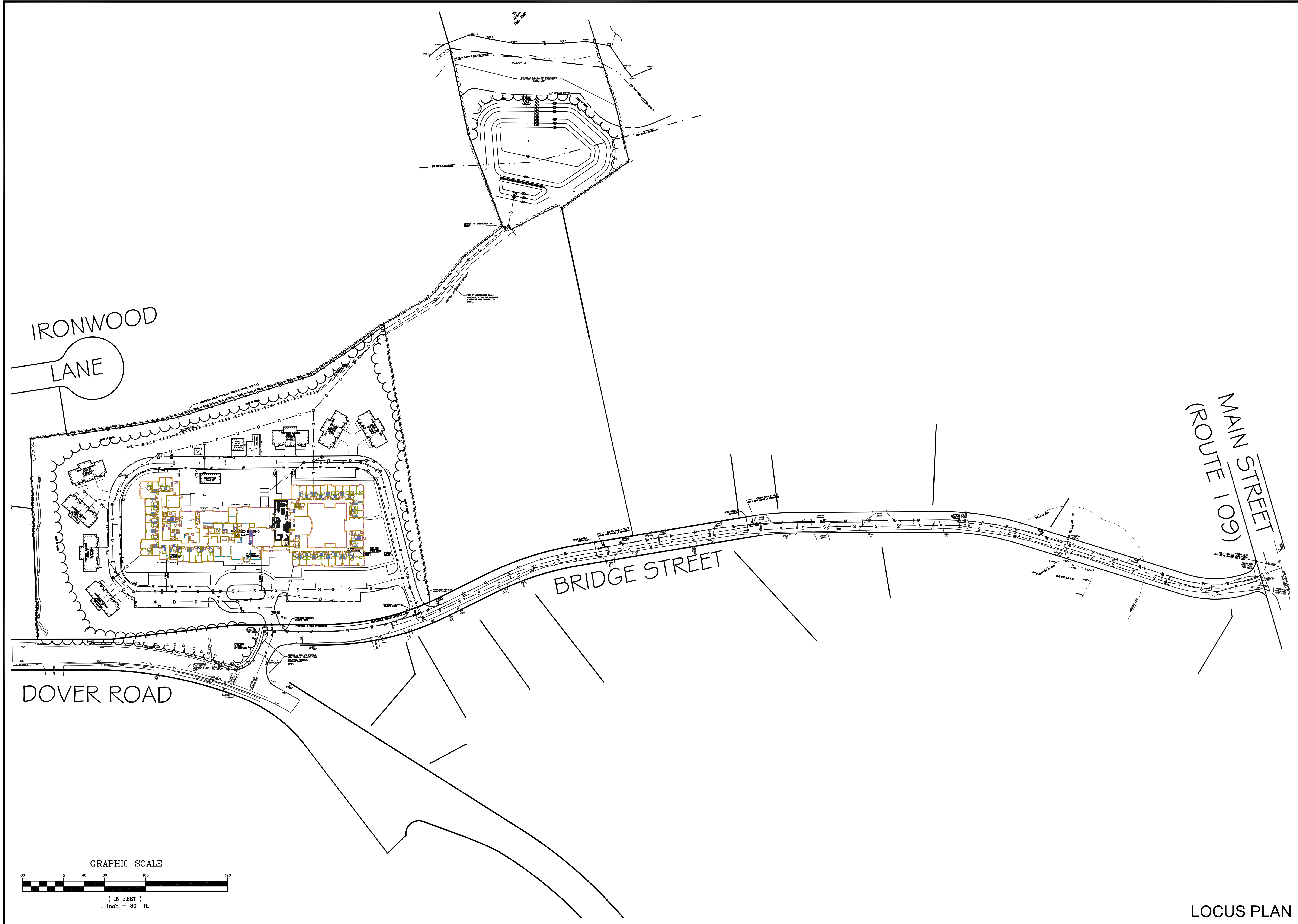
**APPLICANT:**

BARBERRY HOMES, LLC  
 10 SPEEN STREET, 4TH FLOOR  
 FRAMINGHAM, MASSACHUSETTS 01701

**SHEET INDEX**

SHEET NO.	DESCRIPTION
C-1	COVER SHEET
C-2	LOCUS PLAN
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C-4	EXISTING CONDITIONS-2
C-5	LAYOUT
C-6A	DRAINAGE & UTILITIES-1
C-6B	GRADING, DRAINAGE & UTILITIES-1
C-7	GRADING, DRAINAGE & UTILITIES-2
C-8	SEWER & WATER EXTENSION-1
C-9	SEWER & WATER EXTENSION-2
C-10	EROSION CONTROL-1
C-11	EROSION CONTROL-2
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C-14	SITE DETAILS 3
C-15	SITE DETAILS 4
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T0.00	SITE PLAN & ELEVATION
A1.00	BASEMENT & COTTAGE PLAN
A1.01	FIRST FLOOR PLAN
A1.02	SECOND FLOOR PLAN
A2.00	WEST ELEVATION
A2.01	SOUTH & NORTH ELEVATIONS
A2.02	EAST ELEVATIONS
A3.00	PERSPECTIVE VIEW
A4.00	BUILDING SECTION
E1.00	GROUND FLOOR PHOTOMETRICS PLAN
E2.00	FIRST FLOOR PHOTOMETRICS PLAN



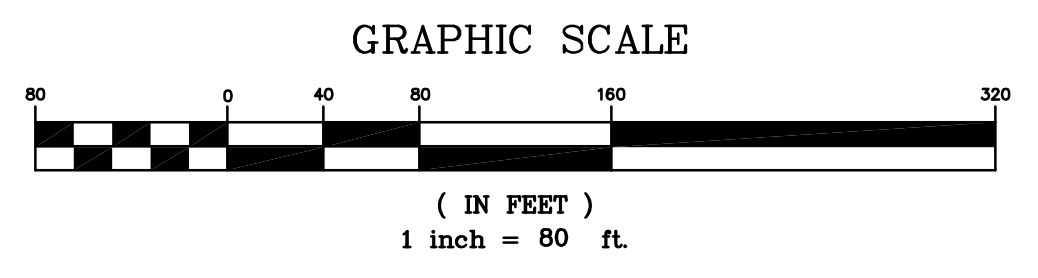


IRONWOOD  
LANE

DOVER ROAD

BRIDGE STREET

MAIN STREET  
(ROUTE 109)



LOCUS PLAN

REVISIONS	
No.	DATE
9	01/19/20

No.	DATE	DESCRIPTION
1	05/10/16	BETA COMMENTS
2	06/08/16	BETA COMMENTS
3	11/26/16	B.O.H. Comments
4	12/21/16	REVIEW COMMENTS
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8	08/22/17	CONSTRUCTION BID

"THE DOVER ROAD RESIDENCES"  
BRIDGE STREET  
MILLIS, MASSACHUSETTS

PREPARED FOR:  
BARBERRY HOMES  
10 SPEEN STREET  
FRAMINGHAM, MA

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F: 508-429-7160  
www.GLMengineering.com

DRW.:	15664-Site Plan
JOB No.	15664
DATE:	03/07/16
SCALE:	1"=80'
SHEET:	C-2
PLAN #:	27,016



IRONWOOD LANE

N/F  
MATTHEW & JESSICA KEPPLER  
6 IRONWOOD LANE

N/F  
SUSAN H. STEELE  
4 IRONWOOD LANE

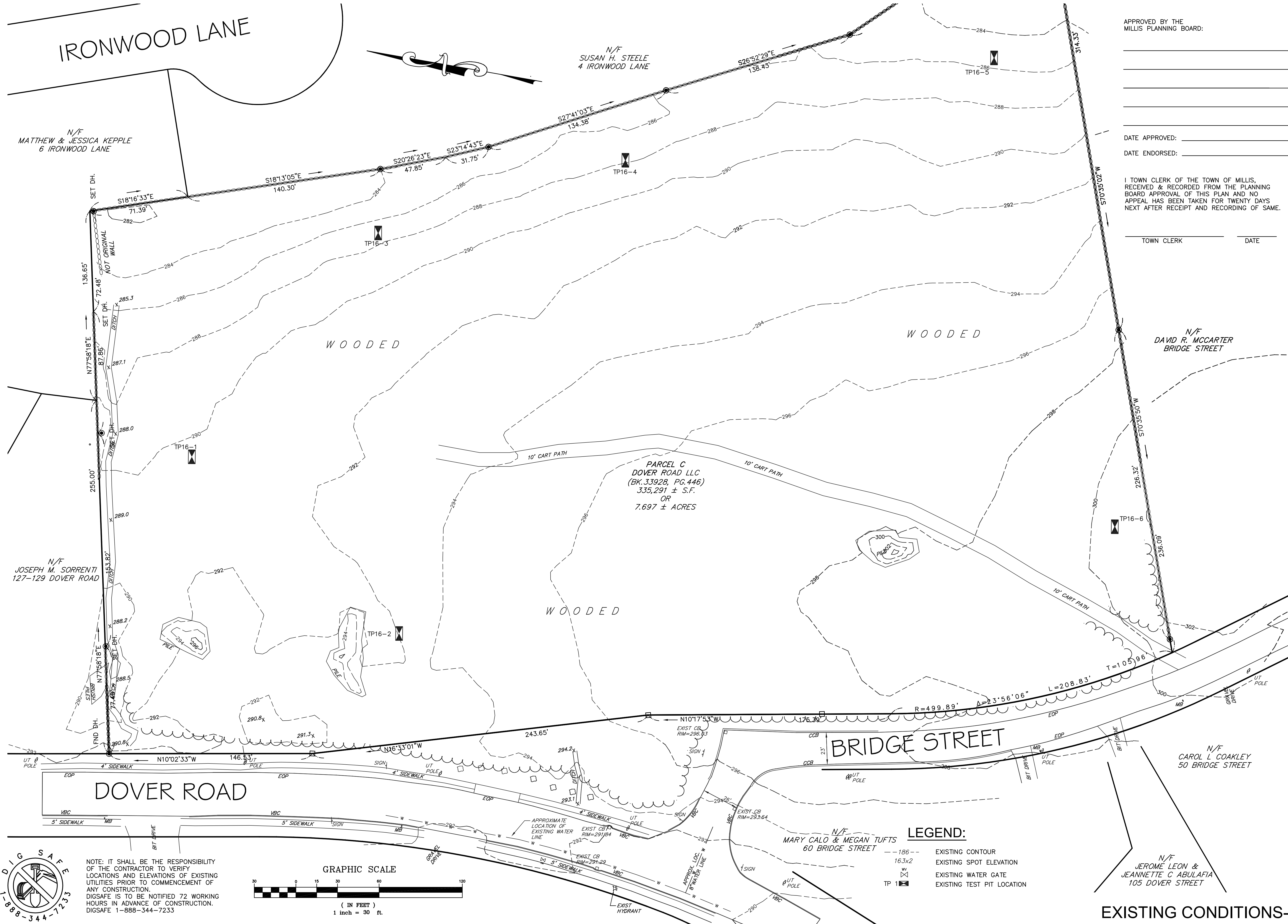
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DRW.:	15664-Site Plan
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SHEET:	C-3
PLAN #:	27,016

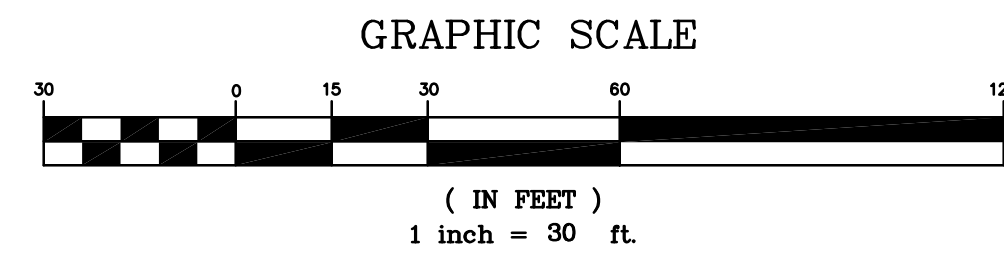
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No.	DESCRIPTION
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3	B.O.H. Comments
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EXISTING CONDITIONS-2



NOTE: IT SHALL BE THE RESPONSIBILITY  
OF THE CONTRACTOR TO VERIFY  
LOCATIONS AND ELEVATIONS OF EXISTING  
UTILITIES PRIOR TO COMMENCEMENT OF  
ANY CONSTRUCTION.  
DIGSAFE IS TO BE NOTIFIED 72 WORKING  
HOURS IN ADVANCE OF CONSTRUCTION.  
DIGSAFE 1-888-344-7233

REVISIONS	No.	DATE	DESCRIPTION
	9	01/18/18	CONSTRUCTION DOCUMENTS

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DRW.: 15664-Site Plan  
JOB No. 15664  
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SHEET: C-4  
PLAN #: 27,016







IRONWOOD LANE

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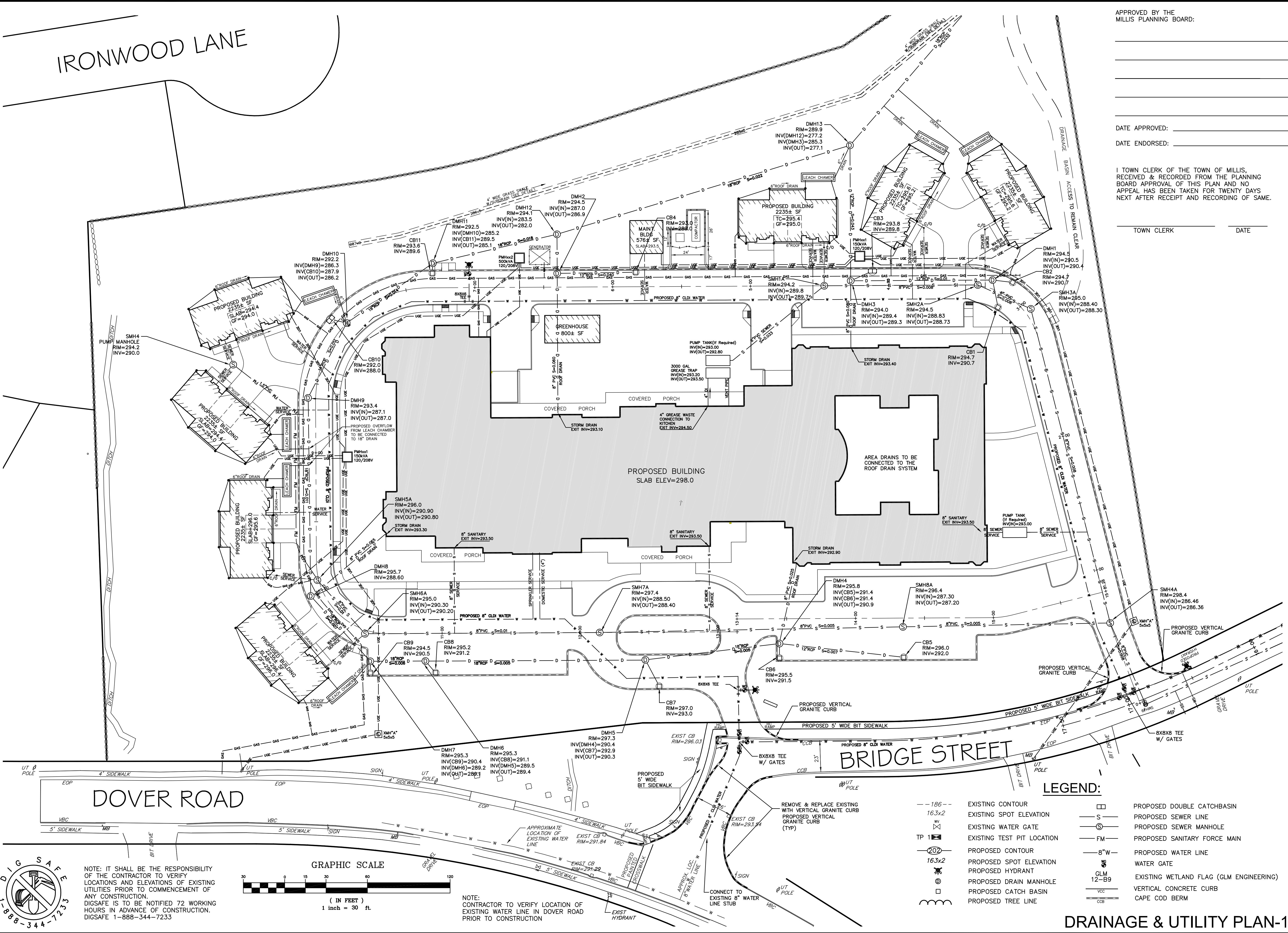
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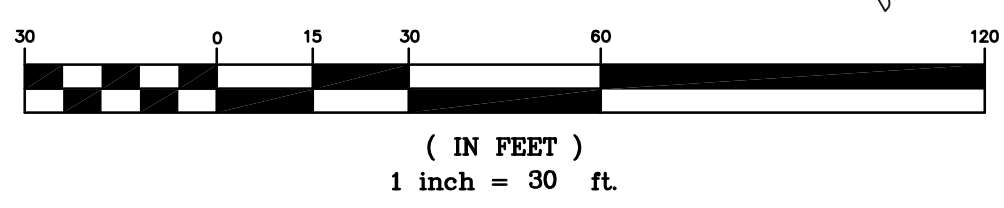
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DATE:	03/07/16
SCALE:	1"=30'
SHEET:	C-6A
PLAN #:	27,016

LEGEND:

- 186 --- EXISTING CONTOUR
- 16.3x2 EXISTING SPOT ELEVATION
- WV EXISTING WATER GATE
- TP 1 EXISTING TEST PIT LOCATION
- 202 PROPOSED CONTOUR
- 16.3x2 PROPOSED SPOT ELEVATION
- PROPOSED HYDRANT
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED TREE LINE
- PROPOSED DOUBLE CATCHBASIN
- S — PROPOSED SEWER LINE
- ⊙ PROPOSED SEWER MANHOLE
- FM — PROPOSED SANITARY FORCE MAIN
- 8" W — PROPOSED WATER LINE
- WATER GATE
- GLM 12-B9 EXISTING WETLAND FLAG (GLM ENGINEERING)
- VCC VERTICAL CONCRETE CURB
- CCB CAPE COD BERM

