

May 12, 2015
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Karyl Spiller-Walsh	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	X	X	X	X	X Remote participation	X

ALSO PRESENT:

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Gino Carlucci, PGC Associates
- Steve Bouley, Tetra Tech
- Amy Sutherland, Meeting Recording Secretary

The Chairman opened the meeting at 7:00pm.

There were no Citizen Comments.

Member Tom Gay is not present and will do a Mullin Rule Certification for the Tri Valley Commons public hearing. Matt Hayes is participating remotely. A Remote Participation Request form dated May 11, 2015 was approved by Chairman Andy Rodenhiser on May 11, 2015. (See Attached.)

The Chairman thanks the Board for their hard work on the preparation of the warrant articles for this year’s Town Meeting. The next step is to have the Board go back and revisit the list of targeted issues which need to be worked on. The board would like Susy and Consultant Carlucci to make a priority list. Member Tucker recommends that we look at what is currently here and what is coming in the future. The Rules and Regulations for multi-family and site plan need to be completed.

Hidden Pines Subdivision (Forest Road) - Discussion of punch list and bond estimate

The Board is in receipt of the following documents (See Attached)

- Letter from Attorney Paul Kolovos dated 4-28-15 on behalf of subdivision developer Paul Rivard demanding return of the bond per the Subdivision Control Law
- Inspection Report/Punch List dated 5-4-15 prepared by Steve Bouley of Tetra Tech
- SAC letter to Attorney Paul Kolovos dated 5-6-15
- Assessor’s Map showing Forest RD.

The Board was made aware that the road work was completed over twenty-three years ago, at which time some of the bond was released to Mr. Rivard. The remaining balance of the bond is \$7,000. The Planning Board at the time never put the road through for street acceptance. Mr. Rivard has made multiple attempts to request that the remaining money be released. Susy Affleck-Childs had informed him that Forest Road was on the “list” of unaccepted streets that the Town was gradually addressing.

Consultant Bouley and Highway Superintendent Jimmie Smith conducted a site inspection on April 30, 2015. The majority of the roadway is cracking and minor settling was observed which is indicative of a road of this age. The bond estimate for Hidden Pines was prepared in the amount of \$24,725. The Board is in agreement that Mr. Rivard is not responsible for all of estimate. There is not a record of the condition of the road when this work was completed. There has been no success in getting the records. The board has 45 days in which to respond to this bond release request from Mr. Rivard’s attorney (June 12, 2015).

The Board recommends that Mr. Rivard be asked to provide the following:

1. Deed to convey road/and associated easements to the Town
2. As-built plans

This item will be on the June 9th meeting agenda. A letter will be provided to all parties.

John Rivard, son of Mr. Rivard was present at the end of the meeting and communicated that he believes the as-built was completed. He believes Paul DeSimone was involved. If he can reach out to Mr. DeSimone and can get plans, he will send them electronically to the PEDB office.

Tri Valley Common – Public Hearing Continuation:

The Board is in receipt of the following: **(See Attached)**

- Email dated 5-8-15 from Fire Chief Jeff Lynch.
- Interim Letter of Recommendation dated 5-7-15 from the Design Review Committee.
- Revised building elevations dated 4-27-15 by Landry Architects.
- Revised site plan dated 4-27-15 by Bohler Engineering. Submitted to PEDB office on 5-1-15 for discussion at the 5-4-15 DRC mtg. Note - this revised plan has not been forwarded to TT and PGC for review.
- SAC email dated 4-16-15 to Rich Landry re: schedule for hearings and site plan update.

Present for the Applicant: Rich Landry, Attorney Richard Cornetta, engineer John Kucich, and architect Pat Finn.

Landry Architect Pat Finn has been working closely with the Design Review Committee. Mr. Finn communicated that the site plan documents will be updated to incorporate the revisions. The architect commented about the stone cladding. His concern is since this is cemented to the wall with mortar, it has open joints and seams. This does not always look clean. He recommends doing a dry stack of stones with indigenous color. This would not be a flat stack but loosely laid. A photograph was shown. There will also be the inclusion of four season low growth shrubs like rhododendrons to screen site structures near retention pond.

Renderings of the site were shown. Buildings A and B are grouped more closely together to limit views of long array of garage doors on Building A.

The Chairman asked how difficult it would be to put the third building closer to the street.

Rich Landry indicated that this would be a problem. If we move it to the street and flip it, then the parking would be in the back which the tenants don't like. The concern is that this would then block the view of Buildings A & B for westbound traffic on Rt. 109. He can look at some site lines. Building C is actually 20 ft. closer to the street than the other buildings.

Matt Buckley responded that it could function as café if the building were moved closer.

Rich responded that he is not planning to do a food use, but instead will have just retail due to the parking restraints.

The Chairman communicated that at the Economic Development Committee meeting, the members asked if there was going to be pedestrian connections between the TVC site and Gould's Plaza.

Rich responded that stairs would need to be built into the hillside.

The landscape architect responded that we could possibly do stepping stones as an option since the stairs would be an issue regarding ramps and ADA compliance issues. The building of stairs has specific standards, where stepping stones would not.

The members liked the idea of stepping stones.

Susy will speak with Building Commissioner Jack Mee about this topic.

The applicant informed the Board that the survey of existing trees has been done (in the specified areas – west of Building A and in the southeast corner of the site). They will have this for the next meeting. There were eight trees on the Papa Gino's property line which will remain and provide screening. The other trees on the slope will need to be taken down.

The discussion continued about the inclusion of two big coniferous specimen trees to be planted to the west on the lower south corner and one tree on the east side. This will not be an oak tree. There will also be a small grouping of plantings on the slope. On the east side, there will be a grouping of three new coniferous trees. The trees to the right of the wetlands will stay. There will be grading right to the property line on the west. There will also be inclusion of four season growth shrubs like rhododendron to screen site structures near the retention pond.

Rich Landry informed the Board that his intent is to have the revised plans to the PEDB office by the end of the week with the incorporated comments. He would like to have the final review at the June 9th meeting.

It is the intent of the Design Review Committee to conclude the landscaping review at their meeting on Monday May 18, 2015.

The Board is in receipt of Fire Chief Lynch's comments about there being only one ingress and egress from the complex. He also noted that there is only one fire hydrant on the plan. He would like to see an additional hydrant on the southeast side of the complex.

CONTINUATION:

On a motion made by Bob Tucker and seconded by Karyl Spiller-Walsh, the Board voted by roll call vote to continue the hearing for Tri-Valley to June 9, 2015 at 7:45 pm.

Roll Call Vote:

Andy Rodenhiser aye
Bob Tucker aye
Matt Hayes aye
Karyl Spiller-Walsh aye

Susy informed the applicant that there will need an extension of the deadline for Board action at the next meeting.

Salmon Retirement:

Susy reported that she had spoken with Jeff Robinson. They expect to file the Salmon Retirement project next week.

Norwood Acres Subdivision:

The Board is in receipt of a work order change from Tetra Tech dated May 12, 2015 (See **Attached**) in the amount of \$621.

Consultant Bouley explained that there was a minor plan revision for Norwood Acres for the ADA roadway compliance.

On a motion made by Bob Tucker and seconded by Karyl Spiller-Walsh, the Board voted by roll call vote to approve the work change order for Norwood Acres in the amount of \$621.00.

Roll Call Vote:

Andy Rodenhiser aye
Bob Tucker aye
Matt Hayes aye
Karyl Spiller-Walsh aye

Susy indicated this plan revision will come to the Board for its next meeting on June 9th.

Proposed Timber Crest housing development

The Board was made aware that Mass Housing was on site last Thursday and did a site walk. Present for the site visit were Director of Planning and Economic Development Stephanie Mercandetti, Conservation Agent Bridget Graziano, Building Commissioner Jack Mee, and Community Housing Coordinator Doug Havens. The representatives of developer were also present. There will be a hired appraiser as part of review. The Mass Housing appraiser was in town today. With the collection of this information, Mass Housing will make a determination of the number of units which are appropriate for site. The collection of comments are being collected by Stephanie and she will present those to the Board of Selectmen which will then forward them to Mass Housing.

Chairman Rodenhiser commented that they need to look at the reference data for plans as related to plans for Fairway Lane. Susy responded that this was noted in her comments to Stephanie Mercandetti.

MILLSTONE VILLAGE ARCPUD

The Board is in receipt of the following: **(See Attached)**

- Email dated 5-5-15 from Steve Bouley, Tetra Tech with punch list items.
- Revised Bond Estimate from Phases 1A and 1B dated 5-5-15 prepared by Steve Bouley recommending a reduction of \$64,978 from \$345,613 to \$282,635.
- First Bond Estimate for Phase 4 dated 5-4-15 prepared by Steve Bouley. Estimate = \$187,961.
- SAC email communication to Millstone developer Steve Venincasa dated 5-5-15 with the above noted bond estimates.

The Board has signed the Tri-Party Agreement with Southborough Saving Bans and Steve Venincasa in the amount of \$345,613. Consultant Bouley was asked to prepare bond estimates for phases 1A and 1B along with phase 4.

The provided estimate shows the items completed in gray. Mr. Venincasa needs to provide an updated phasing plan.

Millstone Village Phase 4 bond estimate:

On a motion made by Bob Tucker and seconded by Karyl Spiller-Walsh, the Board voted by roll call vote to approve the bond estimate for phase 4 of \$187,961.

Roll Call Vote:

Andy Rodenhiser aye
Bob Tucker aye
Matt Hayes aye
Karyl Spiller-Walsh aye

Millstone Village Phase 1A and B bond reduction:

On a motion made by Bob Tucker and seconded by Karyl Spiller-Walsh, the Board voted by roll call vote to reduce the bond from \$345,613 to \$282,635.

Roll Call Vote:

Andy Rodenhiser aye
Bob Tucker aye
Matt Hayes aye
Karyl Spiller-Walsh aye

Susy will be inquiring to Counsel about the various phases of development and whether we need to have separate bond agreements for each phase.

Consultant Bouley indicated that Millstone Village is putting in the landscaping around the basin area and it is coming along nicely.

Susy informed the Board that some neighbors called about debris and trash from the site coming onto their property. The workers at Millstone did go to the various properties and cleaned up the debris.

MINUTES:

April 21, 2015:

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted by roll call vote to accept the minutes from April 21, 2015.

Roll Call Vote:

Andy Rodenhiser aye
Bob Tucker aye
Matt Hayes aye
Karyl Spiller-Walsh abstained as she did not attend that meeting.

April 28, 2015:

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted by roll call vote to accept the minutes from April 21, 2015.

Roll Call Vote:

Andy Rodenhiser aye
Bob Tucker aye
Matt Hayes aye
Karyl Spiller-Walsh aye

CORRESPONDENCE:

The Board is in receipt of an email dated May 7, 2015 (**See Attached**) from Open Space Chairman Tina Wright regarding the plantings at the new fields which are not native. She indicated that the Open Space Committee recommends the use of native plants whenever possible and would like to codify this going forward. Susy noted this should be clearly specified in the *Site Plan Rules and Regulations*.

Another email was provided from Tina Wright (**See Attached**) inquiring about the status of open space parcels at Charles River, and Pine Ridge. She was wondering about the stewardship and maintenance of this open space land. These areas need attention in relation to the maintenance. There was an agreement that those areas be mowed and cleaned up. Some of this may fall into the homeowners association.

The Board is in agreement that we need to get more aggressive about the maintenance of these areas. If it is to be done by the homeowners association, then they may need to be put on notice. Susy indicated that there has been an attempt to seek this information from Candlewood with no response from developer. The Board would like Susy to follow-up with a memo.

The Board is in receipt of a PEDB meeting schedule through September 22, 2015. (**See Attached**)

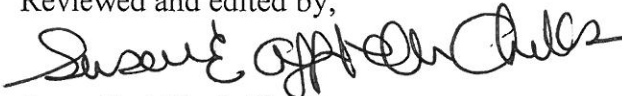
Adjourn Meeting:

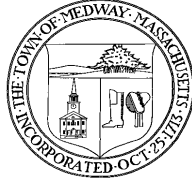
On a motion made by Karyl Spiller-Walsh and seconded by Bob Tucker, the Board voted unanimously to adjourn the meeting at 8:35 pm.

Respectfully Submitted,


Amy Sutherland
Recording Secretary

Reviewed and edited by,

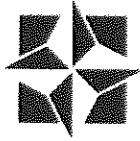

Susan E. Affleck-Childs
Planning and Economic Development Coordinator



May 12, 2015
Medway Planning & Economic Development Board
Meeting

Hidden Pines Subdivision – Forest Road

- Letter from Attorney Paul Kolovos dated 4-28-15
- Inspection Report/Punch List dated 5-4-15 prepared by Steve Bouley
- Bond Estimate dated 5-4-15 prepared by Steve Bouley
- SAC letter to Attorney Paul Kolovos dated 5-6-15
- Assessor's Map showing Forest Road



Doherty, Ciechanowski,
Dugan & Cannon, P.C.

124 Grove Street, Suite 220
Franklin, MA 02038
TEL. NO. (508) 541-3000
FAX NO. (508) 541-3008

Paul Kolovos, Esq.
pak@dcdclaw.com

April 28, 2015

VIA CERTIFIED MAIL –
RETURN RECEIPT REQUESTED

Mr. Andy Rodenhiser, Chairman
Planning & Economic Development Board
155 Village Street
Medway, MA 02053

Mr. Robert K. Tucker, Vice-Chairman
Planning & Economic Development Board
155 Village Street
Medway, MA 02053

Mr. Thomas A. Gay, Clerk
Planning & Economic Development Board
155 Village Street
Medway, MA 02053

Ms. Karyl Spiller-Walsh
Planning & Economic Development Board
155 Village Street
Medway, MA 02053

Mr. Rich Di Iulio, Associate Member
Planning & Economic Development Board
155 Village Street
Medway, MA 02053

Re: Paul Rivard/Forest Road at Hidden Pines Subdivision

Dear Members of the Planning & Economic Development Board:

This firm represents Mr. Paul Rivard (“Mr. Rivard”) who posted a bond for Forest Road at Hidden Pines subdivision in Medway.

Mr. Rivard completed the road work over twenty-three years ago, at which time a significant amount of the bond was released to Mr. Rivard. However, the Town has not released any monies since. I have been informed by Mr. Rivard that the remaining balance on the bond is Seven Thousand Dollars (\$7,000.00).

Mr. Andy Rodenhiser, Chairman, et als
April 28, 2015
Page 2

Mr. Rivard has also informed me that he has made multiple attempts to request that the remaining amount of the bond be released and the Town has yet to do so. Please consider this letter a demand pursuant to Massachusetts General Law, Chapter 41, §81U for immediate return of the bond to Mr. Rivard.

If you would like to discuss this matter further please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Paul Kolovos', with a large, stylized initial 'P'.

Paul Kolovos

PAK/MPD/bcs

cc: Mr. Paul Rivard

Ms. Susan Affleck-Childs, Coordinator (*Via Email and First Class Mail*)

To: Susan Affleck-Childs
Medway Planning and Economic Development Coordinator

Fr: Steven Bouley–Tetra Tech (TT)

Re: **Hidden Pines – Forest Road
Subdivision Review (Bond Value Estimate)
Medway, MA**

Dt: May 4, 2015

On April 30, 2015 at the request of the Medway Planning and Economic Development Board, Tetra Tech (TT) met with Medway Department of Public Services Superintendent Jim Smith to perform an inspection of the Hidden Pines Subdivision. The inspection was conducted utilizing best available subdivision plans (non-endorsed) dated January 31, 1988, revised August 4, 1988 to determine which items should be repaired or replaced prior to street acceptance. The following is a list of items that should be resolved:

Right of Way

1. The majority of the roadway is cracking and minor settling was observed. It appears the roadway will require re-paving in the next 2-5 years. (See Attached Photo #1 - #6)
2. Bituminous berm located on both sides of the roadway is scoured and cracking in some locations. The applicant should repair/replace damaged sections of berm. (See Attached Photo #7 - #8)
3. The sidewalk is settling and cracking and appears to be approximately one to two inches thick at some locations. The applicant should repair/replace damaged/settled sections of sidewalk. (See Attached Photo #9 - #12)
4. The applicant should replace a non-descript sewer cover/casting with one that contains the word “SEWER” as required by Medway DPS. (See Attached Photo #13)
5. Trees and landscaping is encroaching on the right of way, damaging the sidewalk and creating sight distance issues at the intersection of Forest Road and Brigham



Street. The applicant should trim all encroaching landscaping features within the right of way. (See Attached Photo #14 - #16)

Additional Observations

6. It appears drain infrastructure was installed per the proposed plans and designed/constructed prior to current stormwater management standards. The system does not appear to include peak flow/water quality mitigation prior to discharge to nearby wetlands which at that time may not have been required.

If you have any questions or require additional information, please don't hesitate to contact me at (508) 903-2382.

Very truly yours,

A handwritten signature in blue ink that reads 'Steven Bouley'.

Steven Bouley, EIT
Civil Engineer

P:\21583\143-21583-15008 (HIDDEN PINES SUBDIV)\DOCS\MEMO\MEMO_HIDDEN PINES PUNCH LIST_2015-05-04.DOC

Photo 1



Roadway Cracking

Photo 2



Roadway Cracking

Photo 3



Roadway Cracking

Photo 4



Roadway Cracking

Photo 5



Roadway Cracking

Photo 6



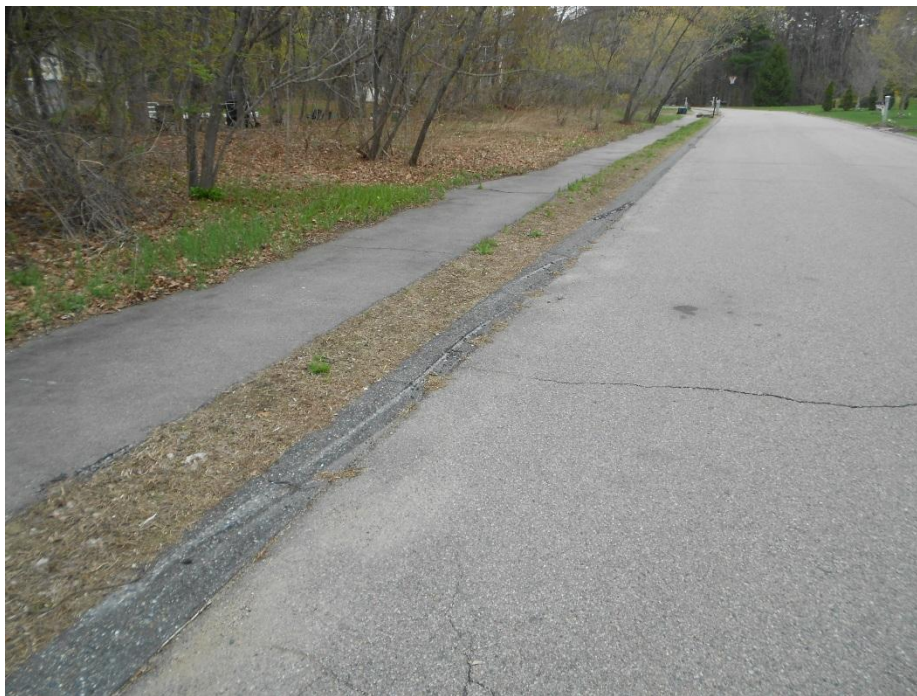
Roadway Cracking

Photo 7



Damaged Berm

Photo 8



Damaged Berm

Photo 9



Settling/Cracking Sidewalk

Photo 10



Settling/Cracking Sidewalk

Photo 11



Settling/Cracking Sidewalk

Photo 12



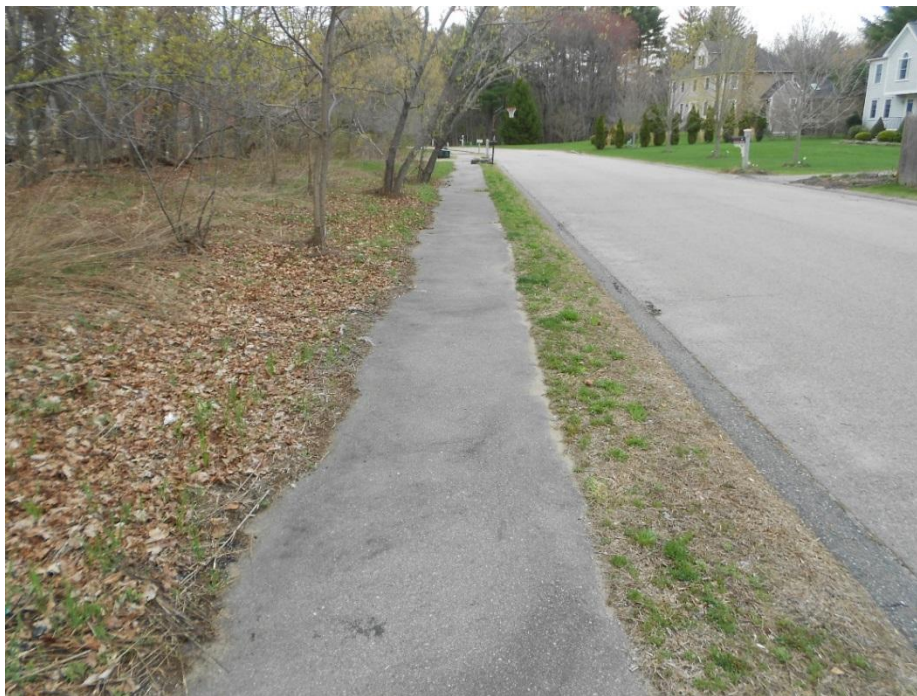
Settling/Cracking Sidewalk

Photo 13



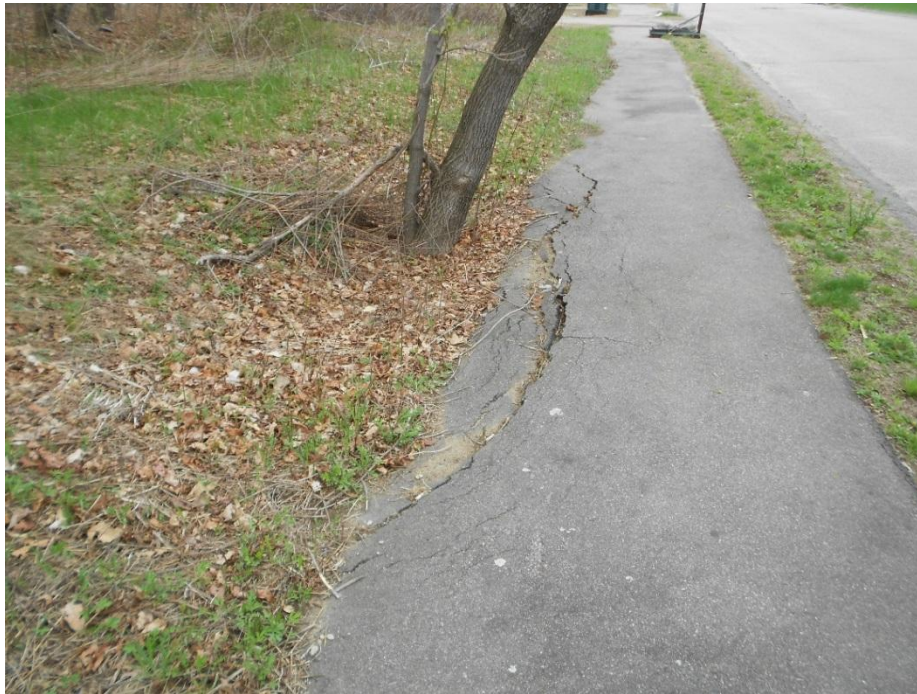
Incorrect Sewer Cover/Casting

Photo 14



Landscaping Encroachment

Photo 15



Landscaping Encroachment

Photo 16



Site Distance Issues from Landscaping/Overgrowth



Bond Estimate
Hidden Pines
Medway, Massachusetts
May 4, 2015

One Grant Street
Framingham, MA 01701
Tel 508.903.2000 Fax 508.903.2001

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
Crack Sealing	1	LS	\$3,500.00	\$3,500
Remove Exist Sidewalk ²	52	CY	\$12.00	\$624
HMA Top Course-Sidewalk ²	44	TON	\$100.00	\$4,400
HMA Binder Course-Sidewalk ²	61	TON	\$100.00	\$6,100
Gravel Borrow-Sidewalk ²	5	CY	\$32.00	\$160
Cape Cod Berm	100	FT	\$6.75	\$675
Sewer Casting Removed	1	EA	\$95.00	\$95
Sewer Casting Installed	1	EA	\$726.00	\$726
Clean Drainage System	1	LS	\$1,500.00	\$1,500
Landscaping	1	LS	\$2,000.00	\$2,000
			Subtotal	\$19,780
			25% Contingency	\$4,945
			Total	\$24,725

Notes:

1. Unit prices are taken from the latest information provided on the MassDOT website. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 5/2014 - 5/2015.
2. Unit prices associated with the sidewalk were based upon a sidewalk length of 1,014 ft, width of 5.5 ft and depth of 3 in.



TOWN OF MEDWAY
Planning & Economic Development
155 Village Street
Medway, Massachusetts 02053

May 4, 2015

Attorney Paul Kolovos
Doherty, Ciechanowski, Dugan & Cannon, P.C.
124 Grove Street
Franklin, MA 02038

RE: Paul Rivard/Forest Road at Hidden Pines Subdivision

Dear Mr. Kolovos,

The Medway Planning and Economic Development Board is in receipt of your letter dated April 28, 2015 in which you demand a refund of the bond funds remaining for the Hidden Pines subdivision.

The Board will discuss this matter during its next meeting on May 12, 2015 and will respond to you shortly thereafter.

Best regards,

Susan E. Affleck-Childs
Planning and Economic Development Coordinator



LEGEND

- PARCEL IDENTIFICATION (MAP/LOT #)
- TOWN BOUNDARY
- STREET/ROADWAY SHOWN BY RIGHT OF WAY
- EASEMENT SHOWN BY RIGHT OF WAY
- BOUNDARY PARCEL CENTERLINE

MAP INDEX

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GENERAL NOTES

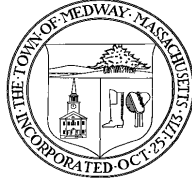
1. PREPARED FOR TAX ASSESSMENT PURPOSES. NOT TO BE USED FOR CONVEYANCES.
2. INFORMATION SHOWN ON MAPS SUBJECT TO CHANGE ON REVISION WITHOUT NOTIFICATION.
3. THE PARCELS SHOWN REPRESENT ALL KNOWN GROUND INFORMATION TO THE BOARD OF ASSESSORS AS OF JANUARY 1, 2010.
4. RIGHTS OF WAY, PARCEL LOCATIONS, AND PARCEL PERIMETERS BASED ON LANDFIELD BROTHERS' ASSESSORS MAPS (DRAFT, RECEIPT PLANS, AND APPROVED SUBDIVISION PLANS).
5. COORDINATES ARE BASED ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM.
6. THERE ARE NO MAPS/READING AREA SHEET



DESCRIPTION:
 ORIGINAL ISSUE DATE: OCTOBER 2003
 REVISED ISSUE DATE: JANUARY 1, 2010
 COMPILED/APPROVED:

DES LAURIERS & ASSOCIATES, INC.
 100 COPERTON BLVD. SUITE G. FRANKLIN, MA 02045
 (508) 281-0600 (FAX) 508-952-7443 (FAX) 508-952-7443

MEDWAY ASSESSORS' ATLAS MAP NO. 24
 REV. NO. 10



May 12, 2015

**Medway Planning & Economic Development Board
Meeting**

Tri Valley Commons

- Email dated 5-8-15 from Fire Chief Jeff Lynch
- Interim Letter of Recommendation dated 5-7-15 from the Design Review Committee
- REVISED building elevations dated 4-27-15 by Landry Architects.
- REVISED site plan dated 4-27-15 by Bohler Engineering. Submitted to PED office on 5-1-15 for discussion at the 5-4-15 DRC meeting. NOTE - This revised plan has NOT been forwarded to TT and PGC for review.
- SAC email dated 4-16-15 to Rich Landry re: schedule for hearings and site plan update

Susan Affleck-Childs

From: Jeff Lynch
Sent: Friday, May 08, 2015 12:01 PM
To: Susan Affleck-Childs
Subject: RE: Public Hearing Continuations - Tri Valley Commons

Hi Susy, The only two comments I have is there is only in ingress and egress from the complex, and I only see one fire hydrant on the plan. I'd like to see an additional hydrant toward the southeast side of the complex. As far as the ingress/egress to the complex, I doubt they can put a second because of the retaining wall on the Papa Gino's side and I would imagine they can only have one curb cut onto Main Street. There are other complexes that only have one but two somewhat remote to each other would be better. Thanks. Jeff

From: Susan Affleck-Childs
Sent: Thursday, May 07, 2015 3:40 PM
To: Jeff Lynch
Subject: FW: Public Hearing Continuations - Tri Valley Commons

Hi Jeff,

I had been hoping you would provide some comments on the Tri Valley Commons plan. The Board next discusses this on 5/12.

Info on how to review the plan is included in the attached memo.

Thanks.

Susy Affleck-Childs

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
508-533-3291
155 Village Street
Medway, MA 02053

Town of Medway – *A Massachusetts Green Community*

Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

From: Susan Affleck-Childs

Sent: Wednesday, April 29, 2015 9:15 AM

To: Alison Slack ; Allen Tingley; Allison Potter; Andy Rodenhiser ; Ann Sherry ; Barbara Saint Andre ; Board of Selectmen; Bob Ferrari; Bridget Graziano; David Damico; David Travalini ; Design Review Committee; Donna Greenwood; Doug Havens ; Fran Hutton Lee; Gino Carlucci; Jack Mee; Jeanne Johnson; Jeff Lynch; Jeff Watson; Jim Wickis ; Julie Fallon; Karen Kisty; Mark Cerel ; Matthew Buckley; Melanie M. Phillips; Michael Boynton; Paul Yorkis ; Sarah Pawluczzonek; Shelley Wieler; Stephanie Bacon; Stephanie Mercandetti; Steve Bouley ; Thomas Holder; Tina Wright ; Zachary Comeau; Zoning Board

Subject: Public Hearing Continuations - The Haven Subdivision and Tri Valley Commons

Good morning,

Attached are public hearing continuation notices for The Haven Subdivision and for Tri Valley Commons. Please review. The Haven hearing has been continued to June 9th and Tri Valley Commons to May 12th.

Cheers!

Susy

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
508-533-3291
155 Village Street
Medway, MA 02053

Town of Medway – *A Massachusetts Green Community*

Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.



Town of Medway
DESIGN REVIEW COMMITTEE

155 Village Street
Medway MA 02053
508-533-3291

drc@townofmedway.org

May 7, 2015

Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

RE: TRI VALLEY COMMONS SITE PLAN
DRC INTERIM LETTER OF RECOMMENDATION REVIEW

Dear Members of the Medway Planning and Economic Development Board,

The DRC met with representatives of the Tri Valley Commons applicant on March 23rd, April 6th and April 27th 2015, to review the proposed site plan and building designs. The DRC is pleased to report that throughout the review process, the representatives from Landry Architects and Bohler Engineering have been both responsive to our recommendations and have reacted proactively to move the proposed development towards compliance with the *Medway Design Review Guidelines*. Some site issues have been reduced or resolved and a variety of techniques have been employed to mitigate the impact of the lengthy Building A (Goodyear Service Center).

At this point in the review, some of the discussed items have not yet been incorporated into the site plan documents. The DRC is encouraged that the applicant will update the site plan to reflect the recommendations discussed. We look forward to reviewing the revised plan set in the near future and expect the updated plan will be compliant.

This letter serves as the Design Review Committee's interim recommendation for the Tri Valley Commons proposal to-date.

Design Review Committee Members

Matthew Buckley, Member & Chairman
Julie Fallon, Member & Vice Chair

*Karyl Spiller-Walsh, Planning & Economic
Development Board Liaison*
Rod MacLeod, Member

Rachel Walsh, Member & Corresponding Secretary
Mary Weafer, Member

Building Elements

The DRC has communicated a variety of specific recommendations regarding architecture during its meetings with the applicant's representatives.

The conceptual building elevations for **Buildings B and C** are the most compliant with the *Medway Design Review Guidelines* (MDRG) - Part II. This has been achieved by including a mixture of roof pitches and elevations constructed with architectural elements and materials found within the Medway community.

Building A is least compliant due to its significant length and the difficulties of the repetition of [7] garage service bays. The applicant has incorporated a variety of changes to mitigate these effects. They are:

- Buildings A and B are grouped more closely together to limit views of the long array of garage doors on Building A.
- The surfaces and façade set backs of the garage doors have been varied to reduce repetition.
- Varied rooflines have been used to break up the length of the building mass.
- The westerly façade has been varied similarly to achieve the same results.
- The final and crucial element to mitigate the length of Building A is landscaping, some of which is inaccurate or absent on the current plan set. The items needing further attention are:
 1. The DRC awaits an inventory of existing trees on the West side of the site to identify trees to be saved and to specify any new plantings.
 2. To provide a four-season screen, the applicant created a planting area just southeast of the first garage bay in which a large coniferous tree would be placed. The applicant has indicated that this specimen evergreen tree will be vertical in form and 20' tall at time of planting. Current plans indicate this is a deciduous honey locus. The plans should be updated to reflect the recommendation as agreed.

Note: Please refer to page 9 of the site plan provided May 1st 2015 and dated 1/9/2015, last revised 4/27/15.

An inconsistency was noted among the site plan elevation sheets with regard to the description of the stone veneer to be used as a water table. The DRC would like to clarify and recommend:

- That the stone veneer be a consistent material in what the plans call “Cambria New England Grey”
- The DRC recommends that the stone veneer be variegated with rounded units that reflect indigenous fieldstone.

Note: Please refer to pages A2.1, A2.2 and A2.3 of the site elevations dated 4/27/2015.

Landscaping

During its meetings with the applicant’s representatives, the DRC has communicated a variety of specific recommendations regarding landscape treatments. Modifications have been made to the plan throughout the DRC review process in accordance with the recommendations made. Those which have been incorporated include:

- Inclusion of four-season low growth shrubs like rhododendron to screen site structures near retention pond.
- Reclaim and rebuild fieldstone walls within the site and at front of parcel.

Note: Please refer to page 9 of the site plan provided May 1st 2015 and dated 1/9/2015, last revised 4/27/15.

The DRC awaits a number of recommended landscape elements that we expect will be present on the forthcoming site plan revision. Those are:

- The inclusion of (10) large coniferous specimen trees with a height of 20 feet located throughout the parcel to buffer.
- A detailed inventory of the planned specimen trees and their sizes. This includes the aforementioned tree at the southeast corner of building A.
- Coniferous trees to screen detention pond
- Hydro seed on the slopes of detention pond.
- Addition of large site stones from excavation to detention area to naturalize
- A group of rhododendrons at south side of chain link fence and retaining wall, sufficient to provide screening of that element
- Specifics of materials and style of proposed versa lock retaining wall.
- Specifics of fieldstone wall construction and style including breaks at pedestrian openings.
- The DRC recommends that the unused portion, at the rear or North of the site, remain undisturbed and natural.
- Existing trees survey for West side and Southeast side of parcel. Existing trees may provide buffering and lessen the need for additional specimen trees.

Site Amenities

The DRC has communicated a variety of specific recommendations regarding site elements during its meetings with the applicant's representatives. Most have been incorporated but some elements are absent and require review when revised plans are submitted. They are:

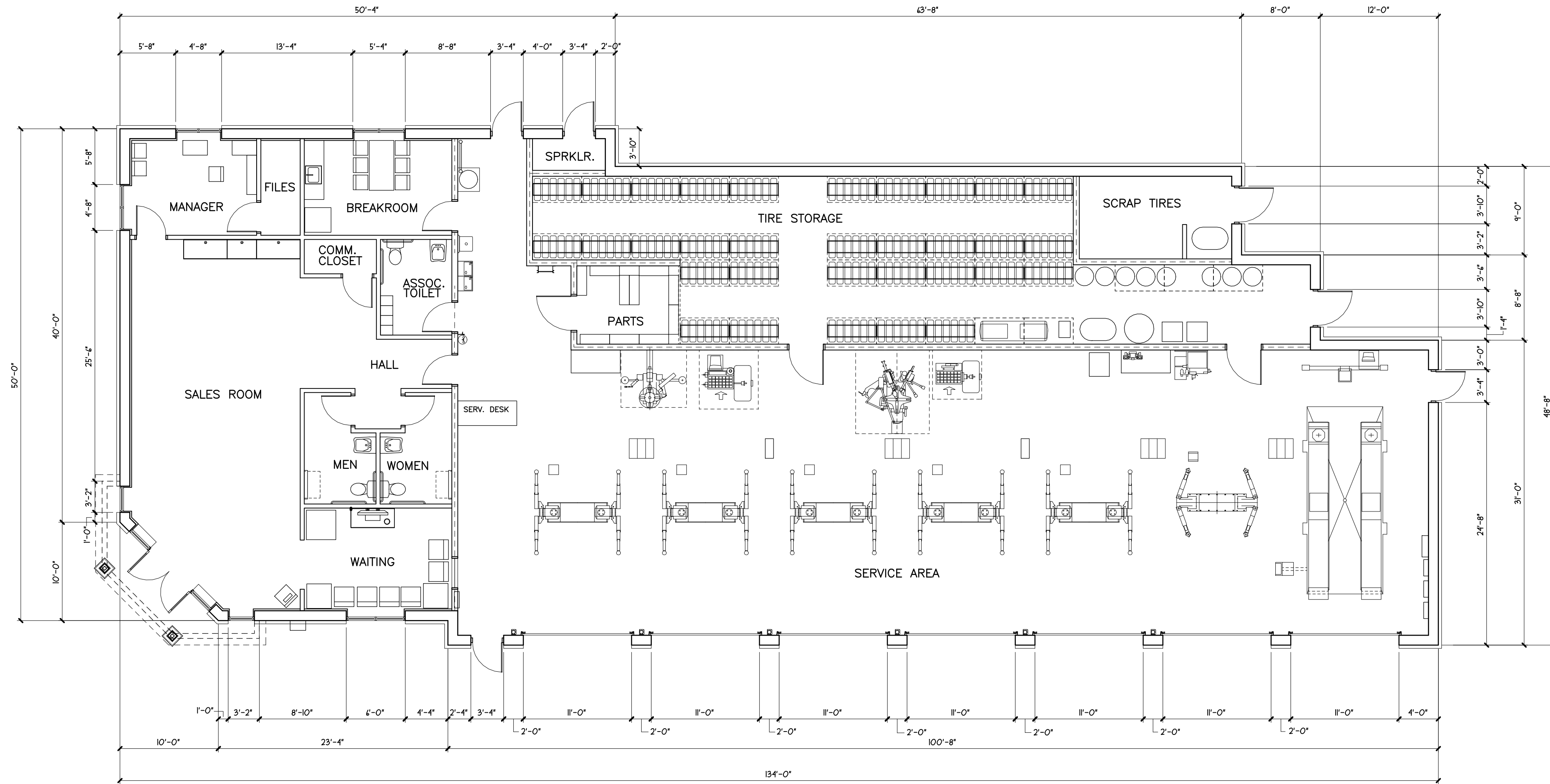
- White fence should extend around all four sides of dumpster enclosures, to provide complete screen. This is in place of chain link fronts to the enclosures.
- Pedestrian crossings should be painted, stamped asphalt rather than zebra stripe.
- Sample images and specs of ornamental lighting fixtures should be supplied.
- Positions of ornamental lighting fixtures should be shown.
- Ornamental lights should be placed at the front of site to relate to roadway.
- Details of monument sign at entryway should be provided.
- The DRC recommends that the sign be incorporated or coordinated with the stone wall along the front site boundary.
- Details of public trash receptacles should be provided.

By incorporating these recommendations as discussed, the general style of architecture and site design will reflect Medway's New England architectural style as detailed in the *Town of Medway Design Review Guidelines*, and outlined in the *Medway Master Plan*.

Sincerely,



Matthew Buckley
Chairman



I FLOOR PLAN
A1.1

SCALE: 1/8" = 1'-0"

PROPOSED FLOOR PLAN
RETAIL BUILDING "A"
TRI VALLEY COMMONS
MEDWAY, MA

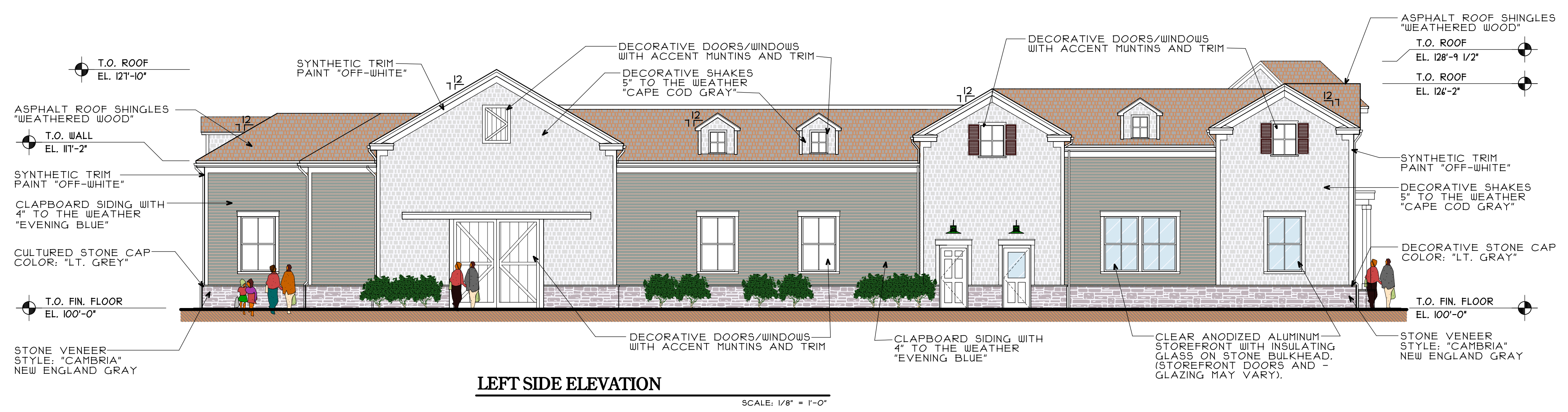
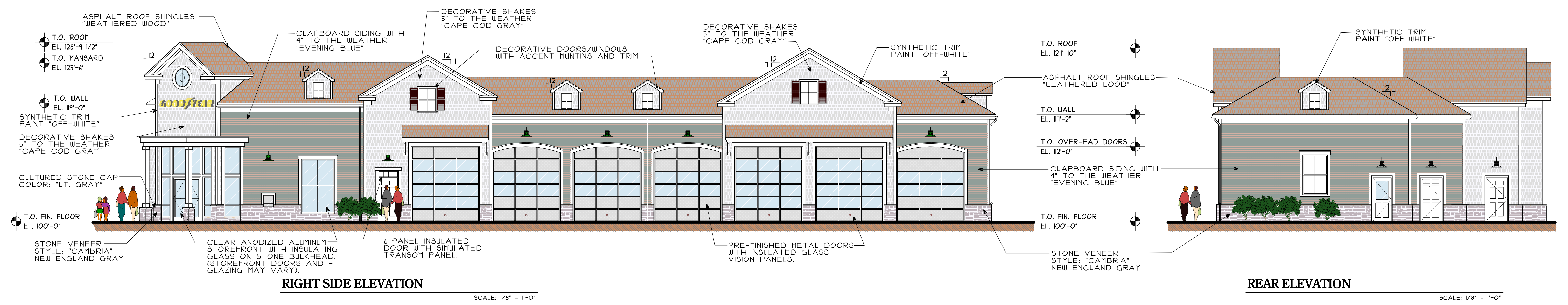
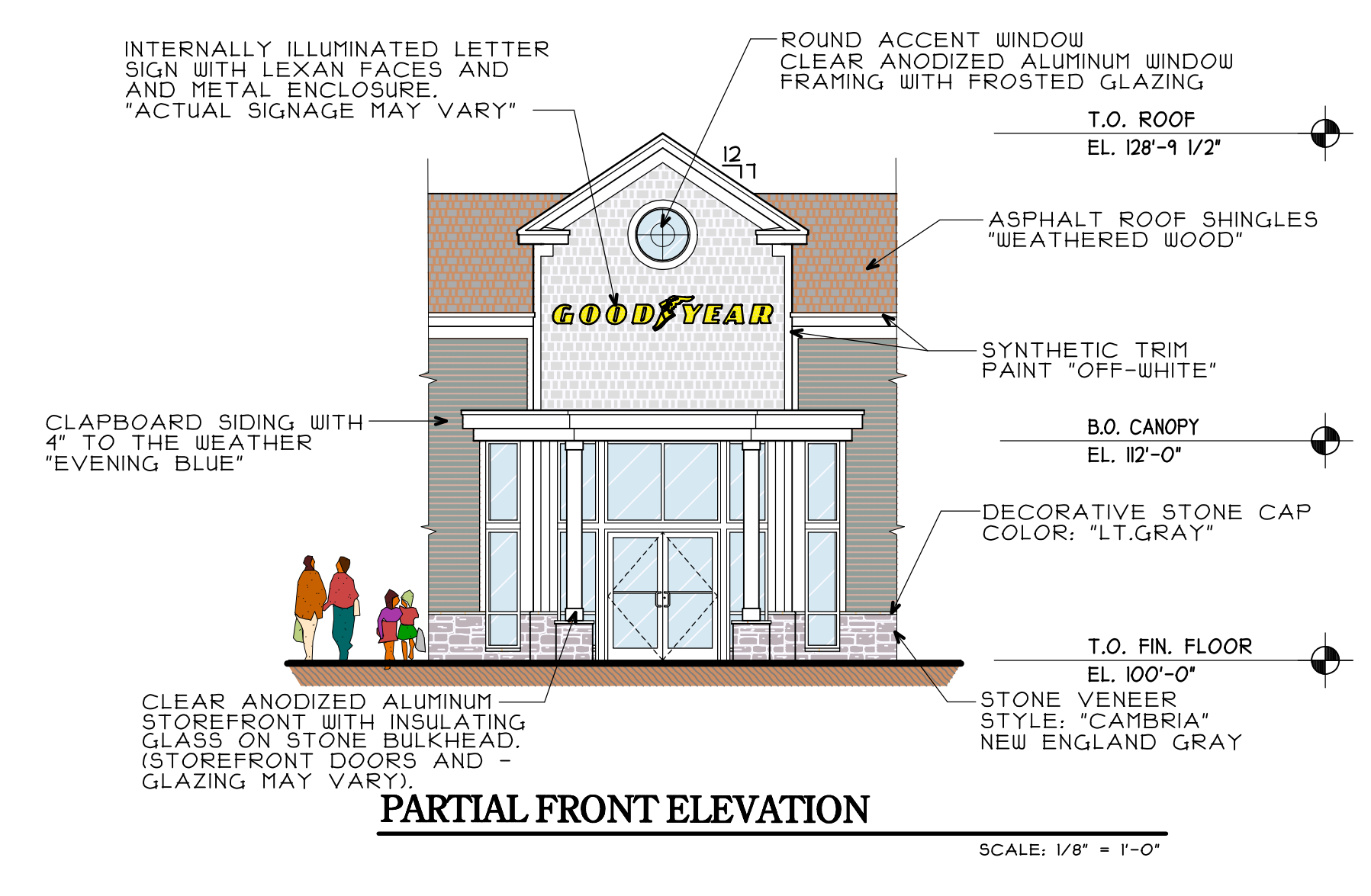
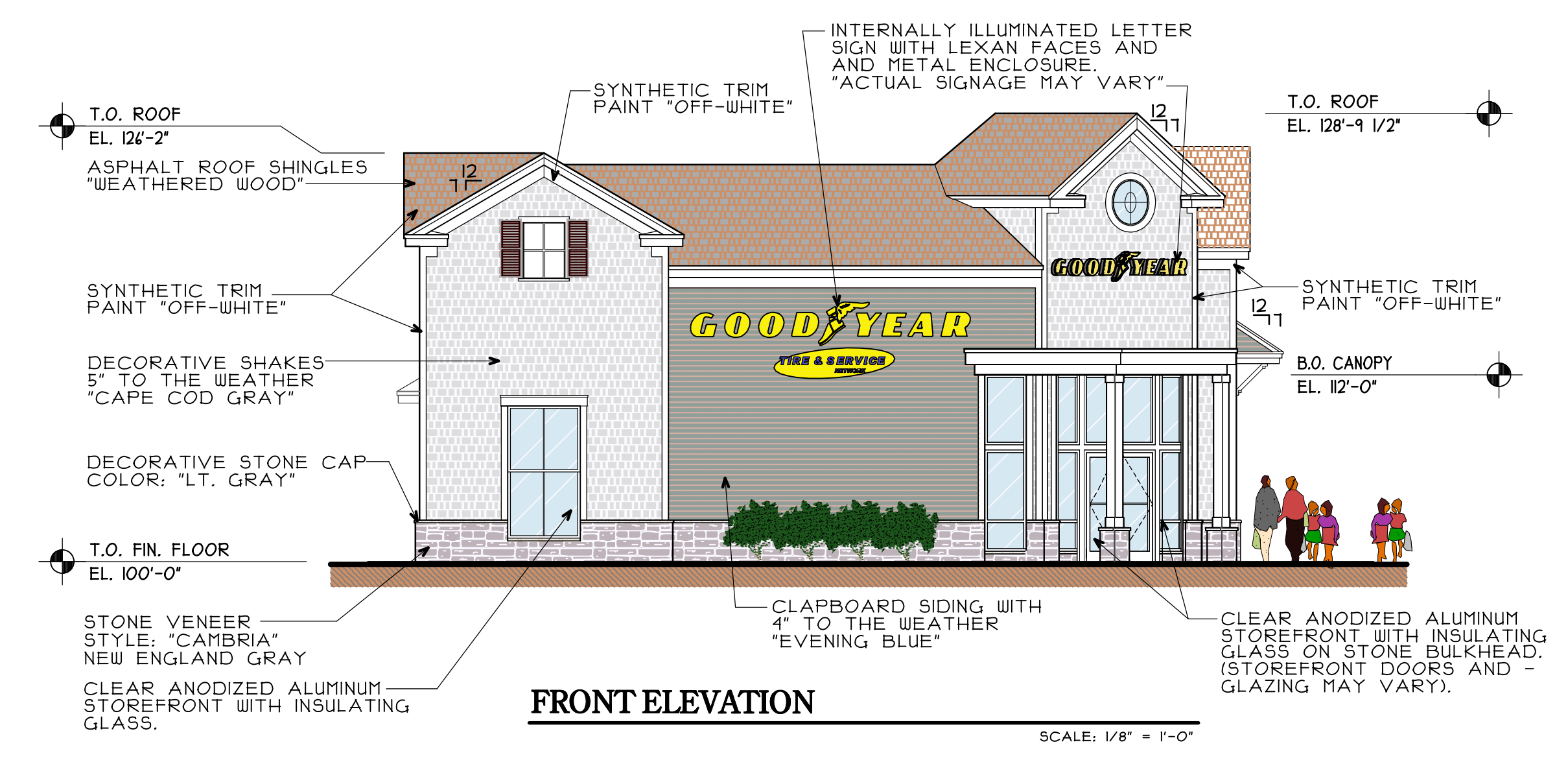
SHEET TITLE
JOB NAME

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DRAWN BY: P.F.
CHECKED BY: REL
DATE DRAWN: 1-12-15
DATE ISSUED: 4-01-15
SCALE: AS NOTED
JOB NUMBER: 13-30
ARCHITECT'S SEAL

ENGINEER'S SEAL

SHEET NUMBER

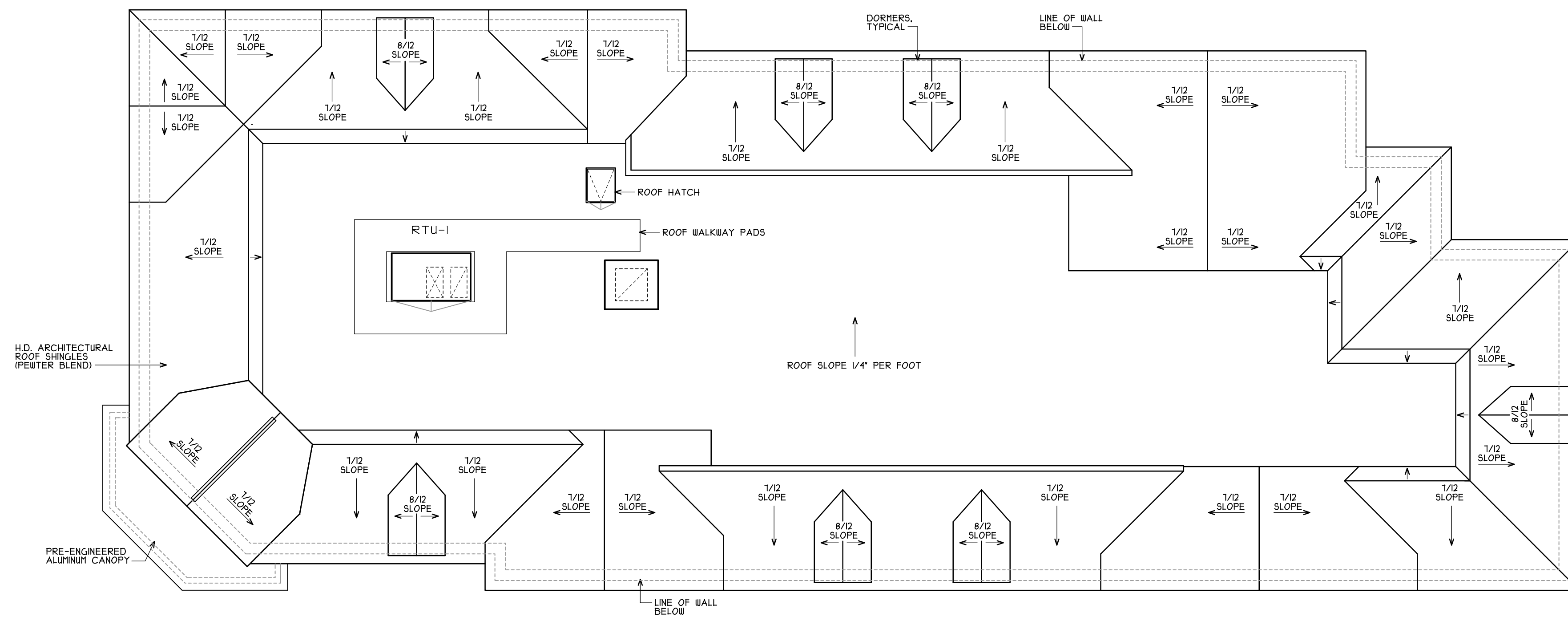


PROPOSED EXTERIOR ELEVATIONS
RETAIL BUILDING "A"
TRI VALLEY COMMONS
MEDWAY, MA

SHEET TITLE
JOB NAME

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SCALE: AS NOTED
JOB NUMBER: 13-30
ARCHITECT'S SEAL
ENGINEER'S SEAL



1
A3.1 **ROOF PLAN**
SCALE: 1/8" = 1'-0"

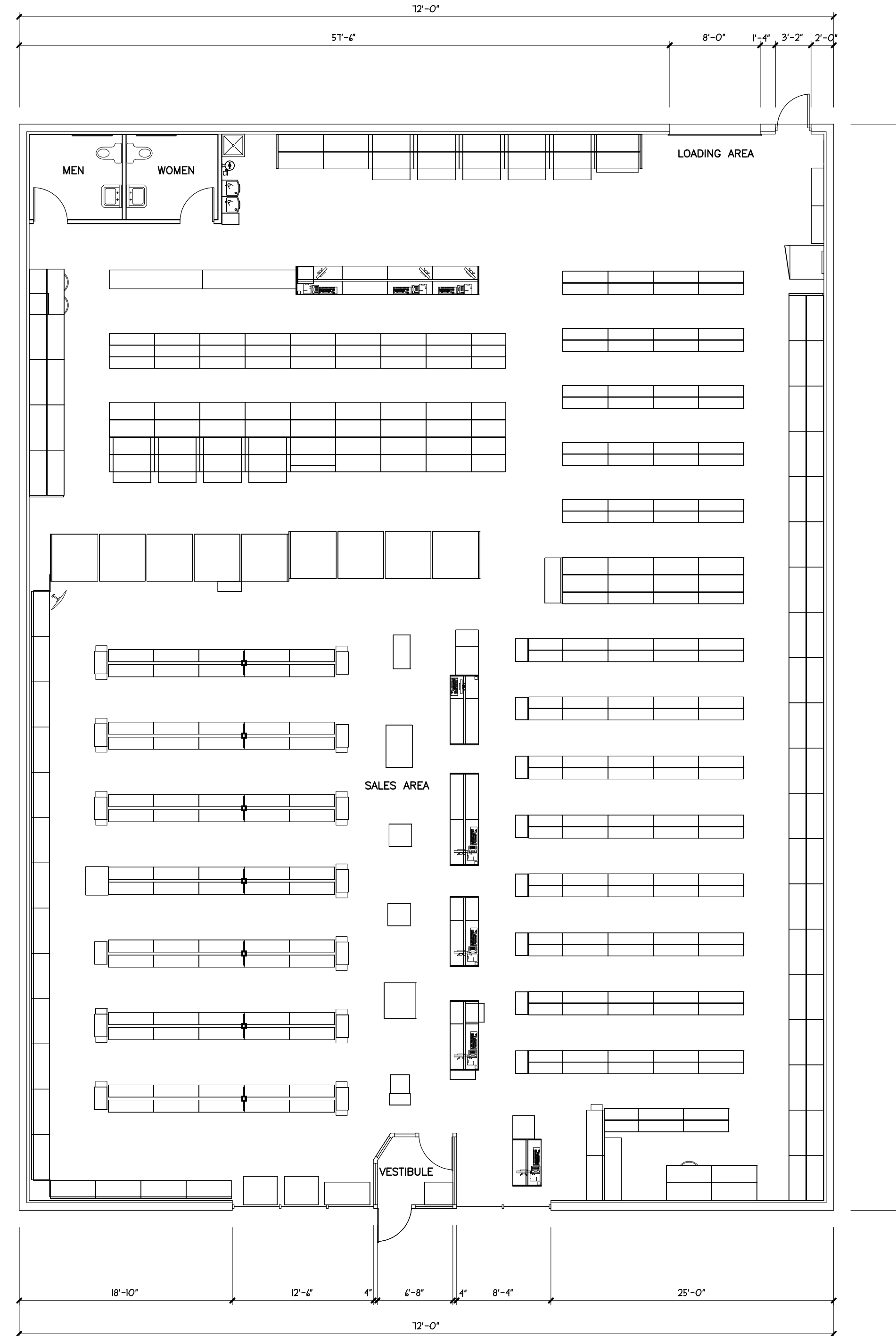
PROPOSED ROOF PLAN
RETAIL BUILDING "A"
TRI VALLEY COMMONS
MEDWAY, MA

SHEET TITLE
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SCALE: AS NOTED
JOB NUMBER: 13-30
ARCHITECT'S SEAL

ENGINEER'S SEAL



1
A1.2 FLOOR PLAN
SCALE: 1/8" = 1'-0"

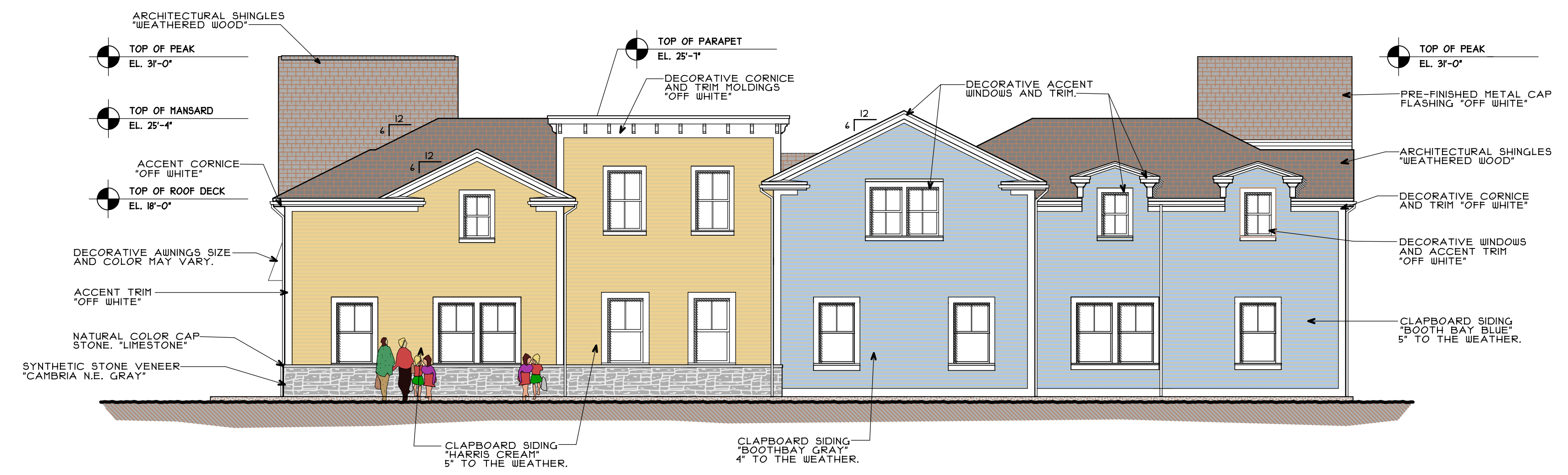
PROPOSED FLOOR PLAN
RETAIL BUILDING "B"
TRI VALLEY COMMONS
MEDWAY, MA

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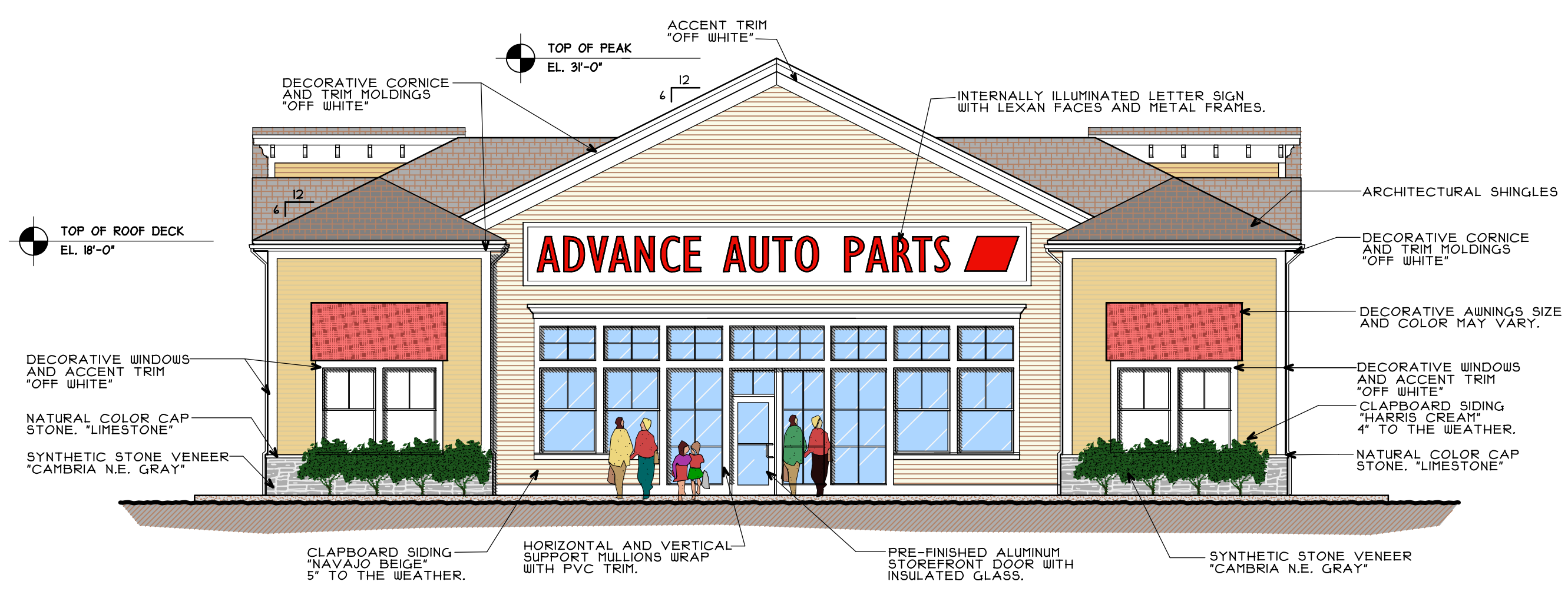
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ARCHITECT'S SEAL

ENGINEER'S SEAL



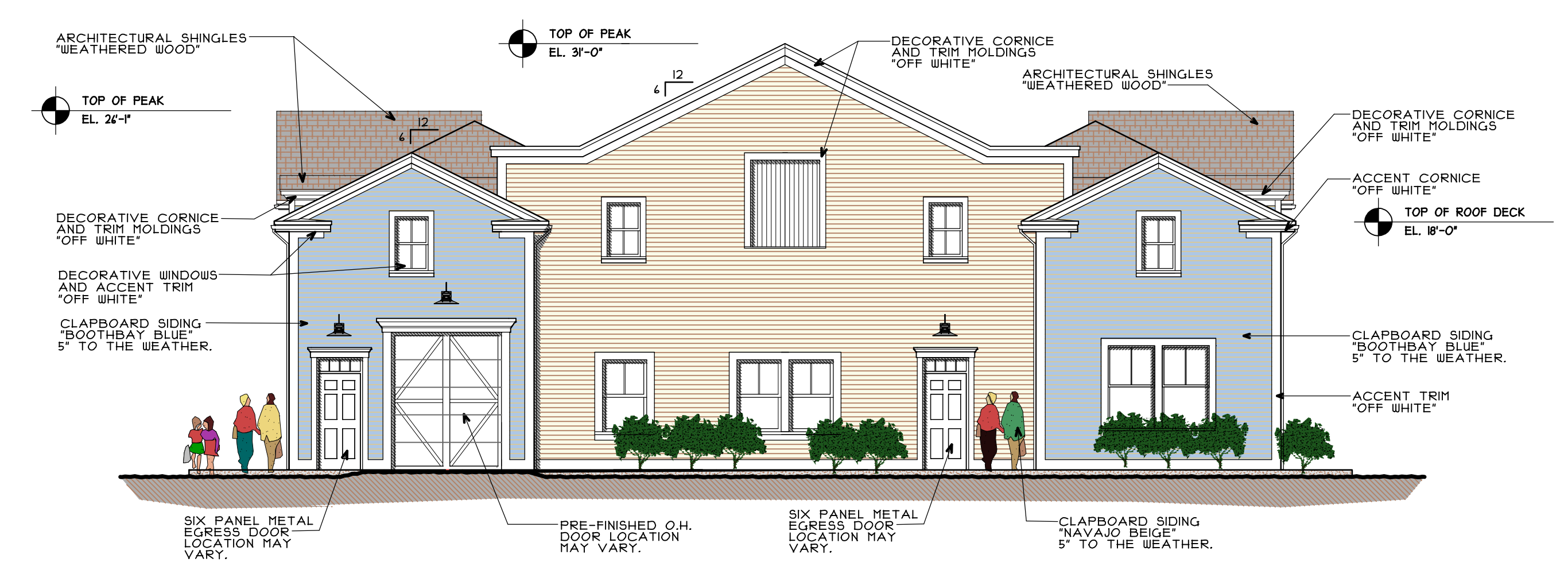
RIGHTSIDE ELEVATION

(FACES ADJACENT BLDG. "C" AND PARKING AREA) SCALE = 1/8" = 1'-0"



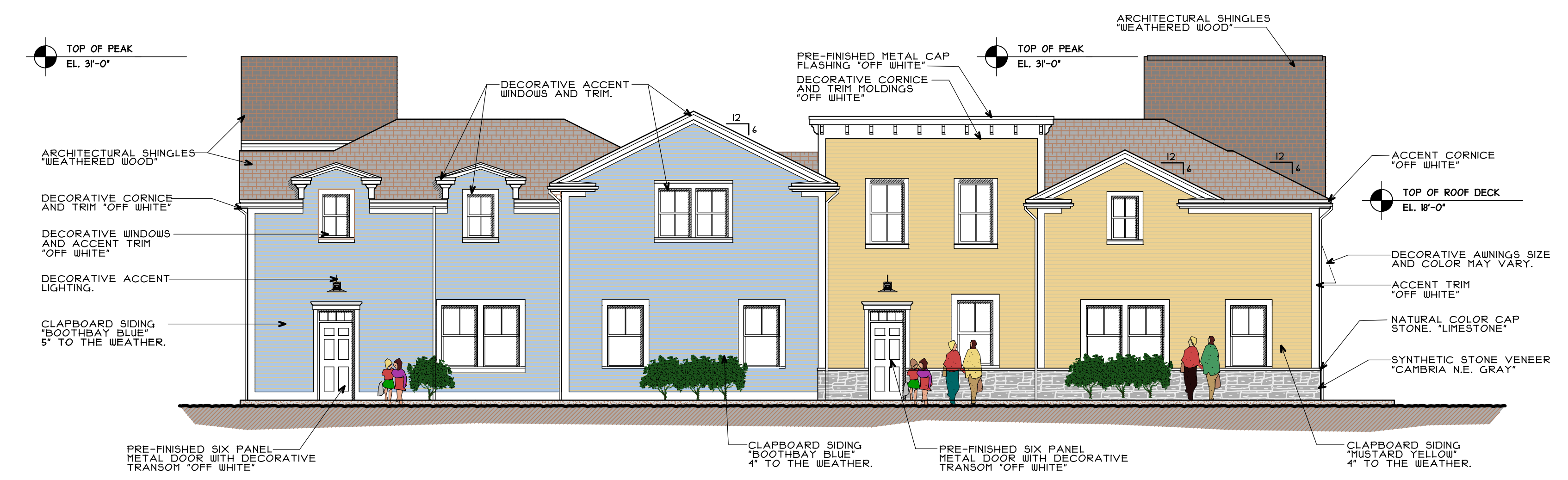
FRONT ELEVATION

(FACES ROUTE 109) SCALE = 1/8" = 1'-0"



REAR ELEVATION

SCALE = 1/8" = 1'-0"



LEFTRSIDE ELEVATION

(FACES ADJACENT BLDG. "A" AND PARKING AREA) SCALE = 1/8" = 1'-0"

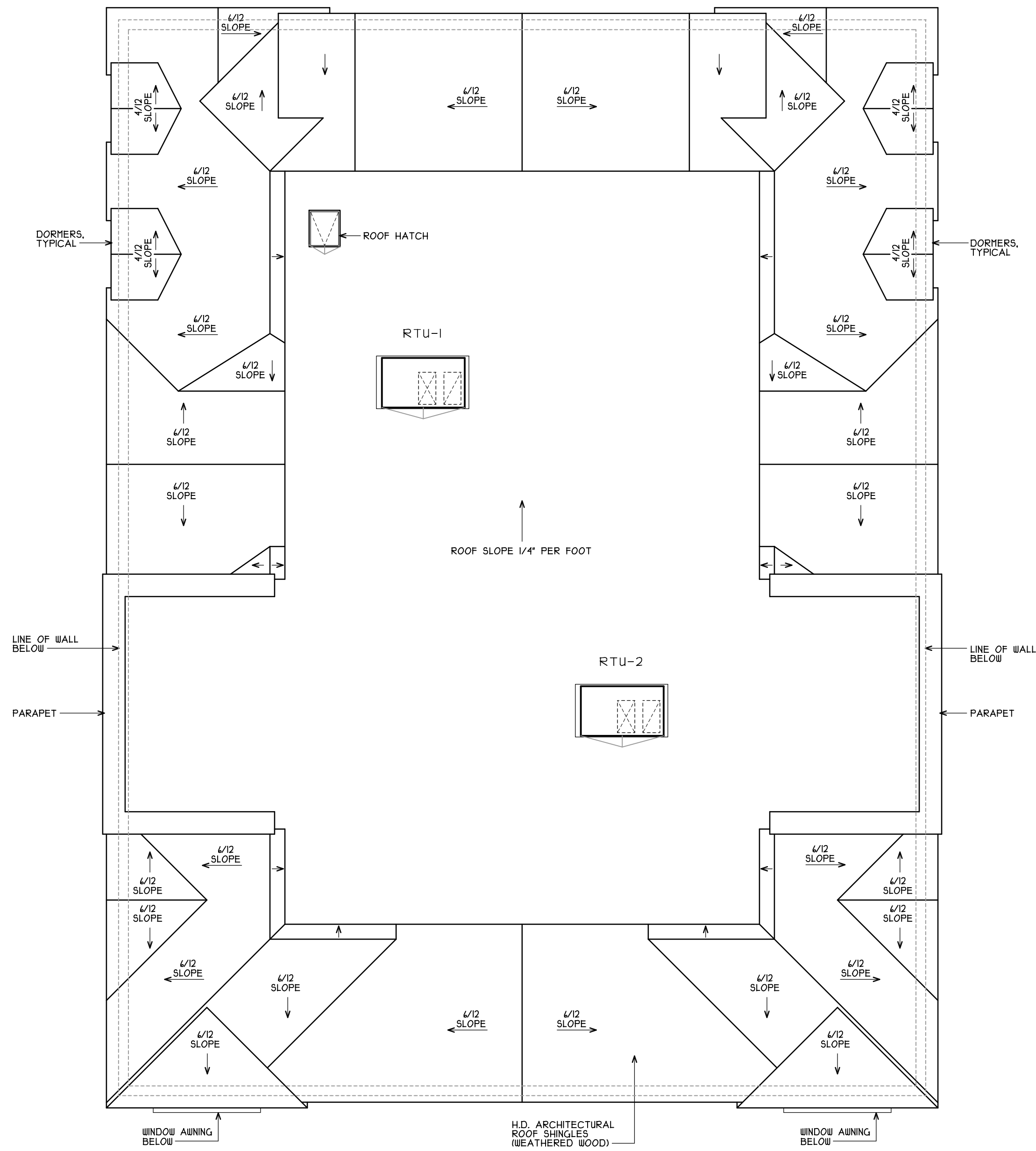
PROPOSED ELEVATIONS
RETAIL BUILDING "B"
 TRI VALLEY COMMONS
 MEDWAY, MA

SHEET TITLE
 JOB NAME

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DRAWN BY: P.F.
 CHECKED BY: REL
 DATE DRAWN: 1-12-15
 DATE ISSUED: 4-01-15
 SCALE: AS NOTED
 JOB NUMBER: 13-30
 ARCHITECT'S SEAL

ENGINEER'S SEAL



1 ROOF PLAN
A3.2 SCALE: 1/8" = 1'-0"

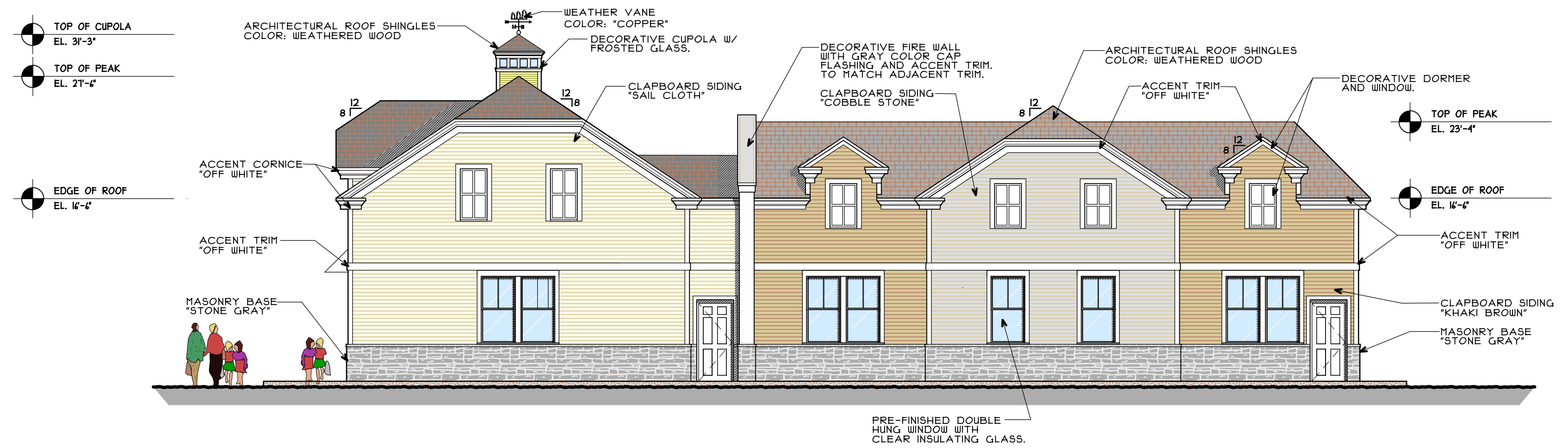
PROPOSED ROOF PLAN
RETAIL BUILDING "B"
 TRI VALLEY COMMONS
 MEDWAY, MA

SHEET TITLE
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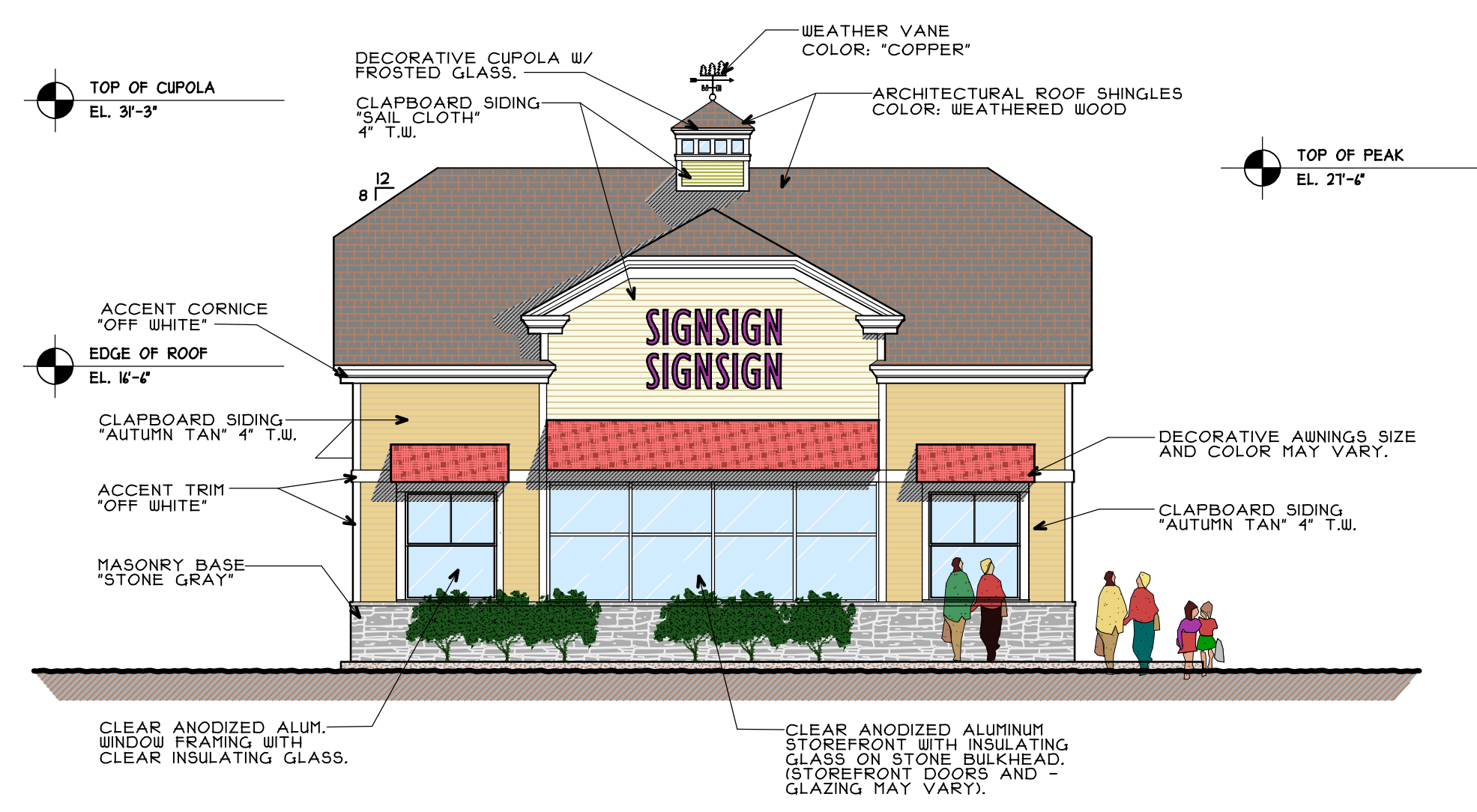
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 DATE ISSUED: 4-01-15
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 JOB NUMBER: 13-30
 ARCHITECT'S SEAL

ENGINEER'S SEAL



RIGHTSIDE ELEVATION

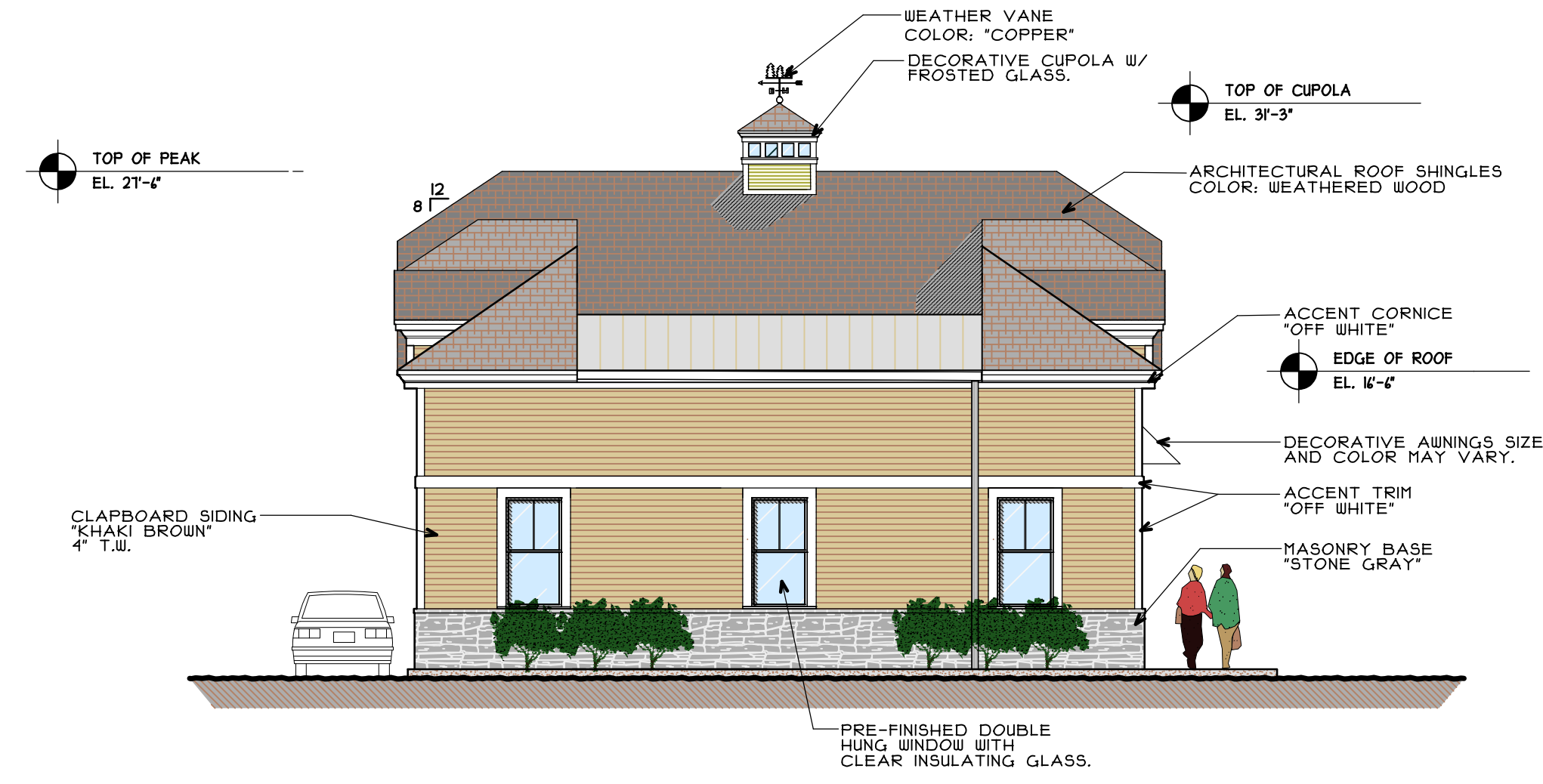
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FRONT ELEVATION

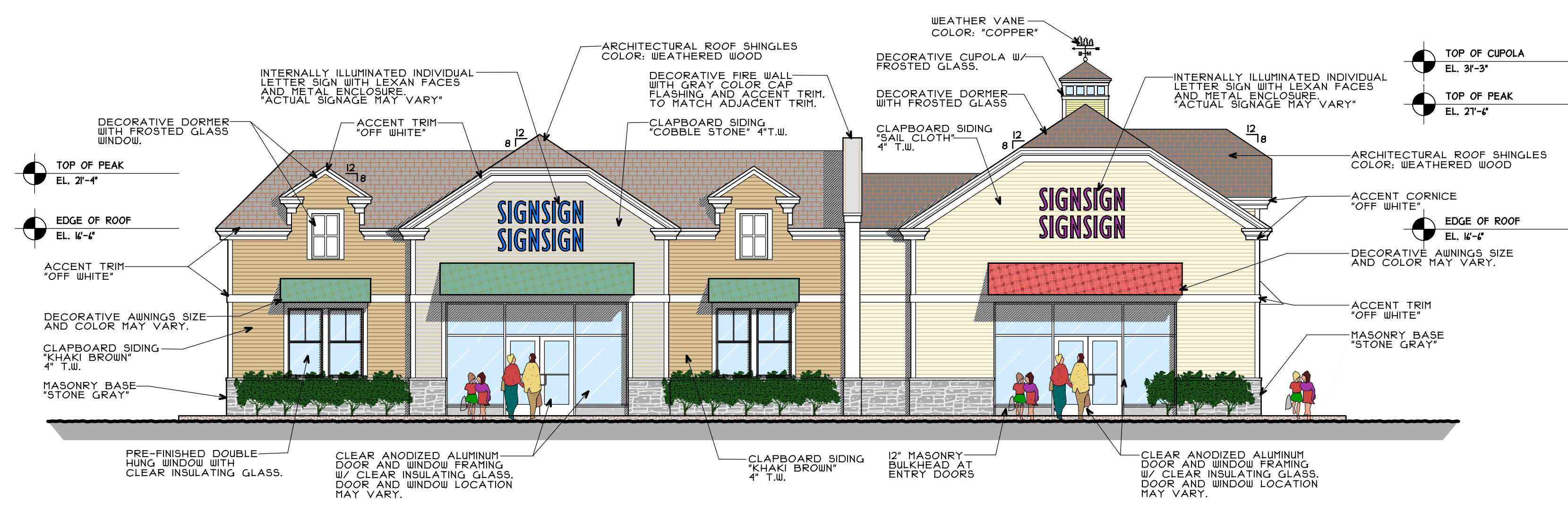
(FACES ROUTE 109)
NOTE: ZONING BYLAWS ALLOW ONLY (1) SIGN PER TENANT IN A MULTI-TENANT PROJECT.
SIGN SHOWN WILL REQUIRE A VARIANCE.