GRAPHIC SCALE



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DIGSAFE 1-888-344-7233

NOTE: CONTRACTOR TO VERIFY LOCATION OF  
EXISTING WATER LINE IN DOVER ROAD  
PRIOR TO CONSTRUCTION

DRAINAGE & UTILITY PLAN-1



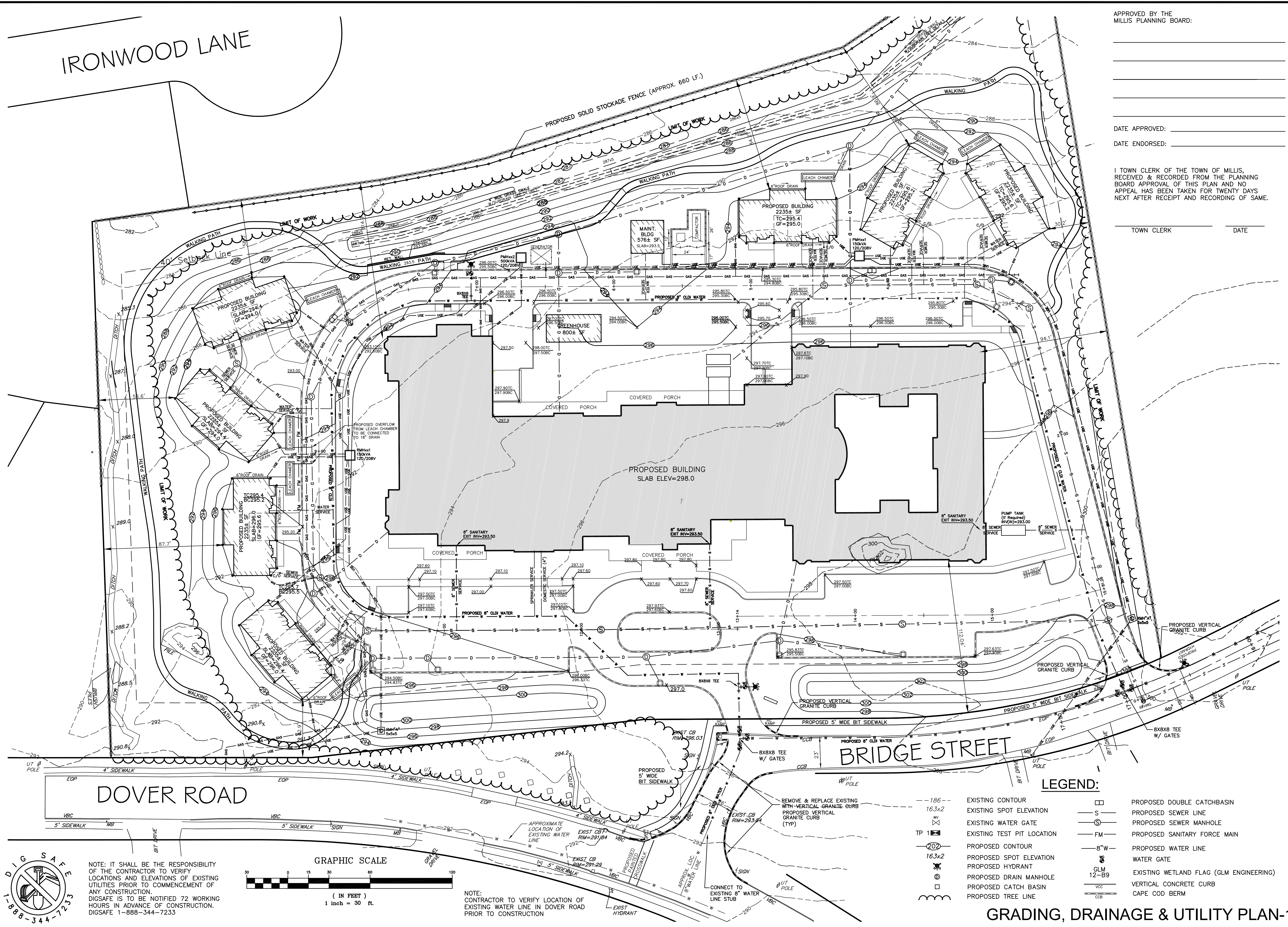
IRONWOOD LANE

APPROVED BY THE  
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**"THE DOVER ROAD RESIDENCES"**  
**BRIDGE STREET**  
**MILLIS, MASSACHUSETTS**

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SCALE: 1"=30'  
SHEET: C-6B  
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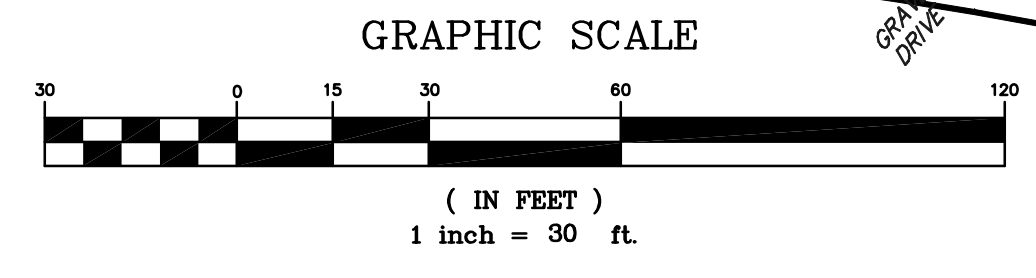
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- VCC VERTICAL CONCRETE CURB
- CCB CAPE COD BERM

**GRADING, DRAINAGE & UTILITY PLAN-1**



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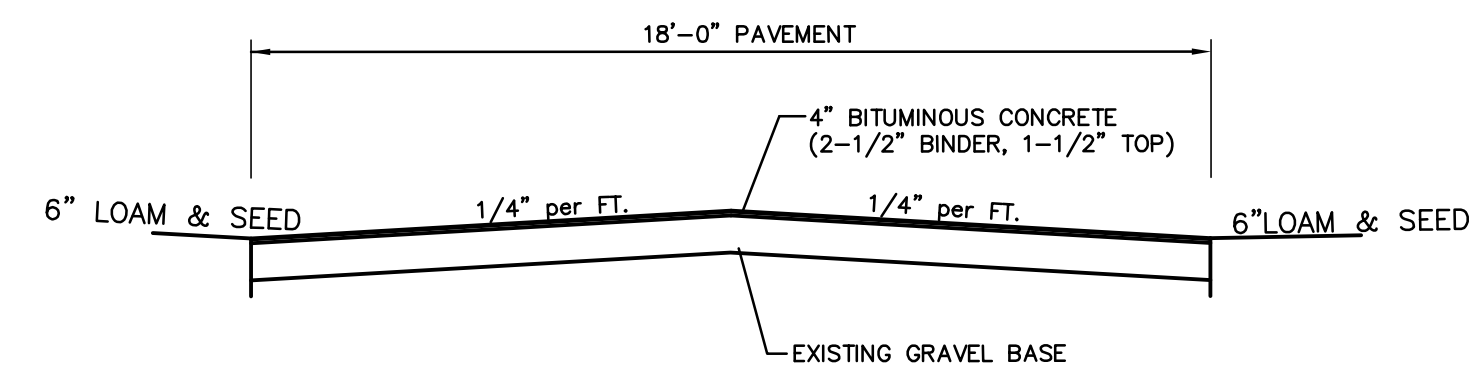


NOTE: CONTRACTOR TO VERIFY LOCATION OF EXISTING WATER LINE IN DOVER ROAD PRIOR TO CONSTRUCTION

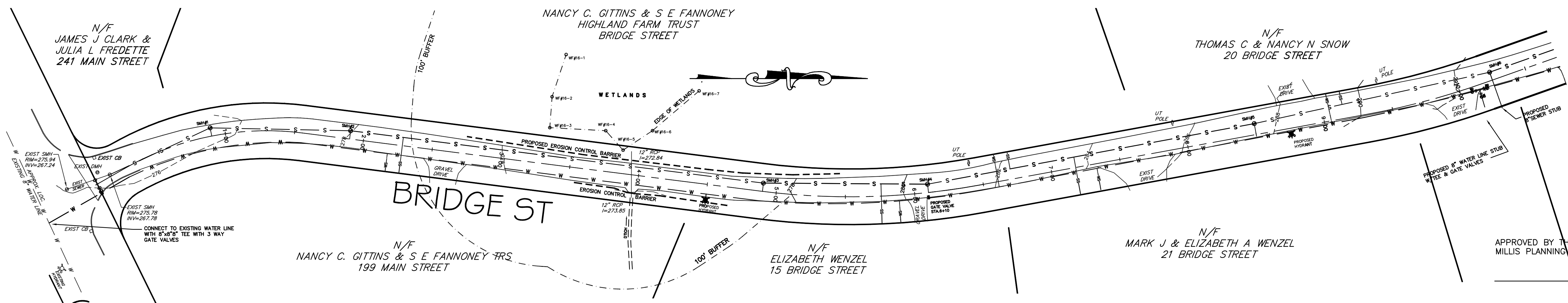








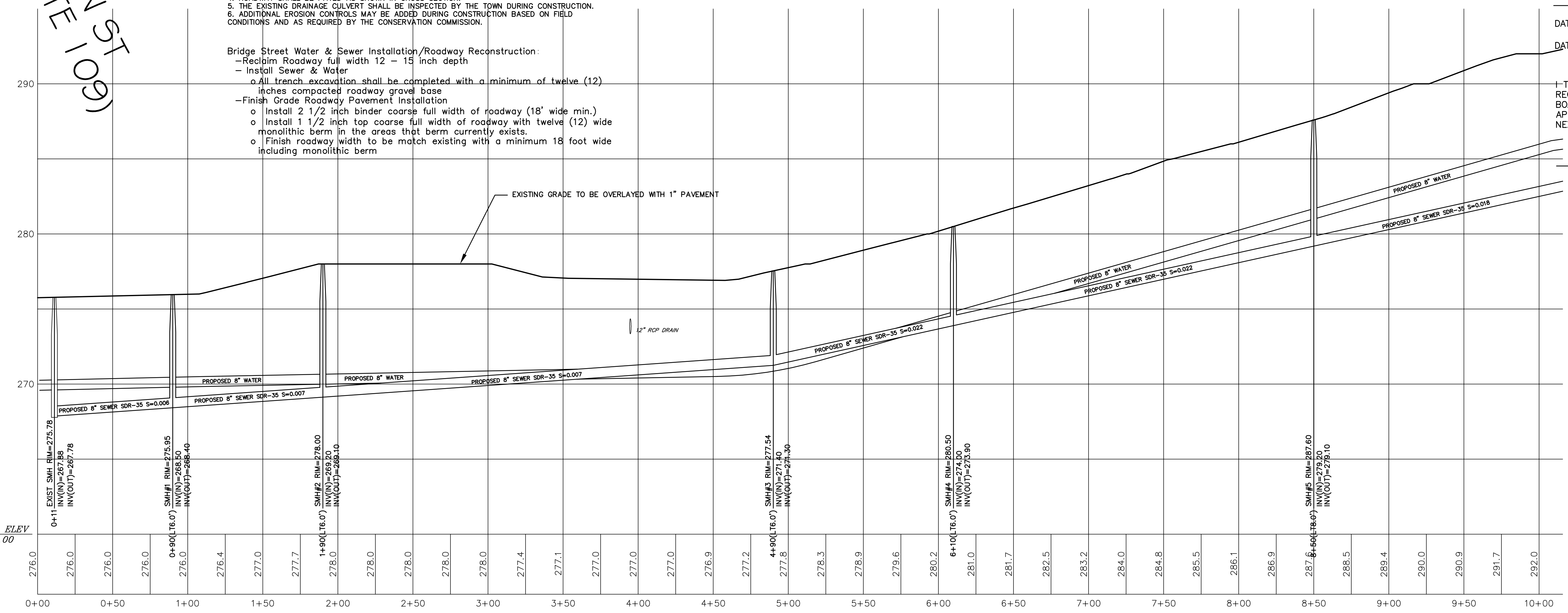
**BRIDGE STREET CROSS SECTION**  
NOT TO SCALE



**GENERAL NOTES:**

1. PRIOR TO WORK COMMENCING SILT SACKS SHALL BE INSTALLED IN THE EXISTING CATCH BASINS LOCATED AT THE INTERSECTION OF BRIDGE AND MAIN STREET. (SEE DETAIL)
2. BRIDGE STREET SHALL BE RECONSTRUCTED ONCE ALL UTILITY INSTALLATION IS COMPLETE.
3. THE EXISTING PAVEMENT WIDTH IS 18 FEET WIDE. THE ROADWAY SHALL BE REPAVED FOR THE ENTIRE WIDTH AND MAINTAIN THE EXISTING GRAVEL BASE.
4. ROADWAY SHALL BE PAVED AS SHOWN IN CROSS SECTION.
5. THE EXISTING DRAINAGE CULVERT SHALL BE INSPECTED BY THE TOWN DURING CONSTRUCTION.
6. ADDITIONAL EROSION CONTROLS MAY BE ADDED DURING CONSTRUCTION BASED ON FIELD CONDITIONS AND AS REQUIRED BY THE CONSERVATION COMMISSION.

- Bridge Street Water & Sewer Installation/Roadway Reconstruction:
- Reclaim Roadway full width 12 - 15 inch depth
  - Install Sewer & Water
    - o All trench excavation shall be completed with a minimum of twelve (12) inches compacted roadway gravel base
  - Finish Grade Roadway Pavement Installation
    - o Install 2 1/2 inch binder coarse full width of roadway (18' wide min.)
    - o Install 1 1/2 inch top coarse full width of roadway with twelve (12) wide monolithic berm in the areas that berm currently exists.
    - o Finish roadway width to be match existing with a minimum 18 foot wide including monolithic berm



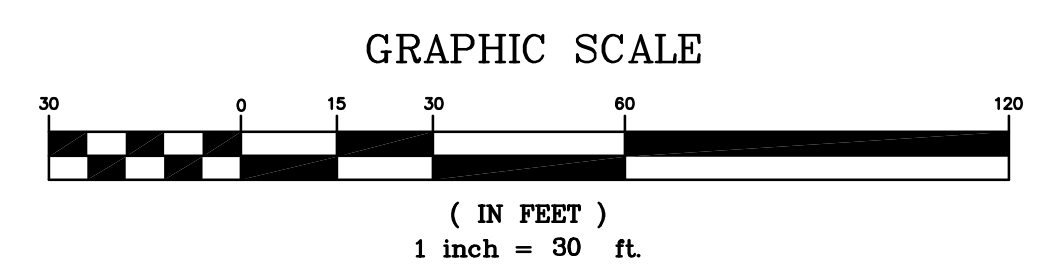
APPROVED BY THE  
MILLIS PLANNING BOARD:

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**BRIDGE STREET PLAN & PROFILE-1**



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DRW.: 15664-Site Plan

JOB No. 15664

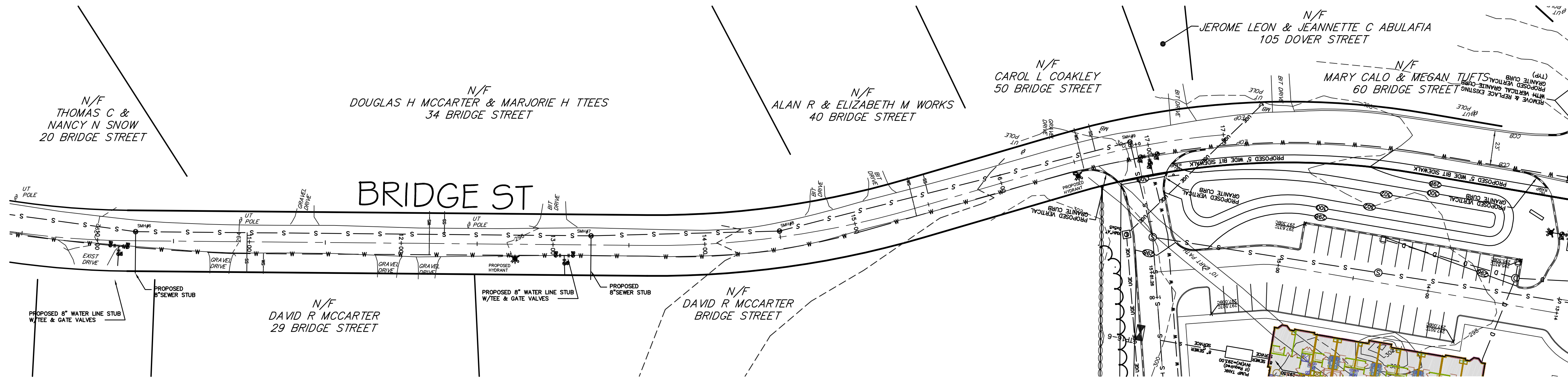
DATE: 03/07/16

SCALE: 1"=40'

SHEET: C-8

PLAN #: 27,016





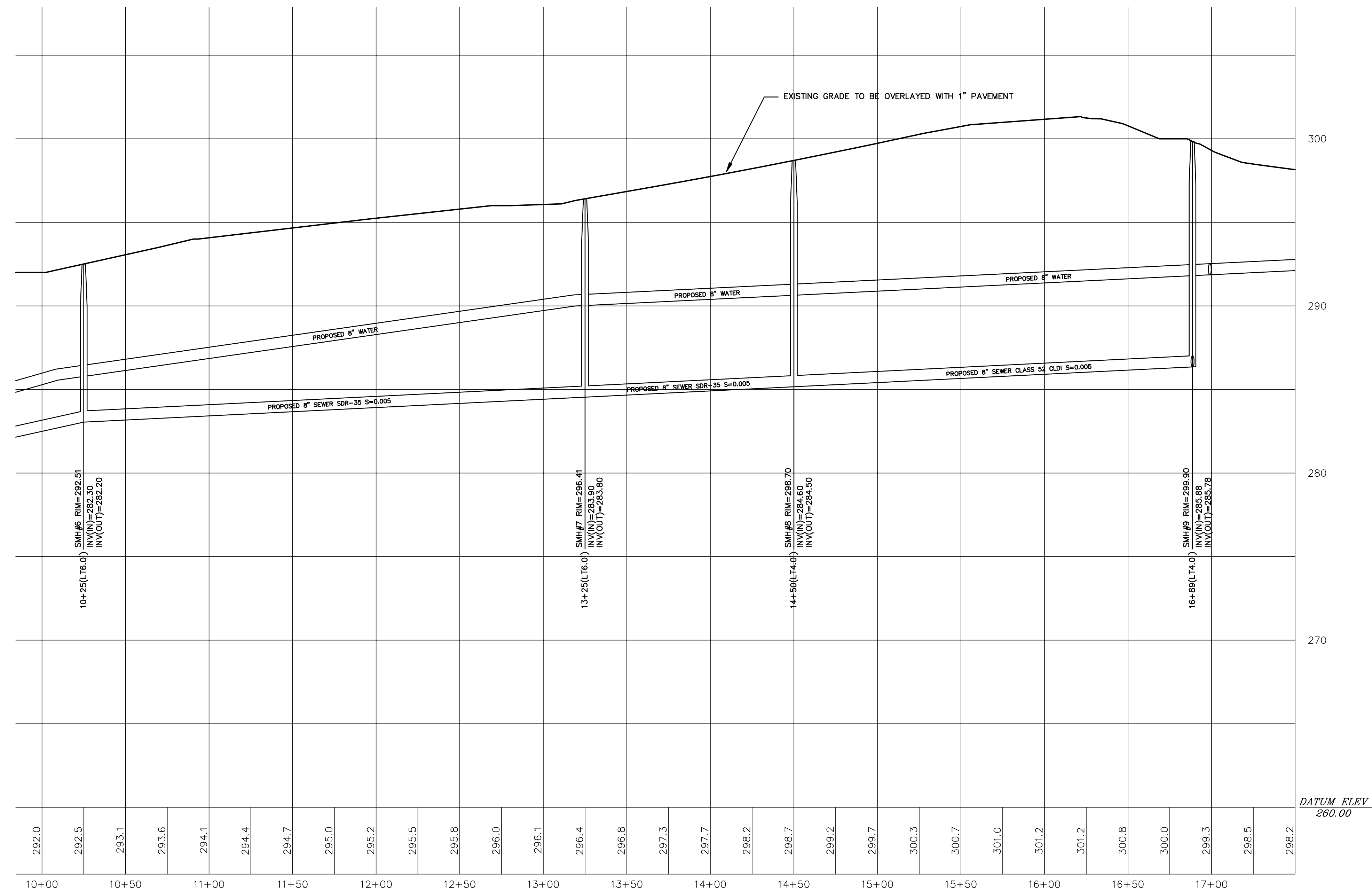
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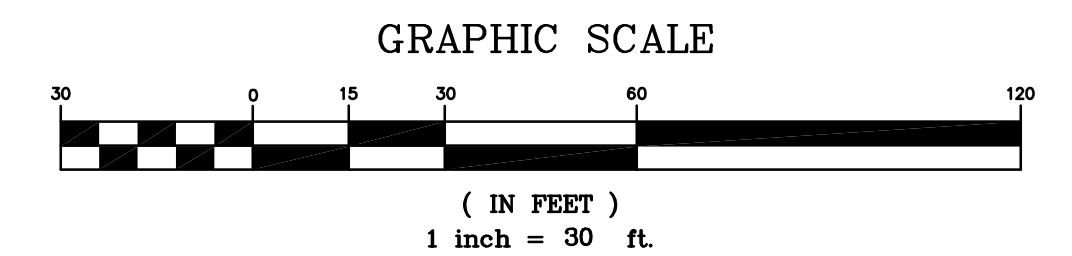


**GENERAL NOTES:**

1. PRIOR TO WORK COMMENCING SILT SACKS SHALL BE INSTALLED IN THE EXISTING CATCH BASINS LOCATED AT THE INTERSECTION OF BRIDGE AND MAIN STREET. (SEE DETAIL)
2. BRIDGE STREET SHALL BE RECONSTRUCTED ONCE ALL UTILITY INSTALLATION IS COMPLETE.
3. THE EXISTING PAVEMENT WIDTH IS 18 FEET WIDE. THE ROADWAY SHALL BE REPAVED FOR THE ENTIRE WIDTH AND MAINTAIN THE EXISTING GRAVEL BASE.
4. ROADWAY SHALL BE PAVED AS SHOWN IN CROSS SECTION.
5. THE EXISTING DRAINAGE CULVERT SHALL BE INSPECTED BY THE TOWN DURING CONSTRUCTION.
6. ADDITIONAL EROSION CONTROLS MAY BE ADDED DURING CONSTRUCTION BASED ON FIELD CONDITIONS AND AS REQUIRED BY THE CONSERVATION COMMISSION.