SCALE = 1/8" = 1'-0"



REAR ELEVATION

SCALE = 1/8" = 1'-0"



LEFTSIDE ELEVATION

(FACES ADJACENT BLDG. 'B' AND PARKING AREA)

SCALE = 1/8" = 1'-0"

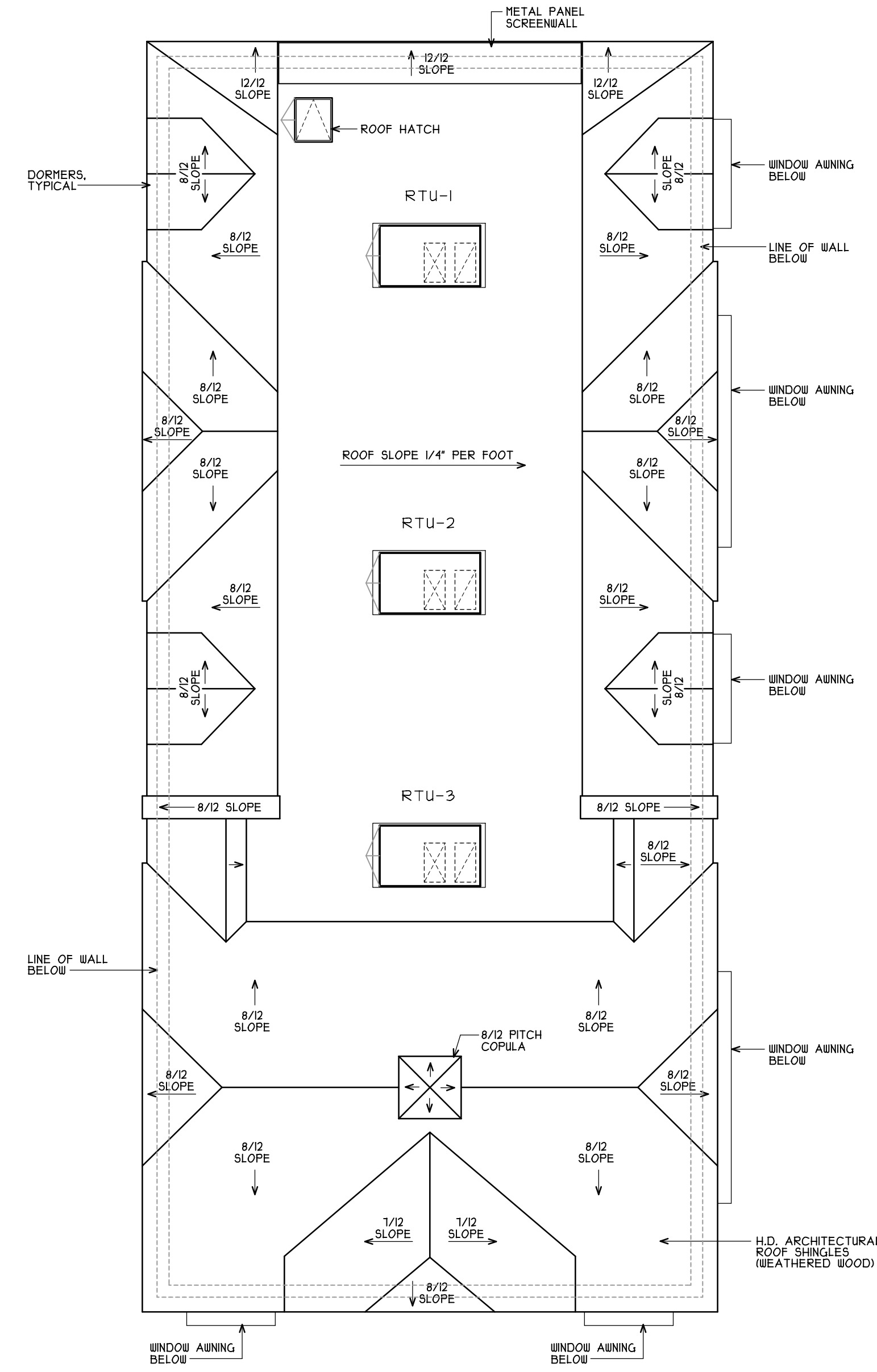
PROPOSED FRONT ELEVATIONS
RETAIL BUILDING 'C'
TRI VALLEY COMMONS
MEDWAY, MA

SHEET TITLE
JOB NAME

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CHECKED BY: REL
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DATE ISSUED: 4-01-15
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JOB NUMBER: 13-30
ARCHITECT'S SEAL

ENGINEER'S SEAL



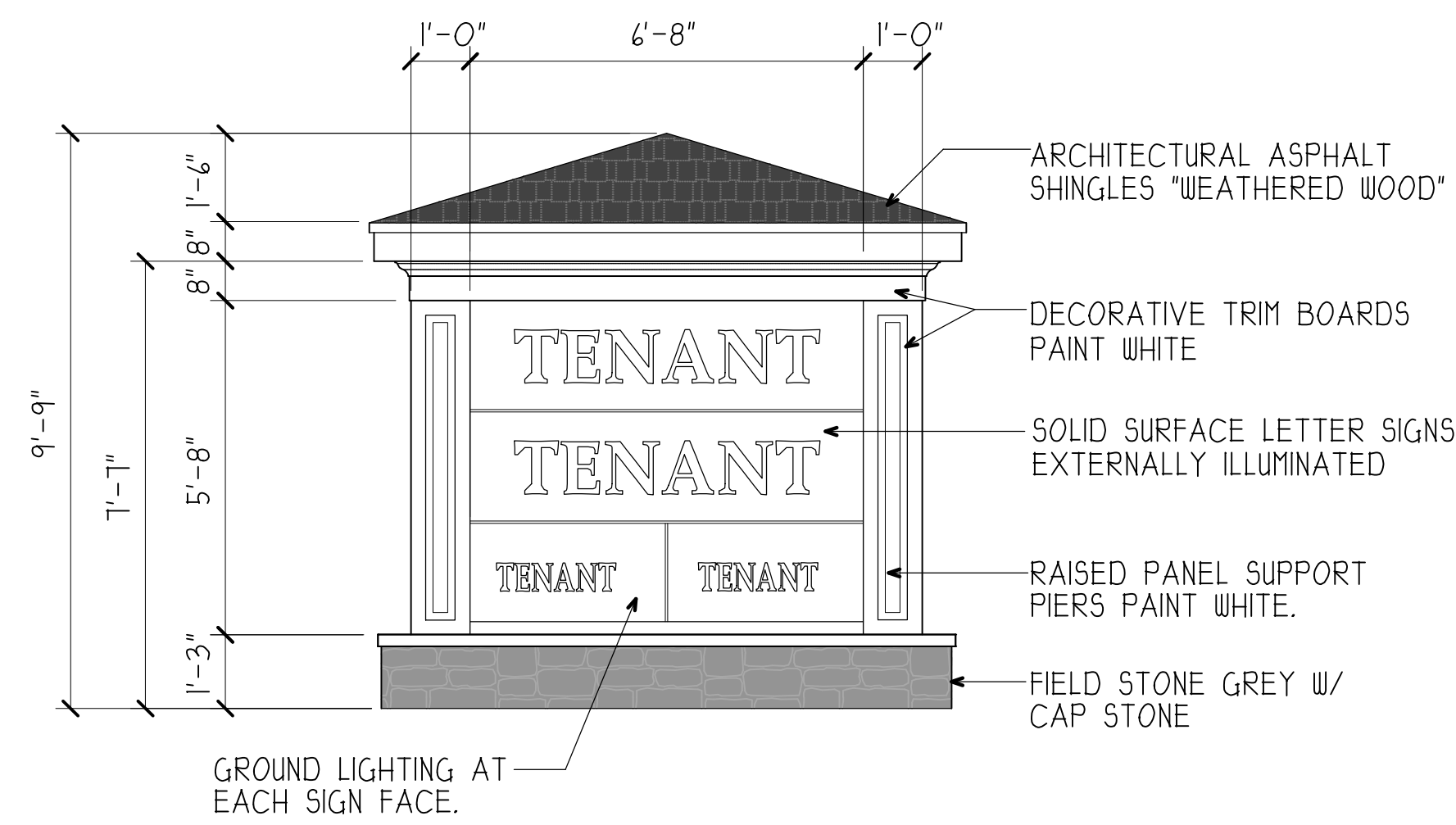
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A3.2 **ROOF PLAN**
SCALE: 1/8" = 1'-0"

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JOB NAME

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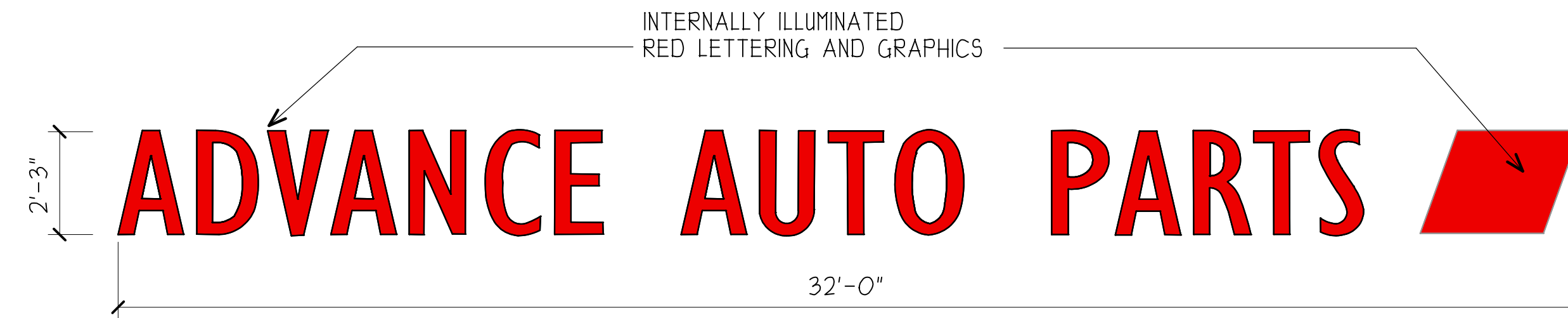
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ARCHITECT'S SEAL

ENGINEER'S SEAL



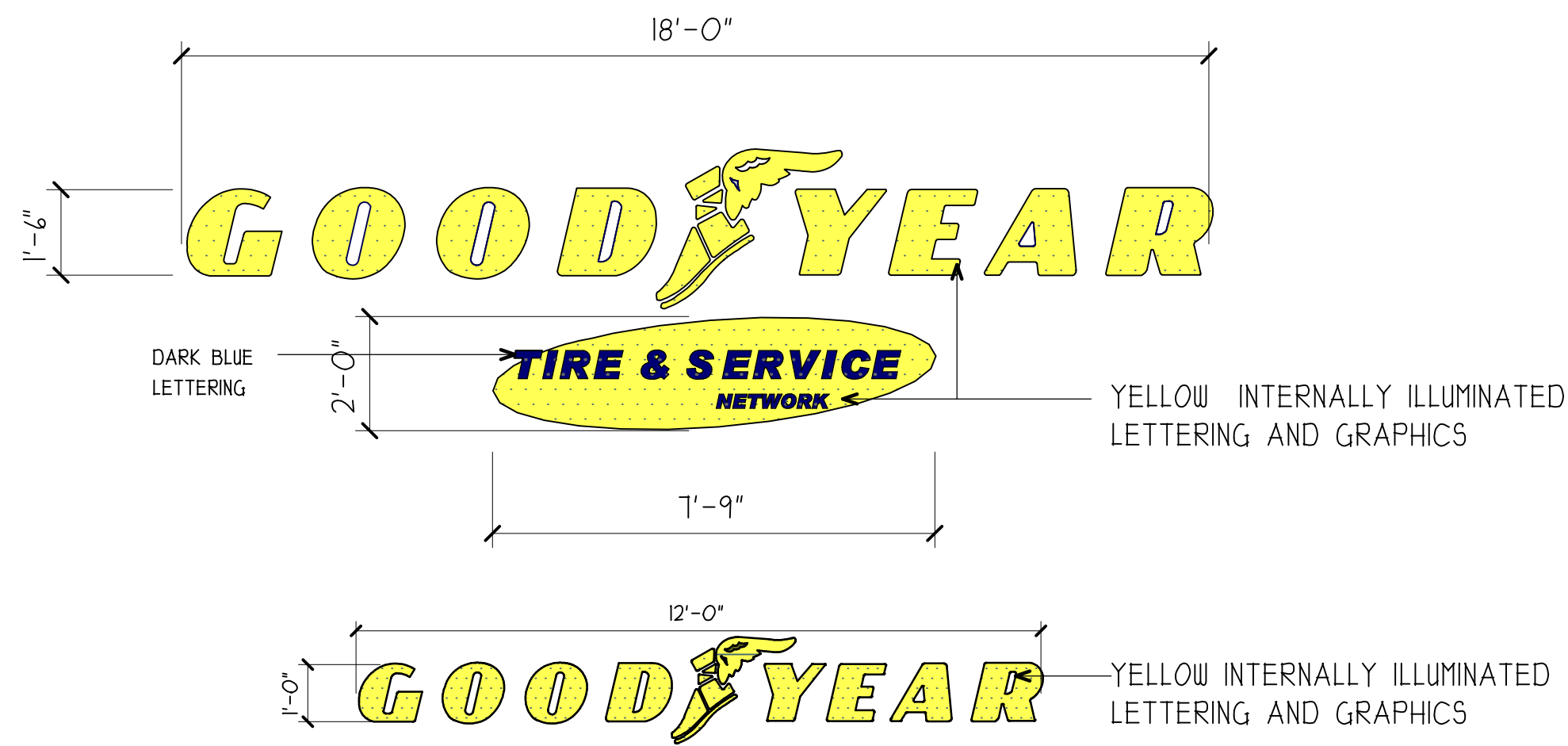
MONUMENT DEVELOPMENT SIGN

40SF SIGN SURFACE PER SIDE



WALL MOUNTED SIGN - BLDG B

1 12 SQ FT SIGN



WALL MOUNTED SIGNS - BLDG A

1 30SQ FT SIGN | 1 14SQ FT SIGN

MULTI TENANT SIGN STANDARDS

ALL BUILDING SIGNS SHALL CONFORM TO TOWN OF MEDWAY SIGN STANDARDS

ALL MULTI TENANT BUILDING SIGNAGE TO BE INTERNALLY ILLUMINATED CHANNEL LETTER SIGNS WITH COLOR FACES.

SIGNS SHALL BE BETWEEN 1'-8" AND 2'-6" HIGH.

SIGN IN A MULTI TENANT BUILDING SHALL NOT EXCEED 1 SF PER LINEAL FOOT OF FRONTAGE UP TO A MAXIMUM OF 80SF.

REVISIONS	
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DRAWN BY: B.J.M., P.F.
CHECKED BY: R.L.
DATE DRAWN: 3/2/15
DATE ISSUED:
SCALE: AS NOTED
JOB NUMBER: 13-30
ARCHITECT'S SEAL

SITE DEVELOPMENT PLANS

FOR:
PROPOSED

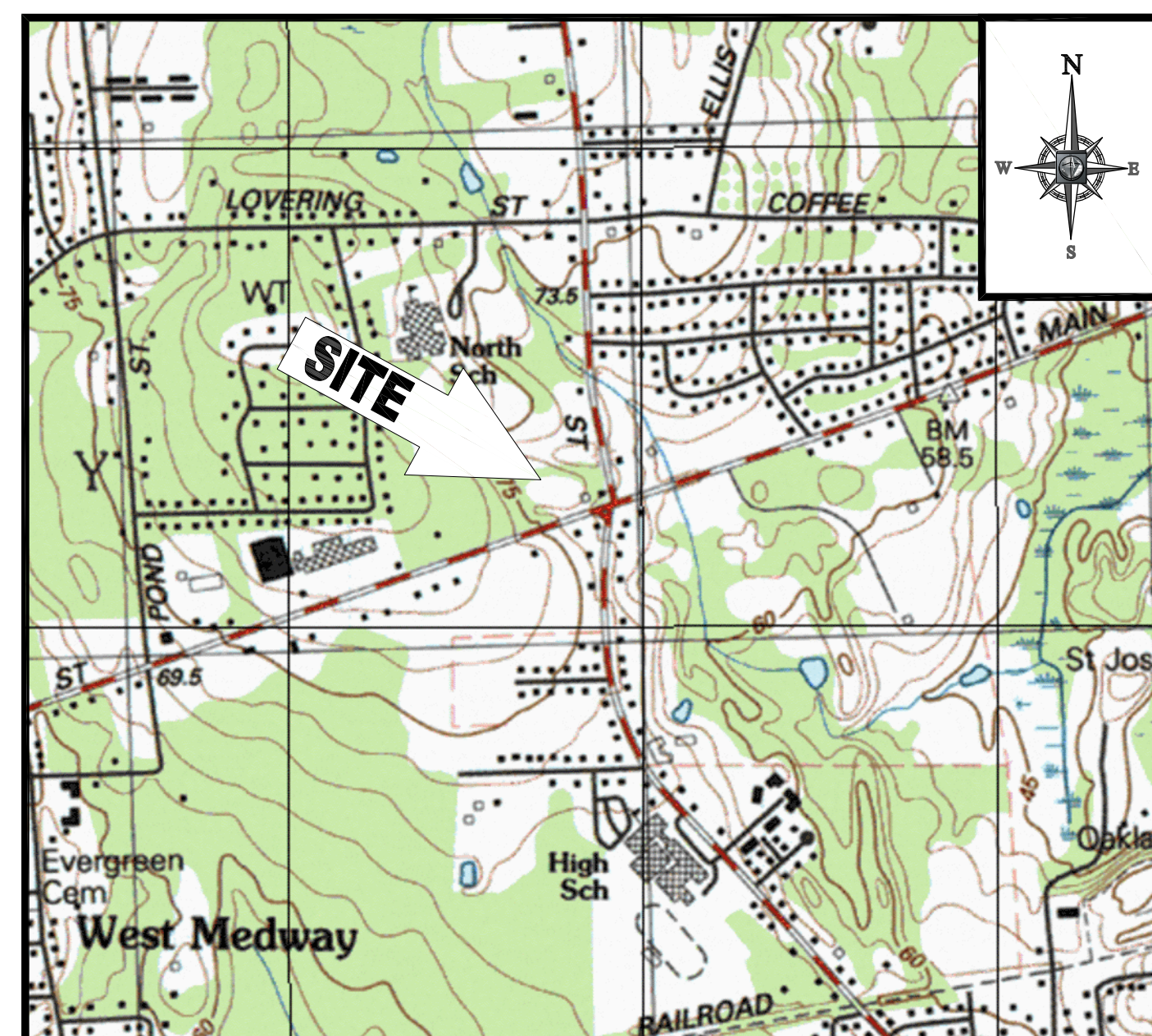
THURKEN III, LLC

"TRI VALLEY COMMONS"

LOCATION OF SITE:

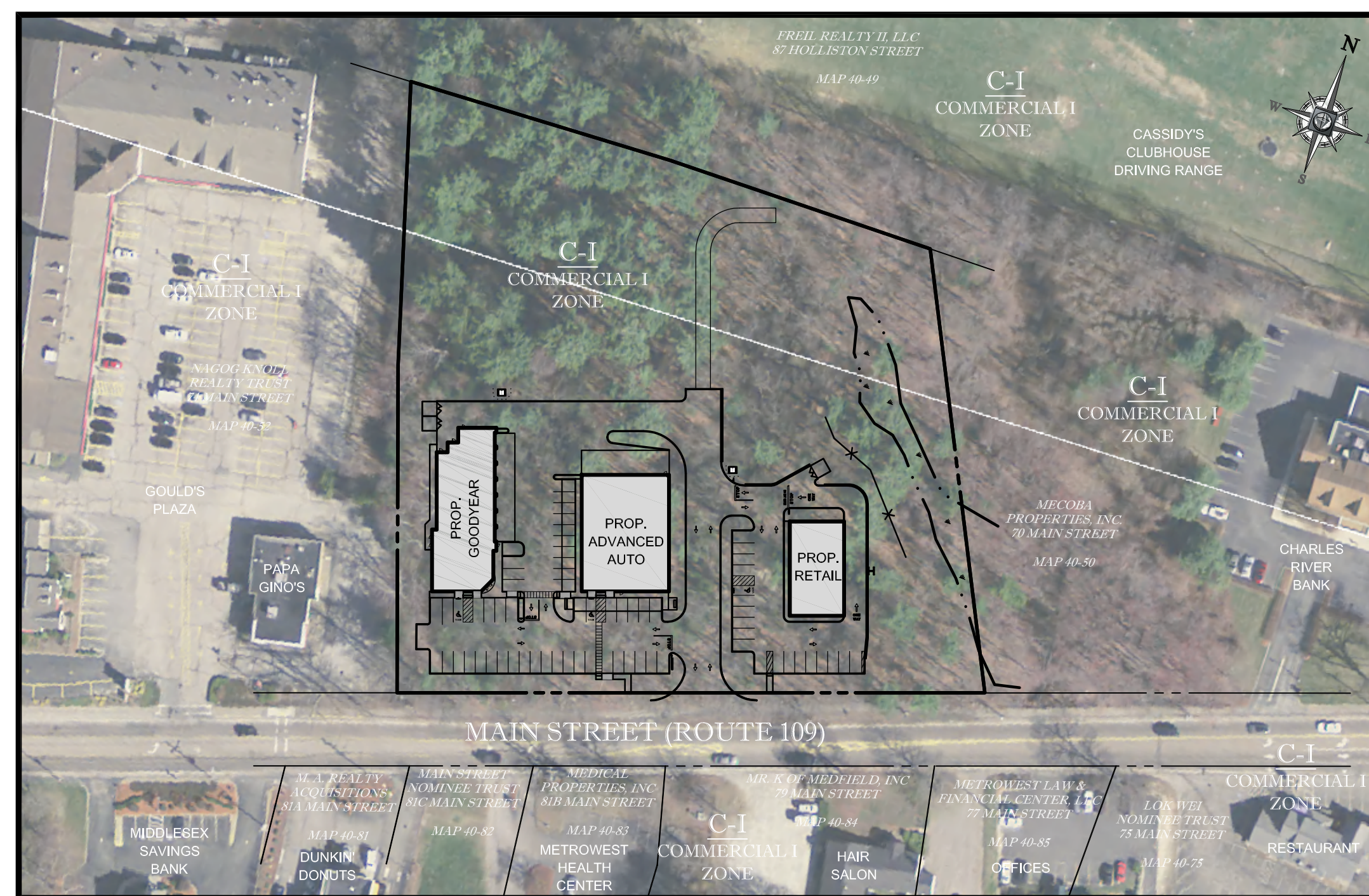
72 MAIN STREET, TOWN OF MEDWAY
NORFOLK COUNTY, MASSACHUSETTS

MAP 40, LOT 051



LOCATION MAP

SCALE: 1"=1000'
PLAN REFERENCE: MEDFIELD MASSACHUSETTS USGS QUADRANGLE



AREA PLAN

SCALE: 1"=100'

SHEET TITLE	SHEET NUMBER
COVER SHEET	1 OF 15
GENERAL NOTES SHEET	2 OF 15
DEMOLITION PLAN	3 OF 15
SITE PLAN	4 OF 15
GRADING & DRAINAGE PLAN	5 OF 15
UTILITY PLAN	6 OF 15
SOIL EROSION & SEDIMENT CONTROL PLAN	7 OF 15
SOIL EROSION CONTROL NOTES & DETAILS SHEET	8 OF 15
LANDSCAPE PLAN	9 OF 15
LANDSCAPE NOTES & DETAILS SHEET	10 OF 15
LIGHTING PLAN	11 OF 15
CONSTRUCTION DETAIL SHEET	12 OF 15
CONSTRUCTION DETAIL SHEET	13 OF 15
CONSTRUCTION DETAIL SHEET	14 OF 15
CONSTRUCTION DETAIL SHEET	15 OF 15
EXISTING CONDITIONS PLAN (BY OTHERS)	1 OF 1

SHEET INDEX

PLANNING BOARD WAIVERS REQUESTED

- 204.5.C.3.....EXISTING LANDSCAPE INVENTORY.
- 205.6.G.3.a.....10' X 20' PARKING STALLS DIMENSION REQUIREMENT
- 205.9.F.....TREE REPLACEMENT REQUIREMENT

OWNER:

MESCOBA PROPERTIES, INC.
70 MAIN STREET
MEDWAY, MA 02053

APPLICANT:

THURKEN III, LLC
P.O. BOX 857
NEWCASTLE, NH 03854

PREPARED BY



REVISIONS

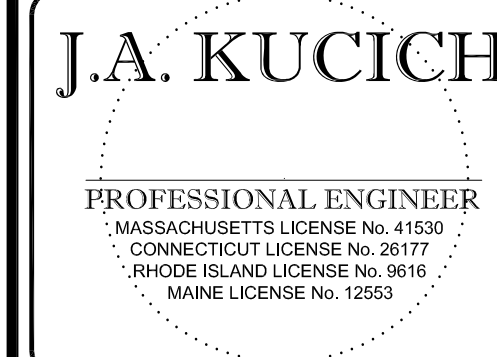
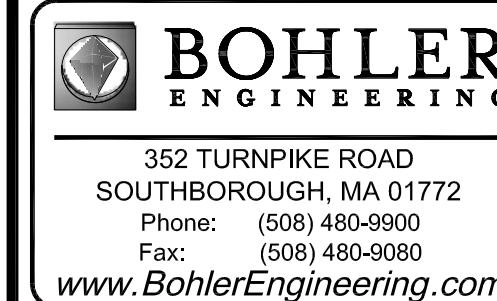
REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
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PRELIMINARY

PROJECT No.: W141182
DRAWN BY: CFDB/BPB
CHECKED BY: JAB/JAK
DATE: 10/20/15
SCALE: AS NOTED
CAD I.D.: W141182S1

SITE DEVELOPMENT PLANS FOR THURKEN III, LLC

LOCATION OF SITE
72 MAIN STREET
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS



COVER SHEET

SHEET NUMBER:
1
OF 15

REV 1 - 04/27/2015

APPROVED DATE: MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: BEING A MAJORITY

P:\141182\DWG\W141182S1.dwg, 01-Cover, 10/20/15, 4:28:59 PM, mabraham, Xref\5101-1.pcd, User\54, 10/20/2015

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- EXISTING CONDITIONS PLAN OF LAND, PREPARED BY GUERRIERE & HALNON, INC., DATED 05/20/14.
- CONCEPTUAL TRAFFIC IMPROVEMENT PLAN PREPARED BY RON MILLER AND ASSOCIATES, TITLED "TWO-WAY LEFT TURN LANE ROUTE 109", DATED 12/22/11.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) (29 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND OTHER DOCUMENTS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND/OR BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC., WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (COLL). ALL CONTRACTORS MUST HAVE THEIR COL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNIFY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LATEST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF HIS INSURANCE HEREUNDER.

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. ENGINEERING SHOP DRAWINGS CONDUCTED WITH REASONABLE CARE AND DUE DILIGENCE, AND THE INFORMATION SHOWN, WILL ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL, EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTORS FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING UNLESS NOTED OTHERWISE.

27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURERS' STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS "CERTIFY" OR "CERTIFICATION" CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNER'S PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT AND TO VERIFY THE ACCURACY OF ALL INFORMATION. CONTRACTOR SHOULD IMMEDIATELY NOTIFY AND REPORT TO THE ENGINEER, IN WRITING, ANY DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS ITSELF TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GRESSE TRAP REQUIREMENTS, SIGNALS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES AND/OR ORDINANCES AS DICTATED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THEREO.

8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DETERMINED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DICTATED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THEREO.

11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS, WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS. FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BACKFILL.

12. THE CONTRACTOR MUST COMPLY TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPIILING OF DEBRIS WILL NOT BE PERMITTED.

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REGULATIONS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO INCLUDE THE AS-BUILT LOCATIONS OF ALL UNDERGROUND STRUCTURES. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, DUMPS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT FLOWING. CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, OF ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST, IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEYS' FEES AND THE LIKE WHICH RESULT FROM SAME.

18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 1/2" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF .07% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

19. REFER TO THIS SHEET FOR ADDITIONAL NOTES.

20. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

21. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.

22. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

23. STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SALT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M28 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUPTIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

24. SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.

25. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURING CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

26. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

27. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL.

SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

• WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE ANWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH THE LOCAL JURISDICTION AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

30. WHERE BASEMENTS ARE TO BE PROVIDED FOR PROPOSED DWELLING UNITS, THE DEVELOPER SHALL, BY BORING OR BY TEST PIT, DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED DWELLINGS. WHERE GROUNDWATER IS ENCLINQUERING IN THE BASEMENT AREA, BASEMENTS WILL NOT BE INSTALLED UNLESS SPECIAL CONSTRUCTION METHODS ARE UTILIZED. TO BE REVIEWED AND APPROVED BY THE MUNICIPAL CONSTRUCTION CODE OFFICIAL. IF AND WHERE SUMP PUMPS ARE INSTALLED, ALL DISCHARGES MUST BE CONNECTED TO THE STORM SEWER. A CLEANOUT MUST BE PROVIDED PRIOR TO THE CONNECTION TO THE STORM DRAIN IN ORDER THAT BLOOMAGES CAN BE ADDRESSED.

31. FOR SINGLE AND TWO-FAMILY RESIDENTIAL PROJECTS, WHERE THE PROPOSED DWELLING AND ADJACENT SPOT ELEVATIONS (E) ARE SCHEMATIC FOR GENERIC BUILDING FOOTPRINT, GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE A MINIMUM OF SIX (6) INCHES BELOW TOP OF BLOCK AND OR SIX (6) INCHES BELOW SIDING, WHICHEVER IS LOWEST, AND MUST PROVIDE POSITIVE DRAINAGE (2% MIN) AWAY FROM DWELLING. ALL CONSTRUCTION, INCLUDING GRADING, MUST COMPLY WITH THE LATEST LOCAL AND STATE BUILDING CODE AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

32. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.

33. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSTANDARD CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

MUNICIPALITY SPECIFIC NOTES

- PLUMBERS AND DRAIN LAYERS OF ESTABLISHED REPUTATION AND EXPERIENCE WILL BE LICENSED BY THE BOARD AS DRAIN LAYERS AUTHORIZED TO PERFORM WORK.
- WATER AND SEWER WORK WITHIN THE RIGHT-OF-WAY SHOULD BE IN CONFORMANCE WITH THE TOWN OF MEDWAY WATERSEWER REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH THE MEDWAY DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF WORK.
- TRENCHING UNDER EXISTING ASPHALT IN THE RIGHT-OF-WAY WILL REQUIRE CONTROLLED DENSITY FILL AS BACKFILL MATERIAL.

GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

EXISTING CONDITIONS PLAN OF LAND
70 MAIN STREET
MEDWAY, MA
PREPARED BY GUERRIERE & HALNON, INC.
05/20/14

2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY. REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED, THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:

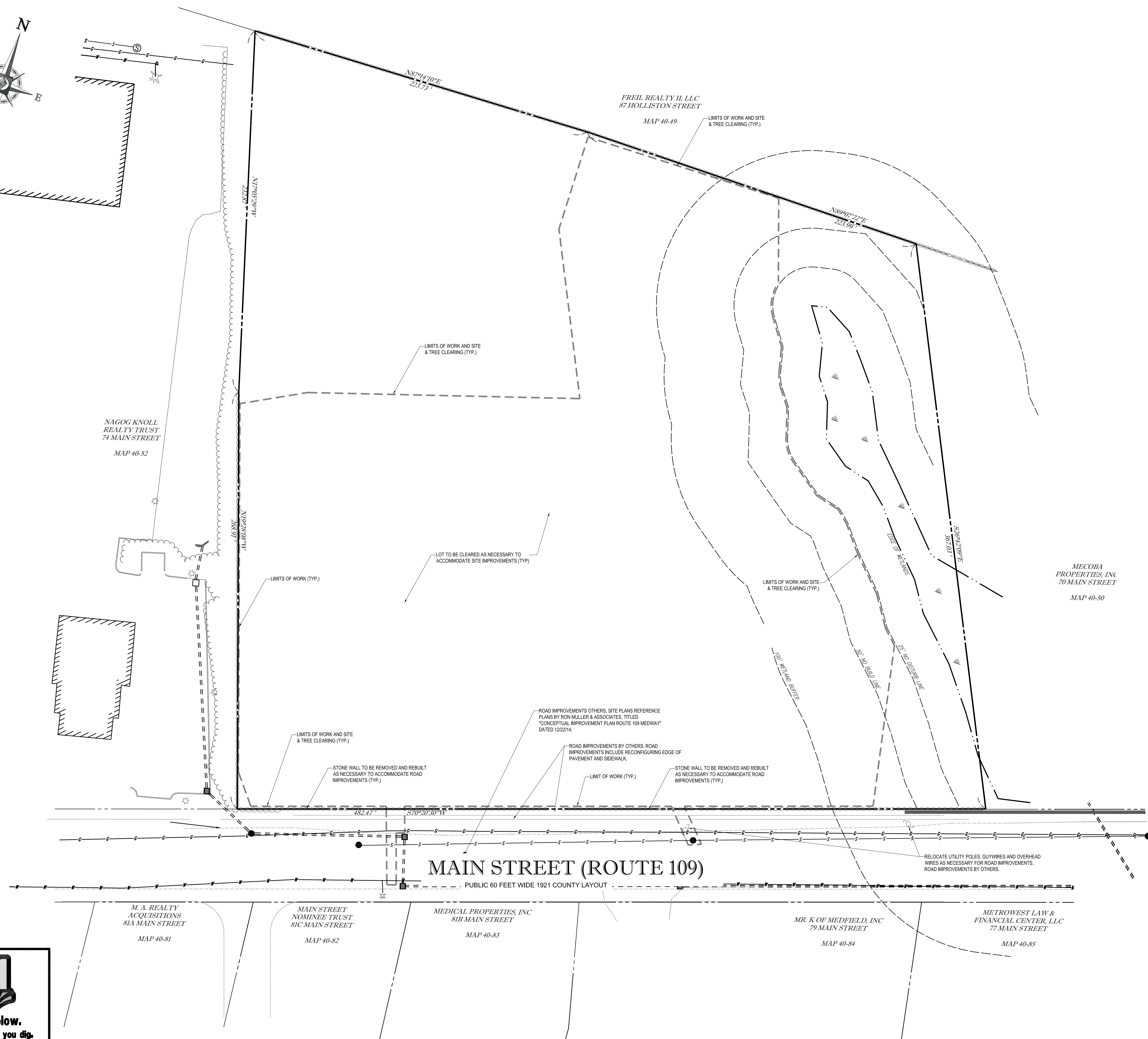
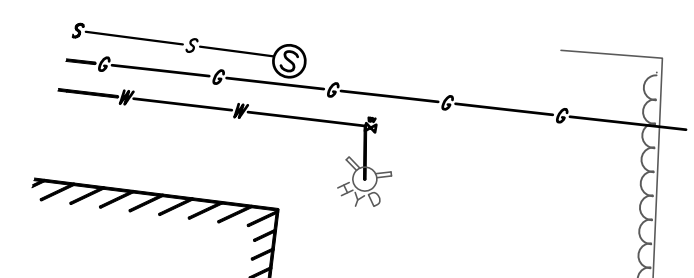
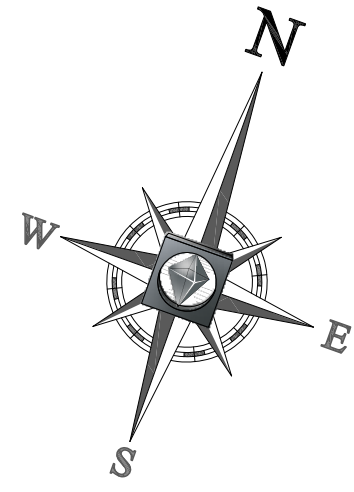
A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SPOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.

C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.



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STATE AND FEDERAL LICENSES IN: ARCHITECTURE, LANDSCAPE ARCHITECTURE, LAND SURVEYING, PROGRAM MANAGEMENT, TRANSPORTATION SERVICES, SUSTAINABLE DESIGN, PROGRAM MANAGEMENT, PERMITTING SERVICES.

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PRELIMINARY

PROJECT No.: W141182
 DRAWN BY: CFDB/BP
 CHECKED BY: JAB/JAK
 DATE: 1/9/2015
 SCALE: AS NOTED
 CAD I.D.: W141182S1

SITE DEVELOPMENT PLANS
 FOR
THURKEN III, LLC

LOCATION OF SITE
 72 MAIN STREET
 TOWN OF MEDWAY
 NORFOLK COUNTY
 MASSACHUSETTS

BOHLER ENGINEERING
 352 TURNPIKE ROAD
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 MASSACHUSETTS LICENSE No. 41539
 CONNECTICUT LICENSE No. 26177
 RHODE ISLAND LICENSE No. 9616
 MAINE LICENSE No. 12553

APPROVED DATE: _____
 MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: _____
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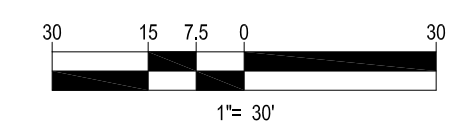
REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION/ REMOVAL PURPOSES ONLY

SHEET TITLE:
DEMOLITION PLAN

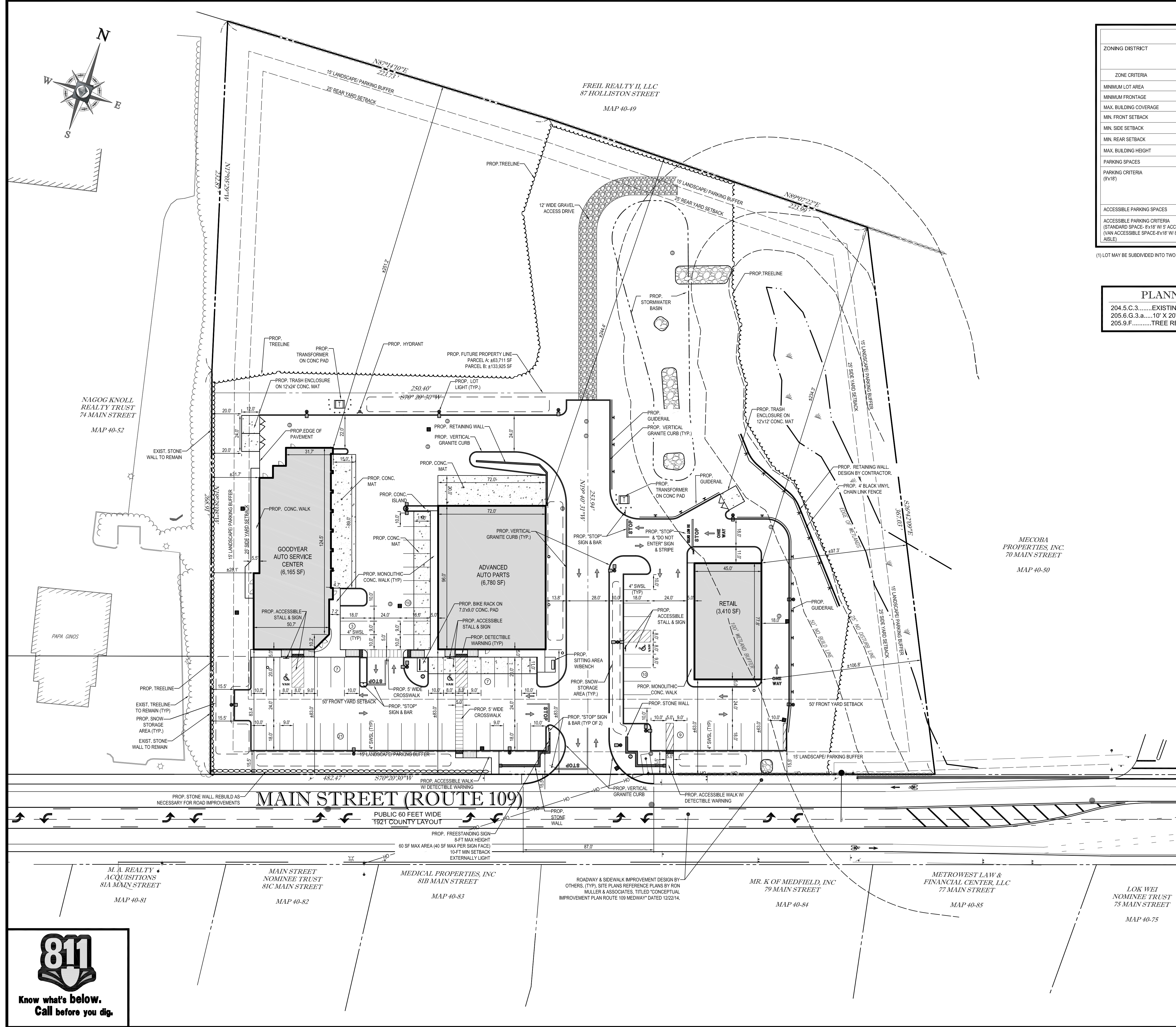
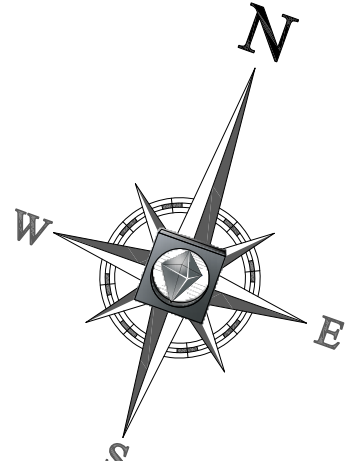
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3
 OF 15

REV 1 - 04/27/2015



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ZONING ANALYSIS TABLE			
ZONING DISTRICT	COMMERCIAL 1 (SHOPPING CENTER USE - 2BA SPECIAL PERMIT) (VEHICLE REPAIR USE - 2BA SPECIAL PERMIT) (RETAIL USE - BY RIGHT)		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 SF	±197,831 SF	NO CHANGE (1)
MINIMUM FRONTAGE	100-FT	482.47-FT	NO CHANGE
MAX. BUILDING COVERAGE	30%	N/A	±8.3%
MIN. FRONT SETBACK	50-FT	N/A	±63.0-FT
MIN. SIDE SETBACK	25-FT	N/A	±28.1-FT
MIN. REAR SETBACK	25-FT	N/A	±234.3-FT
MAX. BUILDING HEIGHT	40-FT	N/A	< 40-FT
PARKING SPACES	53	N/A	67
PARKING CRITERIA (9x18)	-RETAIL SPACE = 6,780 SF @ 1 SPACE/300 SF = 22.6 -RETAIL SPACE = 3,410 SF @ 1 SPACE / 300 SF = 11.4 -VEHICLE REPAIR = 1,300 SF & 7 BAYS @ 1 SPACE/300 SF AND 2 SPACE/BAY = 19		
ACCESSIBLE PARKING SPACES	3	N/A	3
ACCESSIBLE PARKING CRITERIA (STANDARD SPACE-8'x18' W/ 8' ACCESS AISLE) (VAN ACCESSIBLE SPACE-8'x18' W/ 8' ACCESS AISLE)	TOTAL PARKING 28 TO 50 = 2 ACCESSIBLE SPACE (VAN ACCESSIBLE SPACES= 1/6 SPACES)		

(1) LOT MAY BE SUBDIVIDED INTO TWO LOTS IN FUTURE. LOT A: ±63,711 SF; LOT B: ±133,925 SF.

PLANNING BOARD WAIVERS REQUESTED
 204.5.C.3.....EXISTING LANDSCAPE INVENTORY.
 205.6.G.3.a.....10' X 20' PARKING STALLS DIMENSION REQUIREMENT
 205.9.F.....TREE REPLACEMENT REQUIREMENT

REVISIONS			
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PRELIMINARY
 PROJECT No.: W141182
 DRAWN BY: CFD/IBP
 CHECKED BY: JAB/JAK
 DATE: 1/9/2015
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 CAD I.D.: W141182S1

SITE DEVELOPMENT PLANS FOR THURKEN III, LLC
 LOCATION OF SITE
 72 MAIN STREET
 TOWN OF MEDWAY
 NORFOLK COUNTY
 MASSACHUSETTS

APPROVED DATE: _____
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LARGE ROCKS FOUND DURING CONSTRUCTION WILL BE USED AS LANDSCAPE FEATURES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

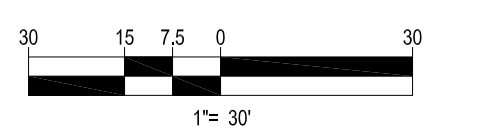
REFER TO GENERAL NOTES SHEET FOR NOTES

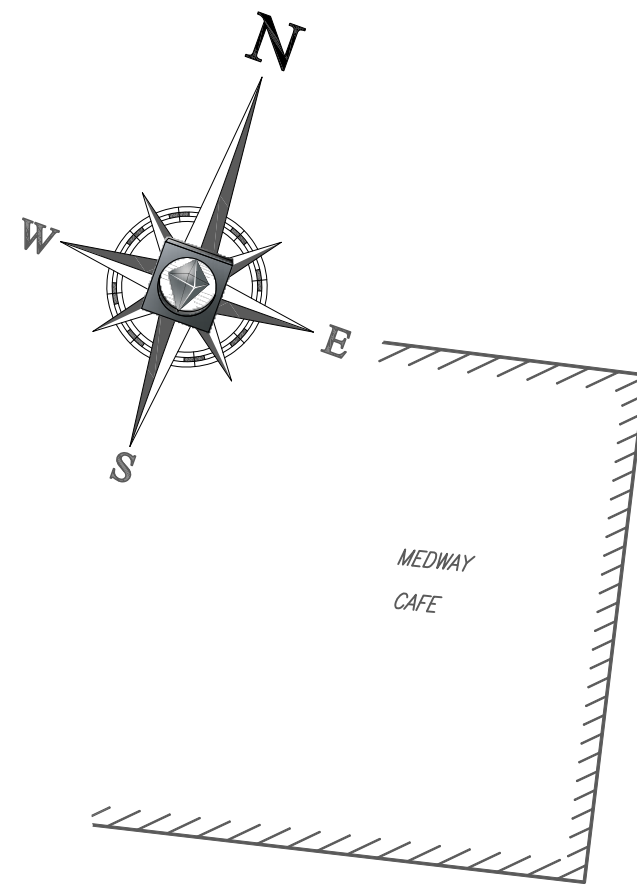
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SHEET TITLE: **SITE PLAN**
 SHEET NUMBER: **4**
 OF 15
 REV 1 - 04/27/2015

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FREIL REALTY II, LLC
87 HOLLISTON STREET
MAP 40-49

NAGOG KNOLL
REALTY TRUST
74 MAIN STREET
MAP 40-52

MECOBA
PROPERTIES, INC.
70 MAIN STREET
MAP 40-50

MAIN STREET (ROUTE 109)

PUBLIC 60 FEET WIDE 1921 COUNTY LAYOUT

M.A. REALTY
ACQUISITIONS
81A MAIN STREET
MAP 40-81

MAIN STREET
NOMINEE TRUST
81C MAIN STREET
MAP 40-82

MEDICAL PROPERTIES, INC
81B MAIN STREET
MAP 40-83

MR. K OF MEDFIELD, INC
79 MAIN STREET
MAP 40-84

METROWEST LAW &
FINANCIAL CENTER, LLC
77 MAIN STREET
MAP 40-85



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PROJECT: **SITE DEVELOPMENT PLANS**
FOR
THURKEN III, LLC

LOCATION OF SITE
72 MAIN STREET
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

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CONTRACTOR SHALL COORDINATE WITH THE MEDWAY DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF WORK.

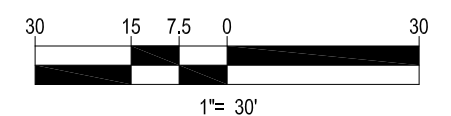
THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES

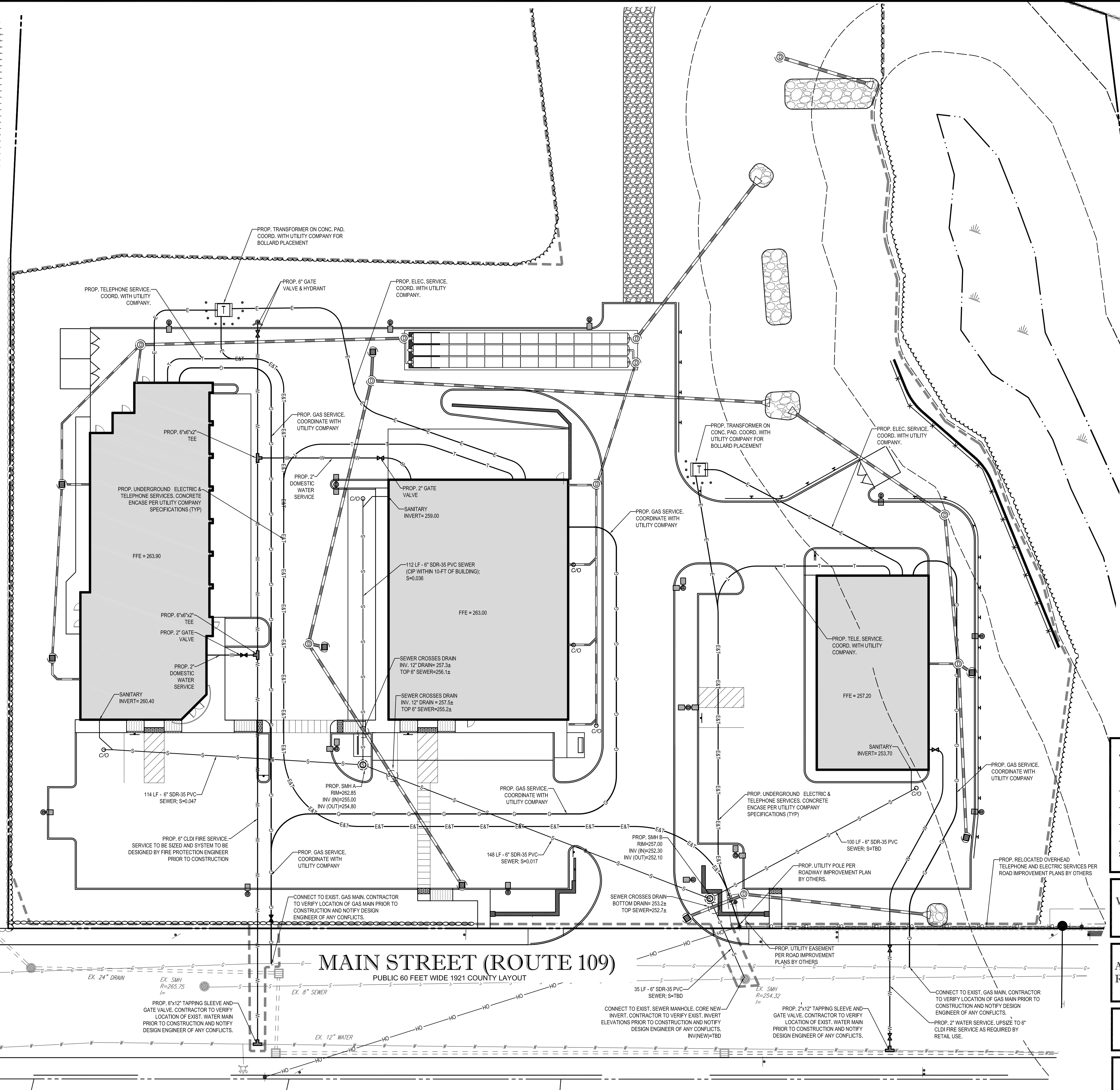
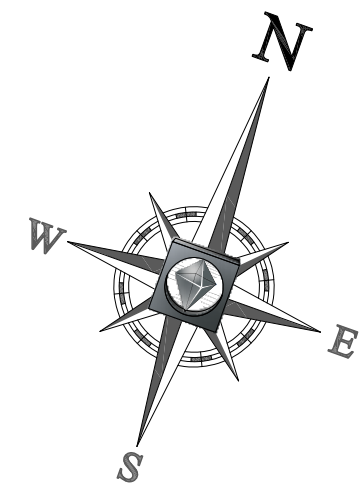
SHEET TITLE: **GRADING & DRAINAGE PLAN**

SHEET NUMBER: **5**
OF 15

REV 1 - 04/27/2015



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MAIN STREET (ROUTE 109)
PUBLIC 60 FEET WIDE 1921 COUNTY LAYOUT

ESTIMATED SEWER DEMAND
 GOODYEAR AUTO SERVICE CENTER: 1,666 SF
 ADVANCED AUTO PARTS: 6,780 SF
 RETAIL BUILDING: 3,410 SF
 TOTAL RETAIL AREAS: 11,856 SF
 ESTIMATED SEWER FLOW PER TITLE 5:
 RETAIL: 50 GPD / 1,000 SF
 11,856 SF * (50 GPD / 1,000 SF) = 593 GPD
 SERVICE STATION: 150 GPD / BAY
 7 BAYS * (150 GPD / BAY) = 1,050 GPD
 TOTAL ESTIMATED SEWER FLOW = 1,643 GPD

APPROVED DATE: _____
 MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

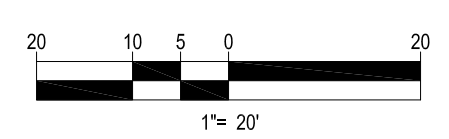
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CONTRACTOR SHALL COORDINATE WITH THE MEDWAY DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF WORK.

TRENCHING UNDER EXISTING ASPHALT IN THE RIGHT-OF-WAY WILL REQUIRE CONTROLLED DENSITY FILL AS BACKFILL MATERIAL.

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REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



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SITE DEVELOPMENT PLANS FOR THURKEN III, LLC
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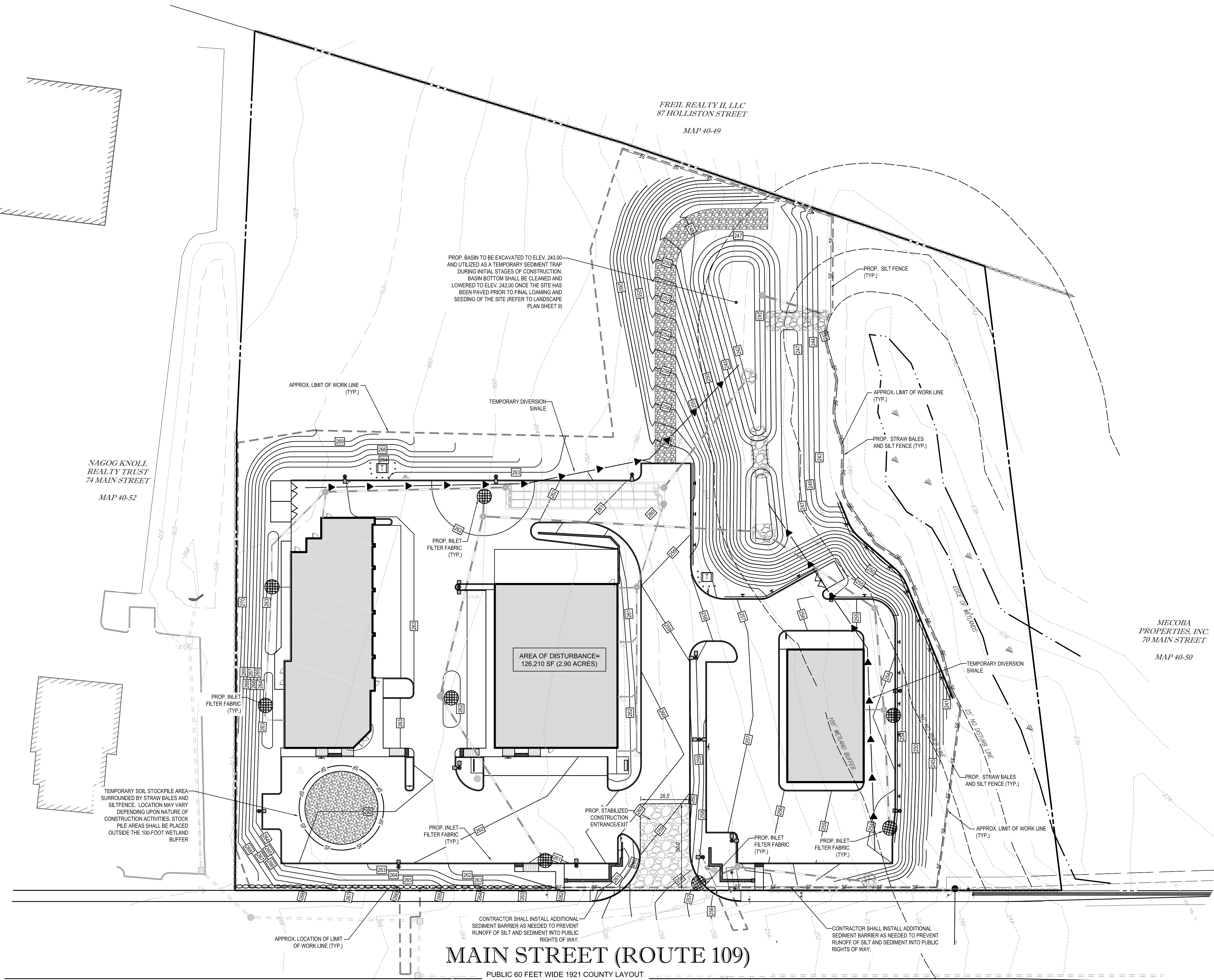
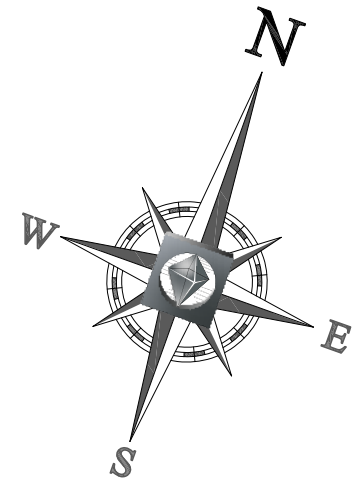
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SHEET TITLE: **UTILITY PLAN**
 SHEET NUMBER: **6**
 OF 15
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SITE DEVELOPMENT PLANS
 FOR
THURKEN III, LLC

LOCATION OF SITE
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 TOWN OF MEDWAY
 NORFOLK COUNTY
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THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS

1" = 30'

SHEET TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:
7
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EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UP/SLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LBS PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS; SEEDING RATE IS 1.03 LBS PER 1,000 SF. LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.

- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED BY WHA/BALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

LOCATION PROTECT AREA	MULCH STRAW	RATE (1000 SF)
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED

GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON HAY MULCH FOR WIND CONTROL.

MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1 SO, YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

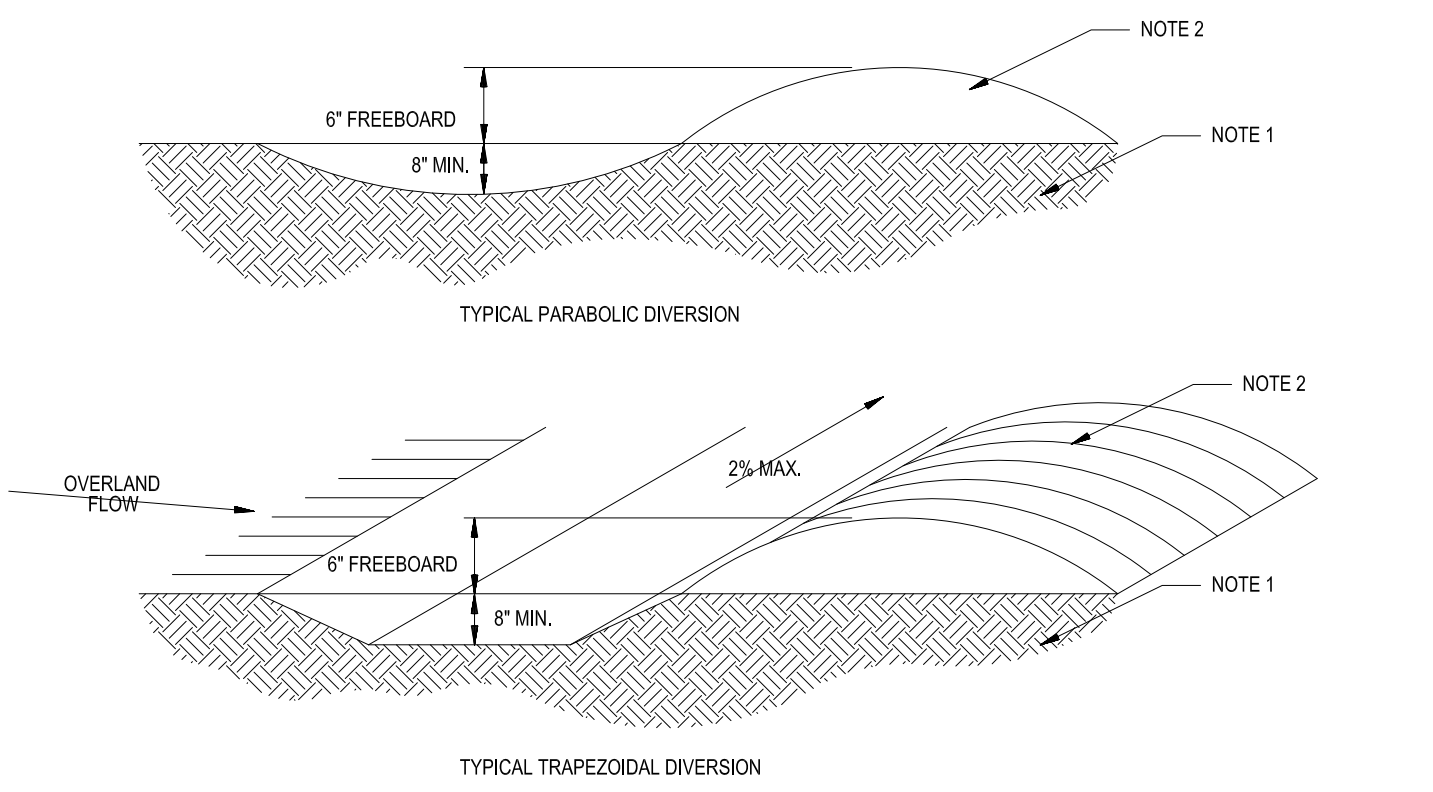
EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 100 LB PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
 - AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
 - DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
 - STOCKPIILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
 - EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

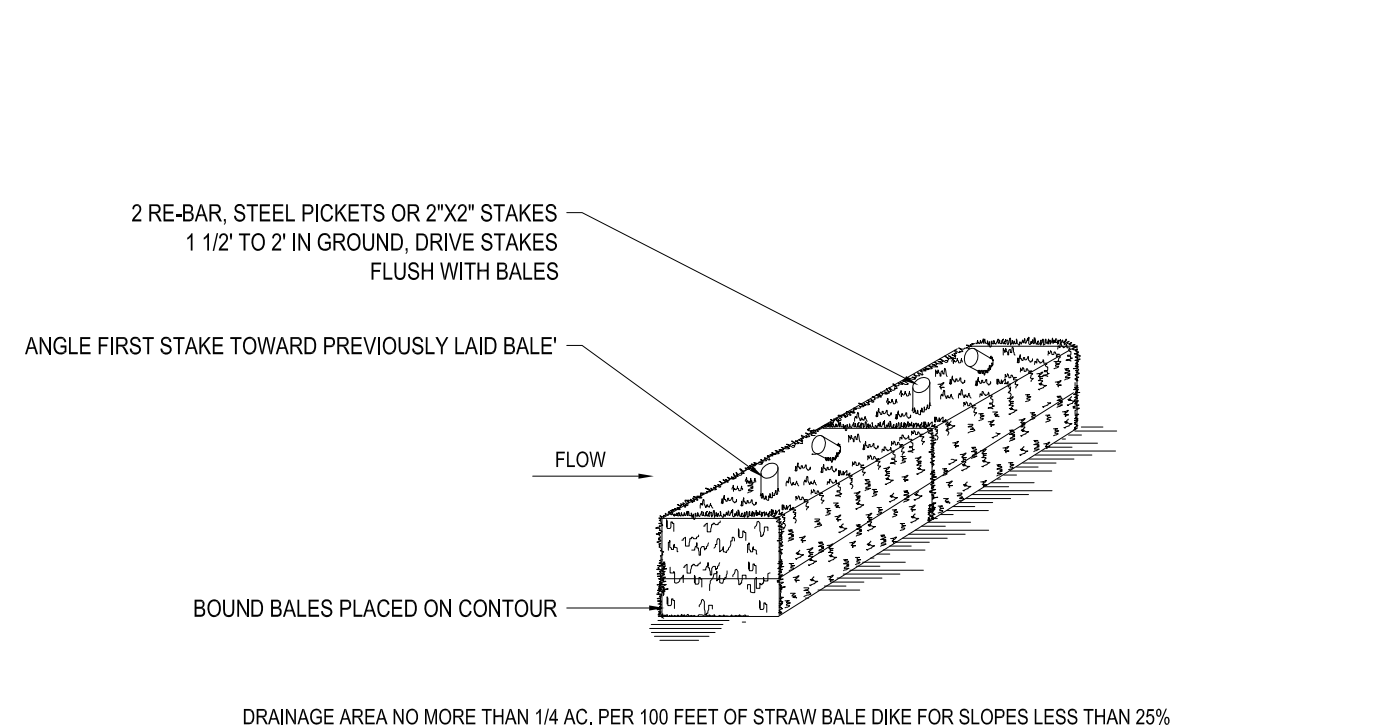
CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALE AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED REQUIRED.
- REMOVAL OF THE TEMPORARY SEDIMENT BASINS
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.



- NOTES:
- REMOVE ANY EXISTING VEGETATION AND SCARIFY OR BENCH ADJACENT SOILS PRIOR TO PLACING BERM.
 - BERM MATERIALS MUST BE ADEQUATELY COMPACTED AND STABILIZED.
 - BERM SHALL NOT BE CONSTRUCTED OF TOPSOIL.



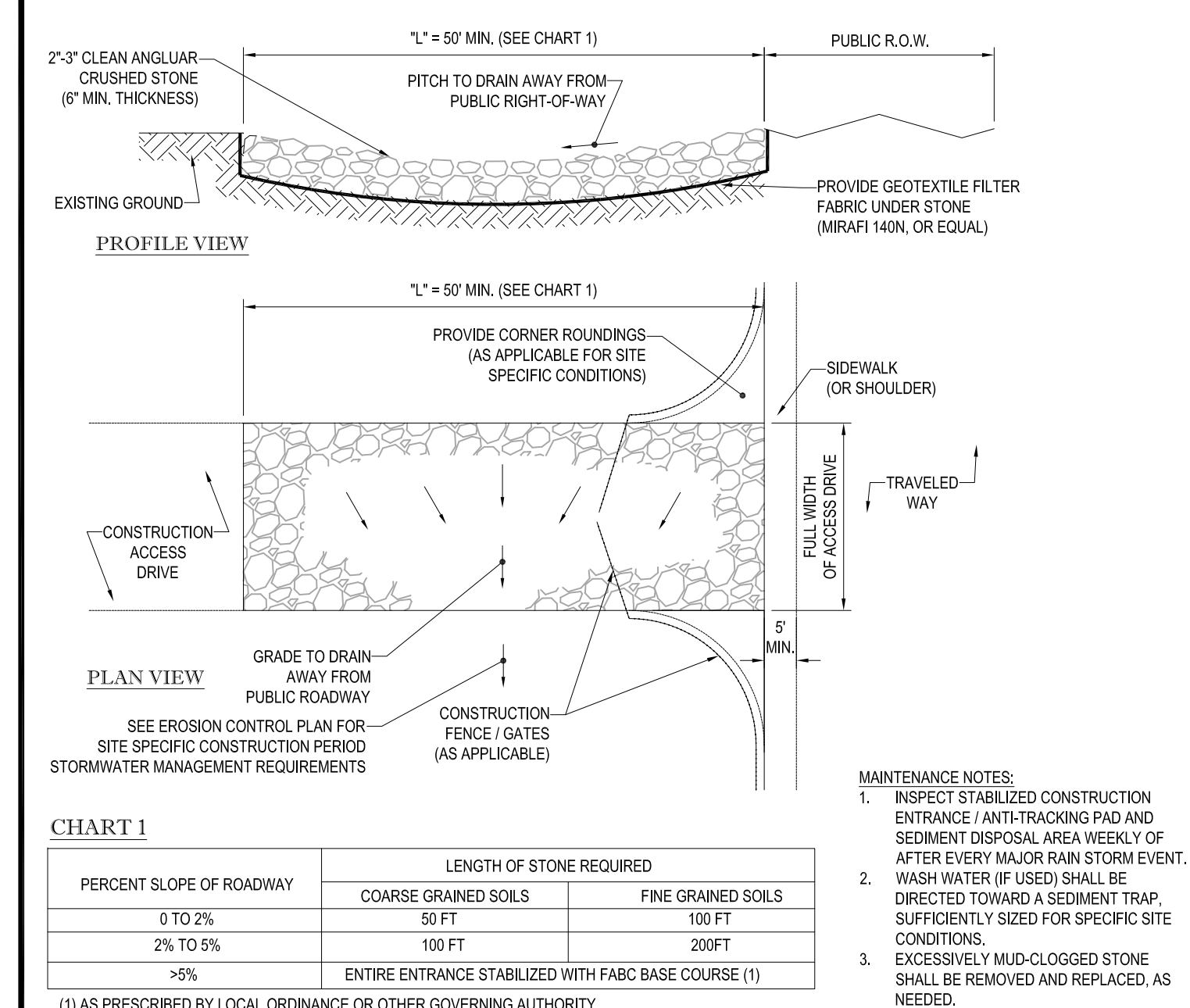
- NOTES:
- BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - EACH BALE SHALL BE PLACED SO THE BINDINGS ARE HORIZONTAL.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
 - INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
 - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

TEMPORARY DIVERSIONS

N.T.S.

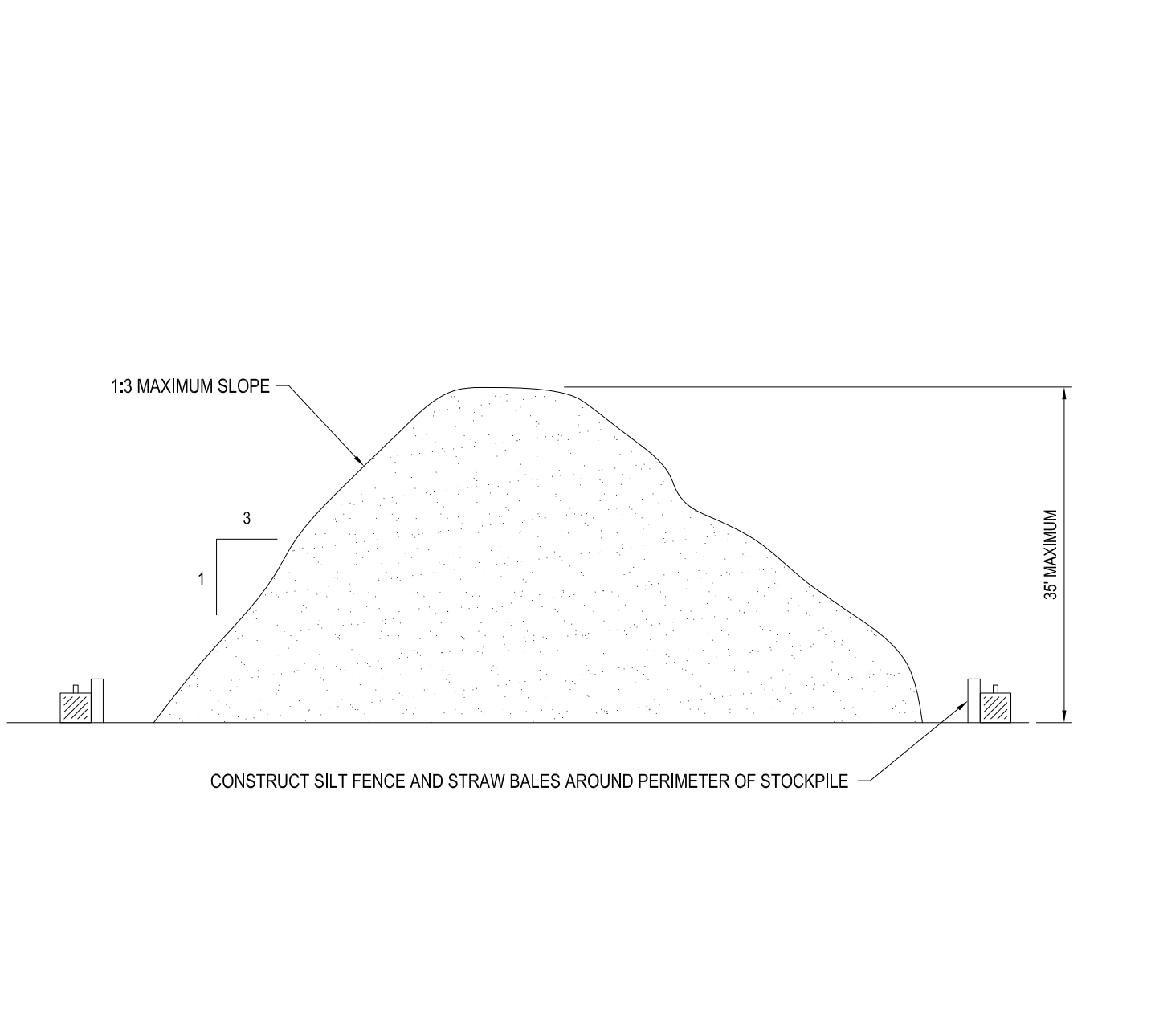
STRAW BALE DETAIL

N.T.S.



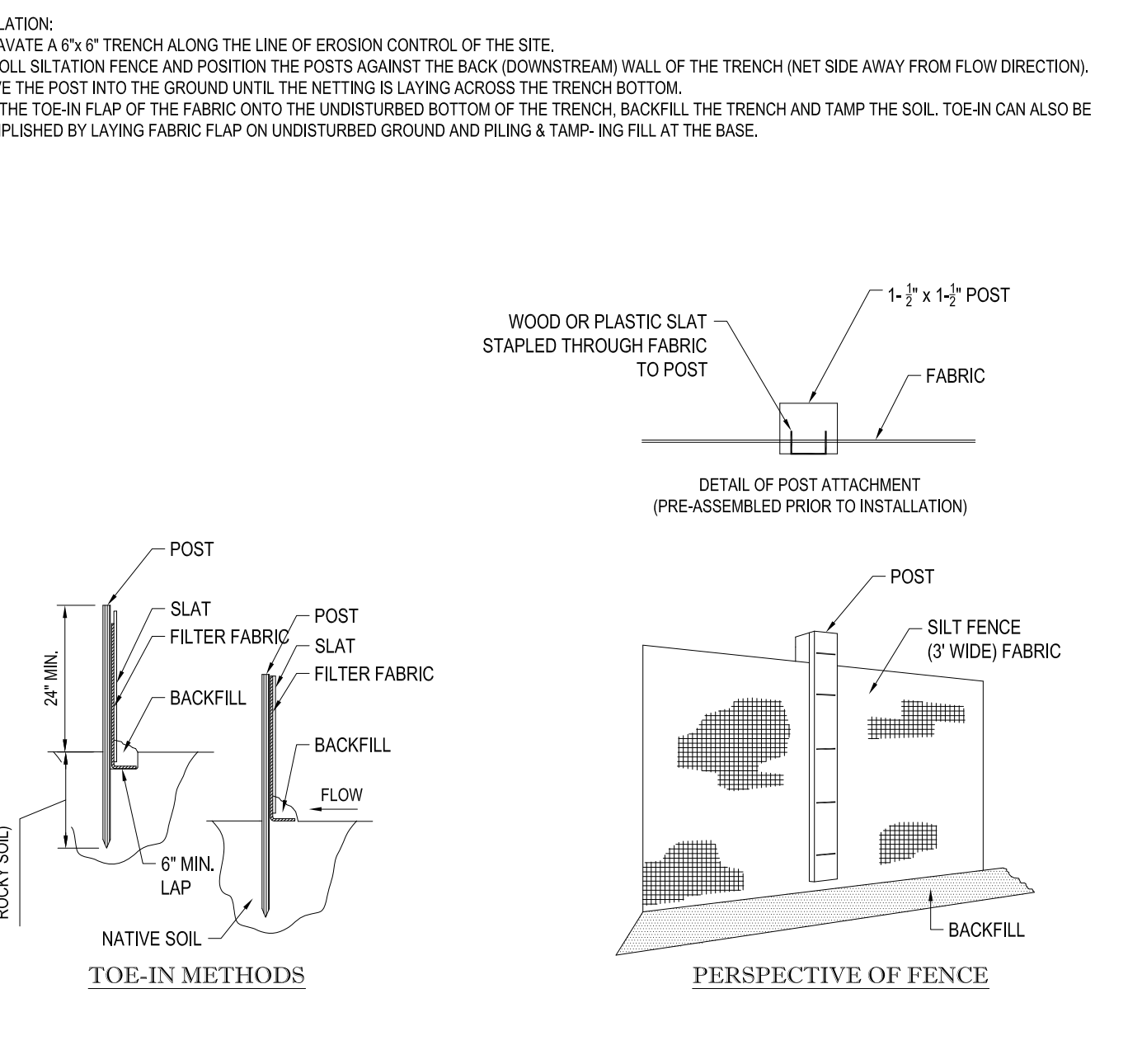
STABILIZED CONSTRUCTION EXIT

N.T.S.