Bridge Street Water & Sewer Installation/Roadway Reconstruction

- Reclaim Roadway full width 12 - 15 inch depth
- Install Sewer & Water
  - o All trench excavation shall be completed with a minimum of twelve (12) inches compacted roadway gravel base
- Finish Grade Roadway Pavement Installation
  - o Install 2 1/2 inch binder coarse full width of roadway (18' wide min.)
  - o Install 1 1/2 inch top coarse full width of roadway with twelve (12) wide monolithic berm in the areas that berm currently exists.
  - o Finish roadway width to be match existing with a minimum 18 foot wide including monolithic berm



REVISIONS	
No.	DESCRIPTION
9	CONSTRUCTION DOCUMENTS

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7	01/31/17	DPW REVIEW COMMENTS
8	08/22/17	CONSTRUCTION BID

"THE DOVER ROAD RESIDENCES"  
BRIDGE STREET  
MILLIS, MASSACHUSETTS

PREPARED FOR:  
BARBERRY HOMES  
10 SPEEN STREET  
FRAMINGHAM, MA

PREPARED FOR:  
BARBERRY HOMES  
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FRAMINGHAM, MA

GLM Engineering Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

DRW:	15664-Site Plan
JOB No.	15664
DATE:	03/07/16
SCALE:	1"=40'
SHEET:	C-9
PLAN #:	27,016



NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIGSAFE 1-888-344-7233

**BRIDGE STREET PLAN & PROFILE-2**



IRONWOOD LANE

CONSTRUCT TEMPORARY DRAINAGE SWALE ALONG PROPOSED SWALE. WHEN THE SITE IS STABILIZED RECONSTRUCT SWALE PER FINAL PLAN AND DRAIN TRENCH DETAIL.

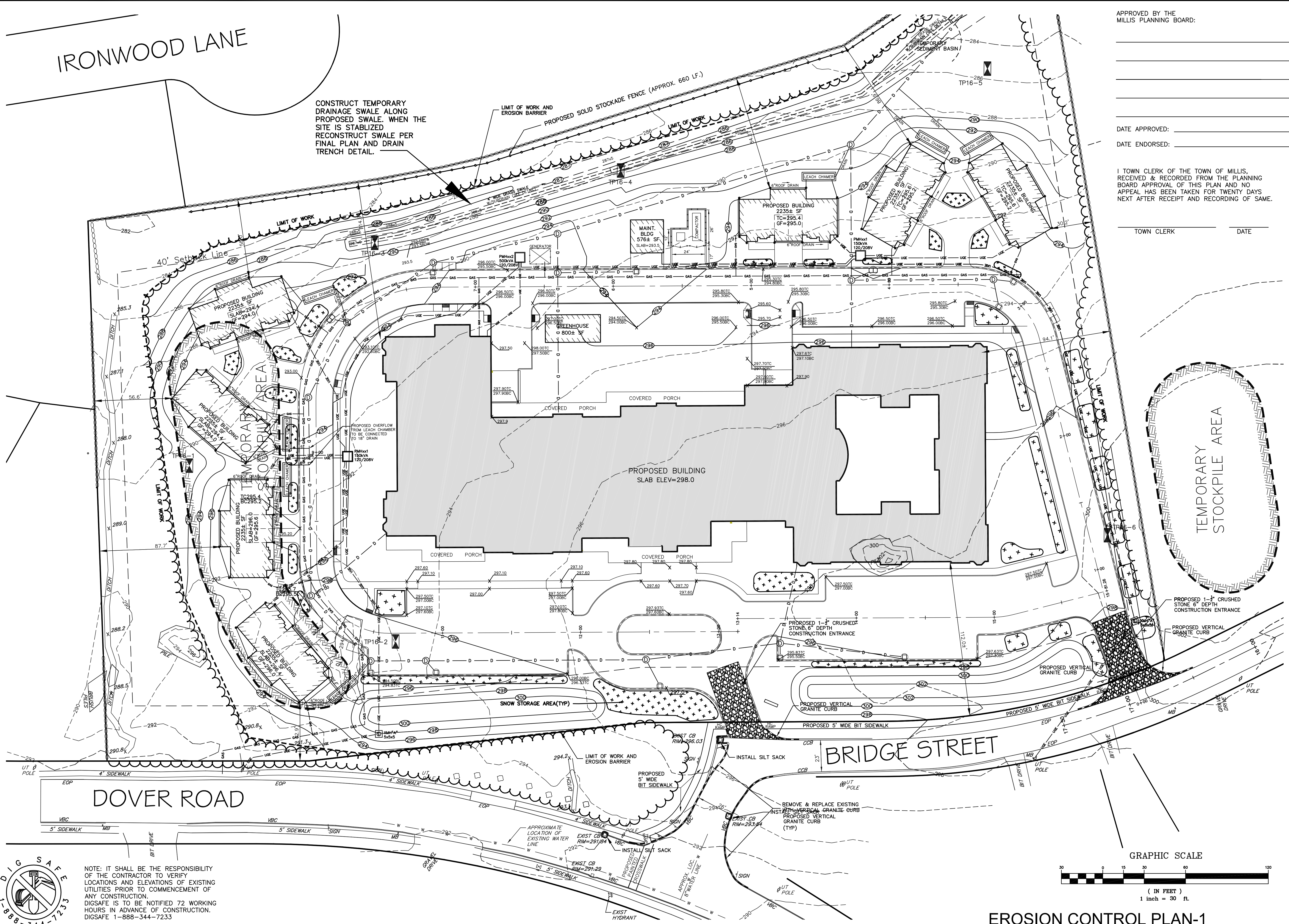
LIMIT OF WORK AND EROSION BARRIER PROPOSED SOLID STOCKADE FENCE (APPROX. 660 LF.)

APPROVED BY THE MILLIS PLANNING BOARD:

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

I TOWN CLERK OF THE TOWN OF MILLIS, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

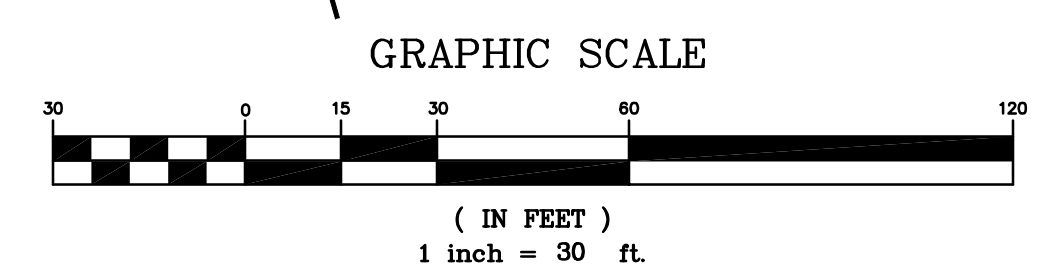
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



TEMPORARY STOCKPILE AREA

BRIDGE STREET

DOVER ROAD



EROSION CONTROL PLAN-1



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REVISIONS		DESCRIPTION
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DRW.:	15664-Site Plan
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SCALE:	1"=30'
SHEET:	C-10
PLAN #:	27,016



APPROVED BY THE  
MILLIS PLANNING BOARD:

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

I, TOWN CLERK OF THE TOWN OF MILLIS,  
RECEIVED & RECORDED FROM THE PLANNING  
BOARD APPROVAL OF THIS PLAN AND NO  
APPEAL HAS BEEN TAKEN FOR TWENTY DAYS  
NEXT AFTER RECEIPT AND RECORDING OF SAME.

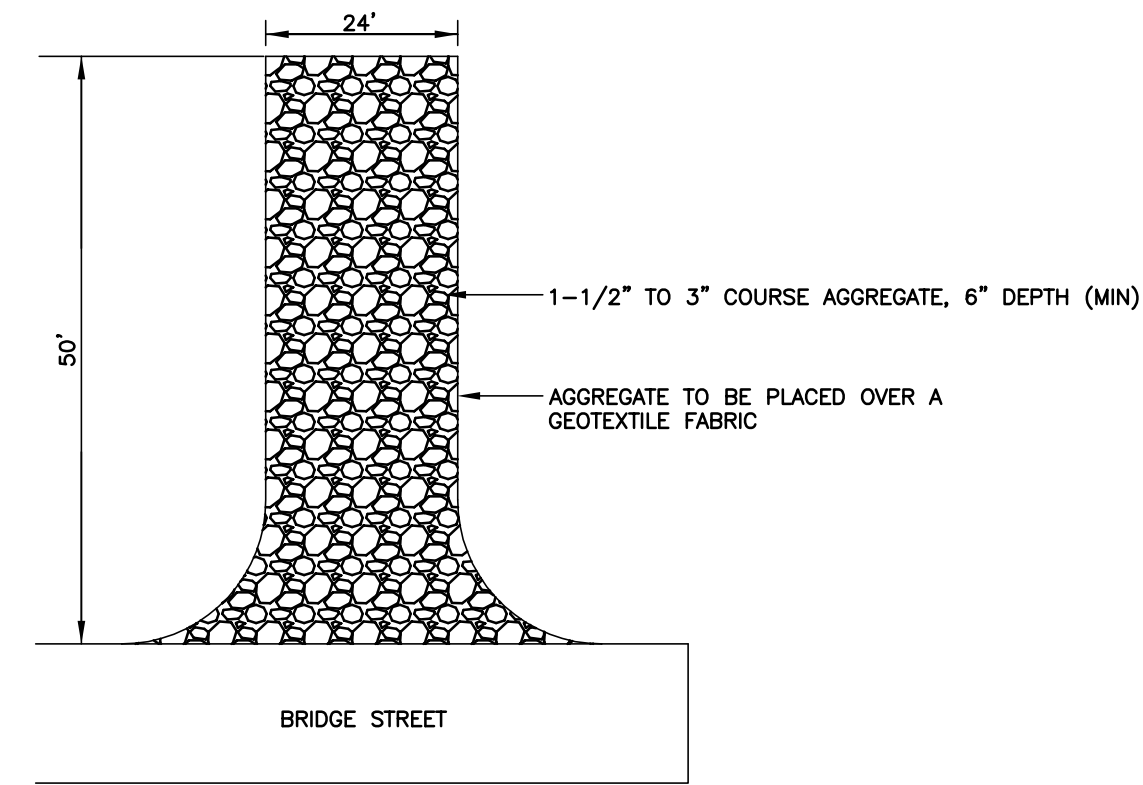
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

**EROSION CONTROL NOTES**

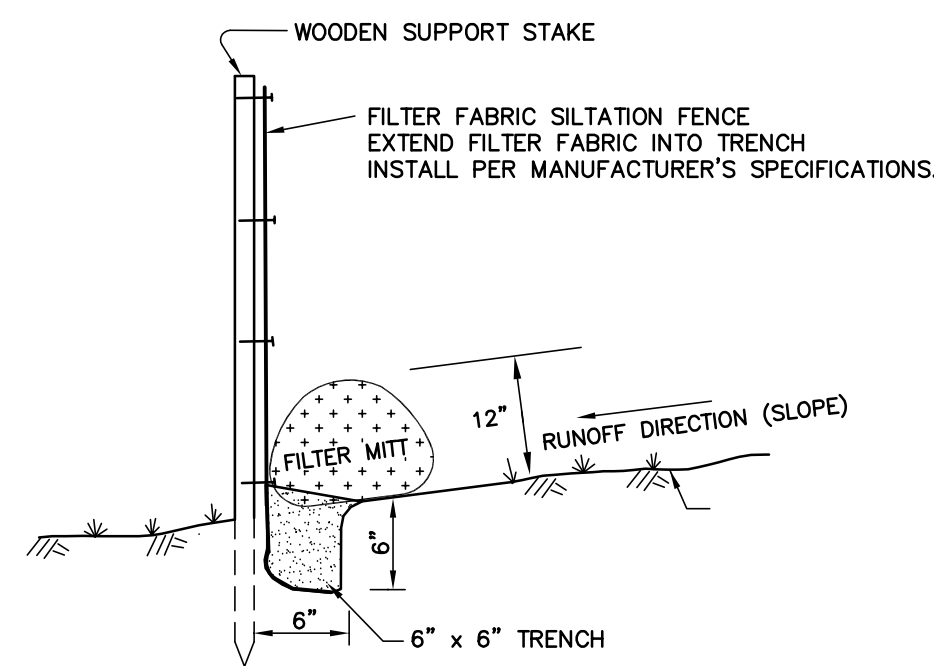
THE FOLLOWING EROSION CONTROL SPECIFICATIONS ARE IN EFFECT WHEN SITE ALTERATION WORK IS  
CONTEMPLATED TO PREVENT DOWN GRADIENT OR ADJACENT AREAS FROM BEING ADVERSELY IMPACTED.

1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE, THE FILTER MITT  
SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLAN.
2. BARRIERS SHALL BE CONSTRUCTED AS SHOWN ON THE FILTER MITT WITH SILT FENCE DETAIL ABOVE.
3. ONCE INSTALLED, THE FILTER MITT SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL  
AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON  
COMPLETION AND STABILIZATION OF THE PROJECT, THE FILTER MITT AND CONSTRUCTION FENCE SHALL  
BE REMOVED.
4. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES  
OR LANDSCAPE PLANTINGS ARE NOT PROPOSED SHALL BE LOAMED AND SEEDED. NO LESS THAN FOUR  
INCHES OF LOAM TOPSOIL SHALL BE SPREAD AND THE AREA SEEDED WITH CONSERVATION MIX.
5. ALL AREAS OUTSIDE THE LIMIT OF WORK ARE TO BE LEFT UNDISTURBED. DURING SITE WORK ALL  
PERSONS AND EQUIPMENT SHALL STAY OUTSIDE THESE AREAS TO PRESERVE THE EXISTING  
VEGETATION.
6. ALL SLOPES CAUSED BY EXCAVATION OF EXISTING GROUND, OR FILL OVER EXISTING GROUND TO  
CREATE BERMS OF EARTH MATERIALS OR RESULTING FROM RECONTOURING LAND FOR PROPOSED  
HOUSE LOCATIONS SHALL BE NO GREATER THAN 3:1, HORIZONTAL TO VERTICAL. THE TOE OF SLOPES  
IN FILL AREAS OR TOP OF SLOPE IN EXCAVATED AREAS SHALL BE NO CLOSER THAN 5 FEET FROM  
ADJACENT LOT LINES.
7. A COPY OF THE SWPPP SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND COMMENT PRIOR TO  
CONSTRUCTION.
8. THE INFILTRATION BASIN SHOULD NOT BE EXCAVATED TO WITHIN MORE THAN ONE (1) FOOT OF  
FINISHED GRADE UNTIL THE SITE IS STABILIZED WITH FINAL PLANTINGS AND PAVEMENT.

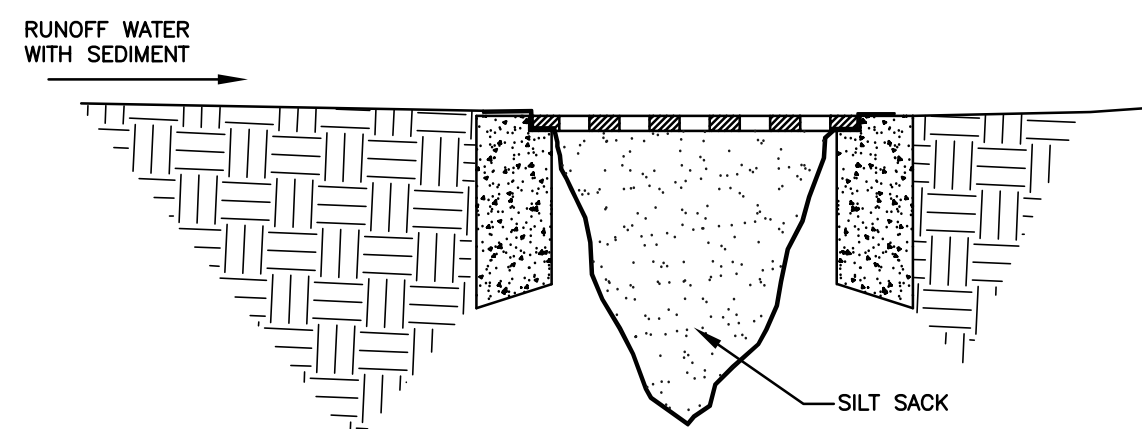
A MORE DETAILED SEDIMENT AND EROSION CONTROL PLAN WILL BE DEVELOPED AS PART OF THE  
NPDES STORMWATER POLLUTION PREVENTION PLAN.