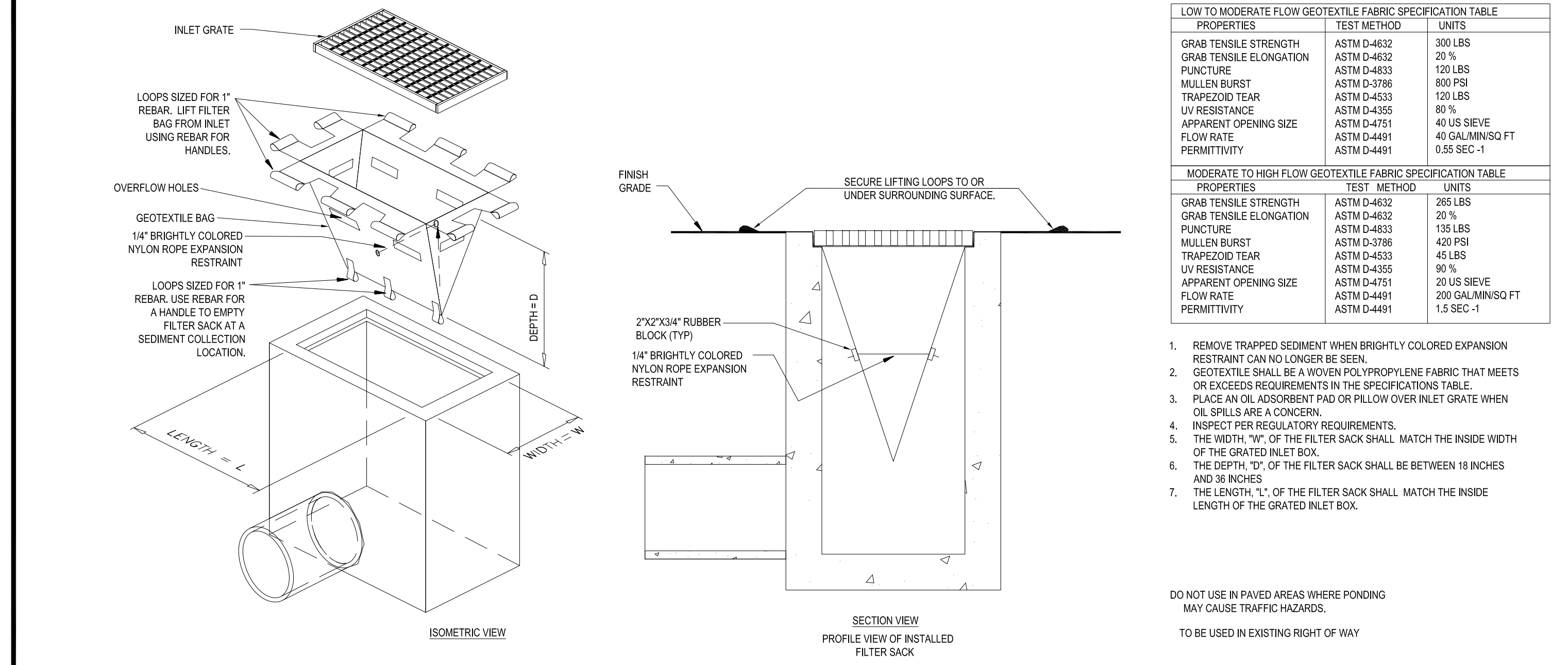
TEMPORARY STOCKPILE DETAIL

N.T.S.



TYP. SILTATION FENCE DETAIL

N.T.S.



- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH, "W," OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH, "D," OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 38 INCHES.
- THE LENGTH, "L," OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS. TO BE USED IN EXISTING RIGHT OF WAY

N.T.S.

APPROVED DATE: _____
 MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

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1	04/27/15	PEER REVIEW COMMENTS	NEM
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PRELIMINARY

PROJECT No.: W14182
 DRAWN BY: CFB/JPB
 CHECKED BY: JAB/JAK
 DATE: 1/9/2015
 SCALE: AS NOTED
 CAD I.D.: W14182S51

SITE DEVELOPMENT PLANS
FOR
THURKEN III, LLC

LOCATION OF SITE
 72 MAIN STREET
 TOWN OF MEDWAY
 NORFOLK COUNTY
 MASSACHUSETTS

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J.A. KUCICH

PROFESSIONAL ENGINEER
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 CONNECTICUT LICENSE NO. 26177
 RHODE ISLAND LICENSE NO. 9616
 MAINE LICENSE NO. 1259

SHEET TITLE:
SOIL EROSION CONTROL NOTES & DETAILS SHEET

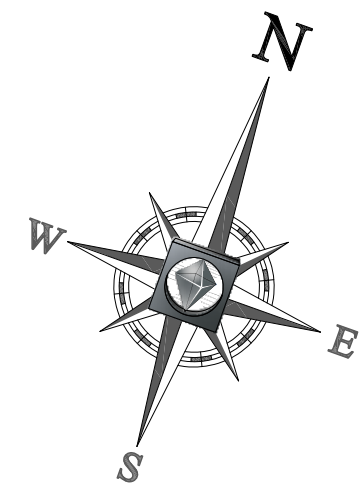
SHEET NUMBER:
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 OF 15

REV - 1 - 04/27/2015

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LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE					
ARA	14	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG COLUMNAR RED MAPLE	2 1/2" CAL.	B/B
GTK	3	GLEDITSIA TRIACANTHOS INTERMIS 'SKYCOLE'	SKYLINE THORNLESS HONEYLOCUST	2 1/2" CAL.	B/B
OB	8	QUERCUS BOREALIS	NORTHERN RED OAK	2 1/2" CAL.	B/B
OC	4	QUERCUS COCCINEA	SCARLET OAK	2 1/2" CAL.	B/B
OP	4	QUERCUS PALUSTRIS	PIN OAK	2 1/2" CAL.	B/B
EVERGREEN SHRUB					
BMWG	20	BUXUS MICROPHYLLA 'WINTER GEM'	WINTER GEM BOXWOOD	18-24"	#3 CAN
IGS	72	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERY HOLLY	24-30"	#5 CAN
JHBH	58	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRED.	#3 CAN
RM	9	RHOODOENDRON MAXIMUM 'ROSEBAY'	ROSEBAY RHOODOENDRON	2.5-3'	#5 CAN
DECIDUOUS SHRUB					
AAB	8	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHOKEBERRY	3-4'	B/B
PFG	29	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER BUSH CINQUEFOIL	18-24"	#3 CAN
RENL	16	RHOODOENDRON X EXBURII HYB. 'NORTHERN LIGHTS'	'NORTHERN LIGHTS' AZALEA	30-36"	#5 CAN
SBAW	31	SPIREA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	18-24"	#3 CAN
PERENNIAL					
PA	7	PENNISETUM ALOPECUROIDES	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE

TOWN OF MEDWAY LANDSCAPE REQUIREMENTS

SECTION OF BY-LAW	DESCRIPTION	REQUIRED	PROPOSED
205.6 TREES AND LANDSCAPING	3) PERIMETER LANDSCAPING - PERIMETER LANDSCAPING SHALL BE PROVIDED AROUND ALL PARKING LOTS.	YES	YES
	C. PARKING AREAS - AT LEAST 1 DECIDUOUS TREE OF A MIN. OF 2 1/2" CAL. SHALL BE PROVIDED FOR EVERY 6 PARKING SPACES. ONLY TREES PROVIDING SHADE TO THE PARKING AREA SHALL BE COUNTED AS MEETING THIS REQUIREMENT. 68 SPACES / 6 = 11.3 TREES	11 TREES	11 TREES
	F. TREE REPLACEMENT - THE TOTAL DIA. OF ALL TREES OVER 10" IN DIA. THAT ARE REMOVED FROM THE SITE SHALL BE REPLACED WITH TREES THAT EQUAL THE TOTAL BREAST HEIGHT DIA. OF THE REMOVED TREES. THE REPLACEMENT TREES MAY BE PLACED ON OR OFF SITE AS RECOMMENDED BY THE PLANNING BOARD.	YES	SEEKING WAIVER # OF TREES T.B.D.

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REVISIONS

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PRELIMINARY

PROJECT No.: W141182
DRAWN BY: CFD/JPB
CHECKED BY: JAB/JAK
DATE: 10/20/15
SCALE: AS NOTED
CAD I.D.: W141182S1

SITE DEVELOPMENT PLANS FOR THURKEN III, LLC

LOCATION OF SITE
72 MAIN STREET
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

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SOUTHBOROUGH, MA 01772
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M.J. MRVA

REGISTERED LANDSCAPE ARCHITECT
MASSACHUSETTS No. 1217
RHODE ISLAND No. 419

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
9

OF 15

REV 1 - 04/27/2015

APPROVED DATE: _____
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: _____
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OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNERS (OR OWNER CONTRACTORS) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

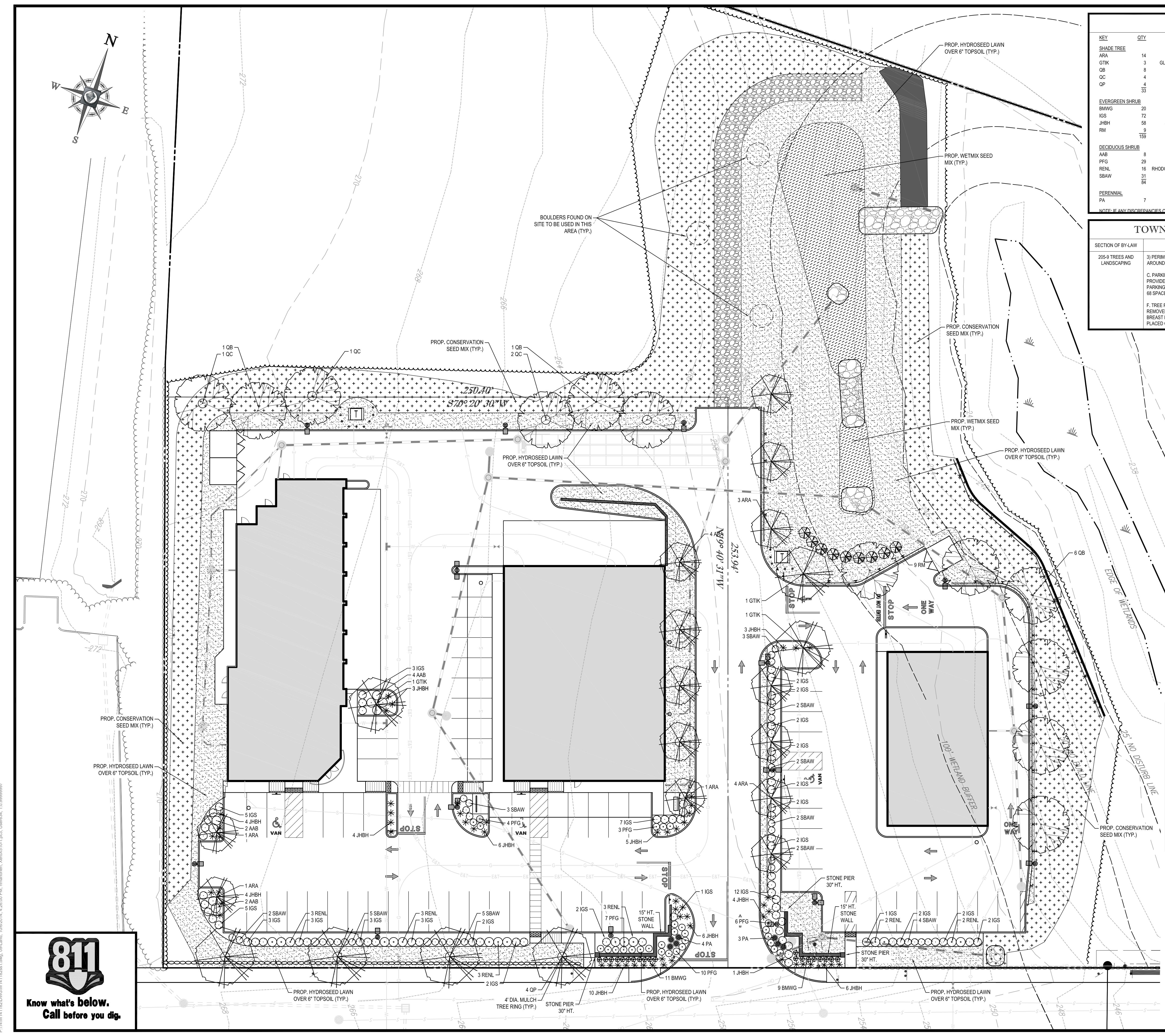
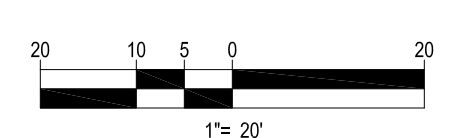
- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS/EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

LARGE ROCKS FOUND DURING CONSTRUCTION WILL BE USED AS LANDSCAPE FEATURES

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS



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LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOODING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

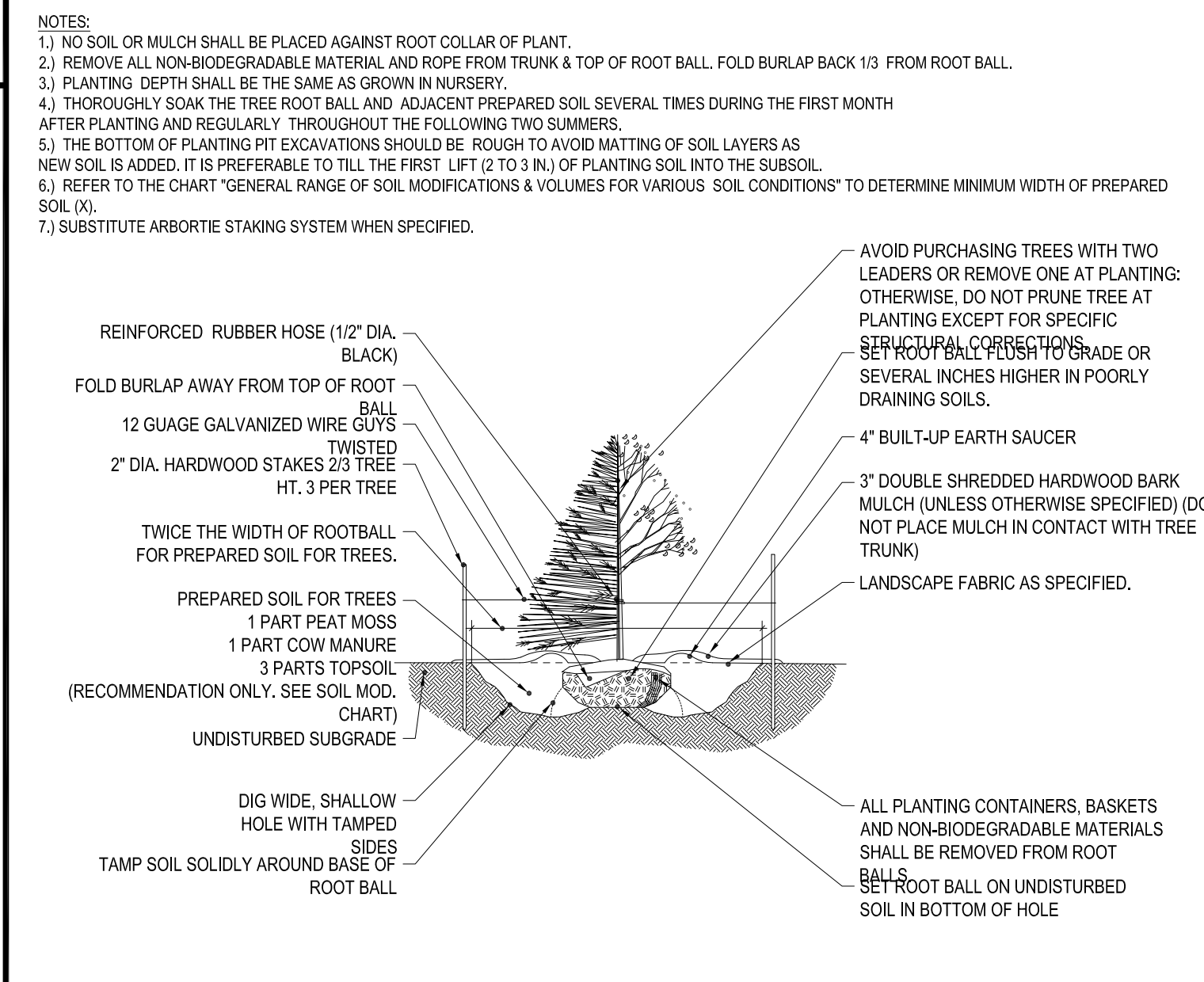
2. MATERIALS
A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0, IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOTS.
C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SOODERD IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN
I. LAWN SEED MIXTURE SHALL BE FRESH, CLEAR NEW GROW SEED.
II. SOIL SHALL BE STRONGLY ROOTED, WEED AND DISEASE-PEST FREE WITH A UNIFORM THICKNESS. SOE INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOE IN PLACE.
D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES / DETAILS.
E. FERTILIZER
I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER.
II. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
III. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 8% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
F. PLANT MATERIAL
I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
IV. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLOSED, SHALL BE REJECTED.
V. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE OR BREAK BRANCHES.
VI. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
VII. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
VIII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
IX. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
C. SITE PREPARATIONS
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
D. TREE PROTECTION
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
B. A BORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VISI-FENCE", OR APPROVED EQUIV, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
E. SOIL MODIFICATIONS
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6"-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM.
COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
7. FINISHED GRADING
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±).
C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING
A. CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

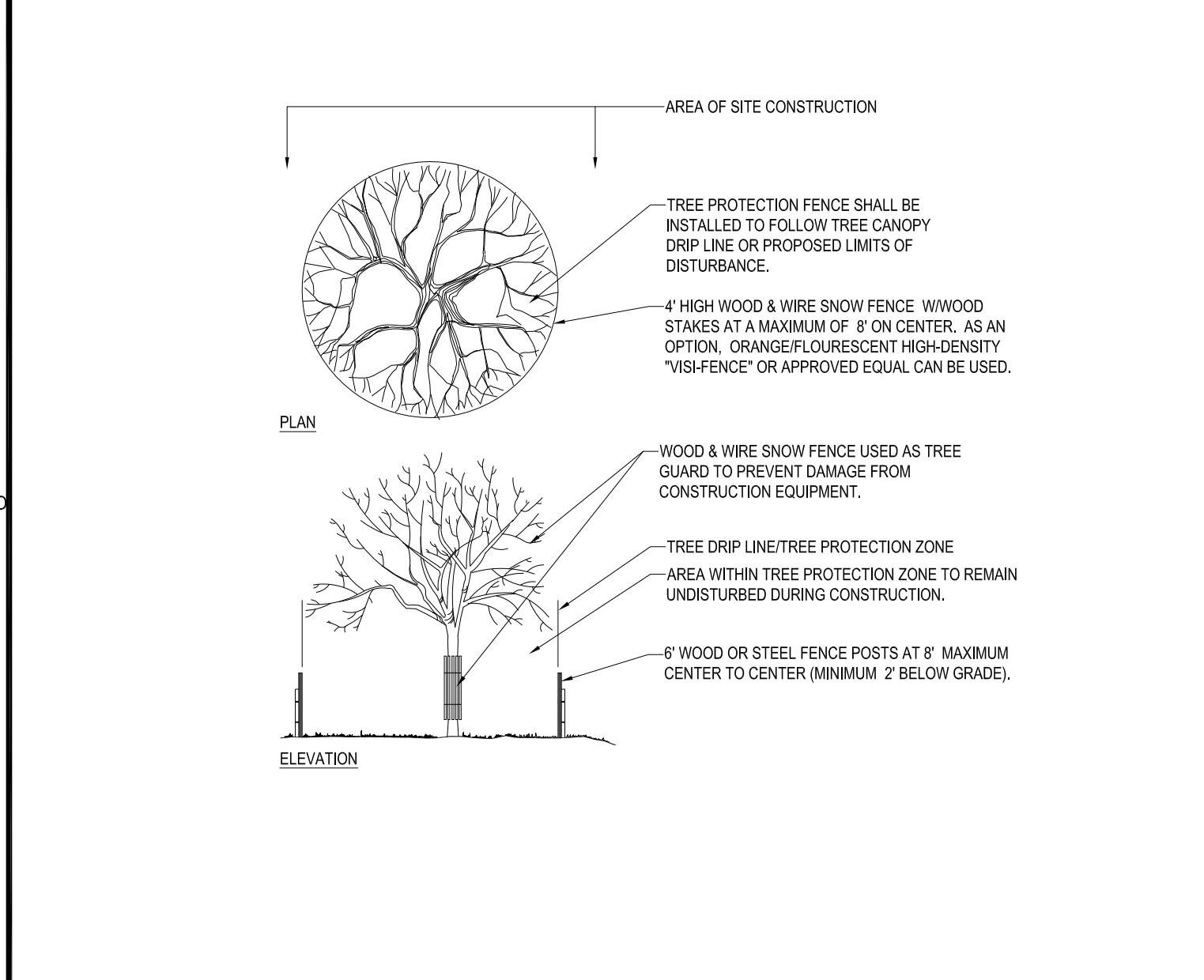
D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY) [SEE SPECIFICATION 6.A]:
I. 20 POUNDS GRO-POWER OR APPROVED SOIL CONDITIONER/FERTILIZER
II. 20 POUNDS NITRO-FORM (COURSE) 38-0-4 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING
A. INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN MUDDY OR FROZEN CONDITION.
C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
I. PLANTS: MARCH 15 TO DECEMBER 15
II. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE, WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
ACER RUBRUM PLATANUS X ACERIFOLIA
BETULA VARIETIES POPULUS VARIETIES
CARPINUS VARIETIES PRUNUS VARIETIES
CRATAEGUS VARIETIES PYRUS VARIETIES
KOELREUTERIA QUERCUS VARIETIES
LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES
H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
I. 1 PART PEAT MOSS
II. 1 PART COMPOSTED COW MANURE BY VOLUME
III. 3 PARTS TOPSOIL BY VOLUME
IV. 21 GRAMS "AGRIFORM" PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
A) 2 TABLETS PER 1 GALLON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 15 GALLON PLANT
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
L. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL, AS PER MANUFACTURER'S RECOMMENDATION.
M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
10. TRANSPLANTING (WHEN REQUIRED)
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REPLACED OR REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
11. WATERING
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
12. GUARANTEE
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN. FREE OF ERODED OR BARE AREAS.
13. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
14. MAINTENANCE (ALTERNATIVE BID)
A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR OR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE OWNER/OPERATOR.



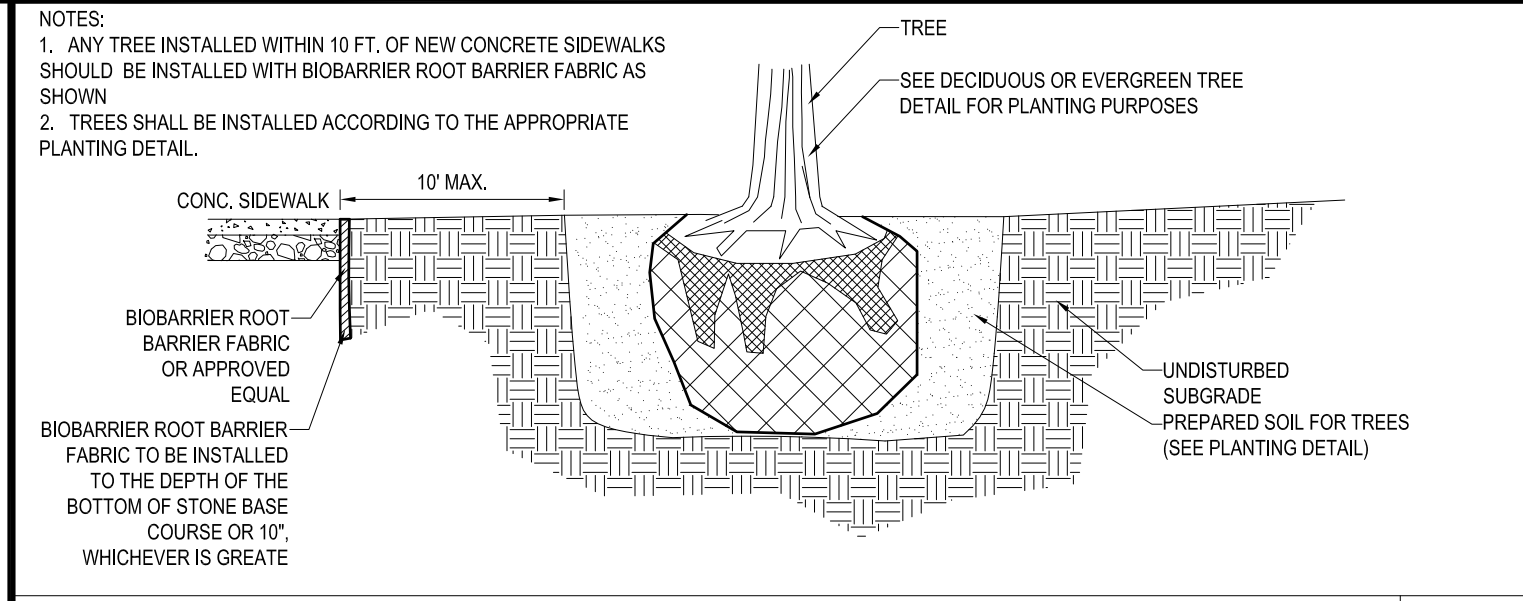
TREE PLANTING DETAIL

N.T.S.



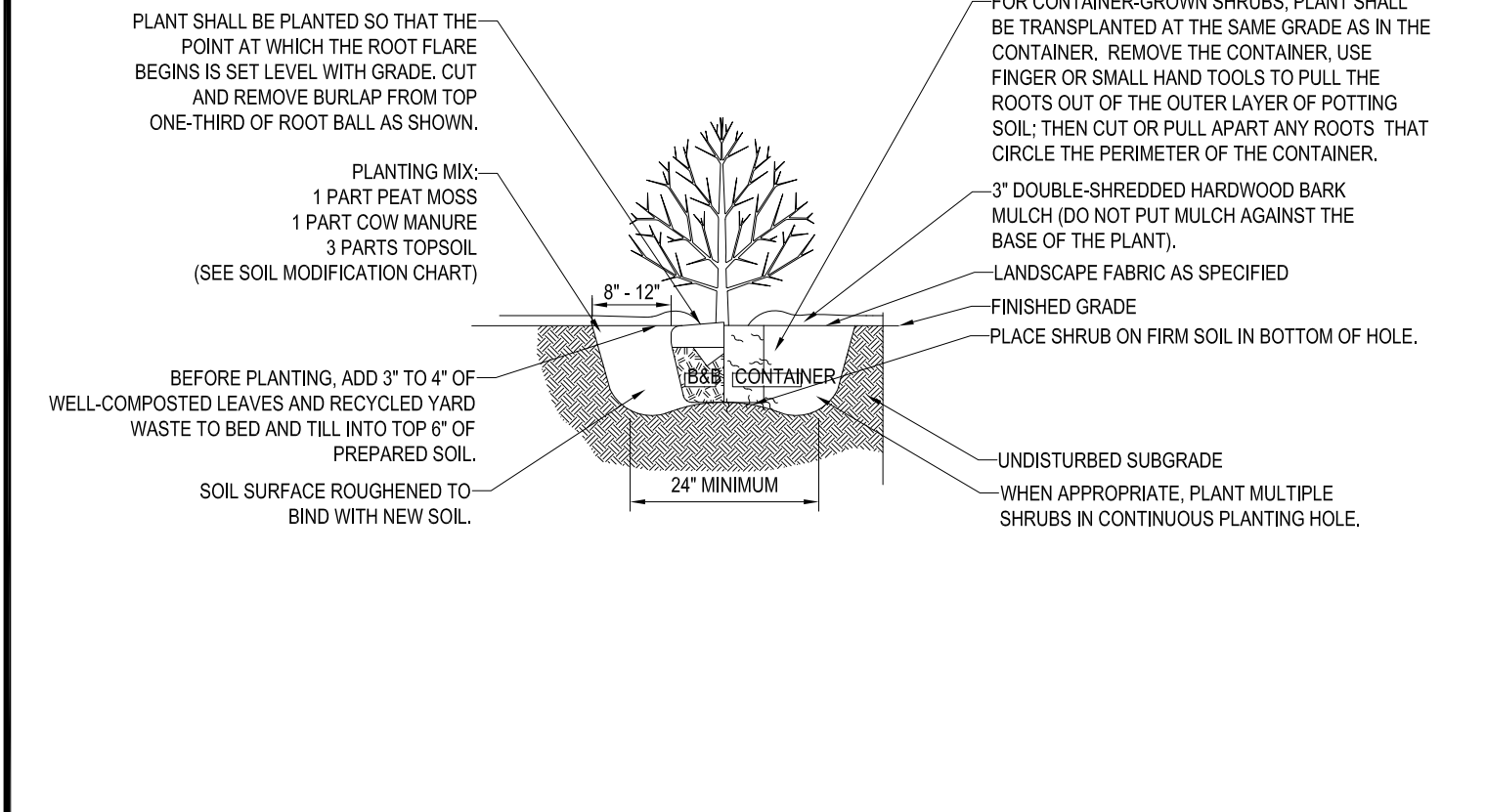
TREE PROTECTION DURING SITE CONSTRUCTION

N.T.S.



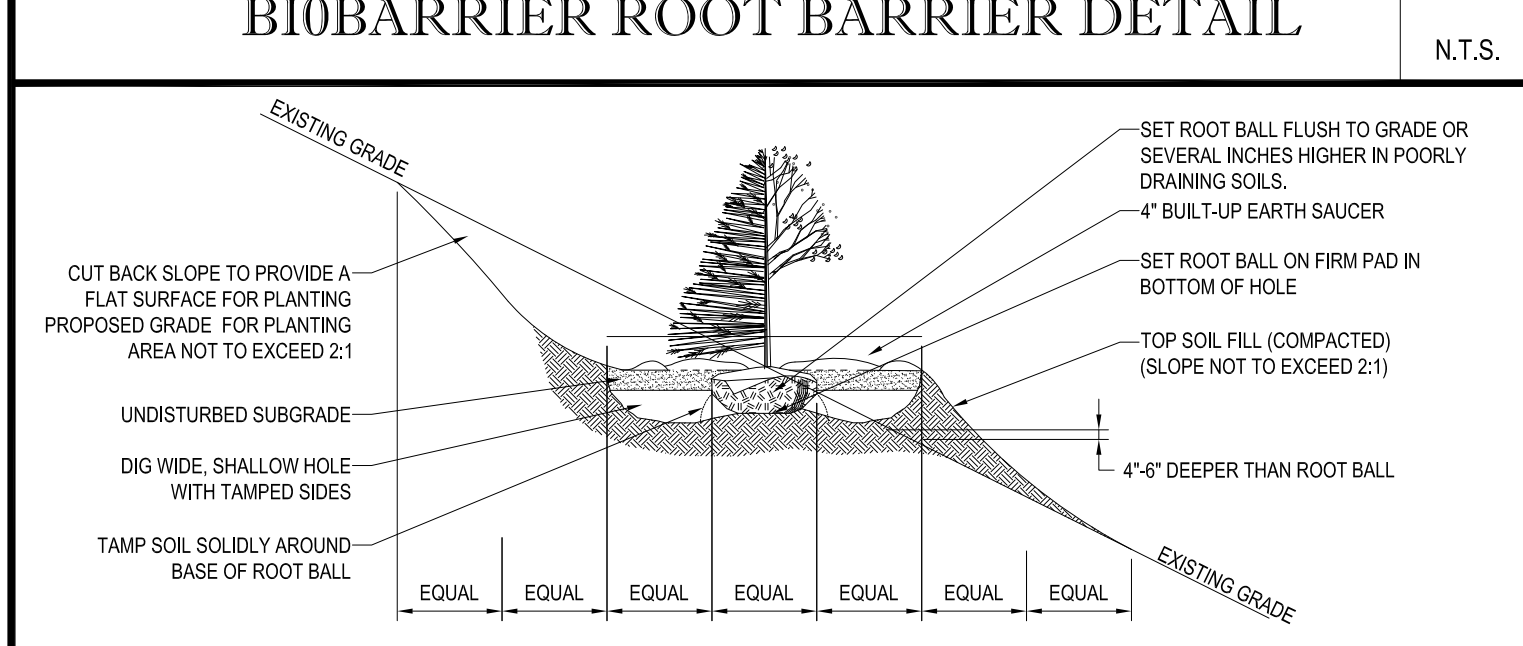
BIOBARRIER ROOT BARRIER DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



TREE PLANTING ON SLOPE DETAIL

N.T.S.

HYDROSEED SPECIFICATIONS

1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.	
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.	
3. SEEDING RATES:	
• PERENNIAL RYEGRASS	1/2 LB/1000 SQ FT
• KENTUCKY BLUEGRASS	1 LB/1000 SQ FT
• RED FESCUE	1/2 LB/1000 SQ FT
• SPREADING FESCUE	1/2 LB/1000 SQ FT
• FERTILIZER (16-32-16)	2 LB/1000 SQ FT
• LIQUID LIME	1 GAL/800 GAL
• TANK TACKIFIER	35 LB/800 GAL
• TANK FIBER MULCH	30 LB/1000 SQ FT
4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.	

WETMIX SEED MIX

WETMIX SEED MIX SHALL BE "NEW ENGLAND WETMIX" AS PREPARED BY:
NEW ENGLAND WETLAND PLANTS, INC.
820 WEST STREET
AMHERST, MA 01002
PHONE: 413-548-8000, FAX: 413-548-4000, EMAIL: INFO@NEWP.COM
APPLICATION RATE: 18 LBS / ACRE (1 LB / 2,500 SF)

SPECIES LIST: Lured Sedge, (Carex lurida), Blunt Broom Sedge, (Carex scoparia), Blue Vervain, (Verbena hastata), Hop Sedge, (Carex lupulina), Green Bulrush, (Scirpus atrovirens), Redtop Panic Grass, (Panicum rigidum), Tufted Hairgrass, (Deschampsia cespitosa), Ticksaw Sedge/Blowgrass (Blythea aristata), Creeping Sedge Rush, (Elymus canadensis), Soft Rush, (Juncus effusus), Fringed Sedge, (Carex crinita), Square Stemmed Monkey Flower, (Mimulus ringens), Swamp Aster, (Aster purpureus), Boneset, (Eupatorium perfoliatum), Rattlesnake Grass, (Glycyrrha canadensis), Swamp Milkweed, (Asclepias incarnata), Common Sneezeweed, (Helenium autumnale), Ditch Stonecrop, (Penthorum sedoides)

CONSERVATION SEED MIX

CONSERVATION SEED MIX SHALL BE "NEW ENGLAND CONSERVATION/WILDLIFE MIX" AS PREPARED BY:
NEW ENGLAND WETLAND PLANTS, INC.
820 WEST STREET
AMHERST, MA 01002
PHONE: 413-548-8000, FAX: 413-548-4000, EMAIL: INFO@NEWP.COM
APPLICATION RATE: 25 LBS / ACRE (1 LB / 1,750 SF)

SPECIES LIST: Virginia Wild Rye, (Elymus virginicus), Little Bluestem, (Schizachyrium scoparium), Big Bluestem, (Andropogon gerardii), Creeping Red Fescue, (Festuca rubra), Swift Grass, (Panicum virgatum), Partridge Pea, (Chamaecrista fasciculata), Deer Tongue, (Panicum clandestinum), Indian Grass, (Sorghastrum nutans), Or Eye Sunflower, (Helipopsis holandholides), Common Milkweed, (Asclepias syriaca), Spotted Joe Pye Weed, (Eupatorium maculatum), Grass Leaved Goldenrod, (Euthamia graminifolia), Blue Vervain, (Verbena hastata), New England Aster, (Aster novae-angliae), Early Goldenrod, (Solidago juncea).

APPROVED DATE: _____
MIDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: _____
BEING A MAJORITY

BOHLER ENGINEERING

STATE OF MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE TRANSPORTATION SERVICES
SUSTAINABLE DESIGN PERMITTING SERVICES

WARREN NJ
ROSELAND NJ
NEW YORK NY
NEW YORK NY
NEW YORK NY
LEHIGH VALLEY PA
LEHIGH VALLEY PA
BALDWIN NC

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REVISIONS

REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
2			
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PRELIMINARY

PROJECT No.: W141182
DRAWN BY: CDF/BPB
CHECKED BY: JAR/JAK
DATE: 11/20/15
SCALE: AS NOTED
CAD I.D.: W141182S51

SITE DEVELOPMENT PLANS FOR THURKEN III, LLC

LOCATION OF SITE
72 MAIN STREET
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

BOHLER ENGINEERING

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9080
www.BohlerEngineering.com

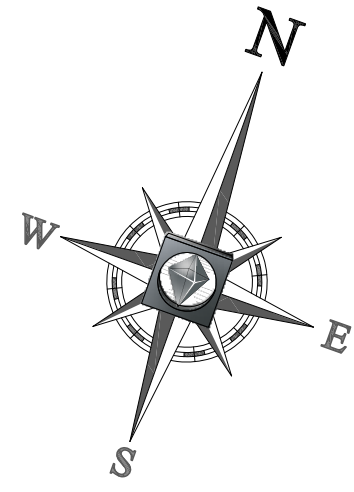
M.J. MRVA

REGISTERED LANDSCAPE ARCHITECT
MASSACHUSETTS No. 1217
RHODE ISLAND No. 419

SHEET TITLE:
LANDSCAPE NOTES & DETAILS SHEET

SHEET NUMBER:
10
OF 15

REV 1 - 04/27/2015



NUMERIC SUMMARY						
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN
PAVED AREA SUMMARY	ILLUMINANCE	FC	3.27	11.2	0.4	8.18
						28.00

LUMINAIRE SCHEDULE						
SYMBOL	QTY	LABEL	MOUNTING HEIGHT	ARRANGEMENT	TOTAL LAMP LUMENS	LF
	10	A	20 FT	POLE MOUNT: SINGLE	36000	0.720
	3	B	20 FT	POLE MOUNT: DOUBLE @ 90	36000	0.720
	2	C	20 FT	POLE MOUNT: DOUBLE @ 180	36000	0.720

LIGHTING NOTES:

- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT CANDLES.
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING IF NECESSARY AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- IT IS LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

BOHLER ENGINEERING

SITE PLAN AND CONSTRUCTION DOCUMENTS ARCHITECTURE
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

WARREN NJ
NEW YORK
NEW YORK METRO
NEW YORK
ROSTON MA
NORTH VIRGINIA
DELAWARE
CHARLOTTE NC
SOUTHEASTERN PA
BALDWIN NY

REVISIONS			
REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
2			
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PRELIMINARY

PROJECT No.: W141182
DRAWN BY: CFD/IBP
CHECKED BY: JAB/JAK
DATE: 1/9/2015
SCALE: AS NOTED
CAD I.D.: W141182S1

PROJECT: SITE DEVELOPMENT PLANS FOR THURKEN III, LLC

LOCATION OF SITE
72 MAIN STREET
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

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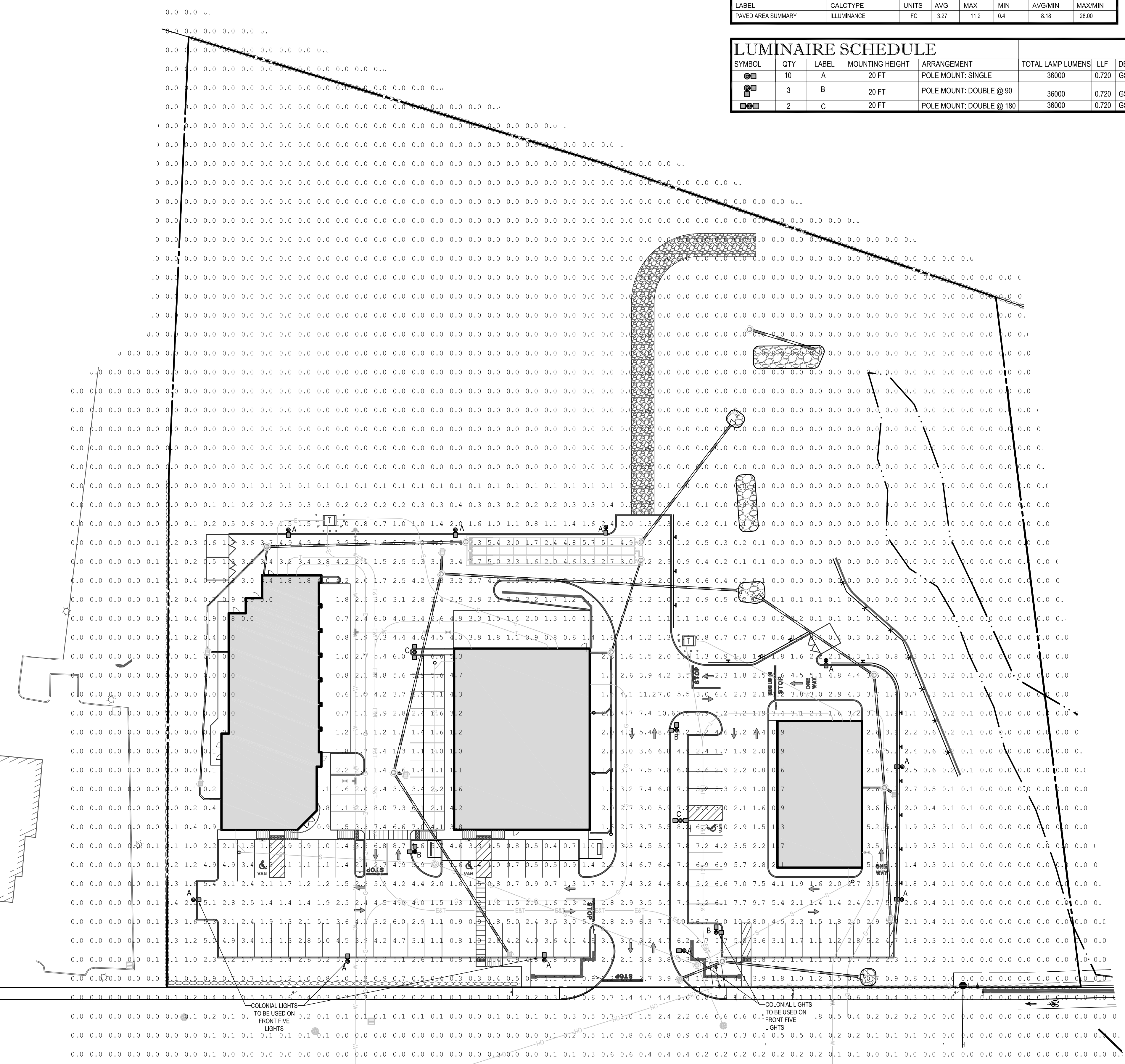
J.A. KUCICH

PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 41539
CONNECTICUT LICENSE NO. 26177
RHODE ISLAND LICENSE NO. 9616
MAINE LICENSE NO. 12553

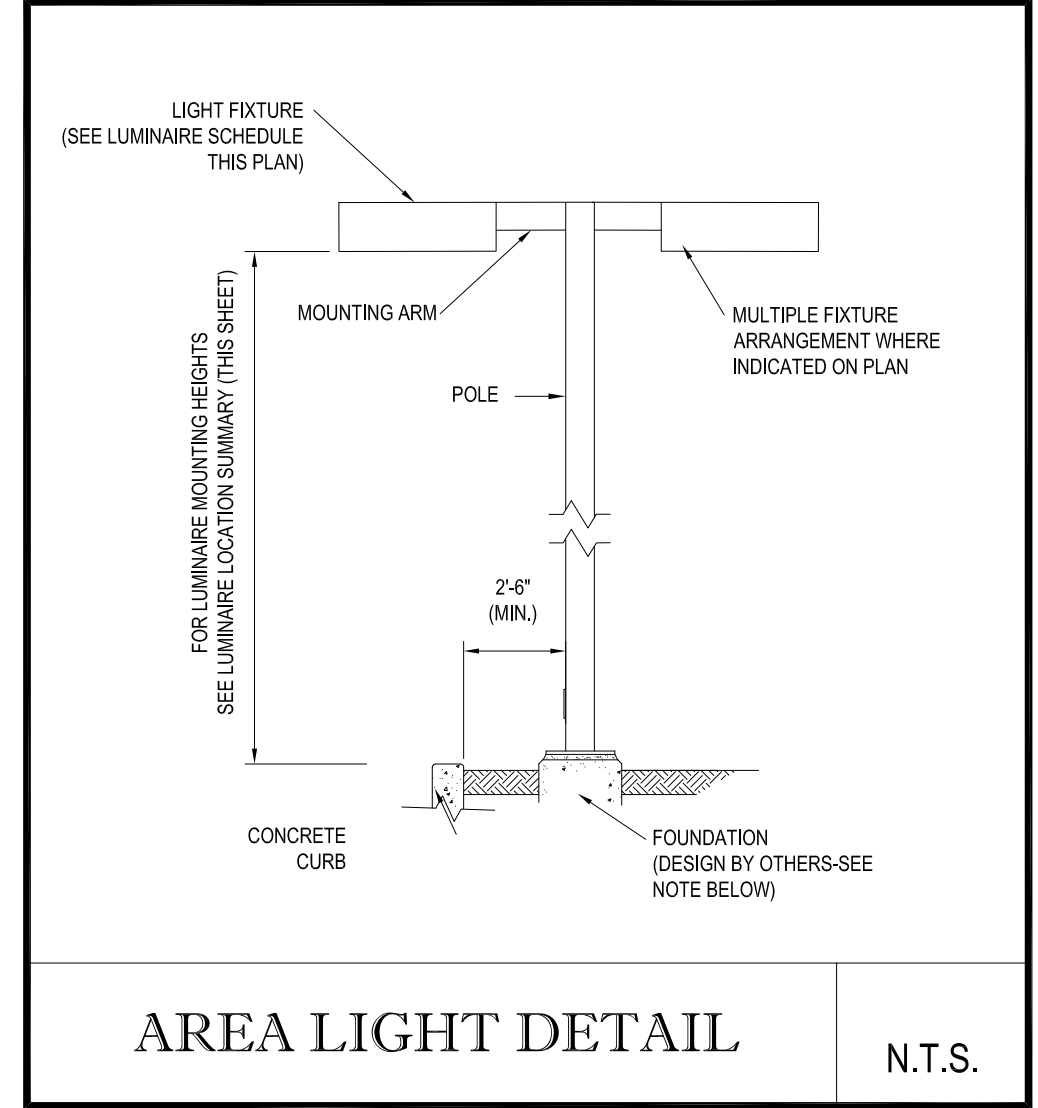
SHEET TITLE:
LIGHTING PLAN

SHEET NUMBER:
11
OF 15

REV 1 - 04/27/2015



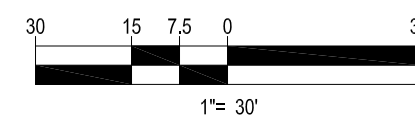
MCGRAW-EDISON GALLERIA SQUARE SITE AREA LIGHT



NOTE: THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR MANUFACTURE REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.

- SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
- THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



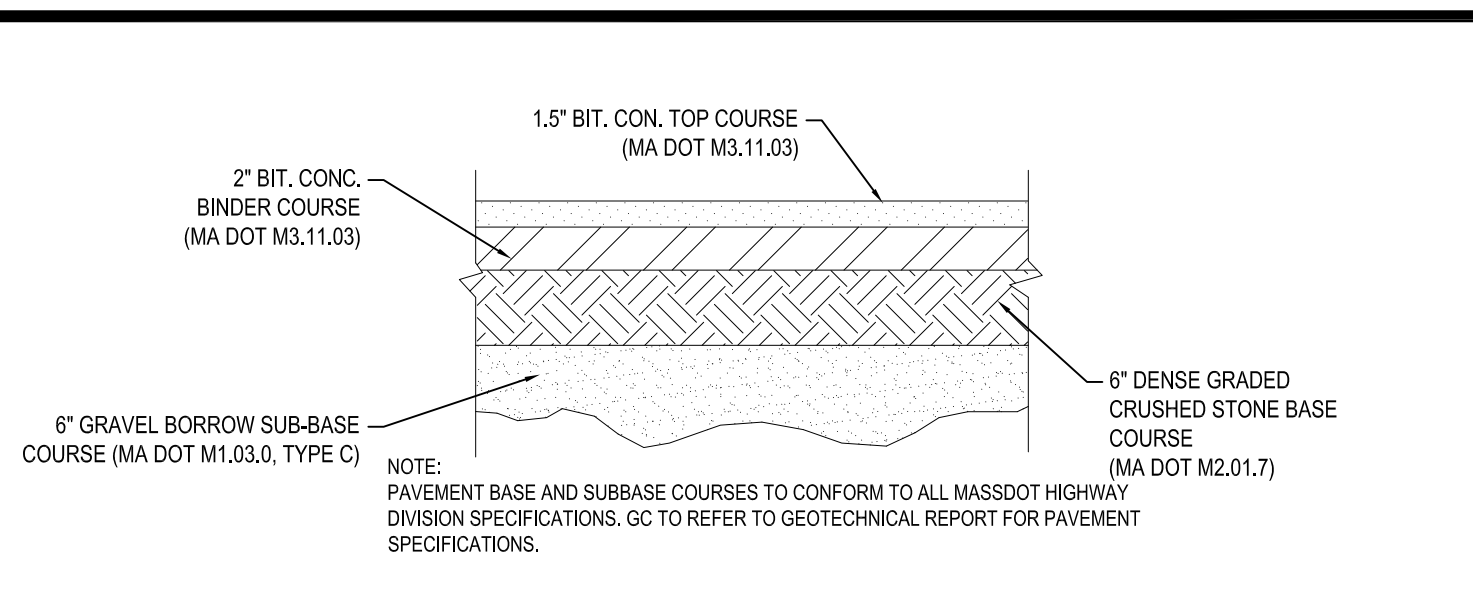
APPROVED DATE: _____
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: _____
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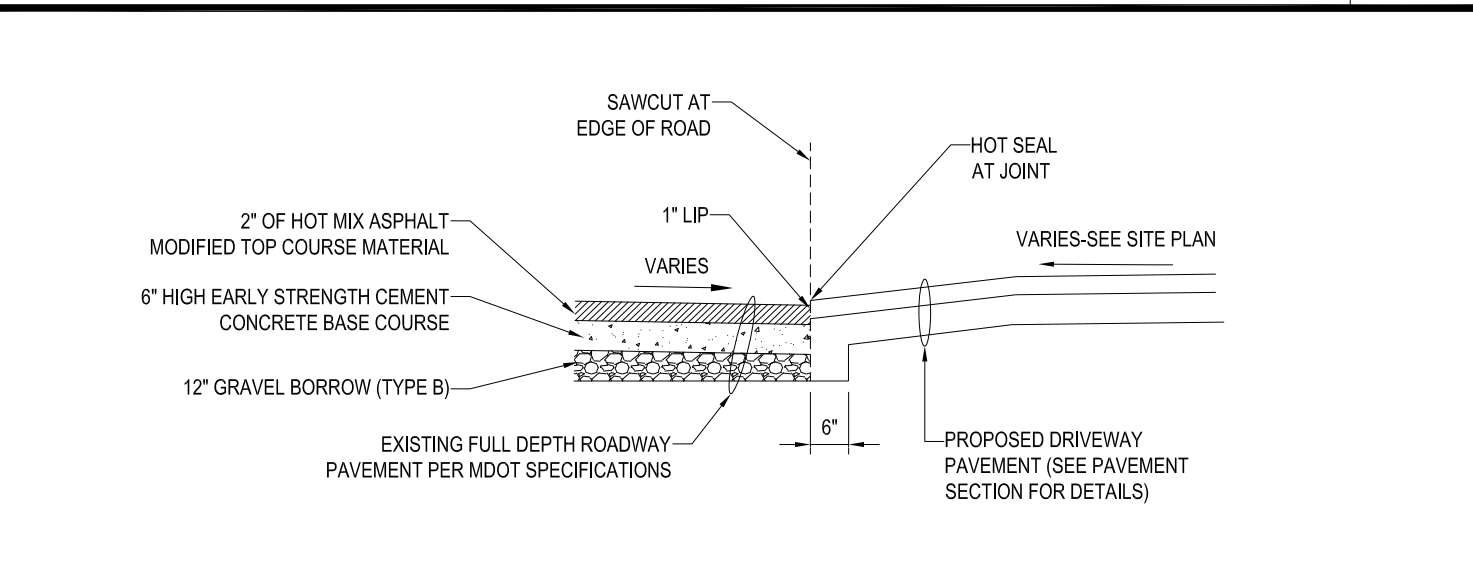
811

Know what's below.
Call before you dig.



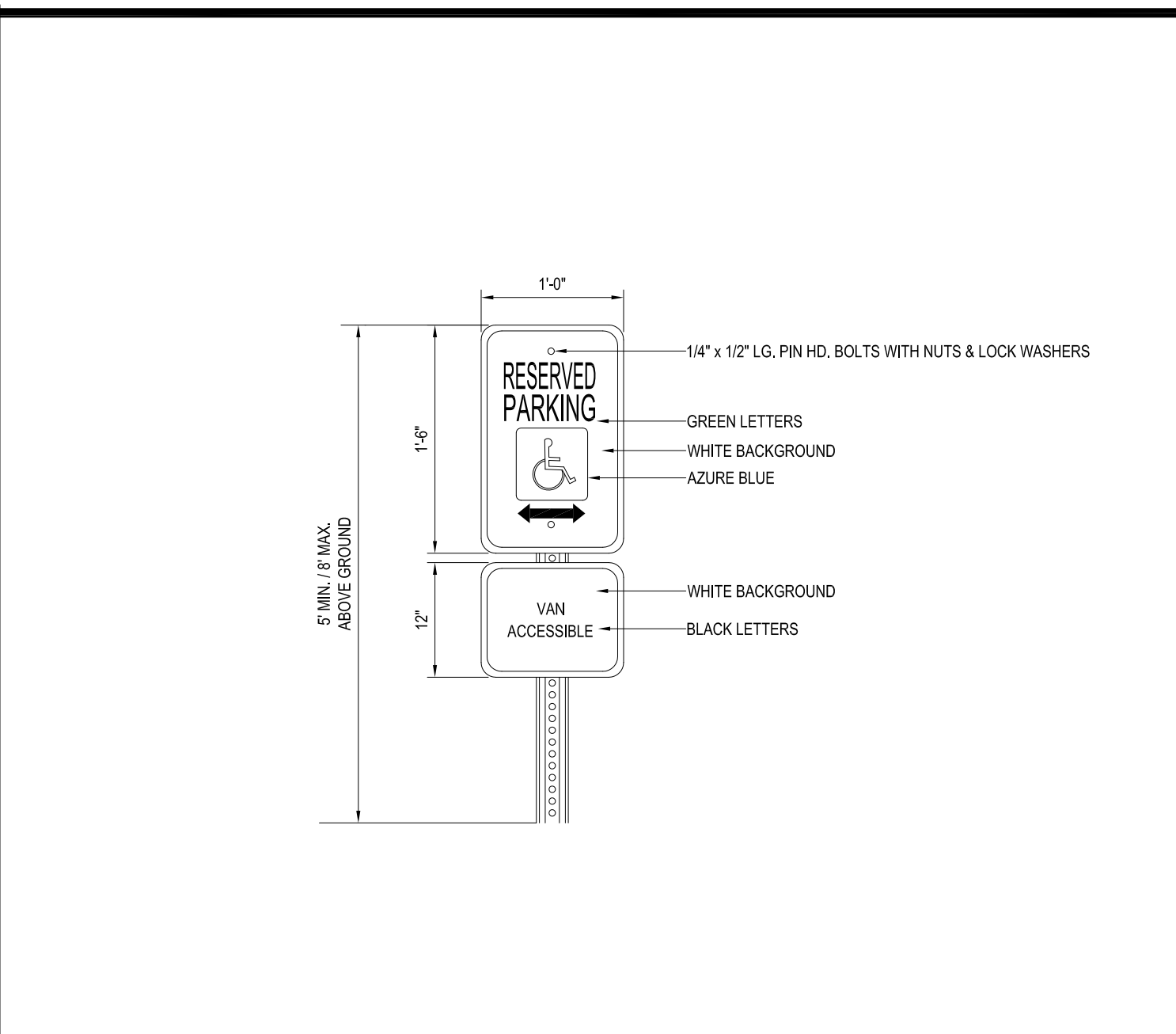
TYPICAL PAVEMENT SECTION

N.T.S.



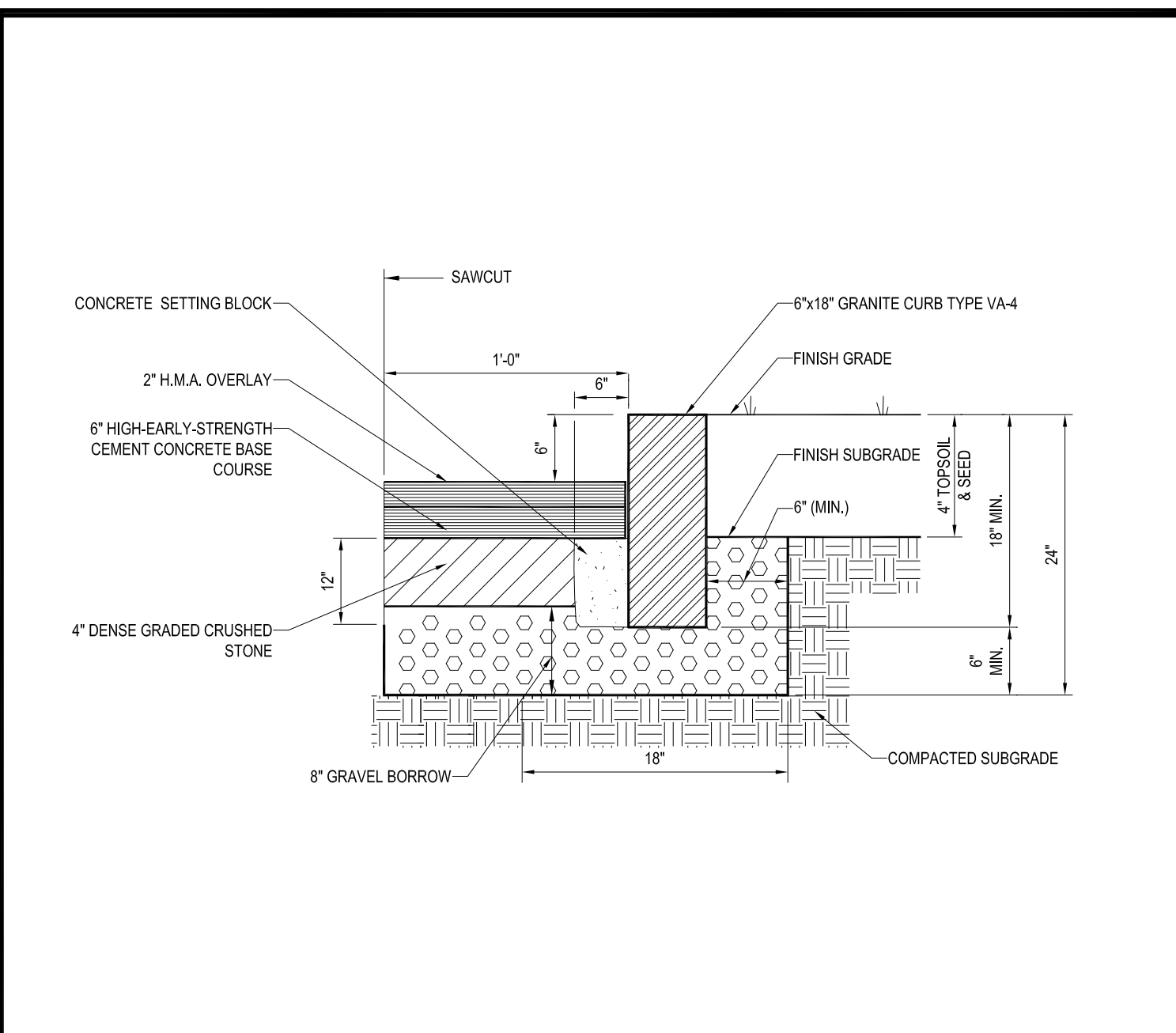
DRIVEWAY CONSTRUCTION DETAIL

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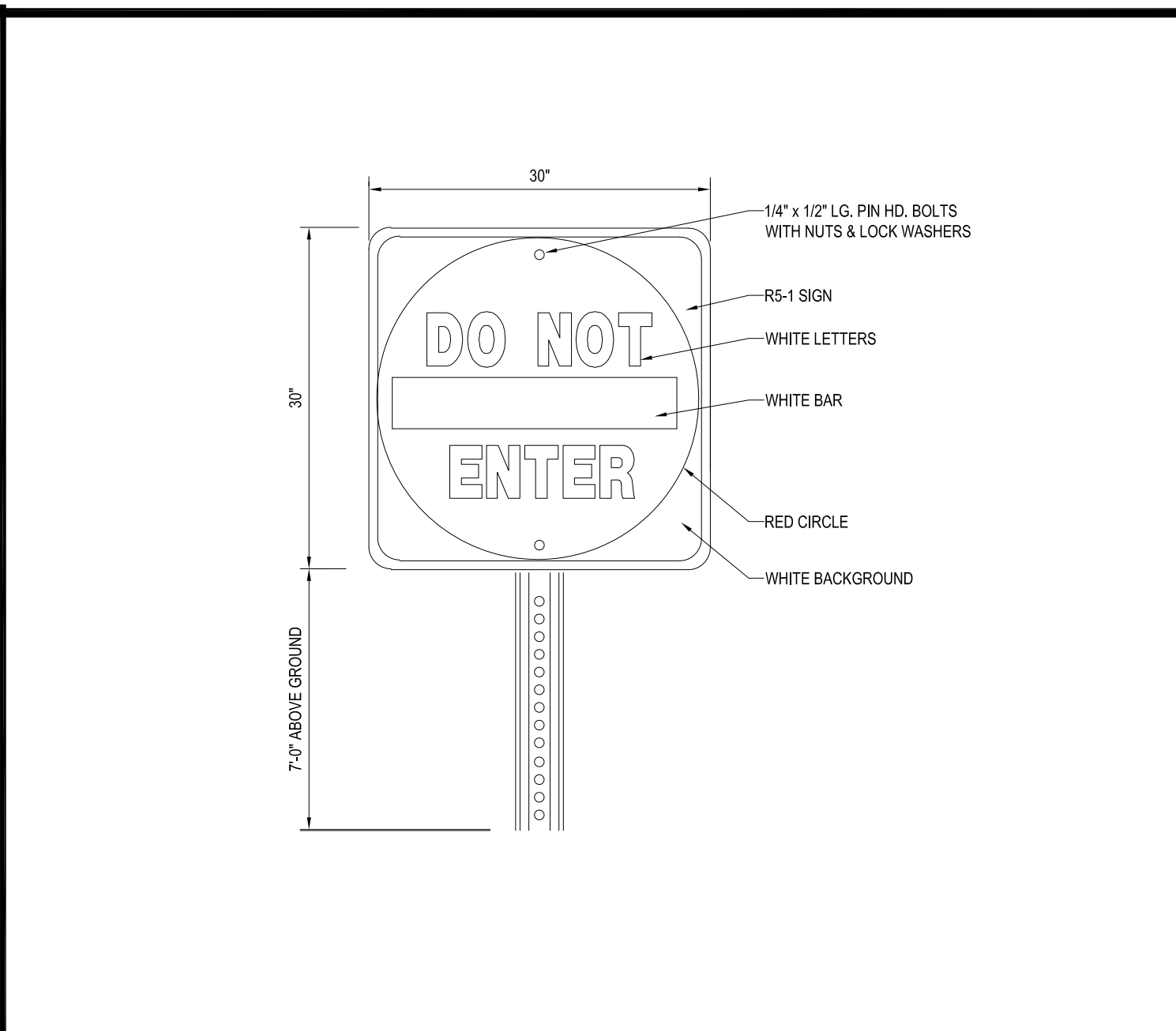
HANDICAP PARKING SIGN DETAIL

N.T.S.



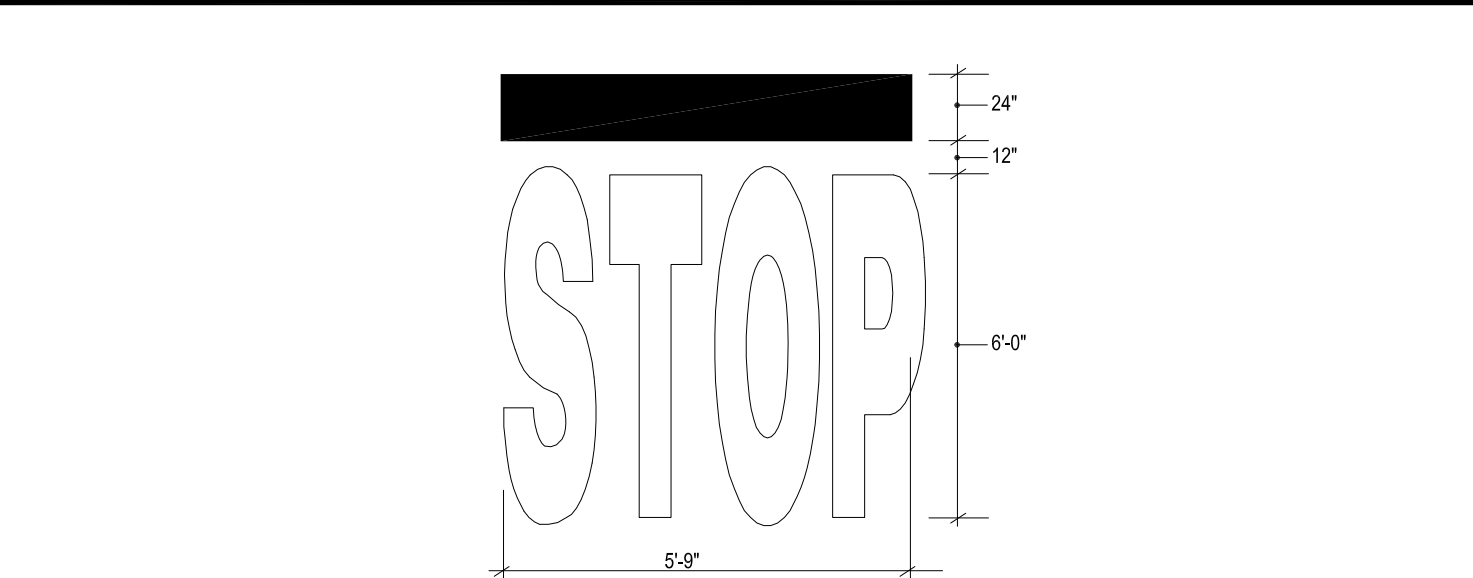
VERTICAL GRANITE CURB DETAIL

N.T.S.



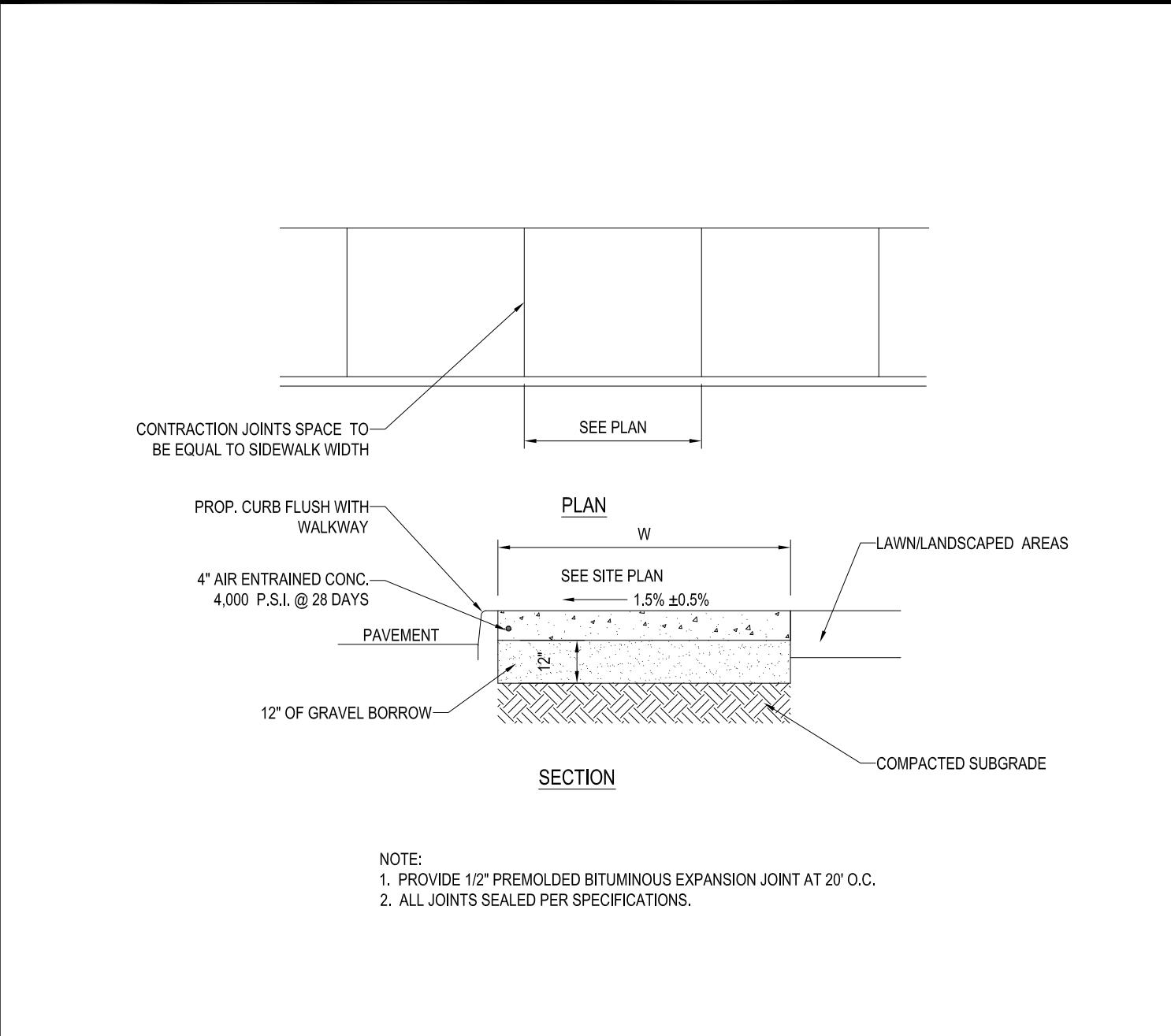
\"DO NOT ENTER\" SIGN

N.T.S.



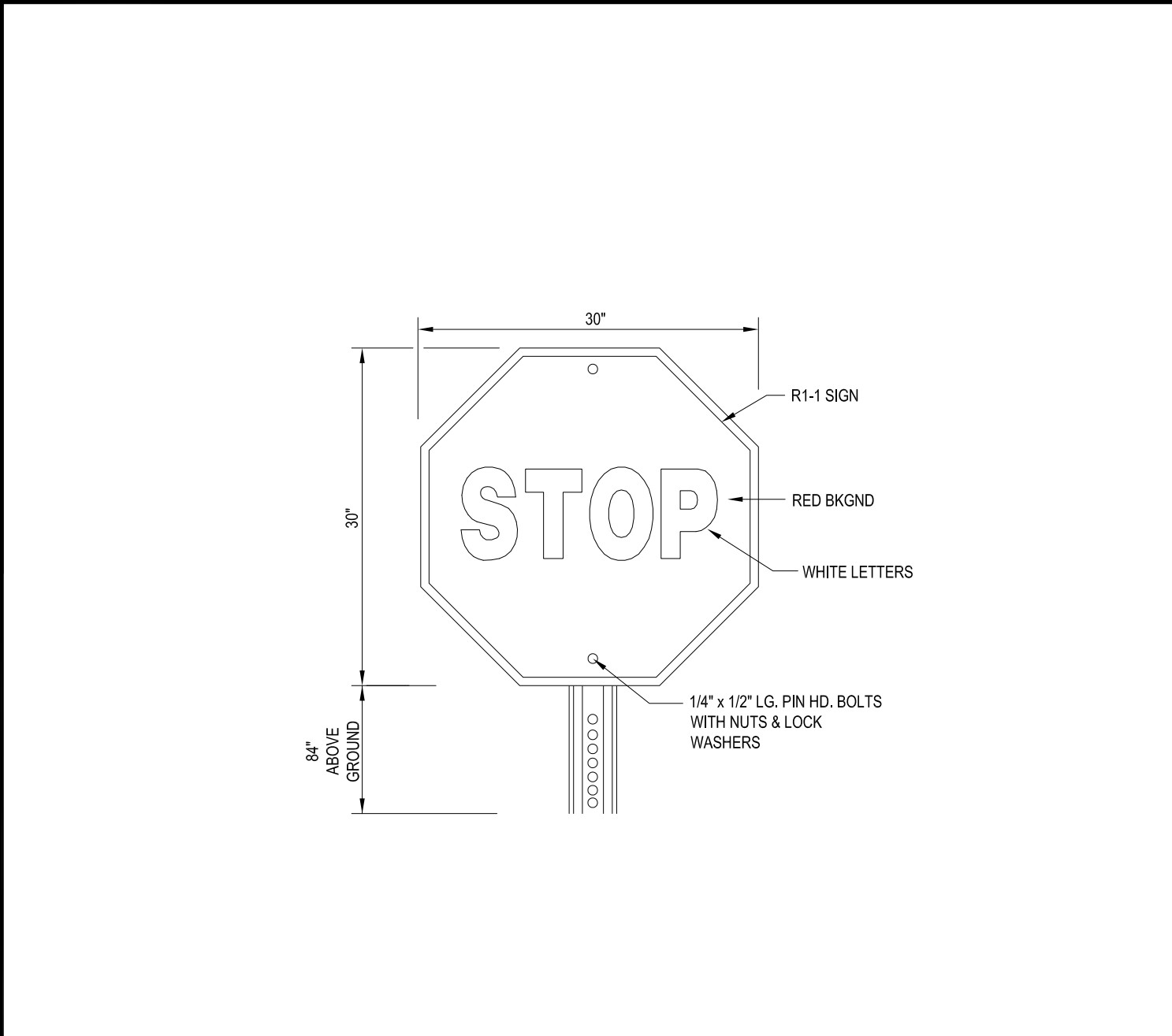
\"STOP\" BAR DETAIL

N.T.S.



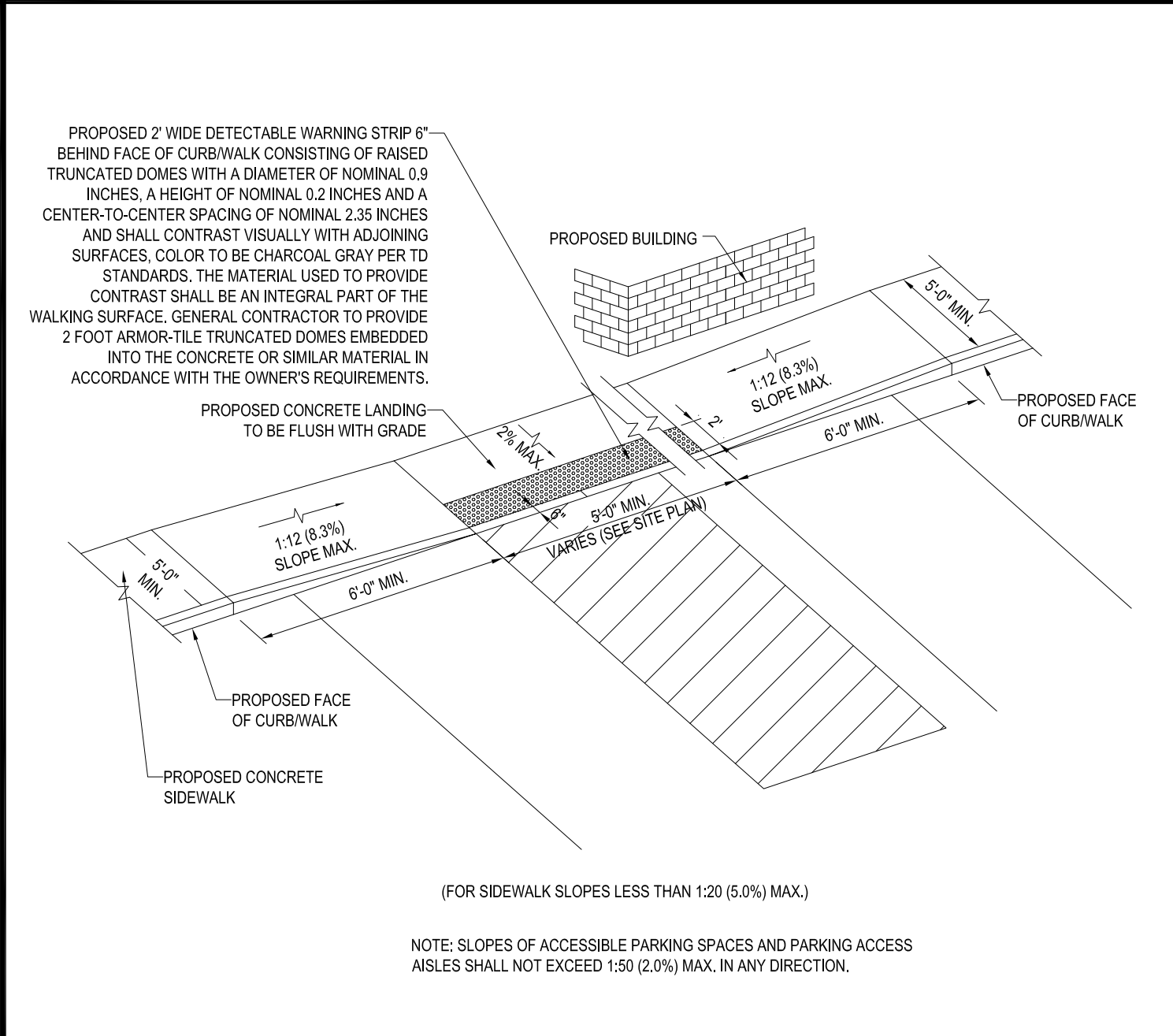
SIDEWALK DETAIL WITHIN ROW

N.T.S.



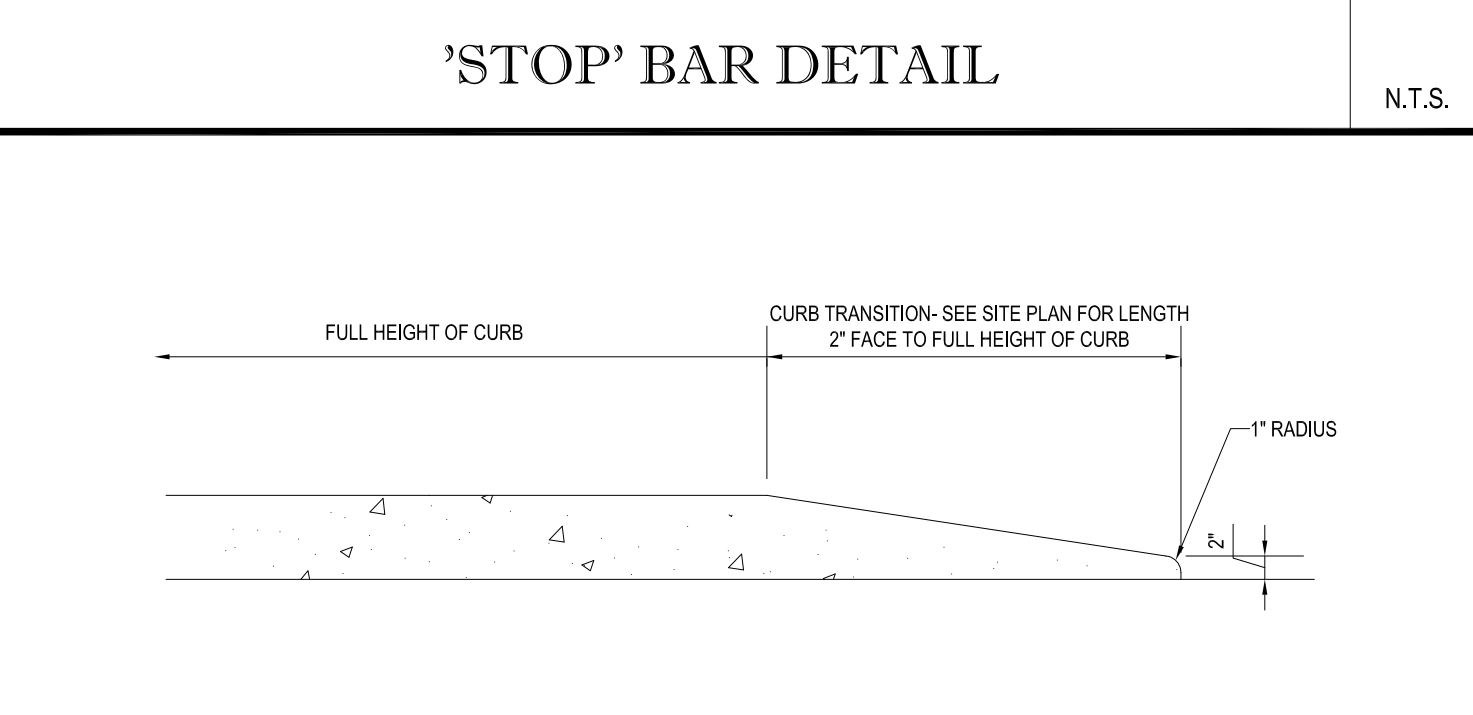
\"STOP\" SIGN

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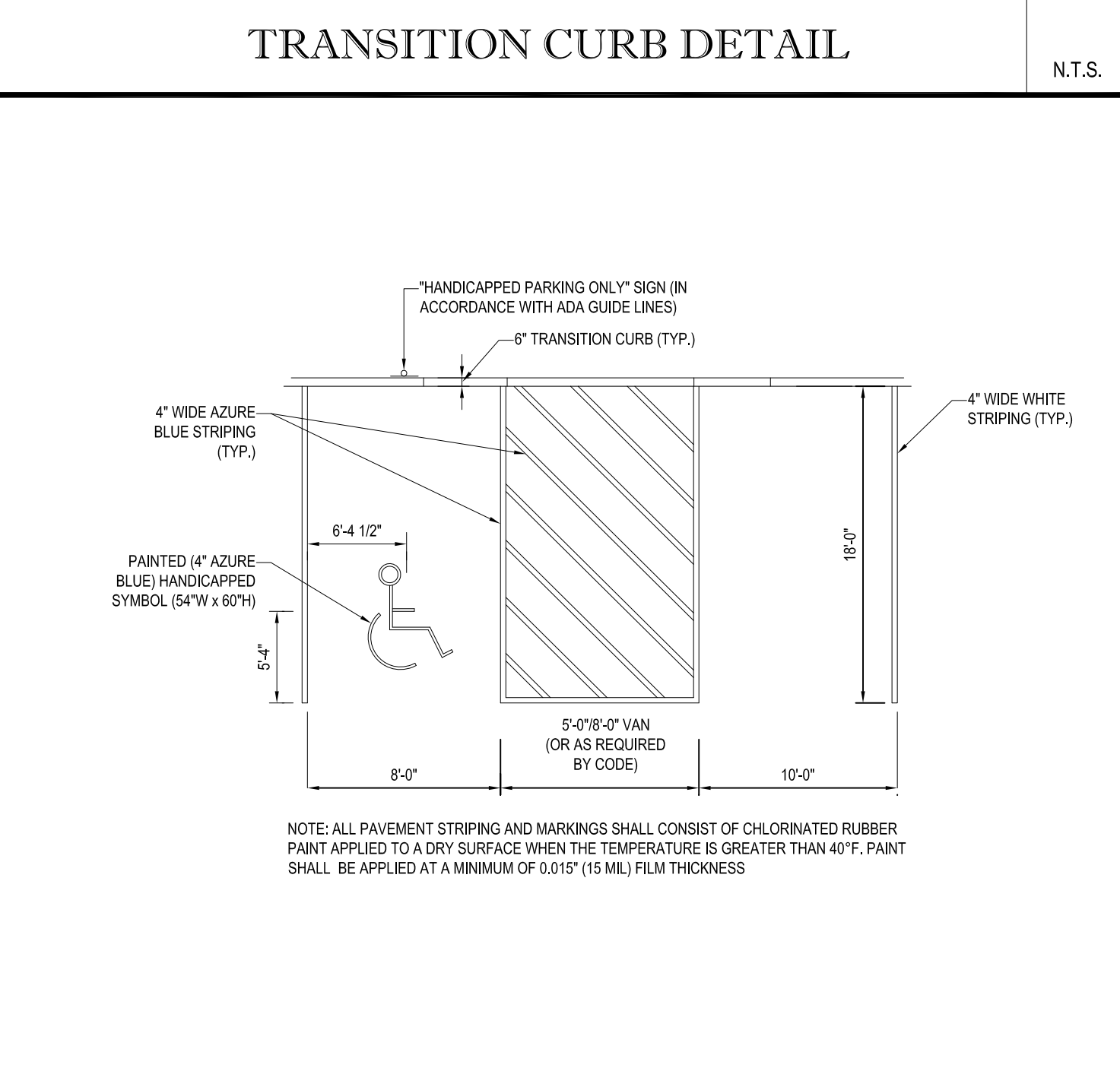
SLOPED WALK DETAIL

N.T.S.