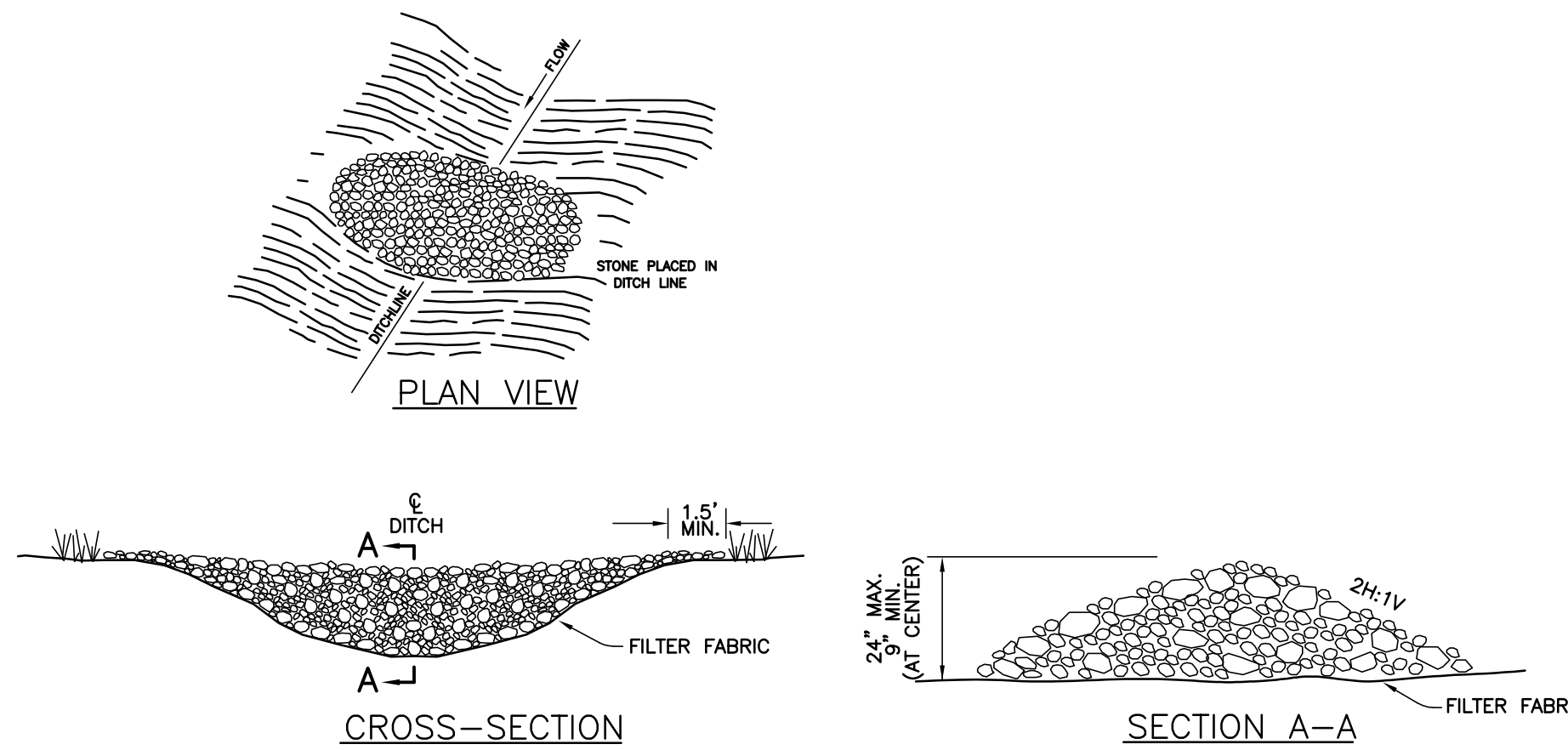
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



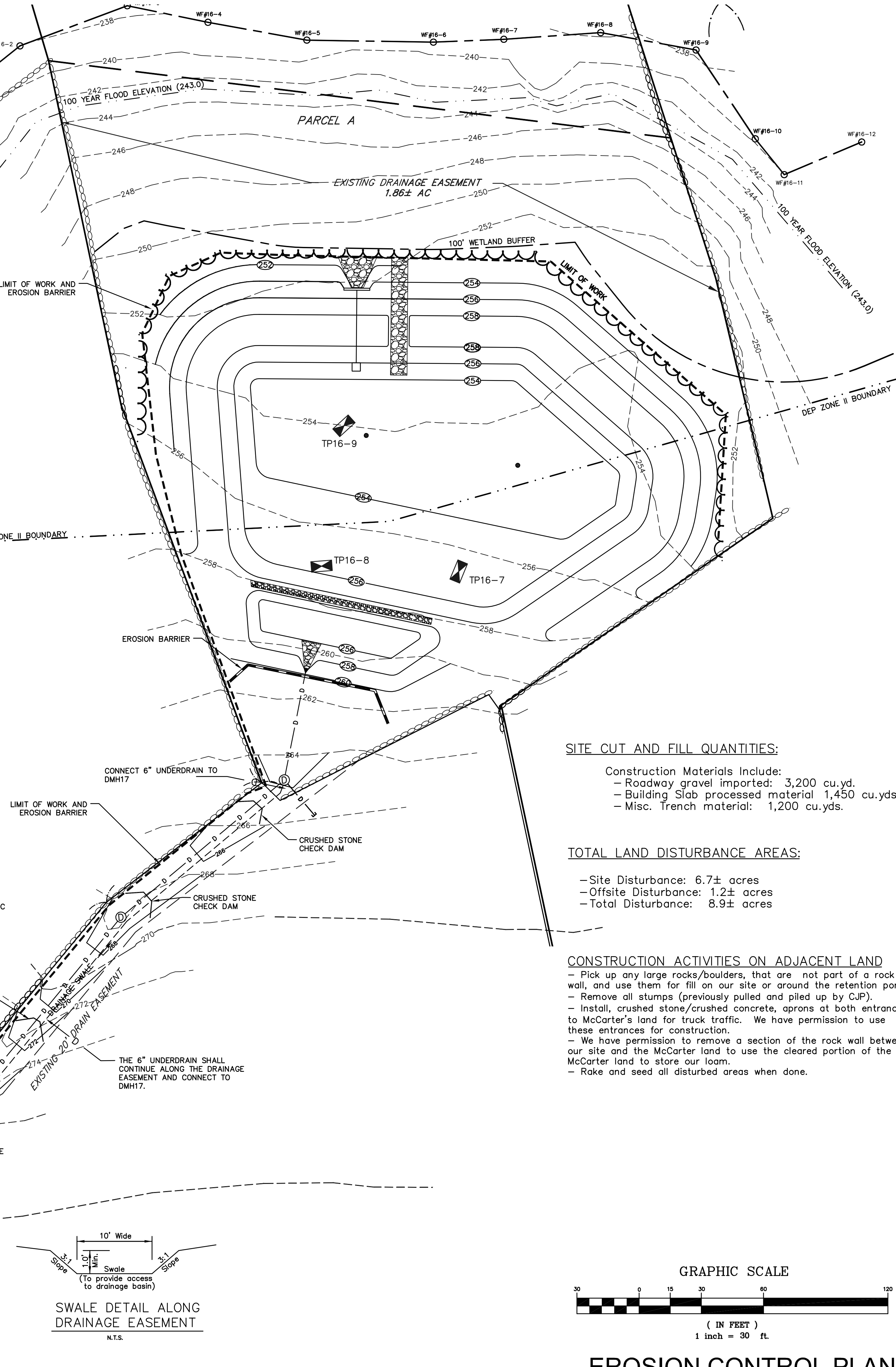
**FILTER MITT WITH  
CONSTRUCTION FENCE DETAIL**  
NOT TO SCALE



**SILT SACK CATCH BASIN INLET**  
NOT TO SCALE



**STONE CHECK DAM DETAIL**  
NOT TO SCALE



**SITE CUT AND FILL QUANTITIES:**

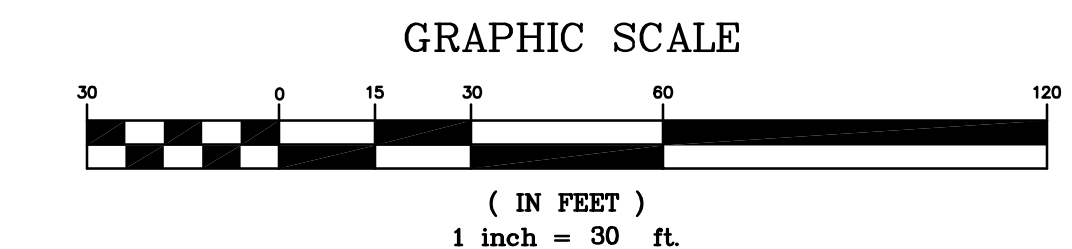
- Construction Materials Include:
- Roadway gravel imported: 3,200 cu.yd.
  - Building Slab processed material 1,450 cu.yds.
  - Misc. Trench material: 1,200 cu.yds.

**TOTAL LAND DISTURBANCE AREAS:**

- Site Disturbance: 6.7± acres
- Offsite Disturbance: 1.2± acres
- Total Disturbance: 8.9± acres

**CONSTRUCTION ACTIVITIES ON ADJACENT LAND**

- Pick up any large rocks/boulders, that are not part of a rock wall, and use them for fill on our site or around the retention pond.
- Remove all stumps (previously pulled and piled up by CJP).
- Install, crushed stone/crushed concrete, aprons at both entrances to McCarter's land for truck traffic. We have permission to use these entrances for construction.
- We have permission to remove a section of the rock wall between our site and the McCarter land to use the cleared portion of the McCarter land to store our loam.
- Rake and seed all disturbed areas when done.



**EROSION CONTROL PLAN-2**



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DIGSAFE 1-888-344-7233

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DRW.: 15664-Site Plan

JOB No. 15664

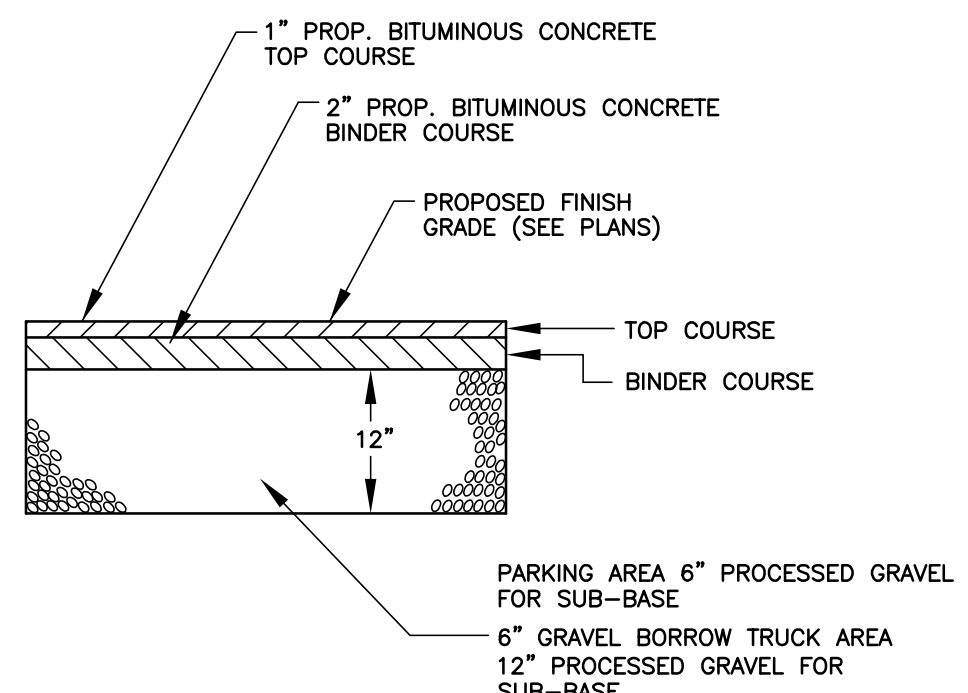
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SCALE: 1"=30'

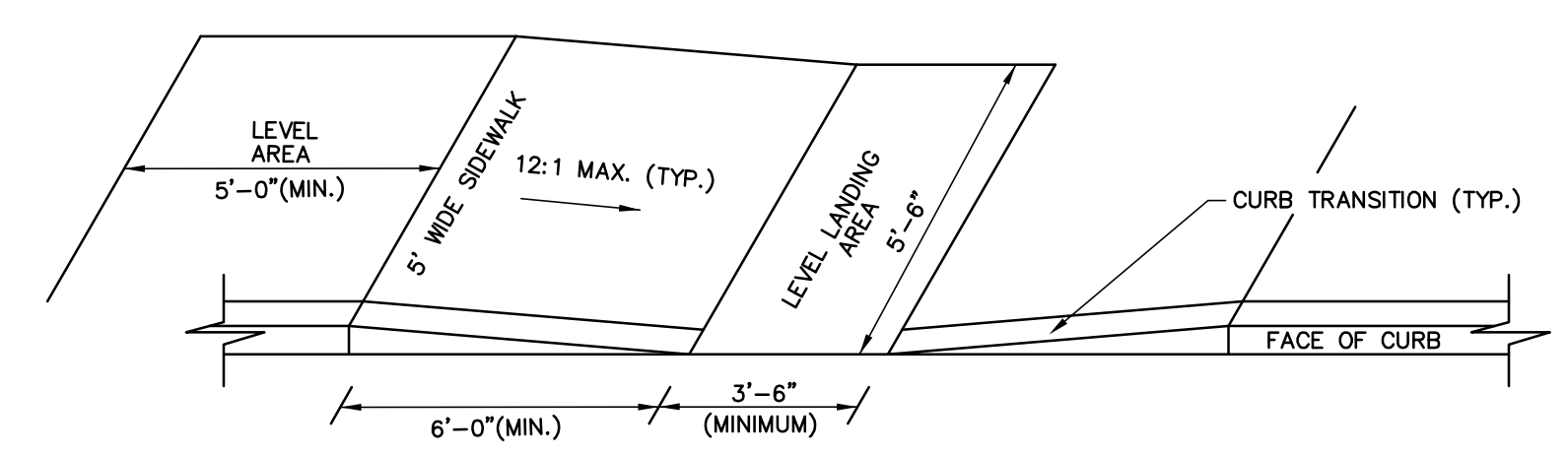
SHEET: C-11

PLAN #: 27,016

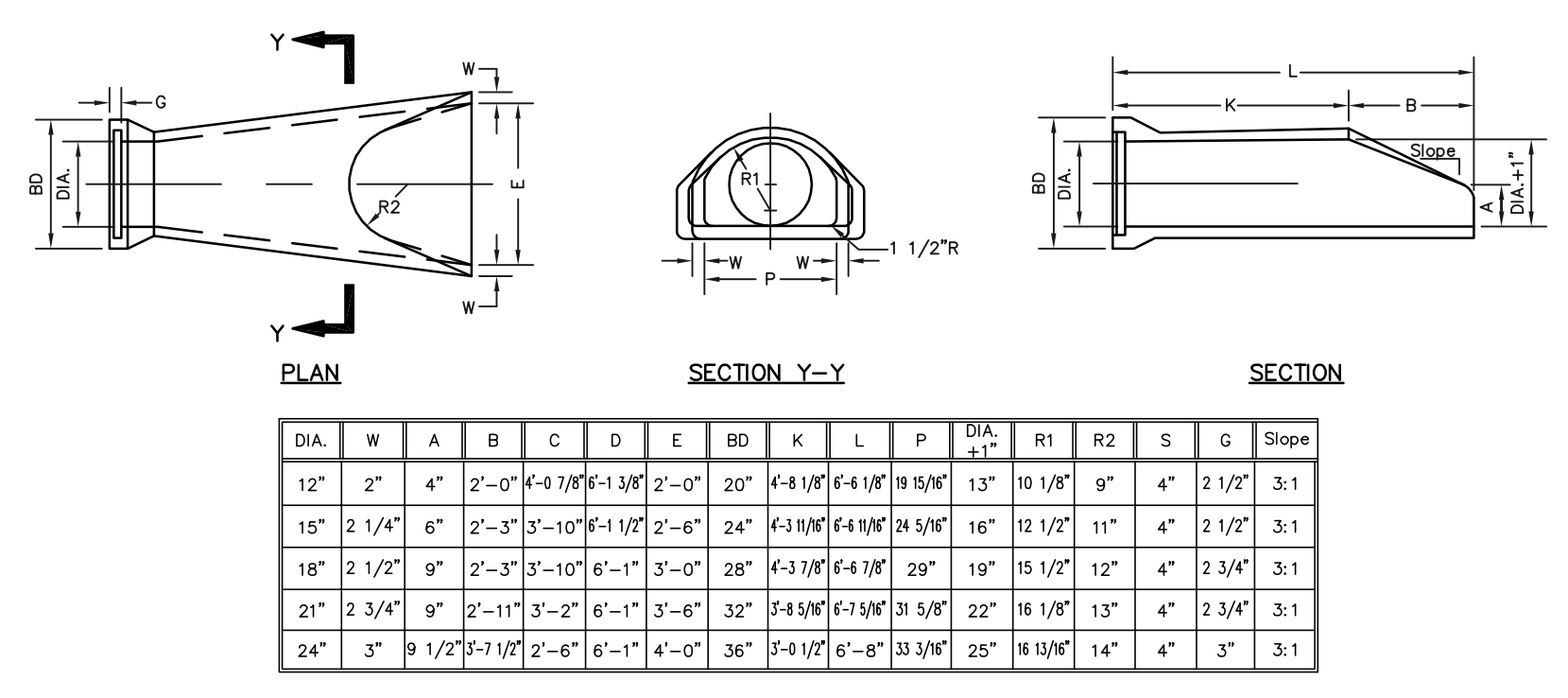




**PAVEMENT SECTION**  
NOT TO SCALE



**HANDICAP SIDEWALK RAMP**  
NOT TO SCALE



**R.C.P. FLARED END SECTION DETAILS**  
NOT TO SCALE

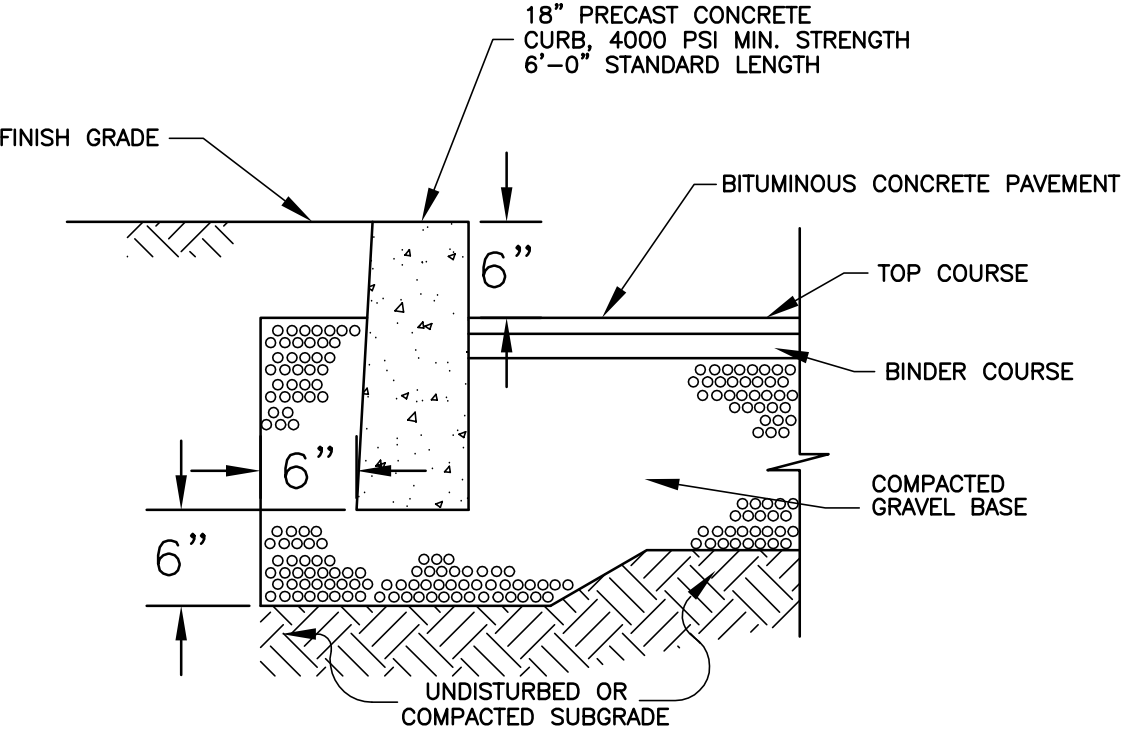
APPROVED BY THE MILLIS PLANNING BOARD:

DATE APPROVED: \_\_\_\_\_

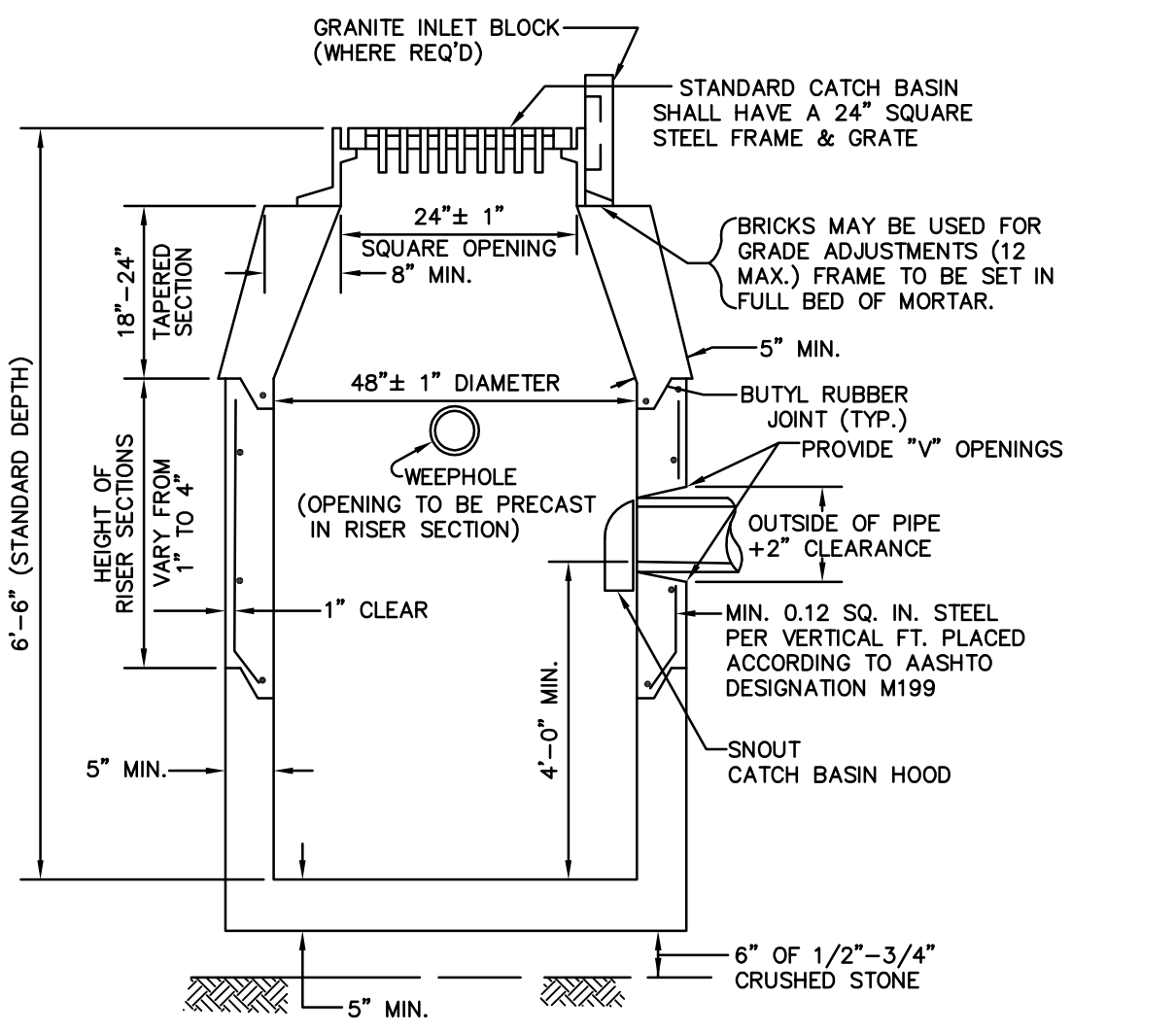
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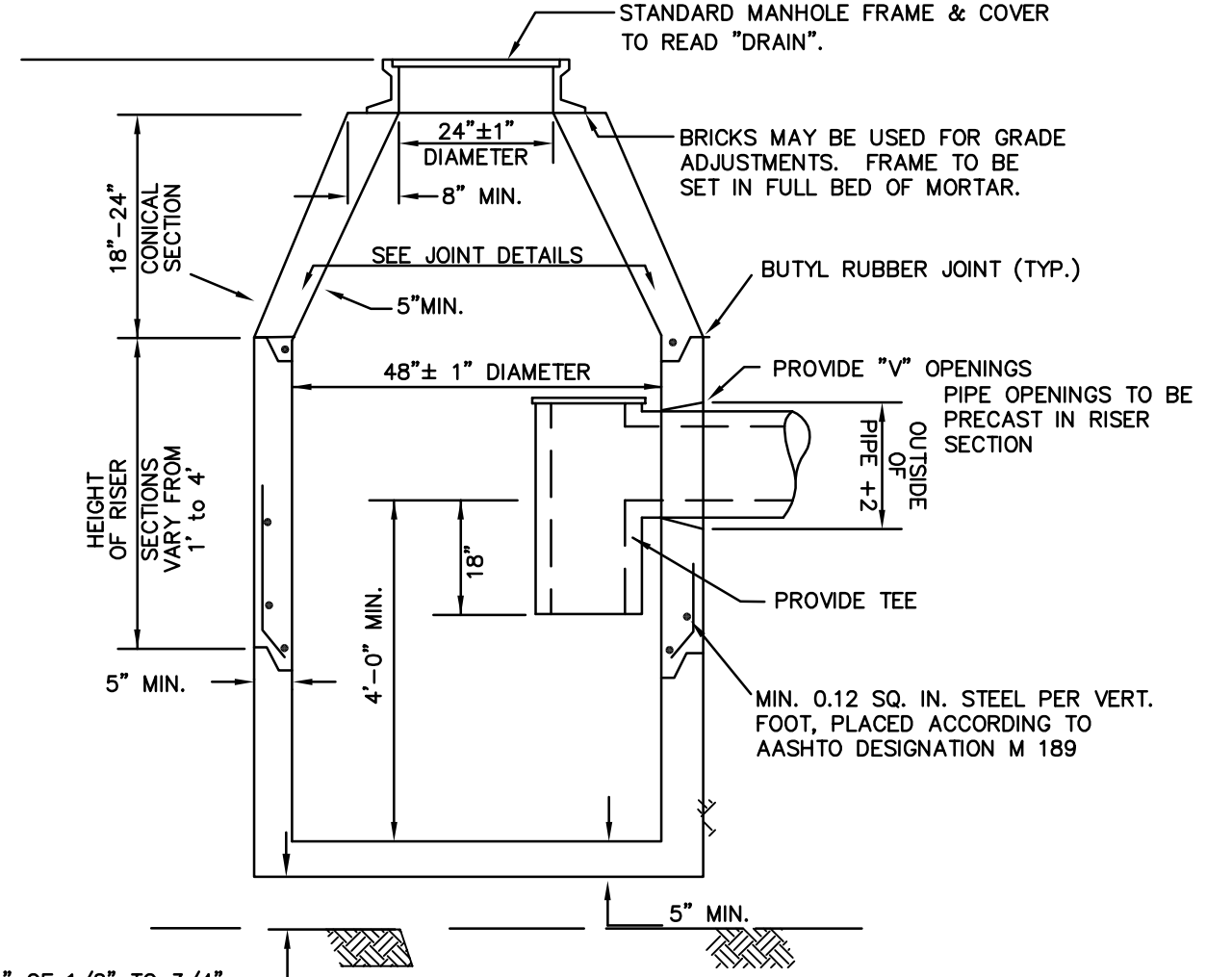
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_



**PRECAST CONCRETE CURB**  
NOT TO SCALE

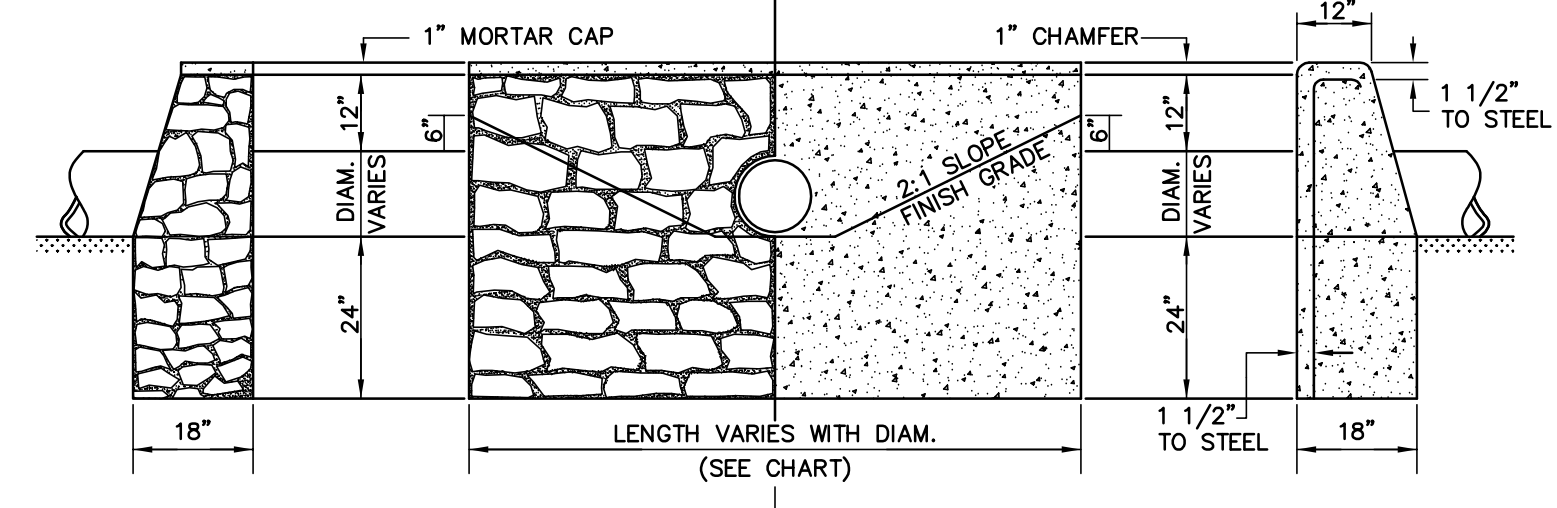


**PRECAST CONCRETE CATCH BASIN DETAIL**  
NOT TO SCALE

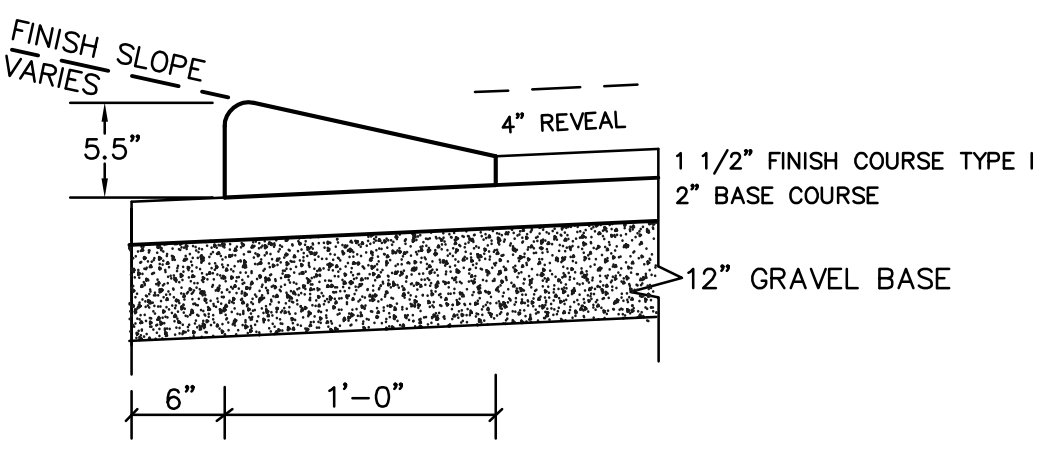


**PRECAST DEEP-SUMP CONCRETE MANHOLE DETAIL**  
NOT TO SCALE

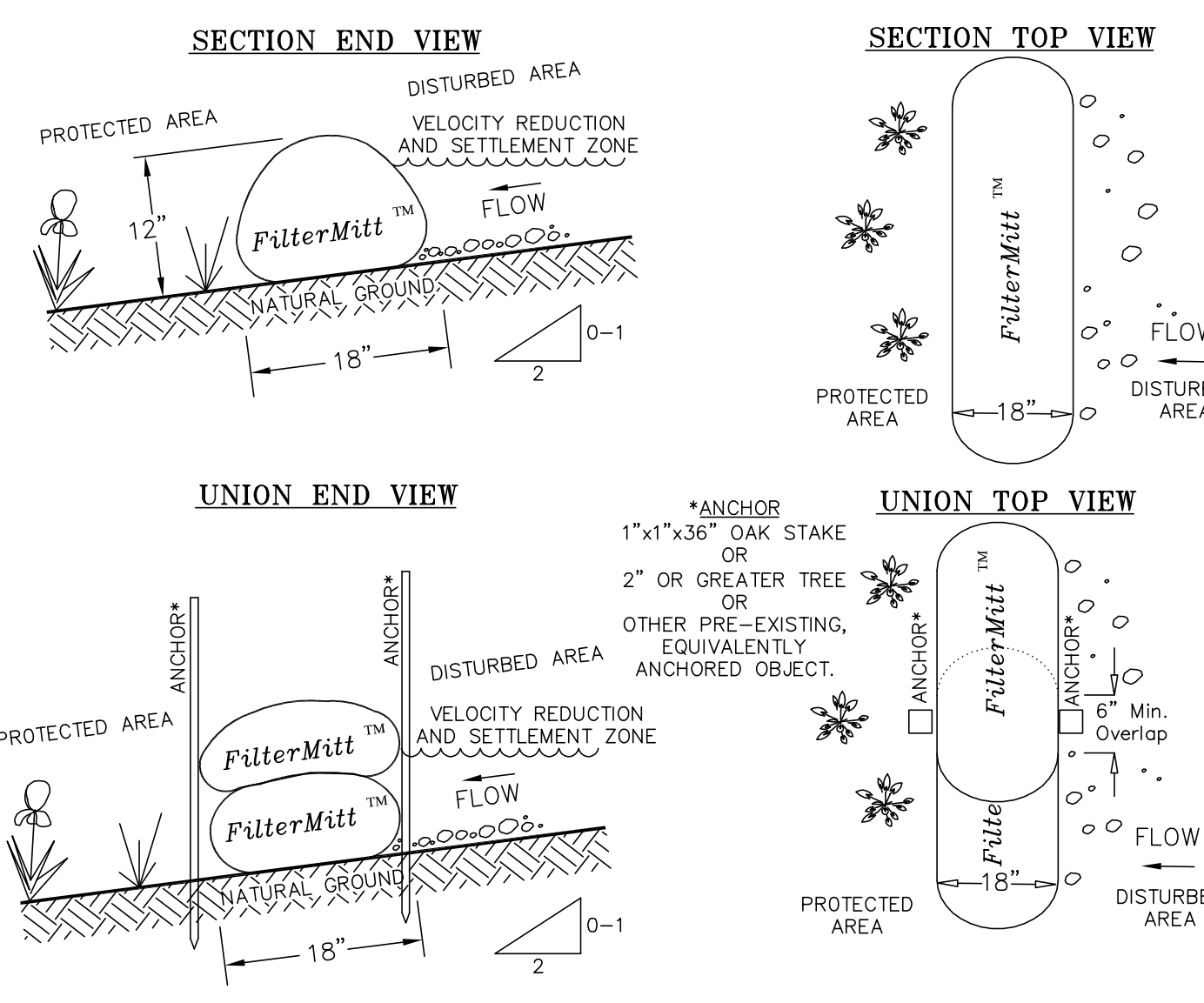
DIAMETER	12"	15"	16"	18"	21"	24"	30"
LENGTH	7'-6"	8'-9"	9'-2"	10'-0"	11'-6"	12'-6"	15'-0"
CONC. (Cu.Yd.)	1.49	1.82	1.94	2.18	2.62	2.97	3.86
STEEL (Lbs.)	26	29	30	32	42	46	56