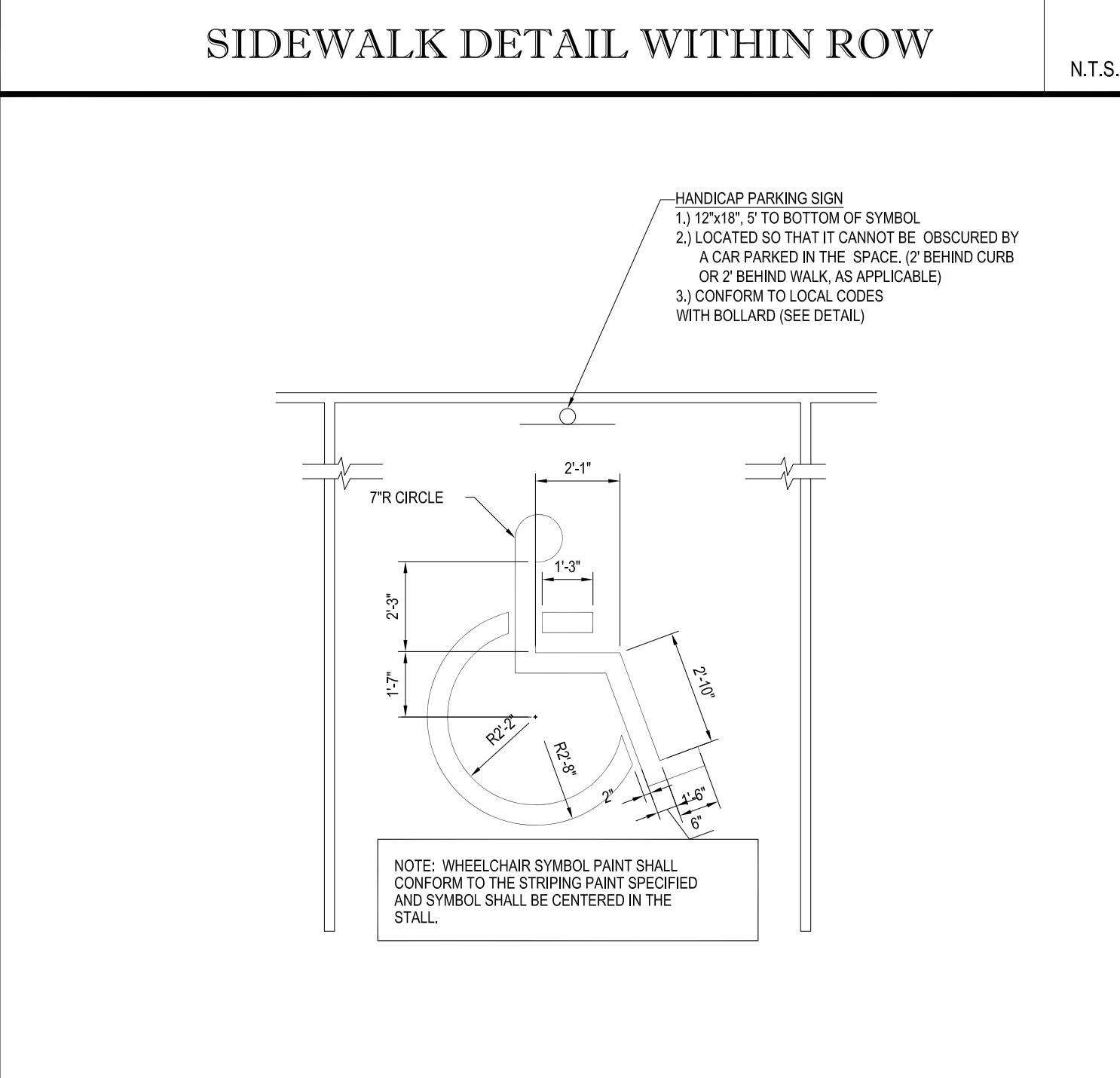
TRANSITION CURB DETAIL

N.T.S.



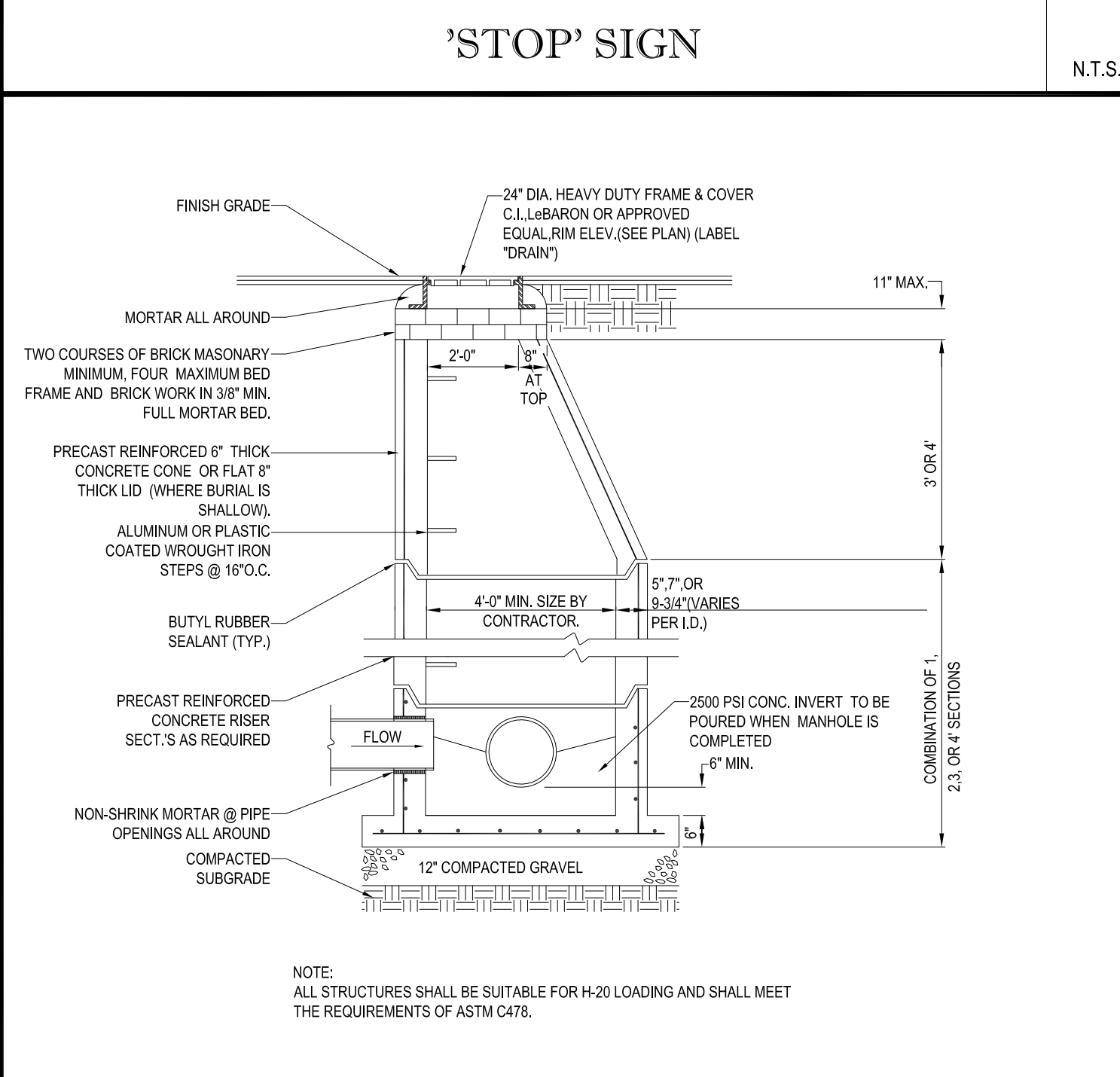
HANDICAPPED STALL MARKINGS & PARKING LOT STRIPING DETAIL

N.T.S.



HANDICAP PARKING STALL PAINTING DETAIL

N.T.S.



TYP. PRECAST CONCRETE MANHOLE STORM DRAIN

N.T.S.

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 RHODE ISLAND LICENSE NO. 9616
 MAINE LICENSE NO. 1255

REVISIONS

REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
2			
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PRELIMINARY

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 CHECKED BY: JAB/JAK
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 SCALE: AS NOTED
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APPROVED DATE: _____
 MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

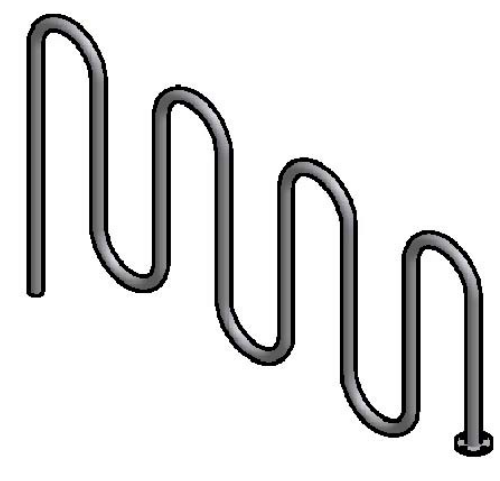
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 BEING A MAJORITY

SHEET TITLE: **CONSTRUCTION DETAIL SHEET**

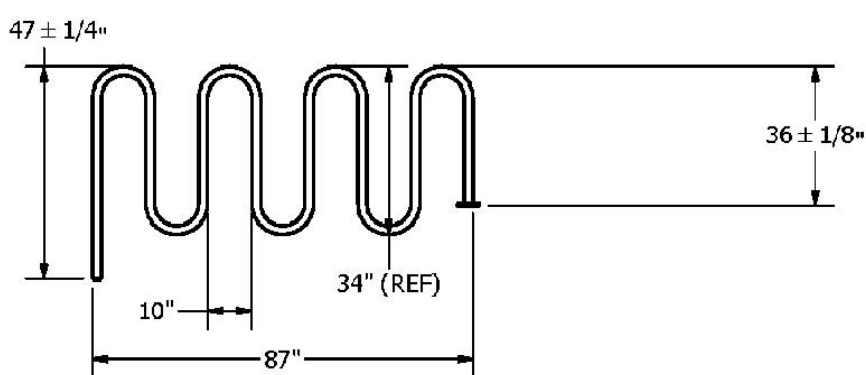
SHEET NUMBER: **12** OF 15

REV 1 - 04/27/2015

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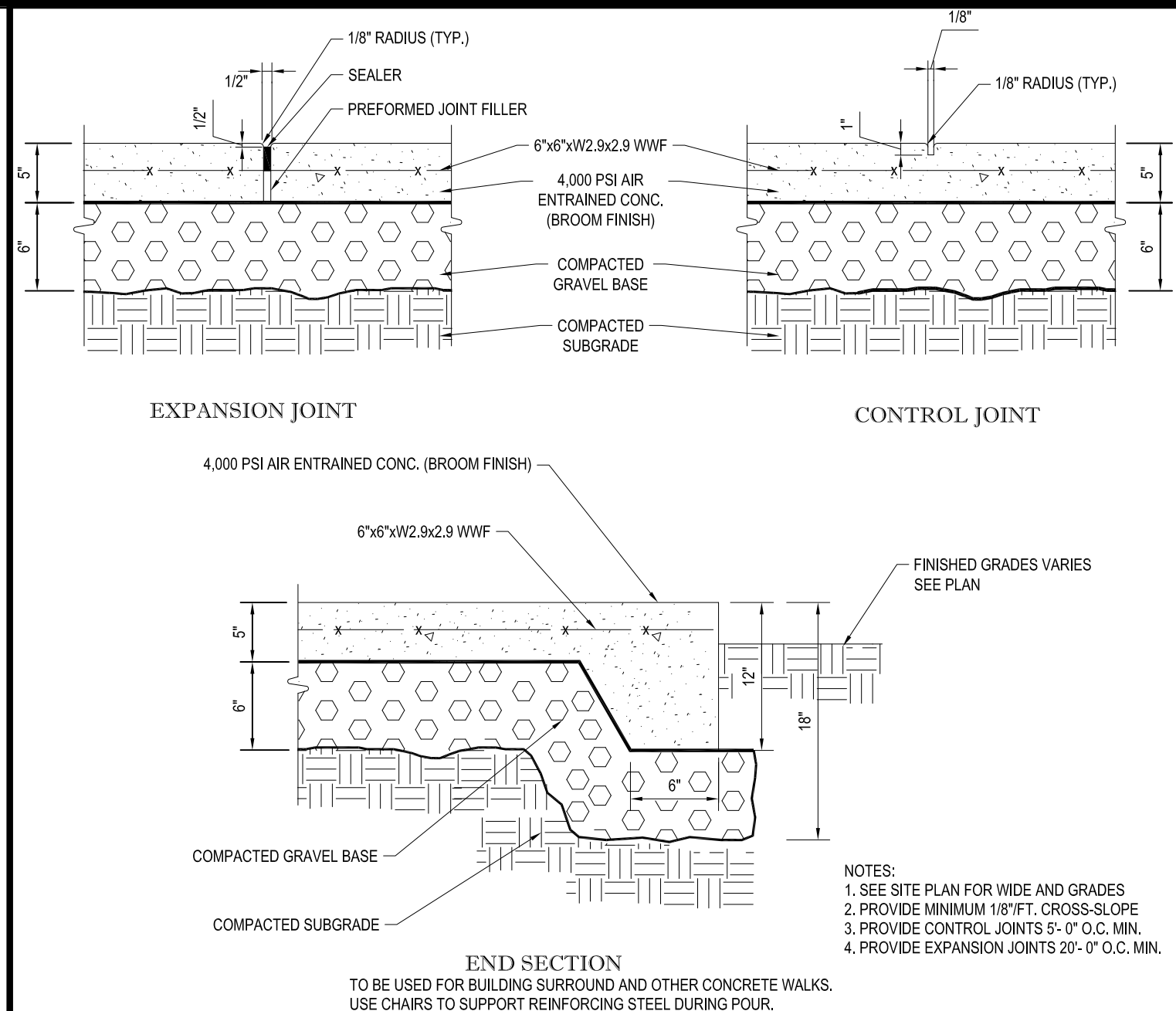


A CONTEMPORARY BIKE RACK AVAILABLE IN GROUND OR SURFACE MOUNT STYLES. CONSTRUCTED OF 2 - 3/8" O.D. SCHEDULE 40 GALVANIZED PIPE. POWDER COATED FINISH AVAILABLE IN BLACK, BROWN, GREEN, BLUE, AND RED.



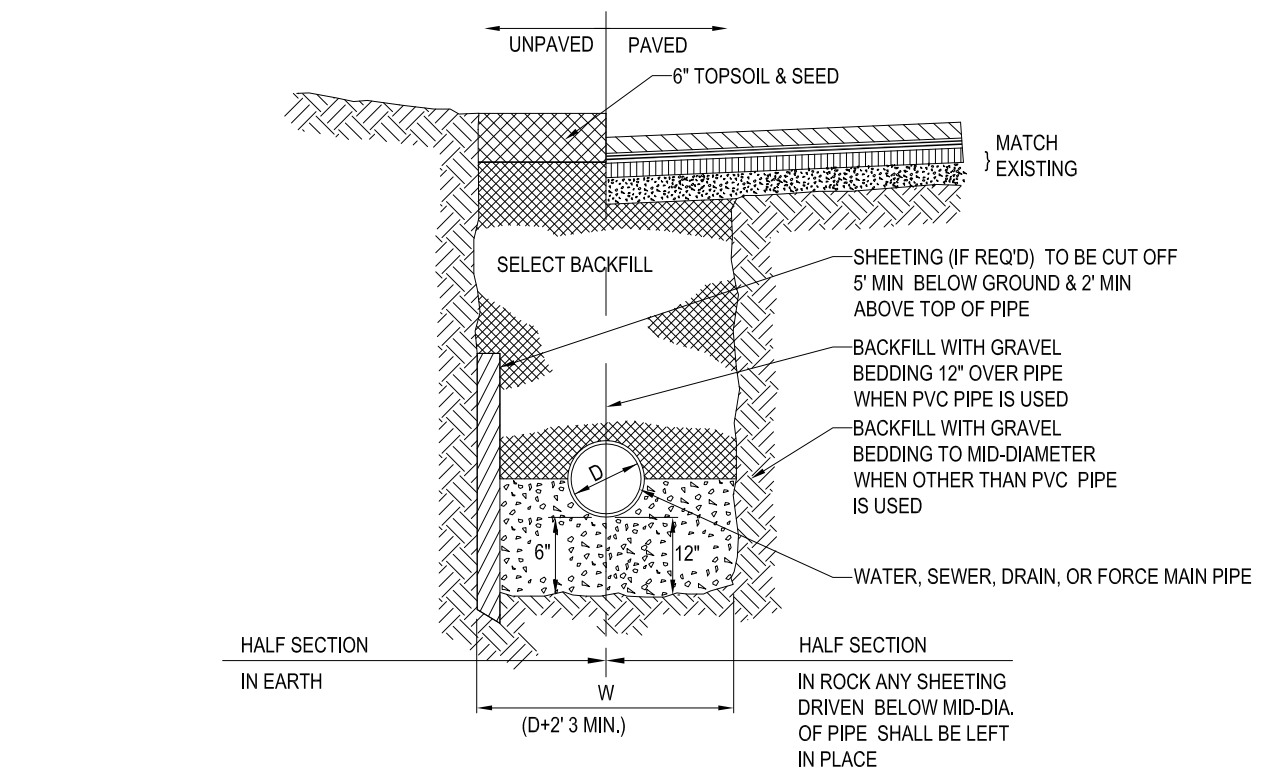
HDWBR-9 9 CAPACITY WAVE BIKE RACK

N.T.S.



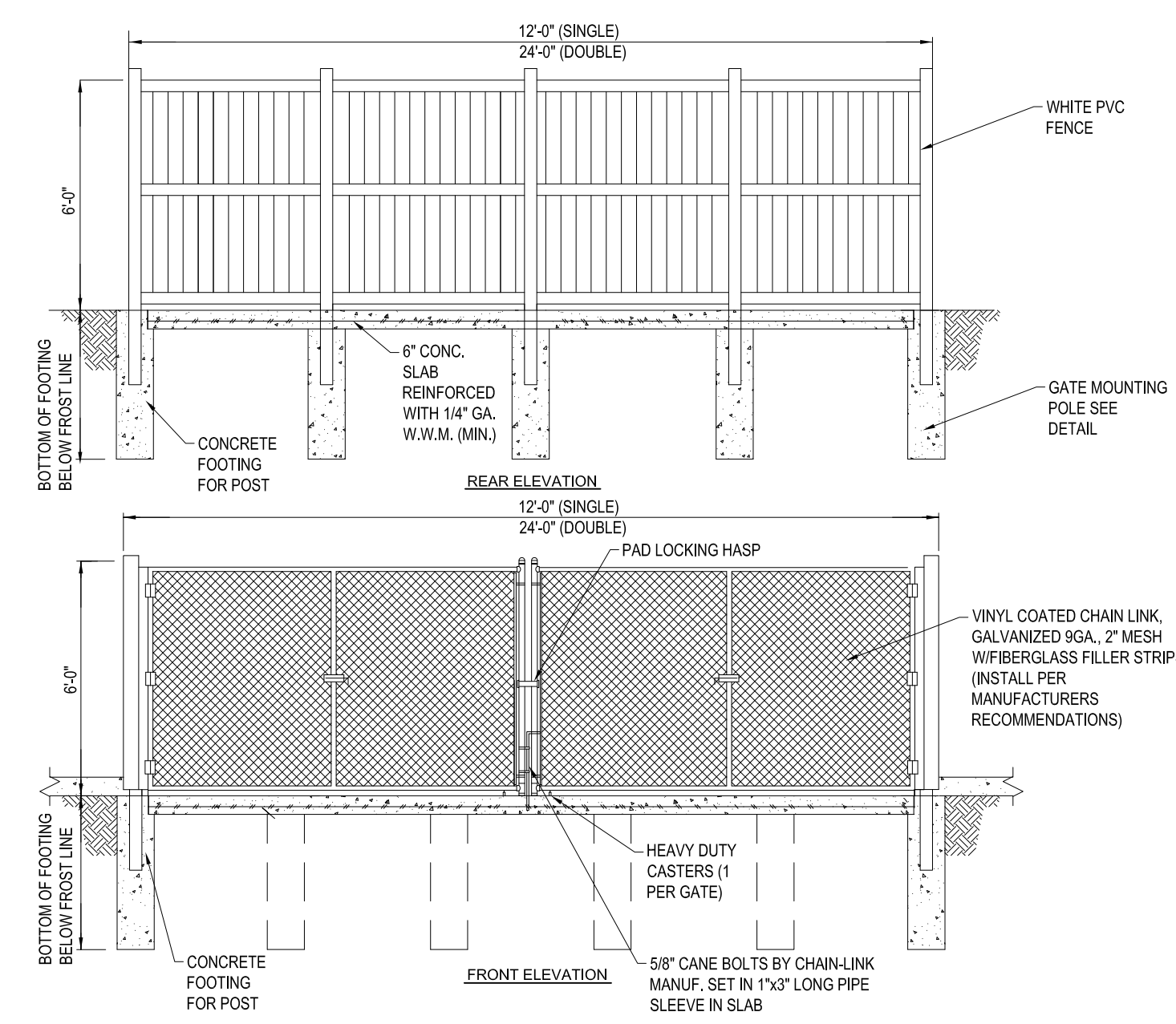
MONOLITHIC CONC. SIDEWALK DETAILS

N.T.S.



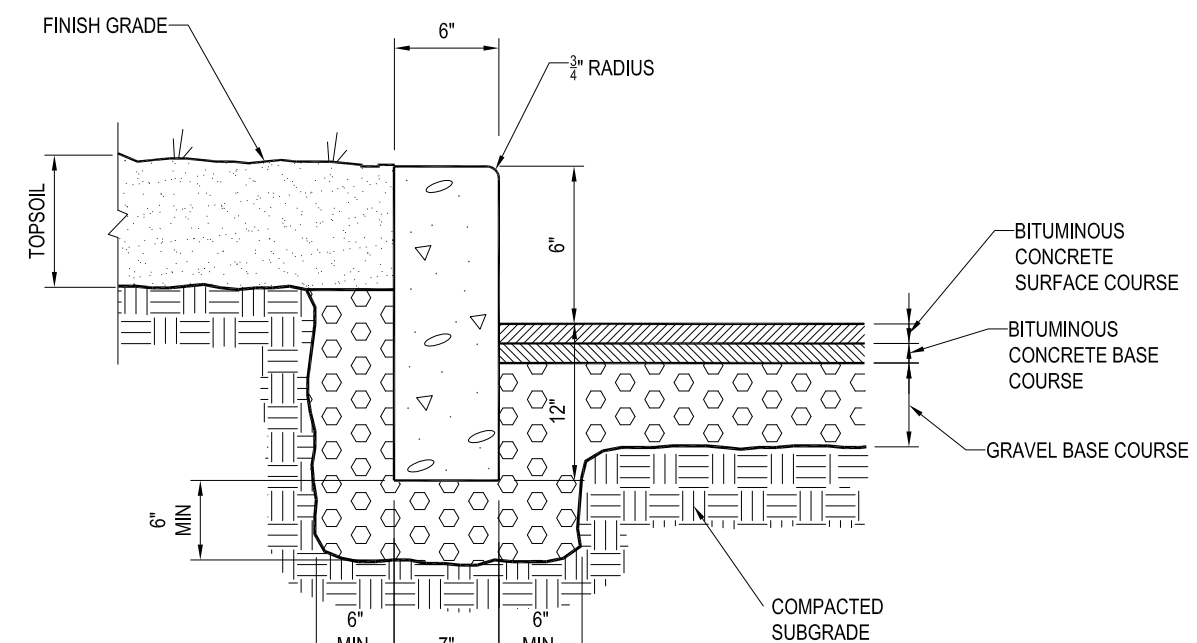
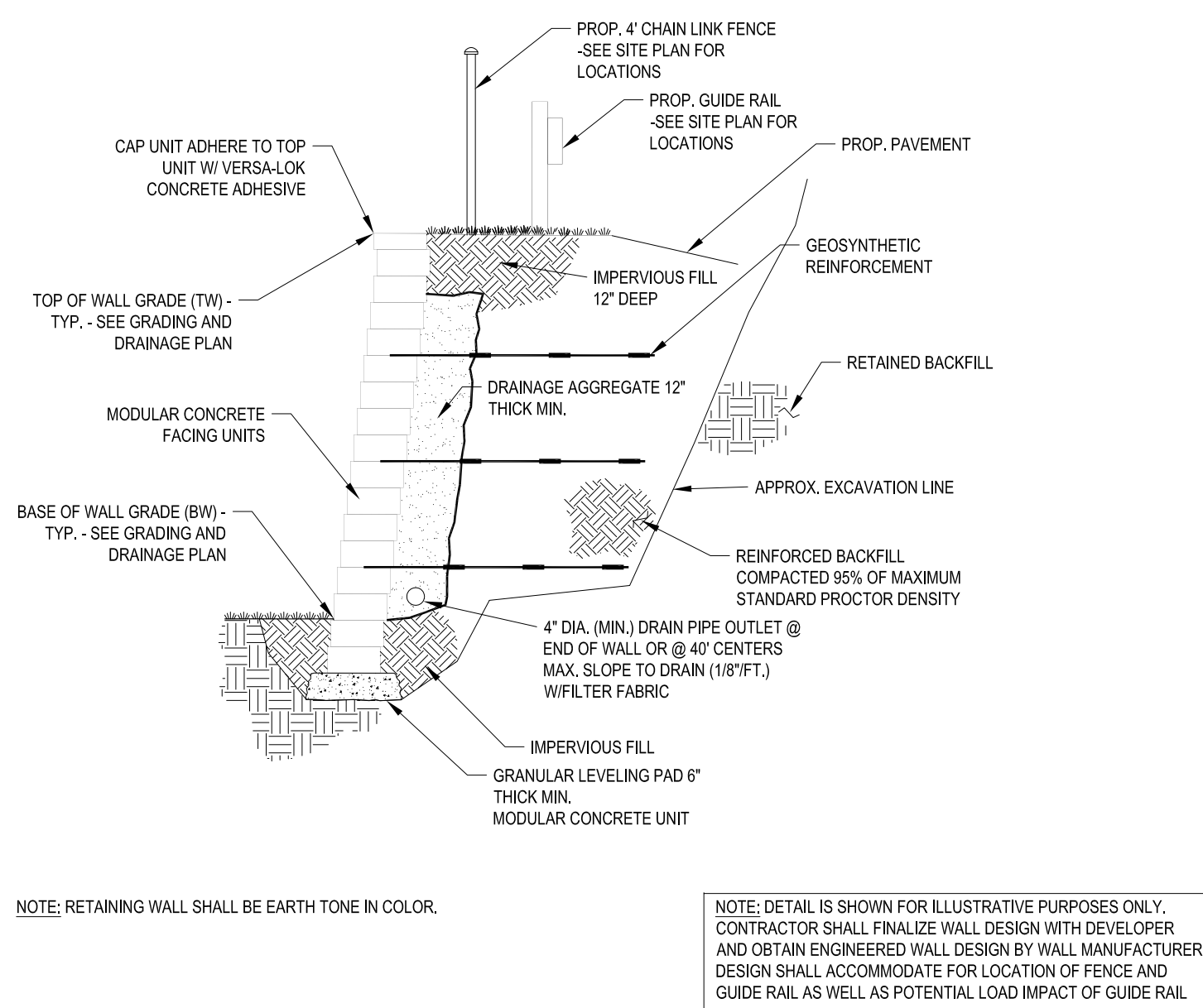
TYPICAL UTILITY TRENCH

N.T.S.



PVC FENCE TRASH ENCLOSURE

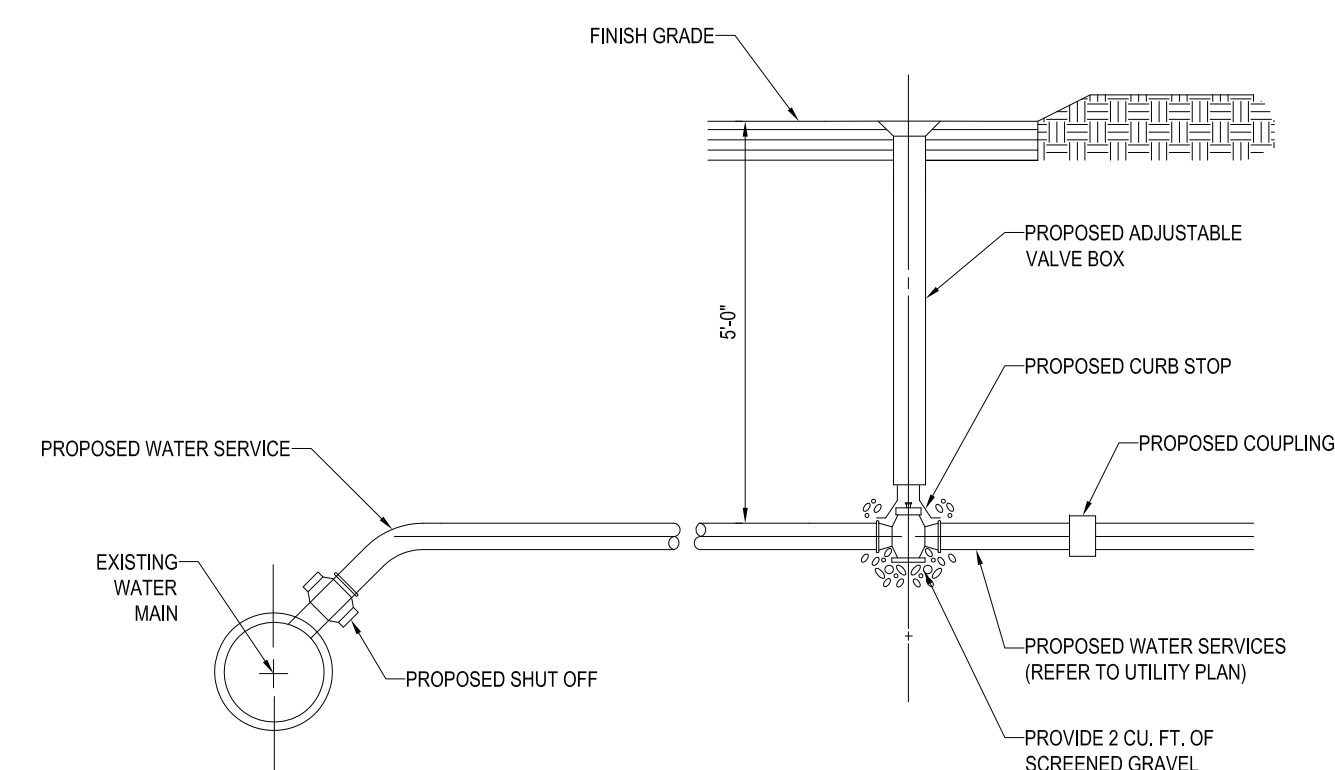
N.T.S.



- NOTE:
1. CURB SHALL CONSIST OF 4,000 PSI AIR ENTRAINED CONCRETE. EXPOSED EDGES TO HAVE RUBBER FINISH AND SURFACE SHALL BE TREATED WITH A CONCRETE PENETRANTSEALER.
 2. THE ENDS OF CURB SECTIONS SHALL BE CHAMFERED 1/4 INCH.
 3. THE CORNERS OF CURB SECTIONS SHALL MATCH THE ADJACENT CURB IN SIZE, COLOR AND FINISH.
 4. CURBS, CURB CORNERS OR EDGING SHALL BE FITTED TOGETHER AS CLOSELY AS POSSIBLE.
 5. EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM OF TWENTY FEET (20') ON CENTER USING PREFORMED EXPANSION JOINT FILLER WITH A THICKNESS OF 1/2 INCH.

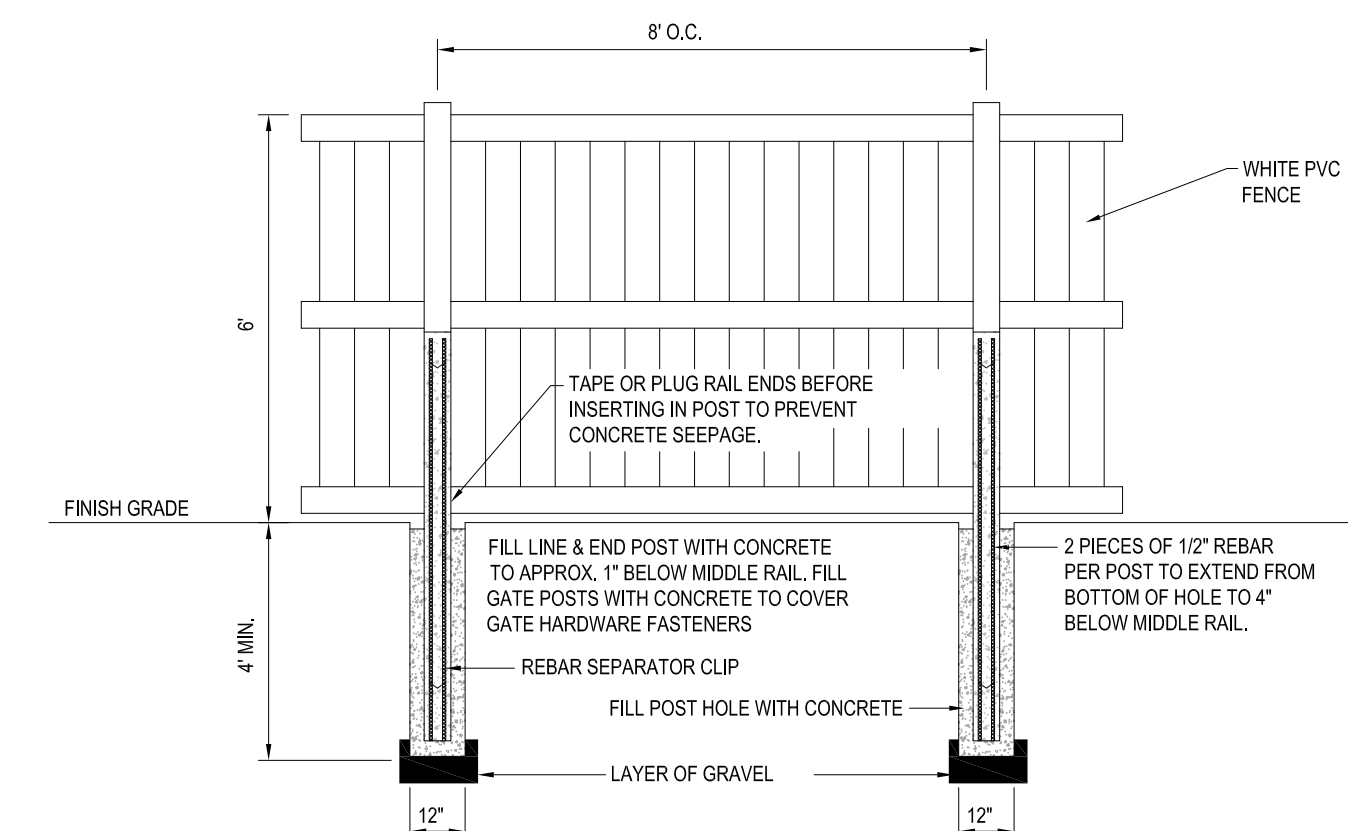
PRECAST CONCRETE CURB DETAIL

N.T.S.



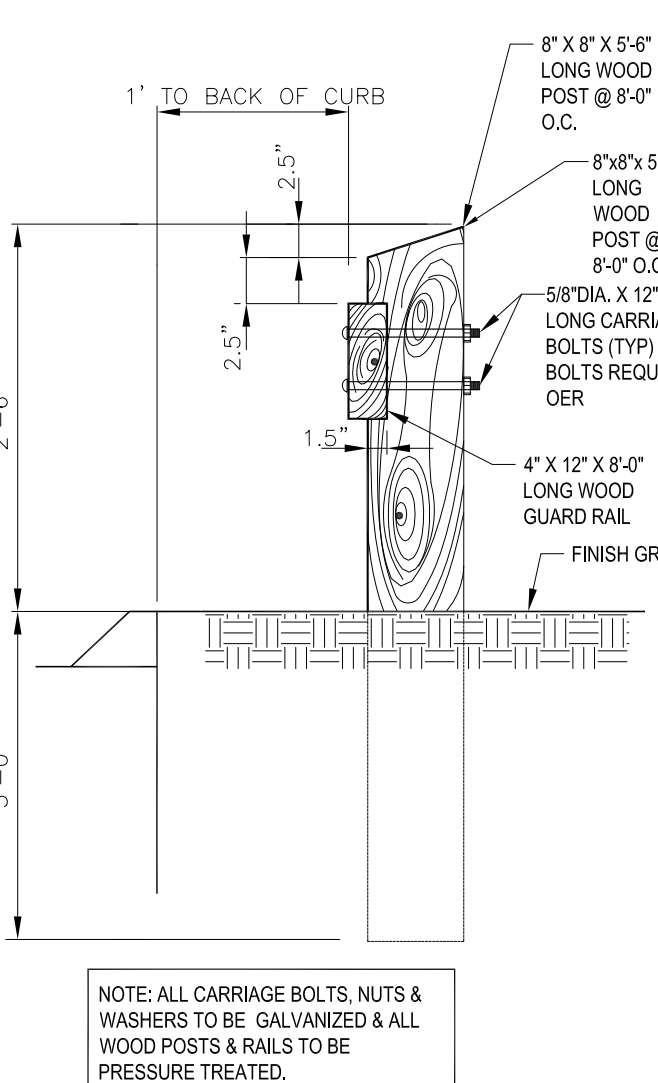
SERVICE CONNECTION DETAIL

N.T.S.



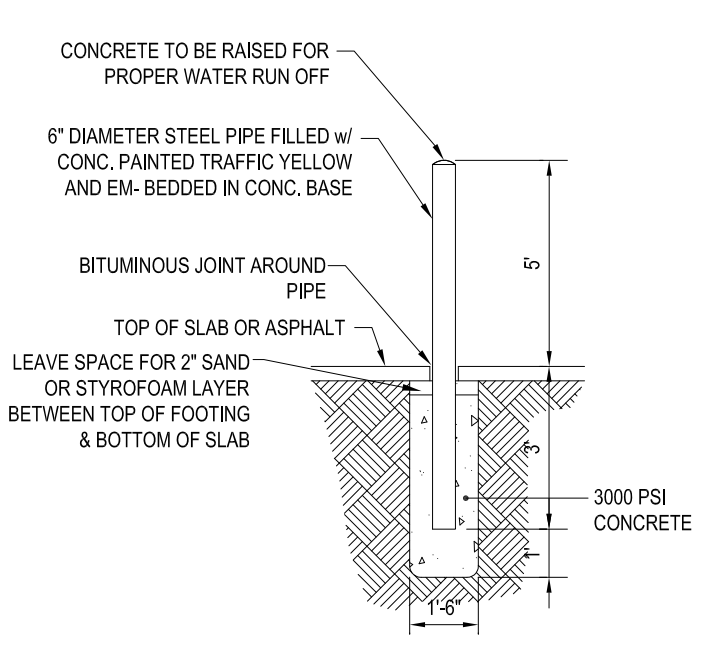
PVC VENCE DETAIL

N.T.S.