**HEADWALL MASONRY & CONCRETE**  
N.T.S.



**CAPE COD BERM DETAIL**  
NOT TO SCALE

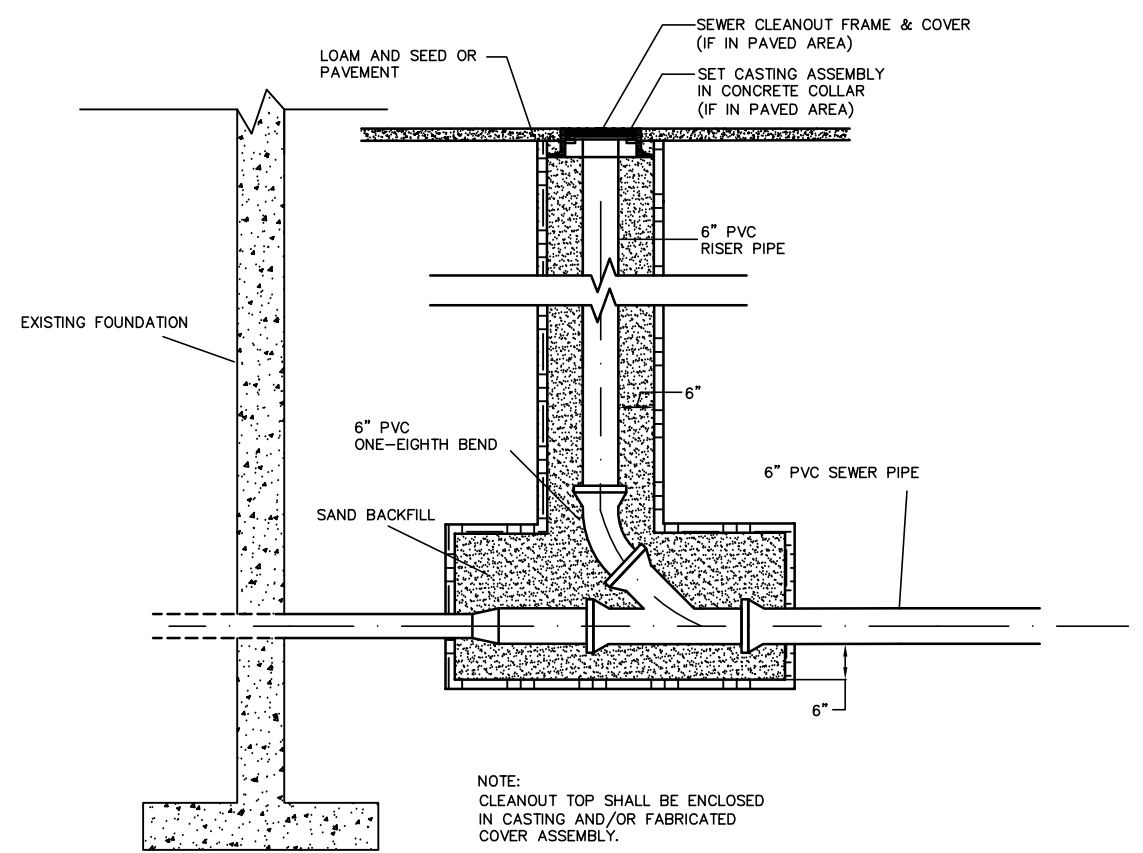


**FILTER MITT DETAIL**  
NOT TO SCALE

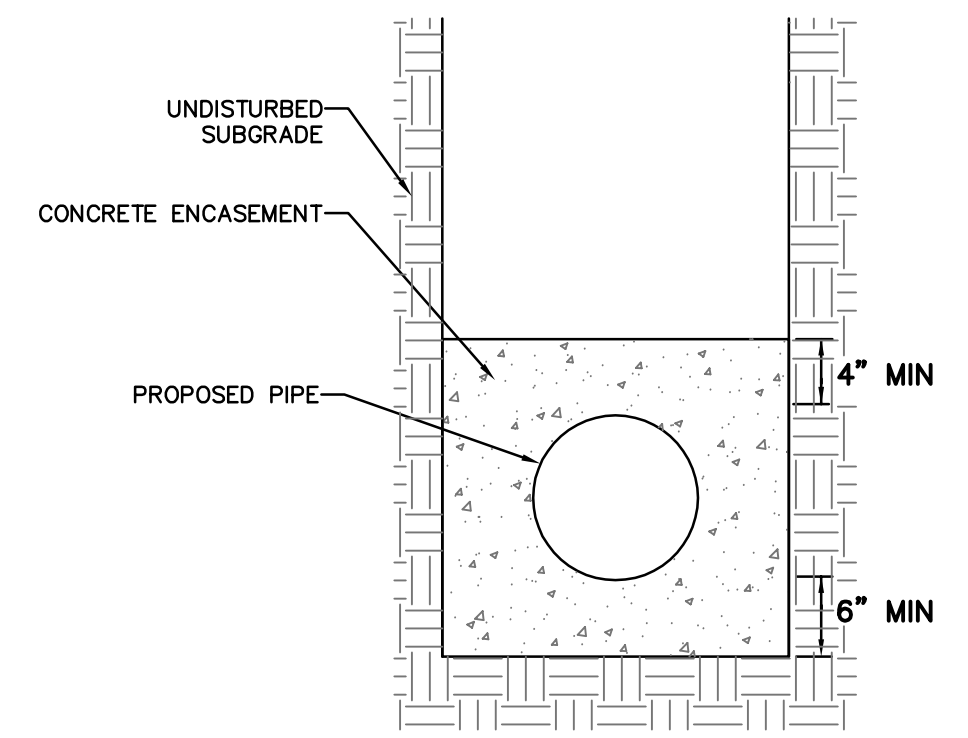
**FilterMitt™ COMPONENTS:**  
OUTSIDE CASING: 100% organic hessian.  
FILLER INGREDIENT: **FiberRoot Mulch™**  
• A blend of coarse and fine compost and shredded wood.  
• Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.  
• Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)

For more information visit:  
[www.groundscapesexpress.com](http://www.groundscapesexpress.com)  
or contact us at:  
**Groundscapes Express, Inc.**  
P.O. Box 737  
Wrentham, MA 02093  
(508) 384-7140

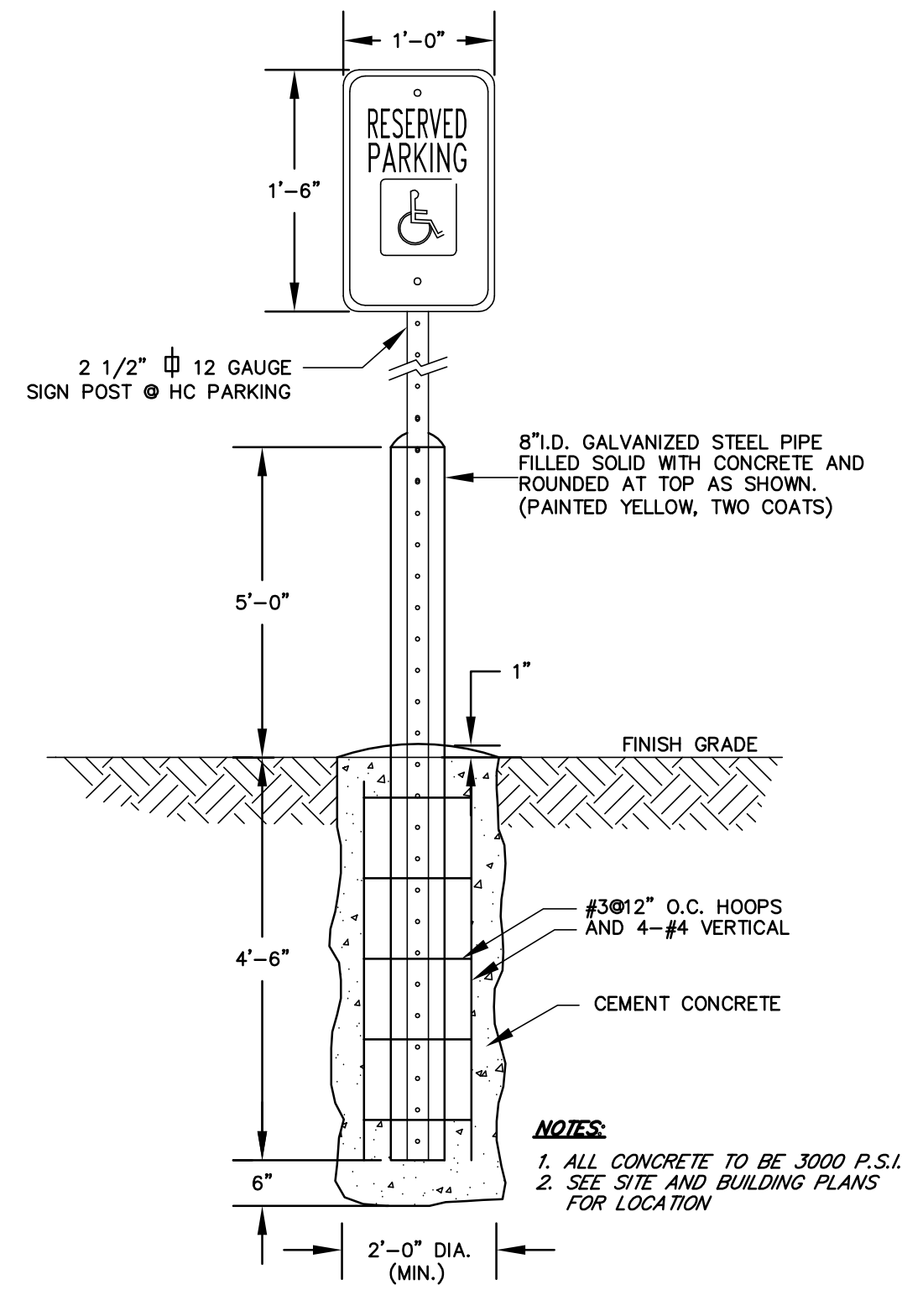
**FilterMitt™ INSTALLATION:**  
With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.  
Sections can also be delivered to the site in lengths from 1' to 8'.  
The flexibility of **FilterMitt™** is to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.



**SEWER CLEANOUT**  
NOT TO SCALE



**PIPE ENCASEMENT**  
NOT TO SCALE



**BOLLARD**  
N.T.S.

REVISIONS	DATE	DESCRIPTION
No. 9	01/18/18	CONSTRUCTION DOCUMENTS

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**"THE DOVER ROAD RESIDENCES"**  
**BRIDGE STREET**  
**MILLIS, MASSACHUSETTS**

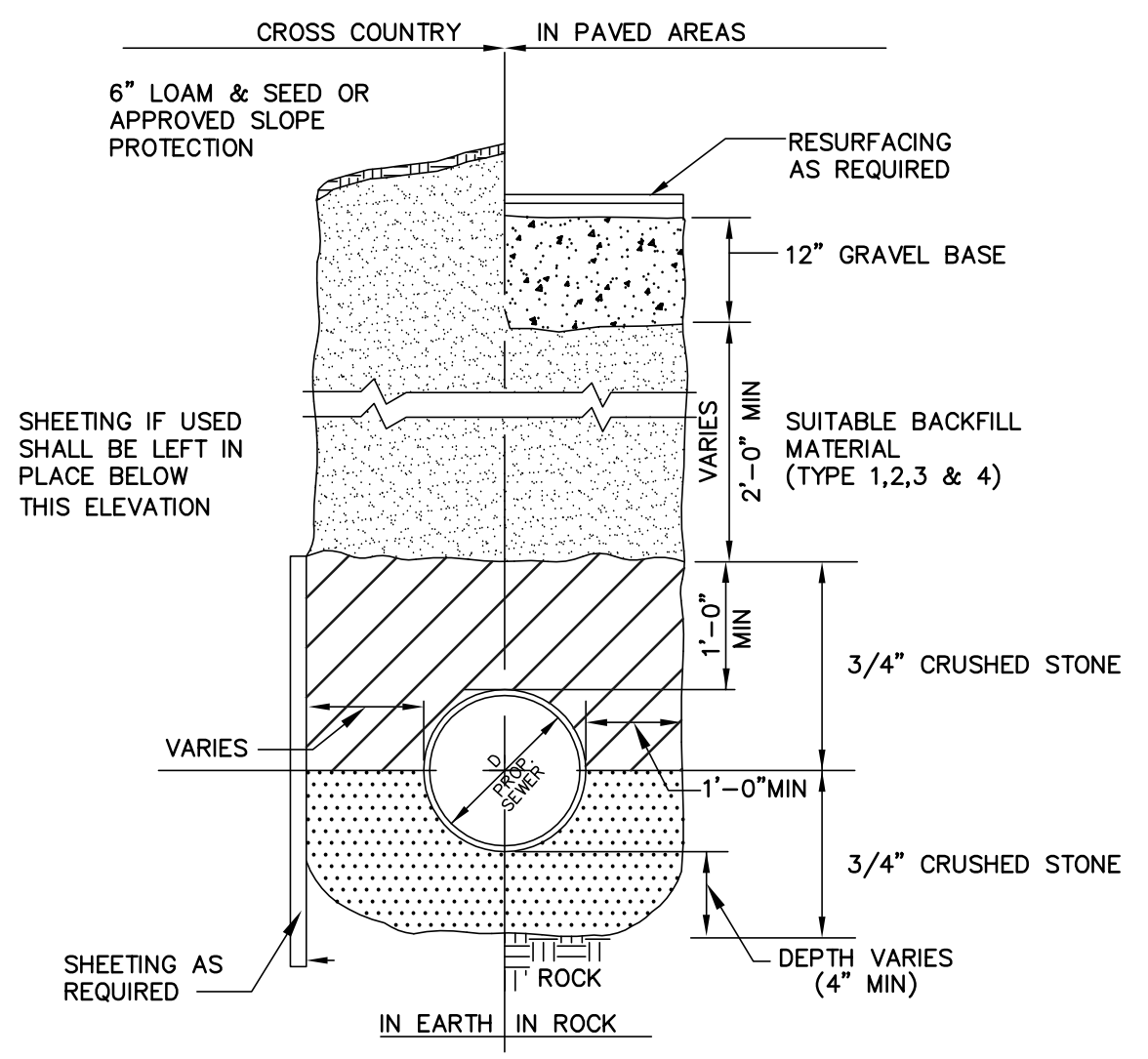
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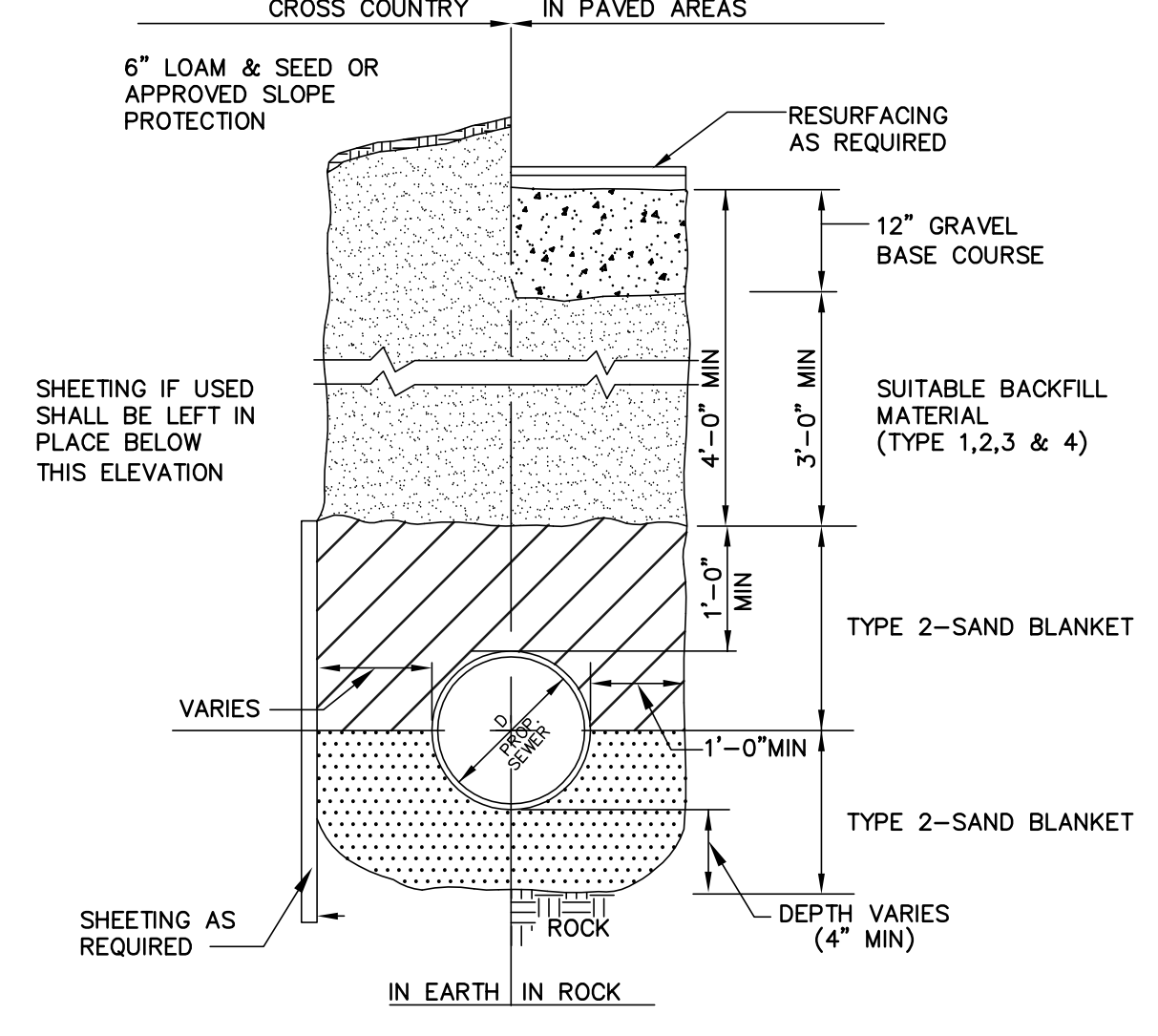
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DRW.:	15664-Site Plan
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DATE:	03/07/16
SCALE:	NTS
SHEET:	C-12
PLAN #:	27,016

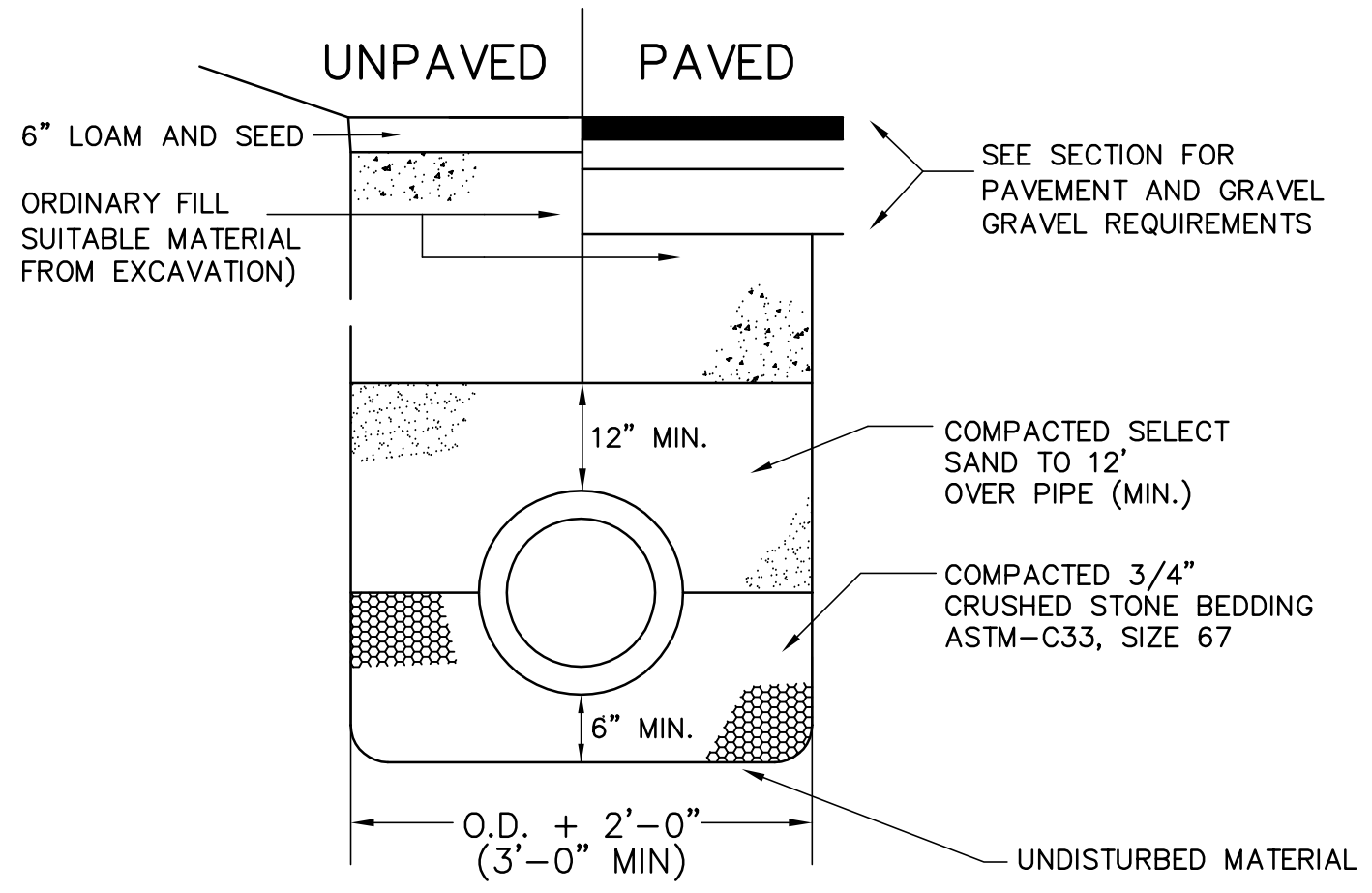




**SEWER TRENCH DETAIL**  
NOT TO SCALE



**WATER TRENCH DETAIL**  
NOT TO SCALE

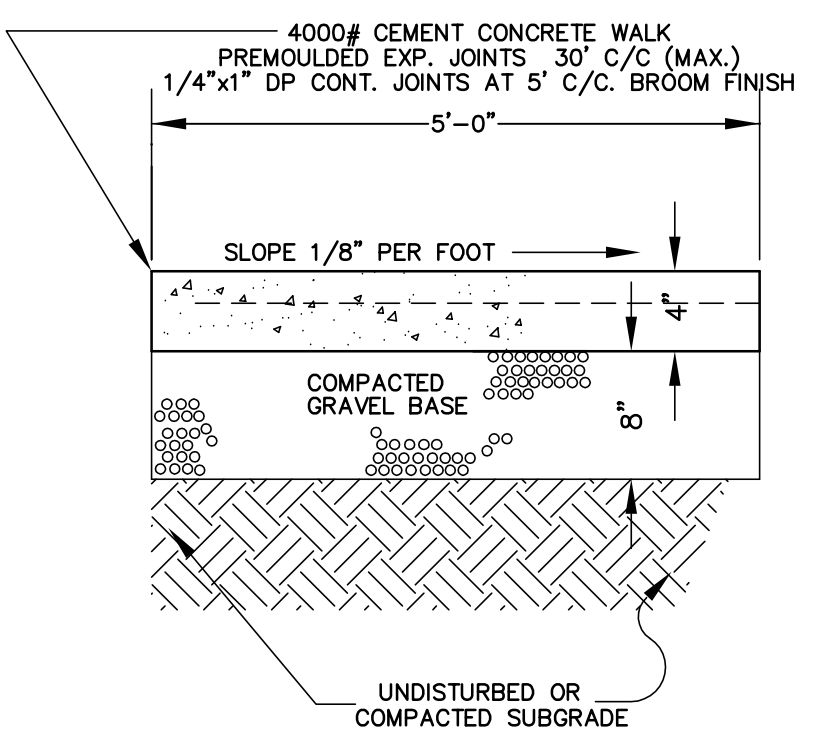


**DRAIN TRENCH DETAIL**  
NOT TO SCALE

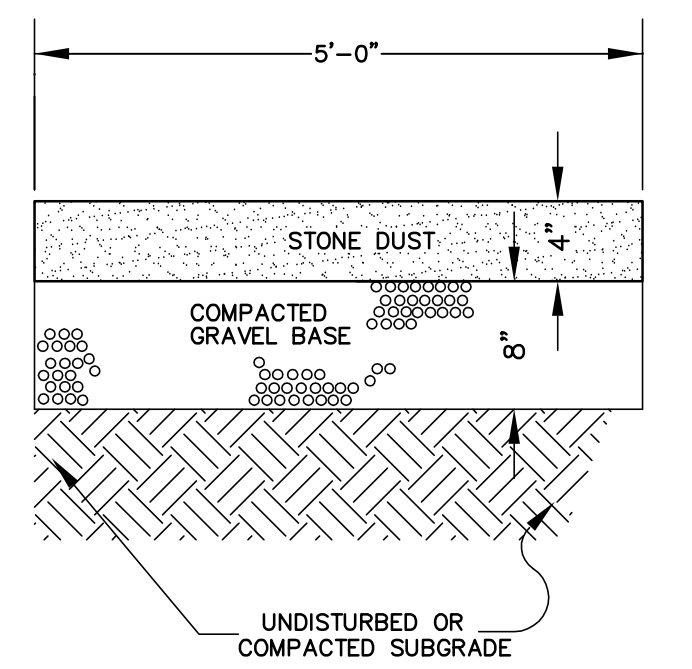
ALL DRAIN PIPE SHALL BE REINFORCED CONCRETE (RCP), CLASS III, WALL B, UNLESS OTHERWISE NOTED IN THE DRAWINGS.

SELECT SAND TO 12" ABOVE PIPE SHALL BE AS FOLLOWS:

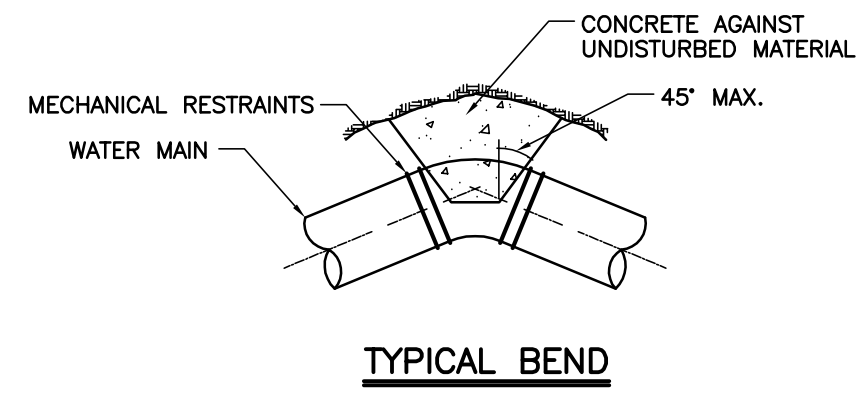
- A. 100% PASSING A 1/2 INCH SIEVE
- B. 15%(MAX) PASSING A NO. 200 SIEVE
- C. FREE FROM ORGANIC MATERIALS



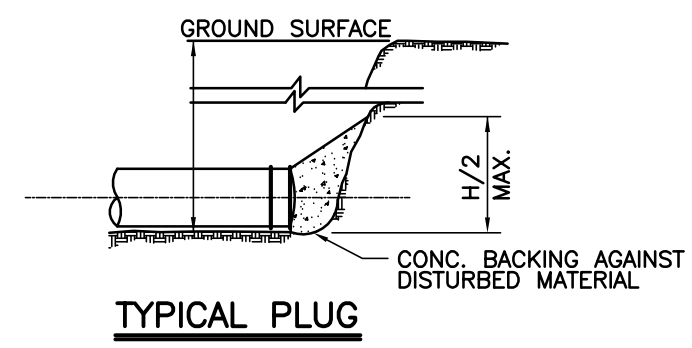
**TYPICAL SIDEWALK SECTION**  
N.T.S.



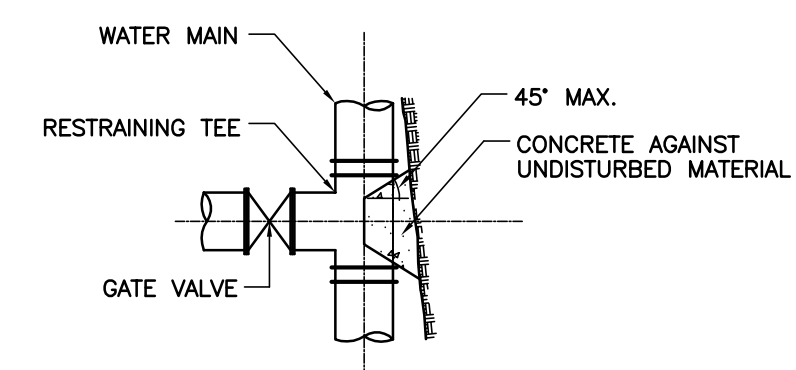
**WALKING TRAIL SECTION**  
N.T.S.



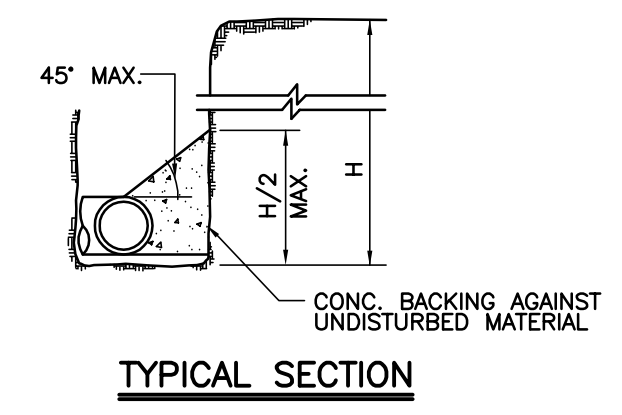
**TYPICAL BEND**



**TYPICAL PLUG**



**TYPICAL TEE**



**TYPICAL SECTION**

**TABLE OF BEARING AREAS IN SQ.FT. AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS\***

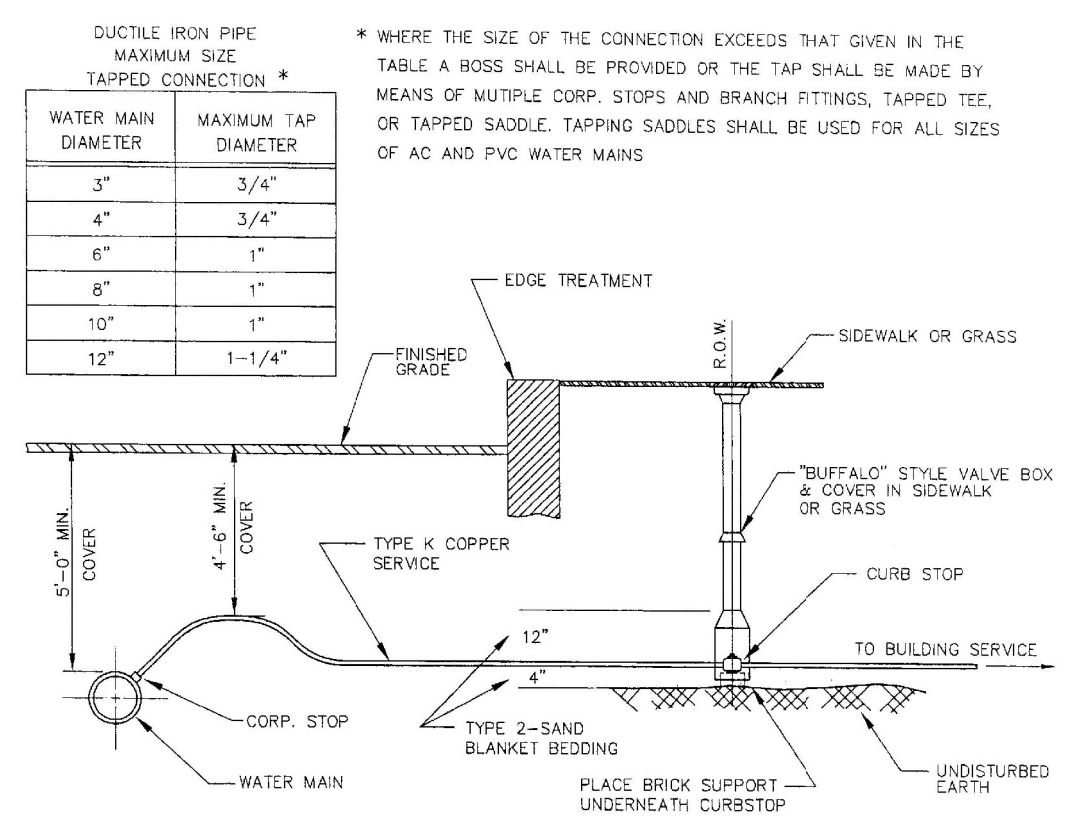
SIZE OF MAIN (IN)	90° BEND	TEES AND PLUGS	45° BEND
6	4	2.5	2
8	6	4	3
12	12	9	7
16	21	16	12

\* TYPE OF SOIL IS MEDIUM CLAYEY, 6 OR MORE BLOWS PER FOOT, OR LOOSE GRANULAR, 9 OR MORE BLOWS PER FOOT. SOIL CONDITIONS OTHER THAN THOSE GIVEN WILL REQUIRE LARGER BEARING AREAS.

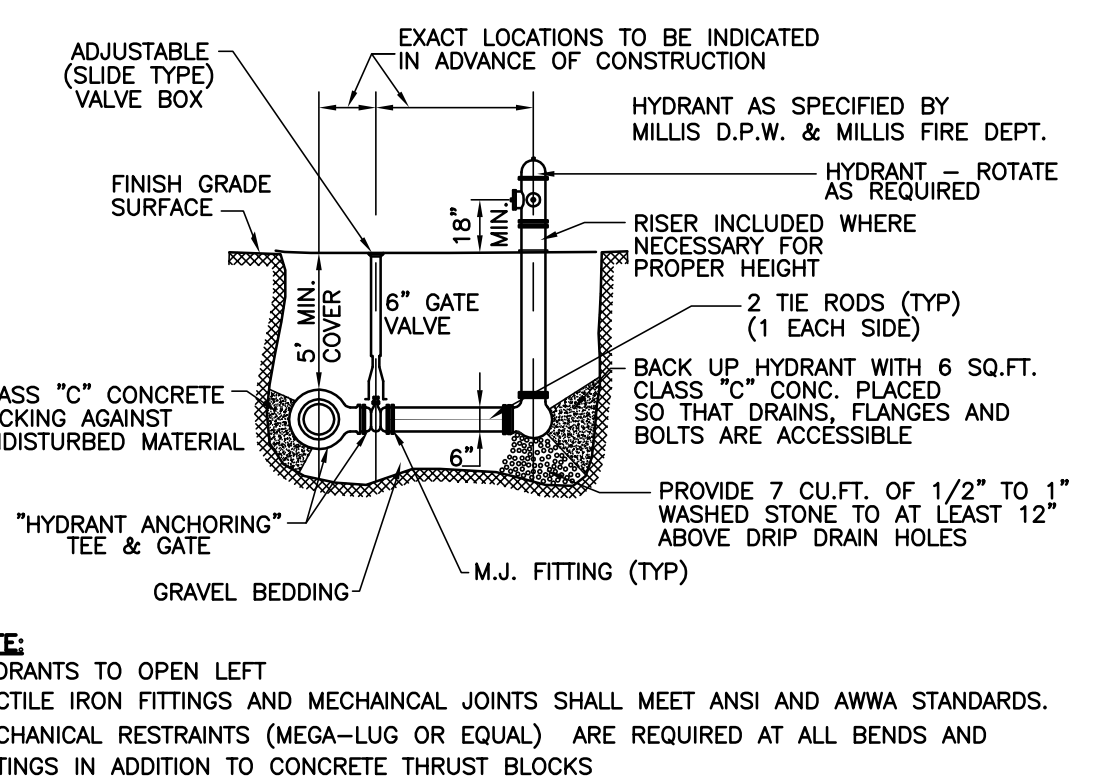
NOTES:

- FOR FITTINGS WITH LESS THAN 45° DEFLECTION, USE BEARING AREAS FOR 45° BEND.
- BEARING AREAS BASED ON HORIZONTAL PASSIVE SOIL PRESSURE OF 2000 P.S.F. AND INTERNAL WATER PRESSURE OF 150 P.S.I.G. JOINTS SHALL NOT BE ENCASED IN CONCRETE, BEARING AREAS MAY BE DISREGARDED FOR TRENCHES IN ROCK WHERE THE TOP OF THE ROCK FACE IS AT OR ABOVE THE CROWN OF THE PIPE. HOWEVER, CONCRETE BACKING SHALL BE PLACED BETWEEN THE PIPE AND THE ROCK FACE.
- THE CONTRACTOR SHALL SUBMIT 2 WEEKS IN ADVANCE OF PLACEMENT, WORKING DRAWINGS FOR EACH THRUST BLOCK TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.

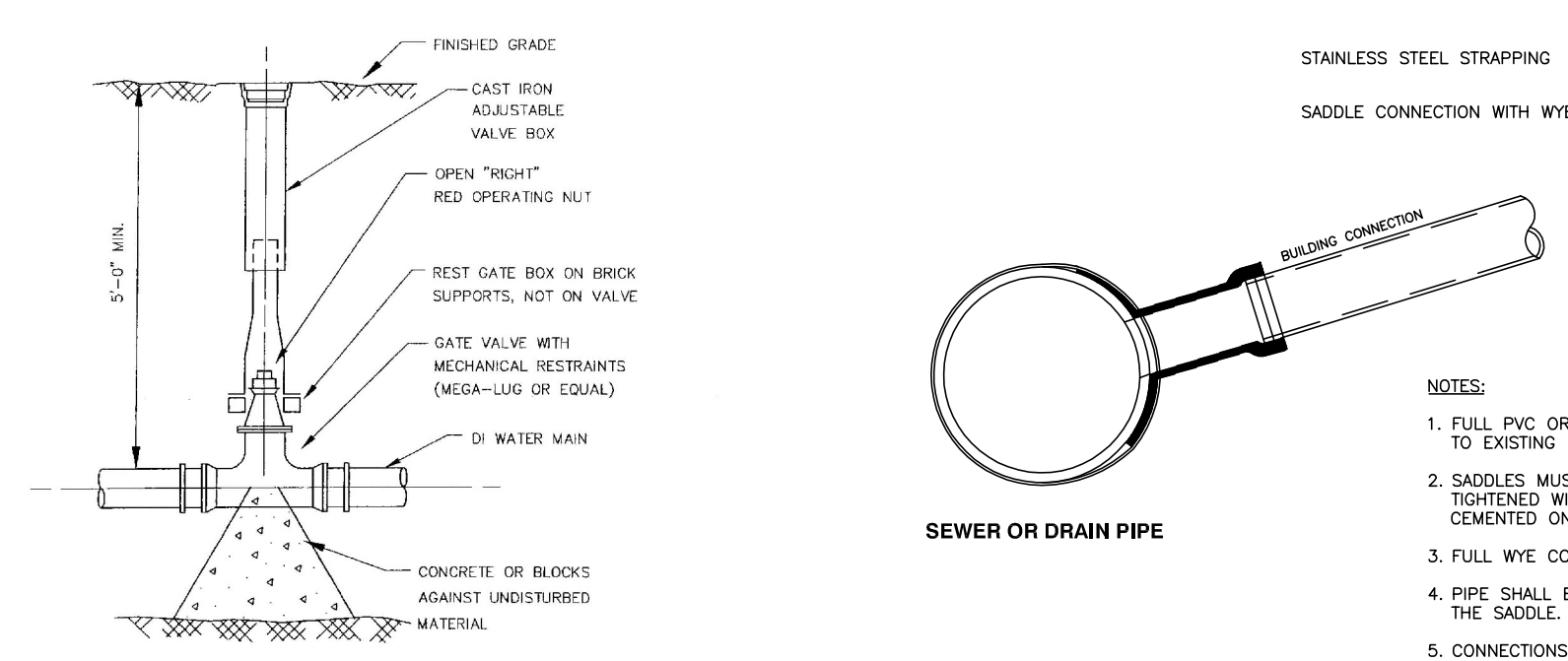
**TYPICAL THRUST BLOCK DETAILS**  
N.T.S.



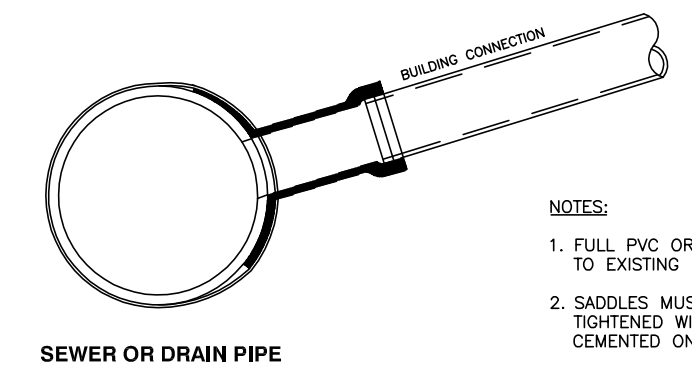
**TYPICAL SERVICE CONNECTION**  
N.T.S.



**TYPICAL HYDRANT ASSEMBLY DETAIL**  
N.T.S.



**TYPICAL GATE VALVE**  
N.T.S.



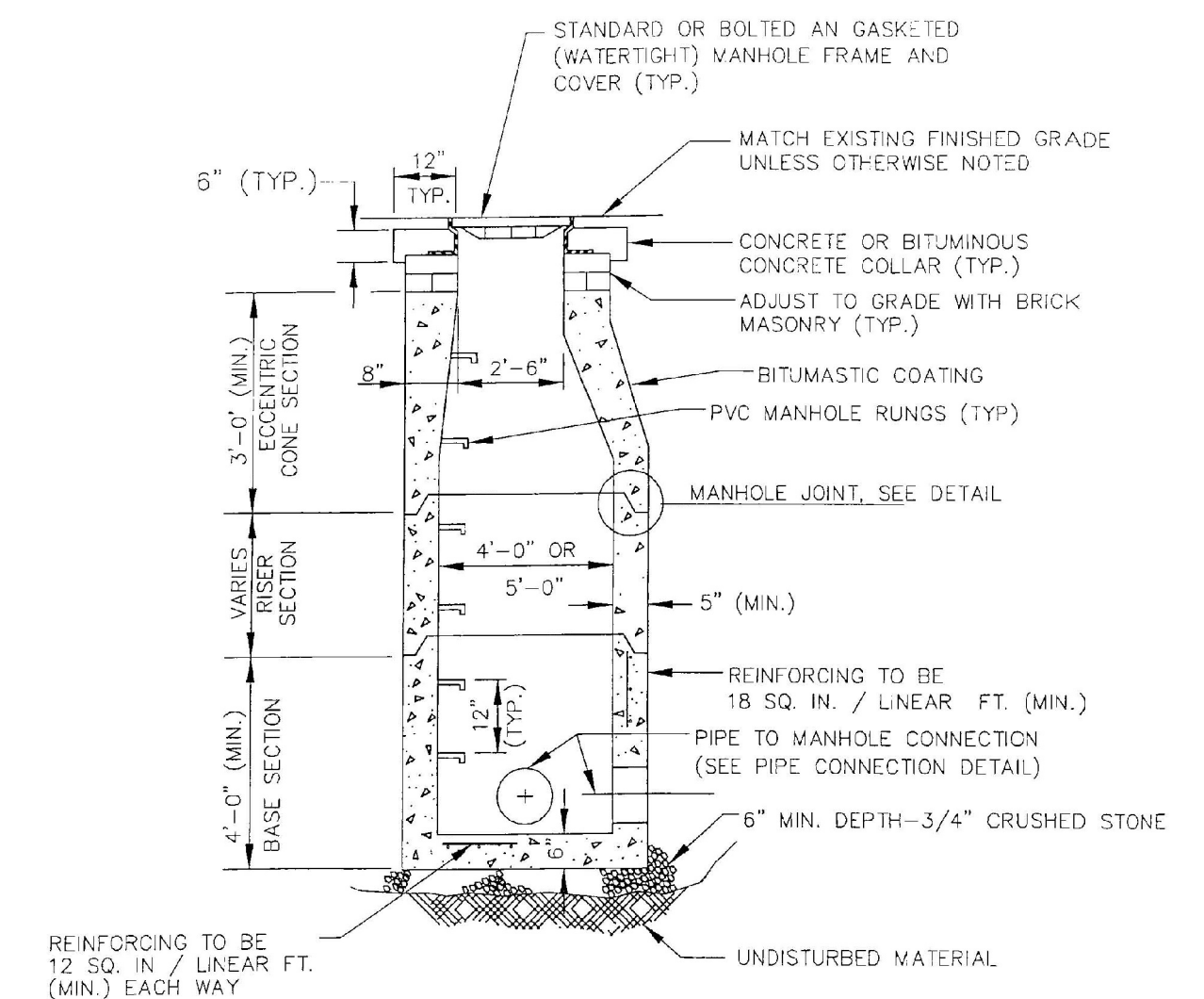
**TYPICAL IN-LINE DRAIN/SEWER CONNECTION**  
N.T.S.

I TOWN CLERK OF THE TOWN OF MILLIS, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE MILLIS PLANNING BOARD:

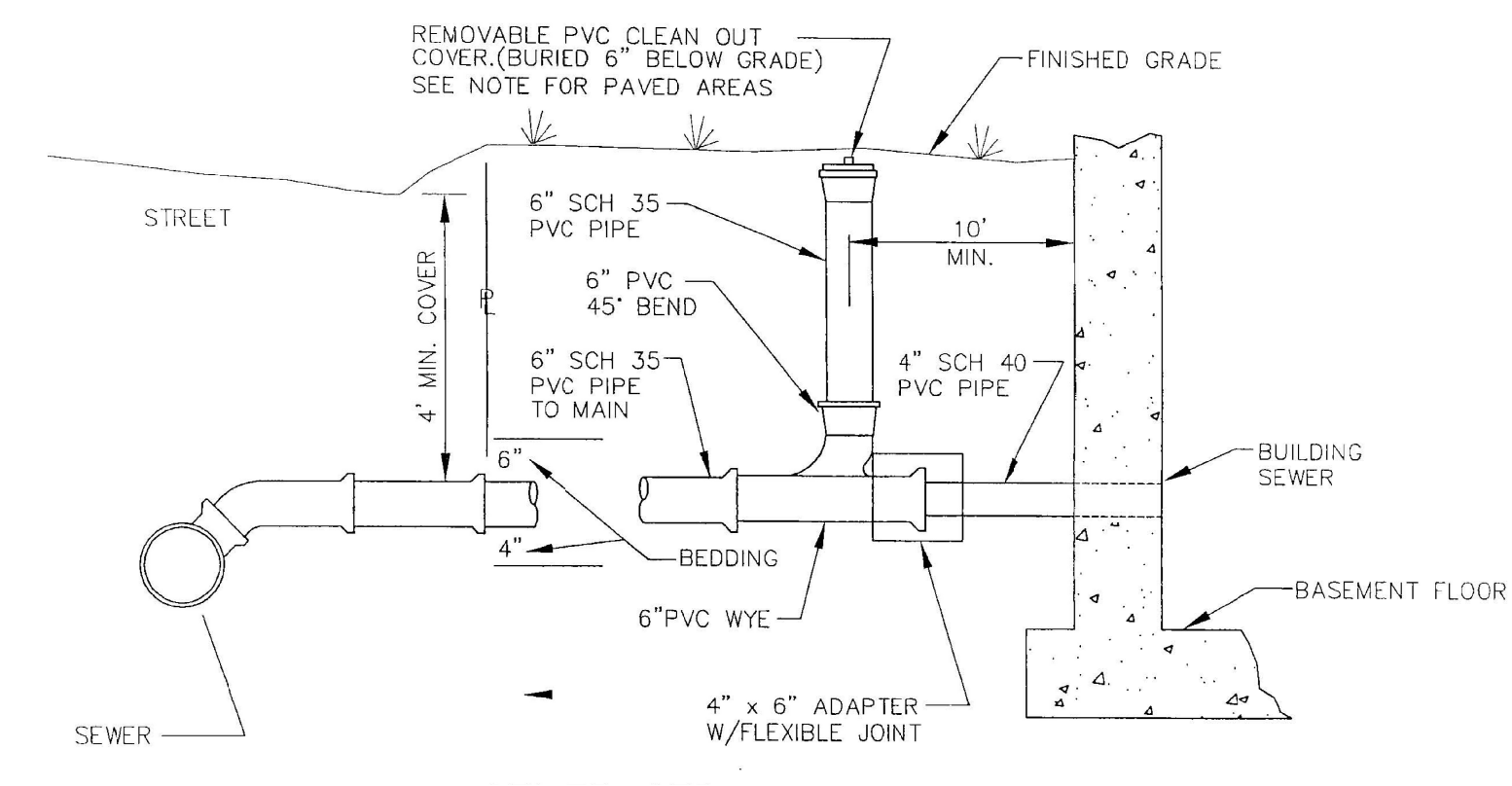
\_\_\_\_\_  
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 DATE APPROVED: \_\_\_\_\_  
 DATE ENDORSED: \_\_\_\_\_



**4'-0" & 5'-0" DIA. PRECAST SEWER MANHOLE DETAIL**  
N.T.S.

**CONSTRUCTION NOTES**

- MINIMUM SLOPE 1/8" PER FOOT FOR 6" PVC SEWER SERVICE
- OUTSIDE CLEAN OUT REQUIRED IF CLEAN OUT NOT INSIDE BASEMENT
- "GENICO" STYLE CAST IRON FRAME AND COVER REQUIRED IN PAVED AREAS. INSTALL FLUSH TO FINISHED GRADE OF PAVEMENT.
- GREEN TRACER TAPE MARKED "CAUTION SEWER LINE BELOW" MUST BE PLACED OVER THE SEWER SERVICE AT A 16" DEPTH BELOW FINISHED GRADE
- PIPE BEDDING TO BE 3/4" CRUSHED STONE WHEN GROUND WATER IS PRESENT AND TYPE 2 "SAND" WHEN DRY.



**SEWER SERVICE LINE OUTSIDE CLEANOUT AND FITTINGS**  
N.T.S.

REVISIONS		DESCRIPTION
No.	DATE	CONSTRUCTION DOCUMENTS
9	01/18/18	

No.	DATE	DESCRIPTION
1	05/10/16	BETA COMMENTS
2	06/08/16	BETA COMMENTS
3	11/26/16	B.O.H. COMMENTS
4	12/21/16	REVIEW COMMENTS
5	01/05/17	REVIEW COMMENTS
6	01/16/17	BOH REVIEW COMMENTS
7	01/31/17	DPW REVIEW COMMENTS
8	08/22/17	CONSTRUCTION BID

**"THE DOVER ROAD RESIDENCES"**  
**BRIDGE STREET**  
**MILLIS, MASSACHUSETTS**

PREPARED FOR:  
 BARBERRY HOMES  
 10 SPEEN STREET  
 FRAMINGHAM, MA

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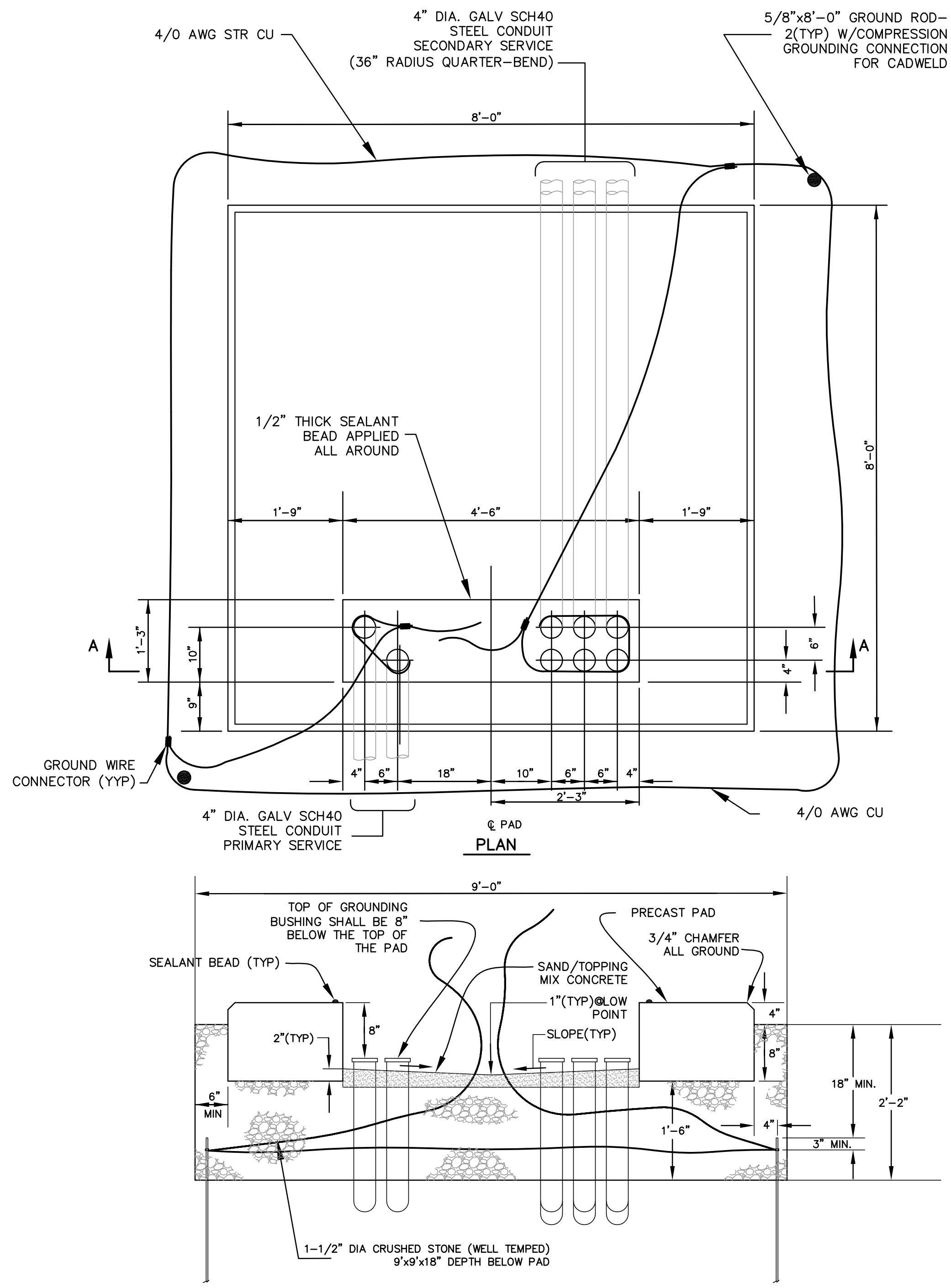
**GLM** Engineering Consultants, Inc.  
 19 EXCHANGE STREET  
 HOLLISTON, MA 01746  
 P: 508-429-1100  
 F: 508-429-7160  
 www.GLMengineering.com

DRW.: 15664-Site Plan  
 JOB No. 15664  
 DATE: 03/07/16  
 SCALE: NTS  
 SHEET: C-13  
 PLAN #: 27,016





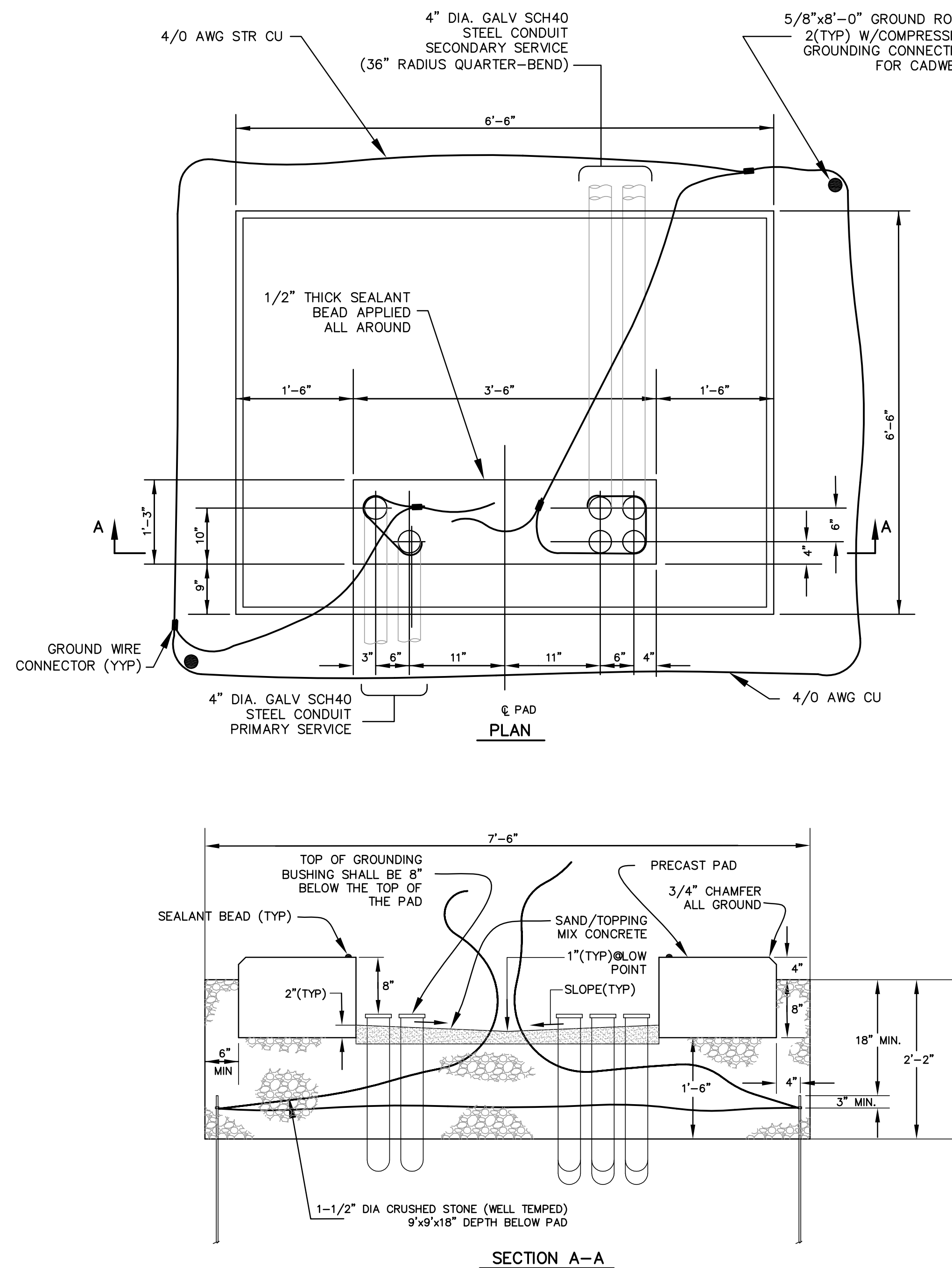




NOTE:  
Detail obtained from NSTAR/Eversource:  
'C3801 R2 Installation of Precast Pad  
Foundations for Three-Phase Transformers',  
date revised 27-Jan-09

PAD#2: THREE PHASE 500-2,500 kVA TRANSFORMER PRECAST PAD  
INSTALLATION AND GROUNDING DETAIL

NOT TO SCALE



NOTE:  
Detail obtained from NSTAR/Eversource:  
'C3801 R2 Installation of Precast Pad  
Foundations for Three-Phase Transformers',  
date revised 27-Jan-09

PAD#1: THREE PHASE 75-300 kVA TRANSFORMER PRECAST PAD  
INSTALLATION AND GROUNDING DETAIL

NOT TO SCALE  
PAD#1 INSTALLED AT BUILDINGS 2 & 3

APPROVED BY THE  
MILLIS PLANNING BOARD:

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

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RECEIVED & RECORDED FROM THE PLANNING  
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TOWN CLERK \_\_\_\_\_

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