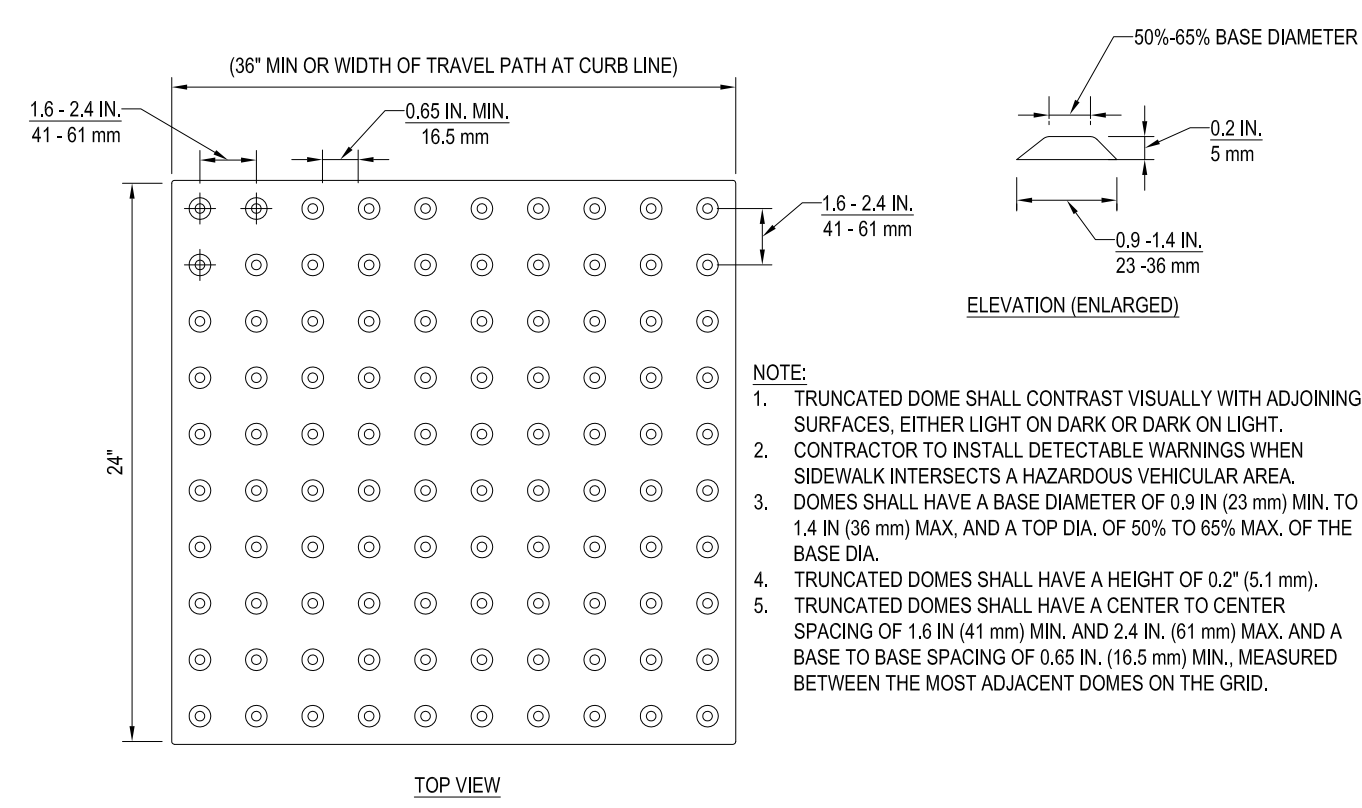
WOOD GUIDERAIL DETAIL

N.T.S.



BOLLARD DETAIL

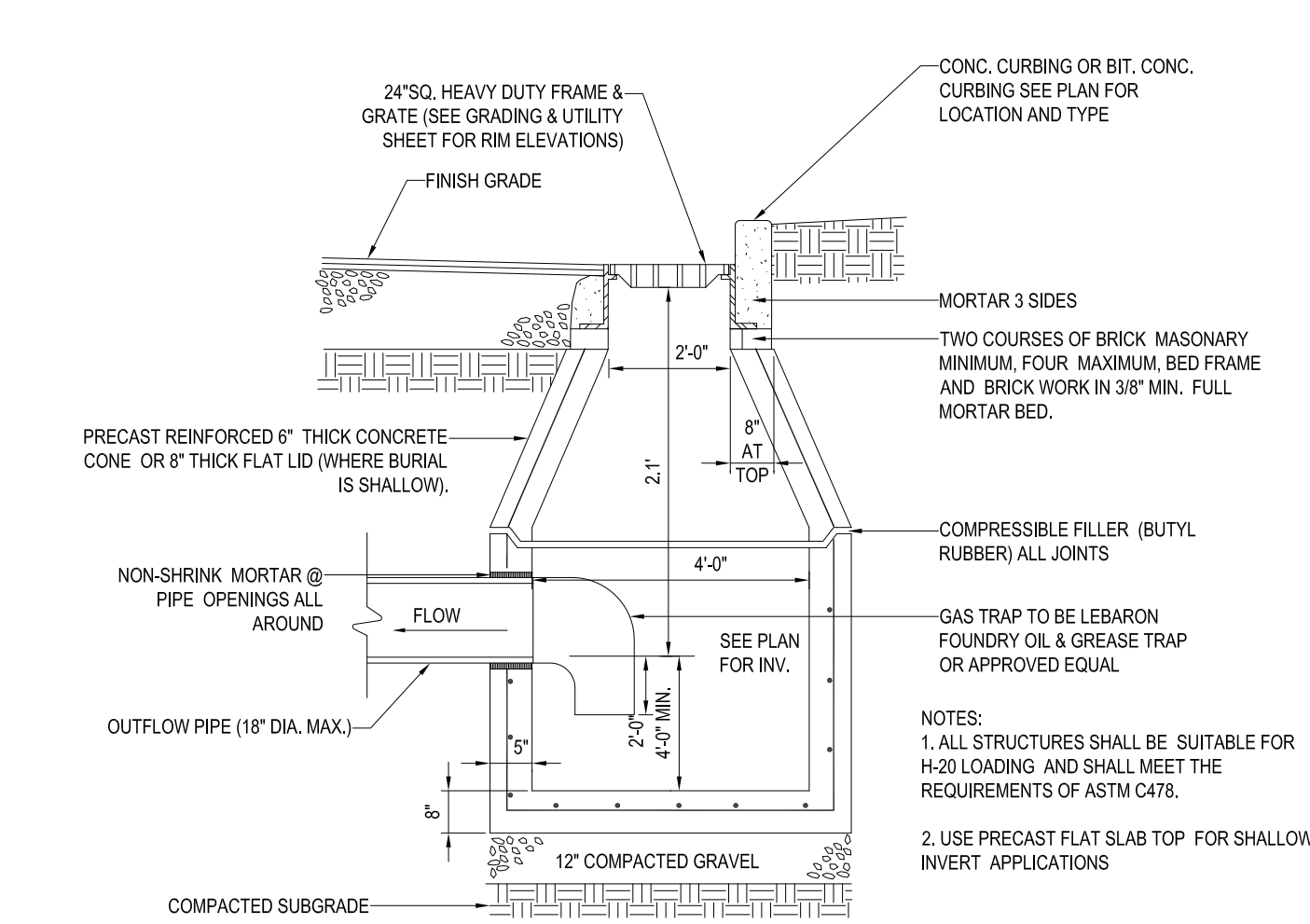
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- NOTE TO DESIGNER:
- IF A WALK CROSSIS OR ADJONS A VEHICULAR WAY WHERE THE WALKING SURFACE AND PAVEMENT ARE NOT SEPERATED BY CURBS, RAILING OR OTHER ELEMENTS, THE BOUNDARY BETWEEN THE AREA SHALL BE A CONTINUOUS DETECTABLE WARNING WHICH IS MIN. 36\"/>

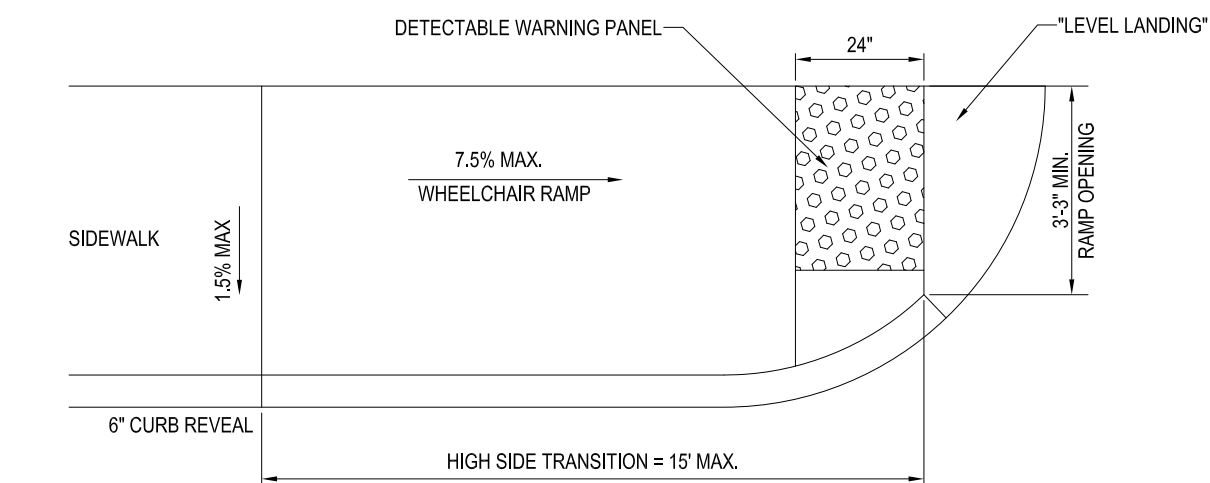
TRUNCATED DOME PATTERN

N.T.S.



PRECAST CONCRETE DEEP SUMP CATCH BASIN DETAIL

N.T.S.



TYPICAL WHEELCHAIR RAMP

N.T.S.

APPROVED DATE: _____
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: _____
BEING A MAJORITY

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 ● MINNEAPOLIS MN
 ● NEW YORK NY
 ● PHOENIX AZ
 ● RICHMOND VA
 ● TAMPA FL
 ● WASHINGTON DC

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PRELIMINARY

PROJECT No.: W141182
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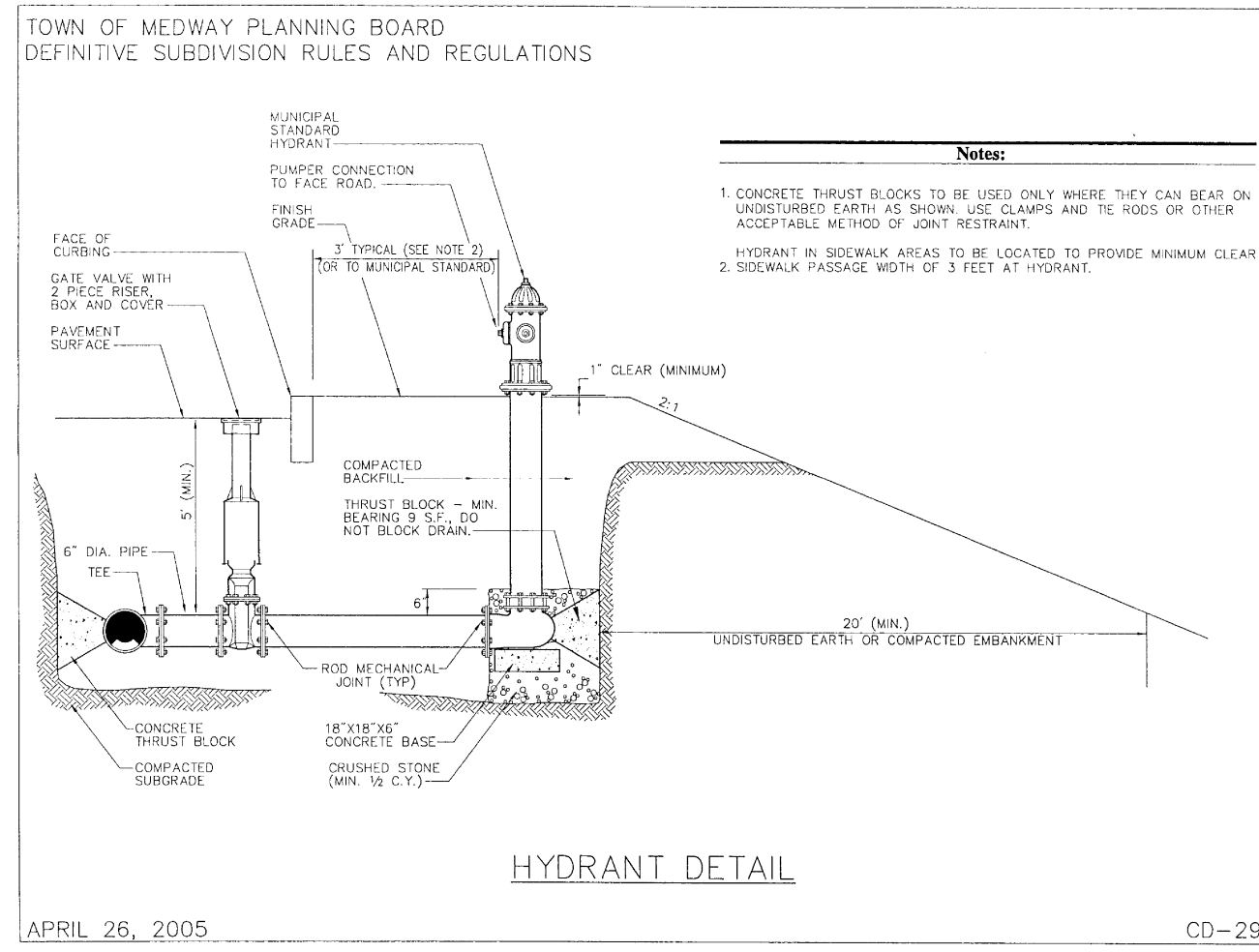
J.A. KUCICH

PROFESSIONAL ENGINEER
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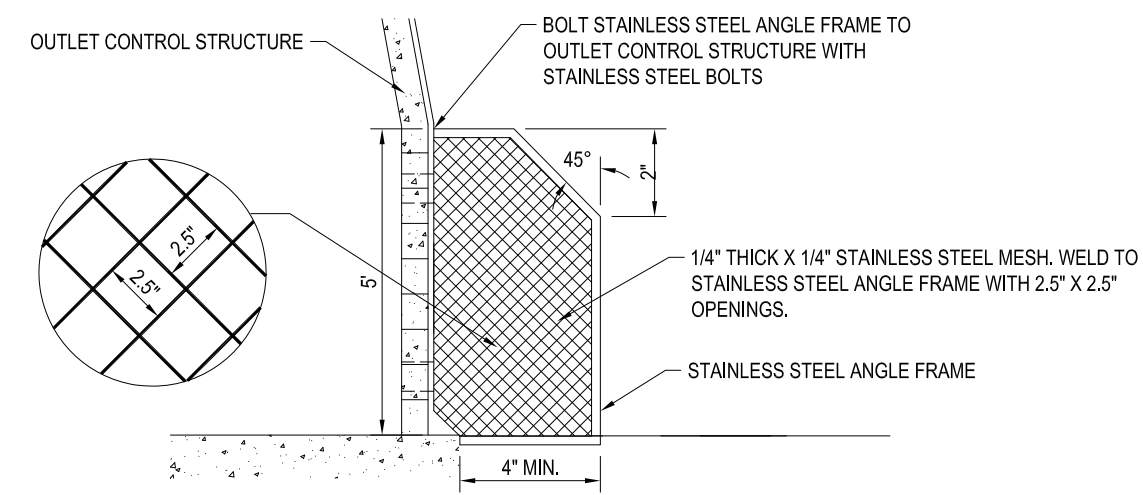
SHEET TITLE: **CONSTRUCTION DETAIL SHEET**

SHEET NUMBER: **13** OF 15

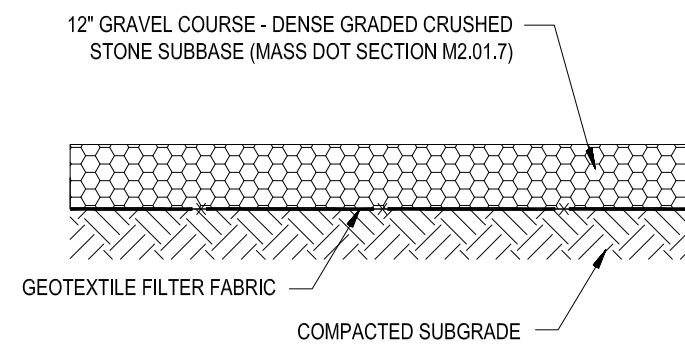
REV 1 - 04/27/2015



**TOWN OF MEDWAY
HYDRANT DETAIL (CD-29)**



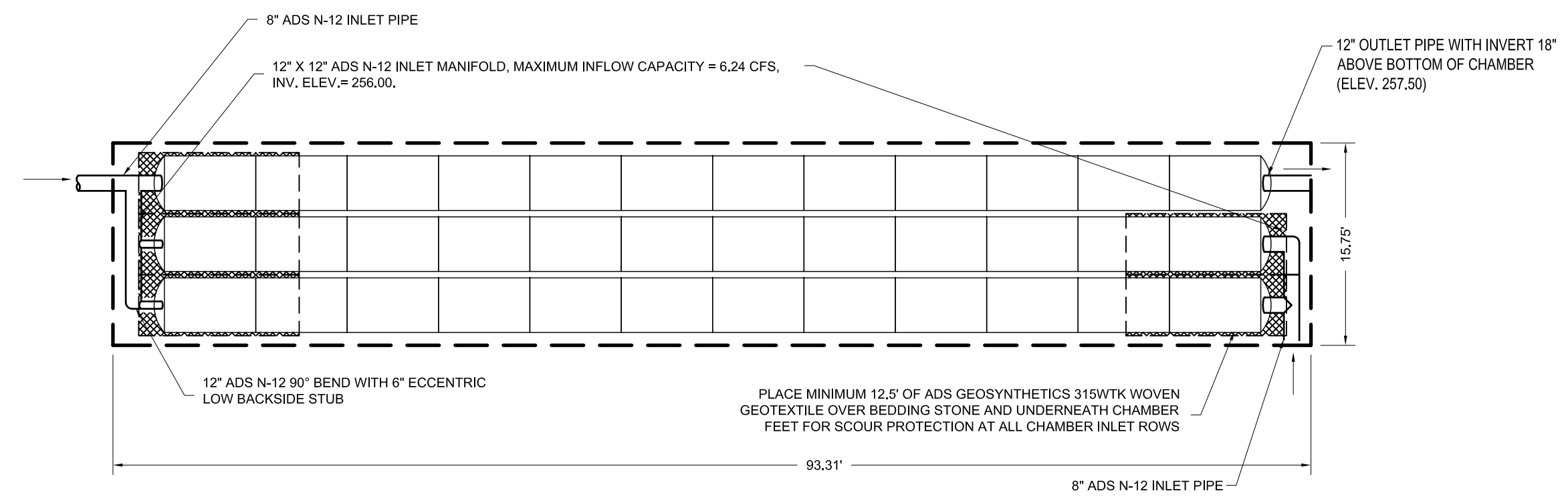
TRASH RACK



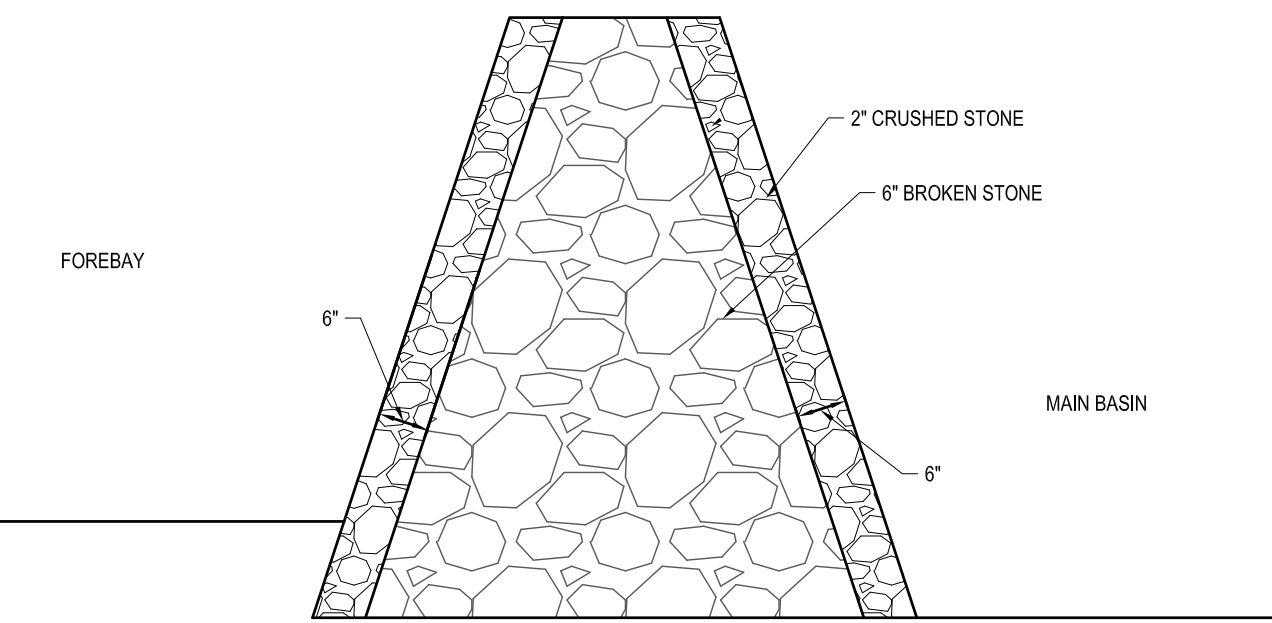
GRAVEL ACCESS DRIVE DETAIL

PROPOSED LAYOUT / BASIN #5
(36) STORMTECH SC-740 CHAMBERS
(6) STORMTECH SC-740 END CAPS
INSTALLED WITH 6" COVER STONE, 40% STONE VOID
INSTALLED SYSTEM VOLUME: 2,400 CF. (PERIMETER STONE INCLUDED)
AREA OF SYSTEM: 1,470 FT²

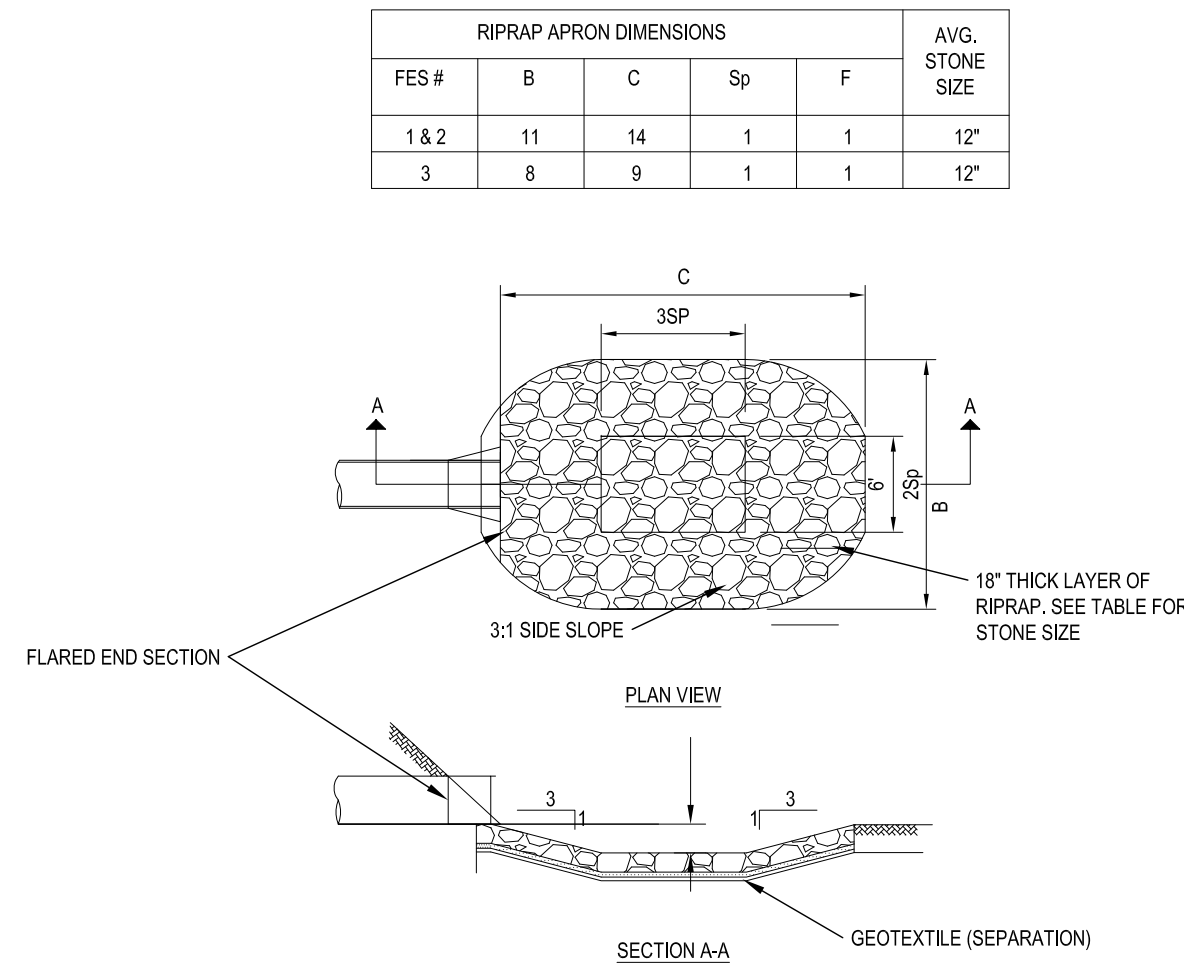
- NOTES**
- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
 - THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.



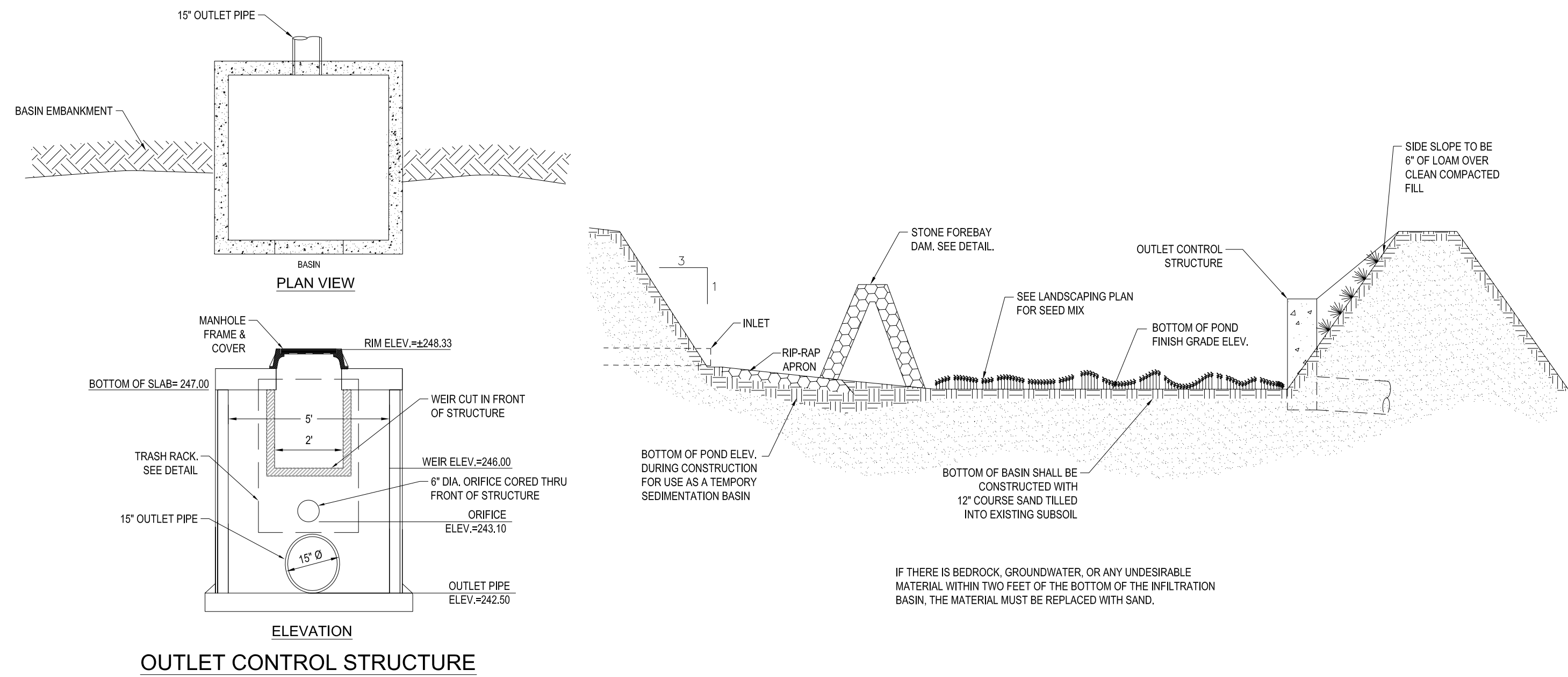
INFILTRATION BASIN #1



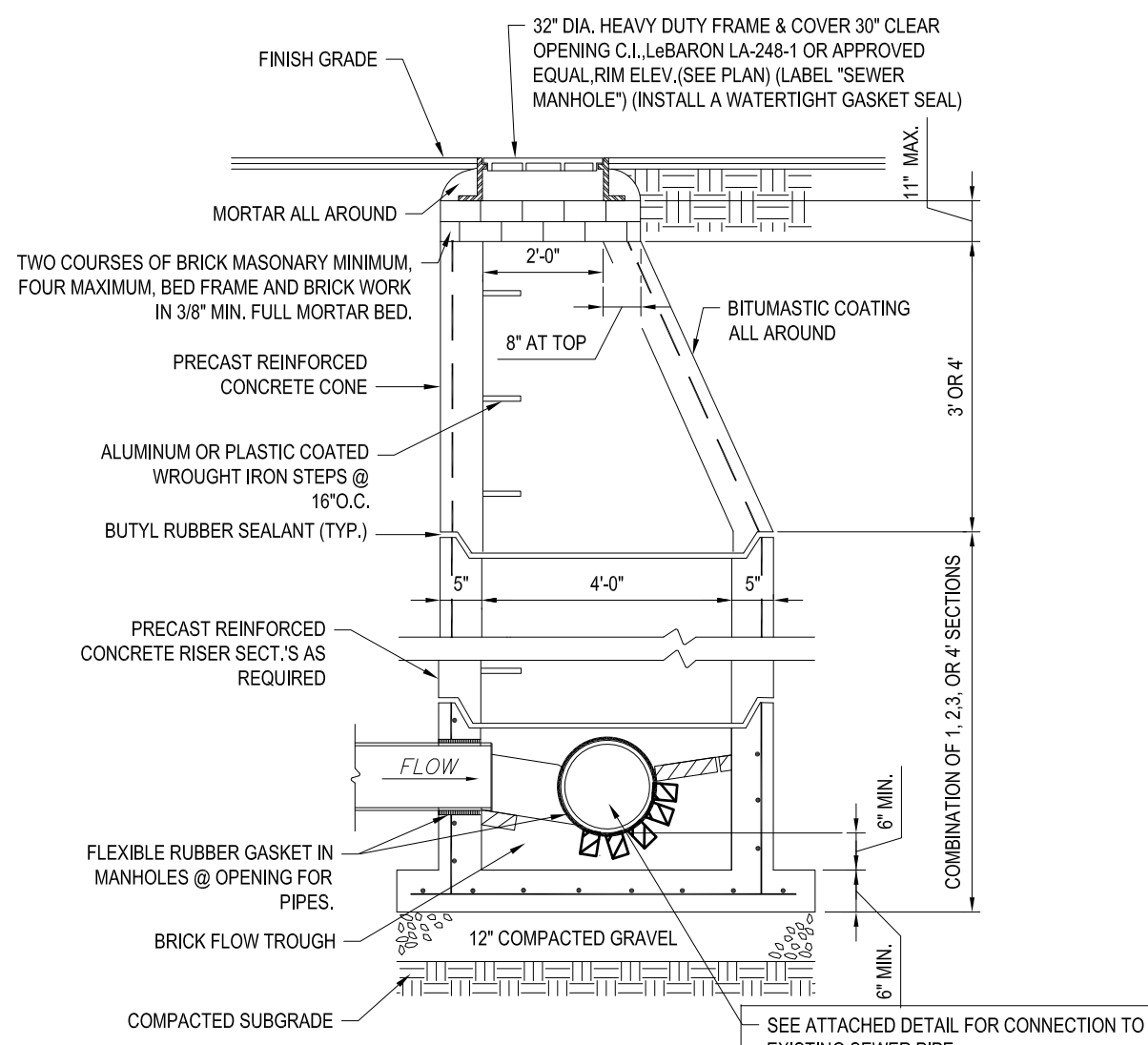
STONE FOREBAY DAM



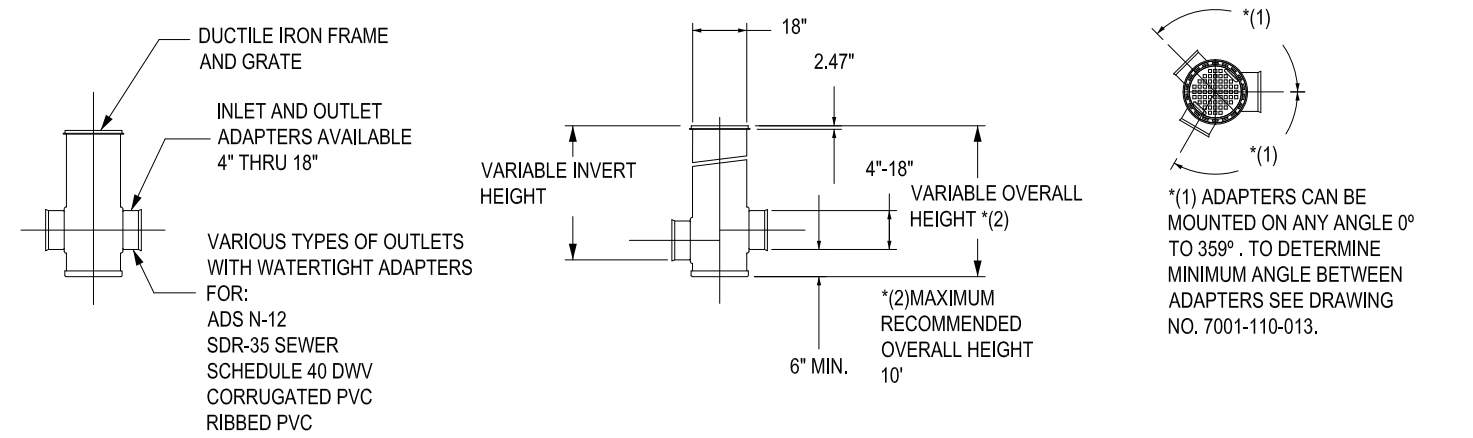
RIP-RAP APRON AT FES-1 & 2



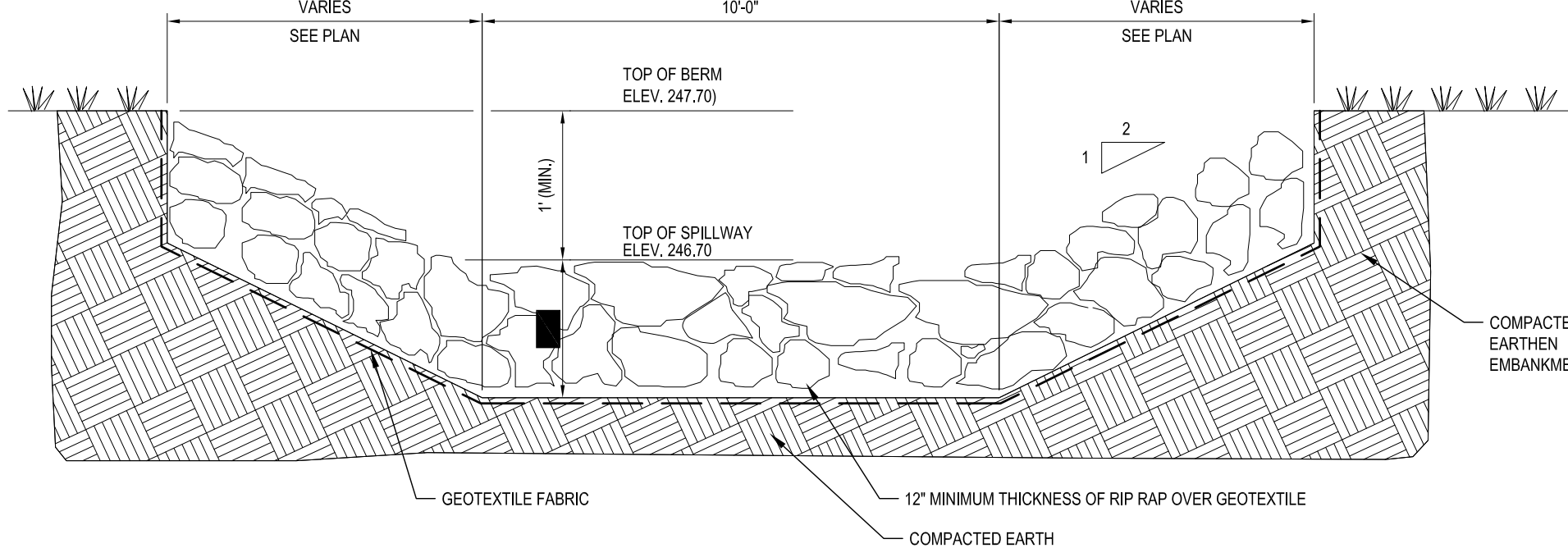
INFILTRATION BASIN #1 WITH OUTLET CONTROL STRUCTURE DETAIL



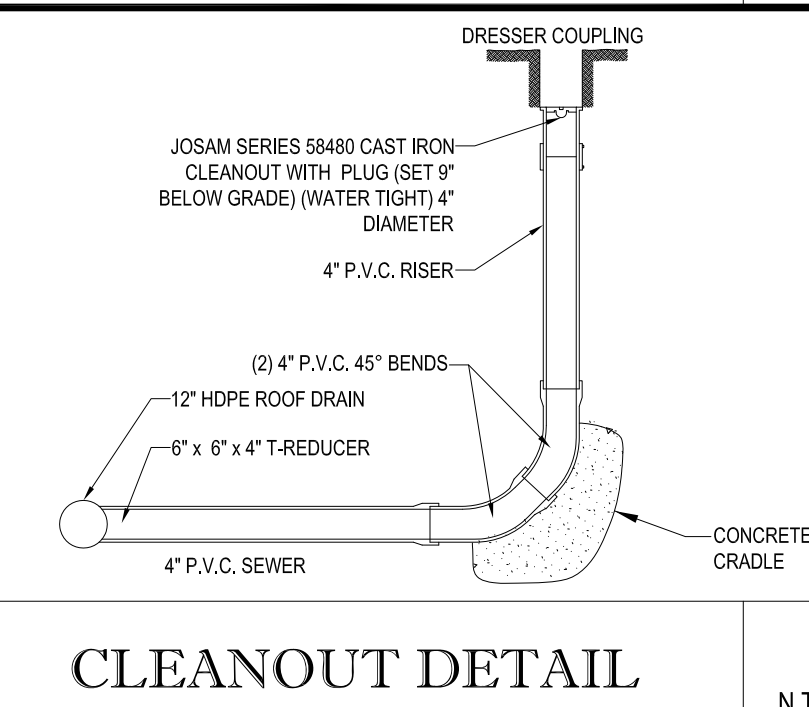
TYP. PRECAST CONCRETE SANITARY MANHOLE



YARD DRAIN DETAIL



DETENTION BASIN EMERGENCY SPILLWAY



APPROVED DATE: _____
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: _____
BEING A MAJORITY

CLEANOUT DETAIL

BOHLER ENGINEERING

1100 STATE STREET, SUITE 200, SOUTH BOSTON, MA 02125
PHONE: (617) 261-1100
FAX: (617) 261-1101
WWW.BOHLENERG.COM

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PENNSYLVANIA: BOHLER, NEM, AND
VIRGINIA: BOHLER, NEM, AND

REVISIONS

REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
2			
3			
4			
5			
6			
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8			
9			
10			
11			
12			
13			
14			
15			

PRELIMINARY

PROJECT No.: W141182
DRAWN BY: CFD/IBP
CHECKED BY: JAB/JAK
DATE: 1/9/2015
SCALE: AS NOTED
CAD I.D.: W141182S1

SITE DEVELOPMENT PLANS FOR THURKEN III, LLC

LOCATION OF SITE
72 MAIN STREET
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

BOHLER ENGINEERING

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9080
www.BohlerEngineering.com

J.A. KUCICH

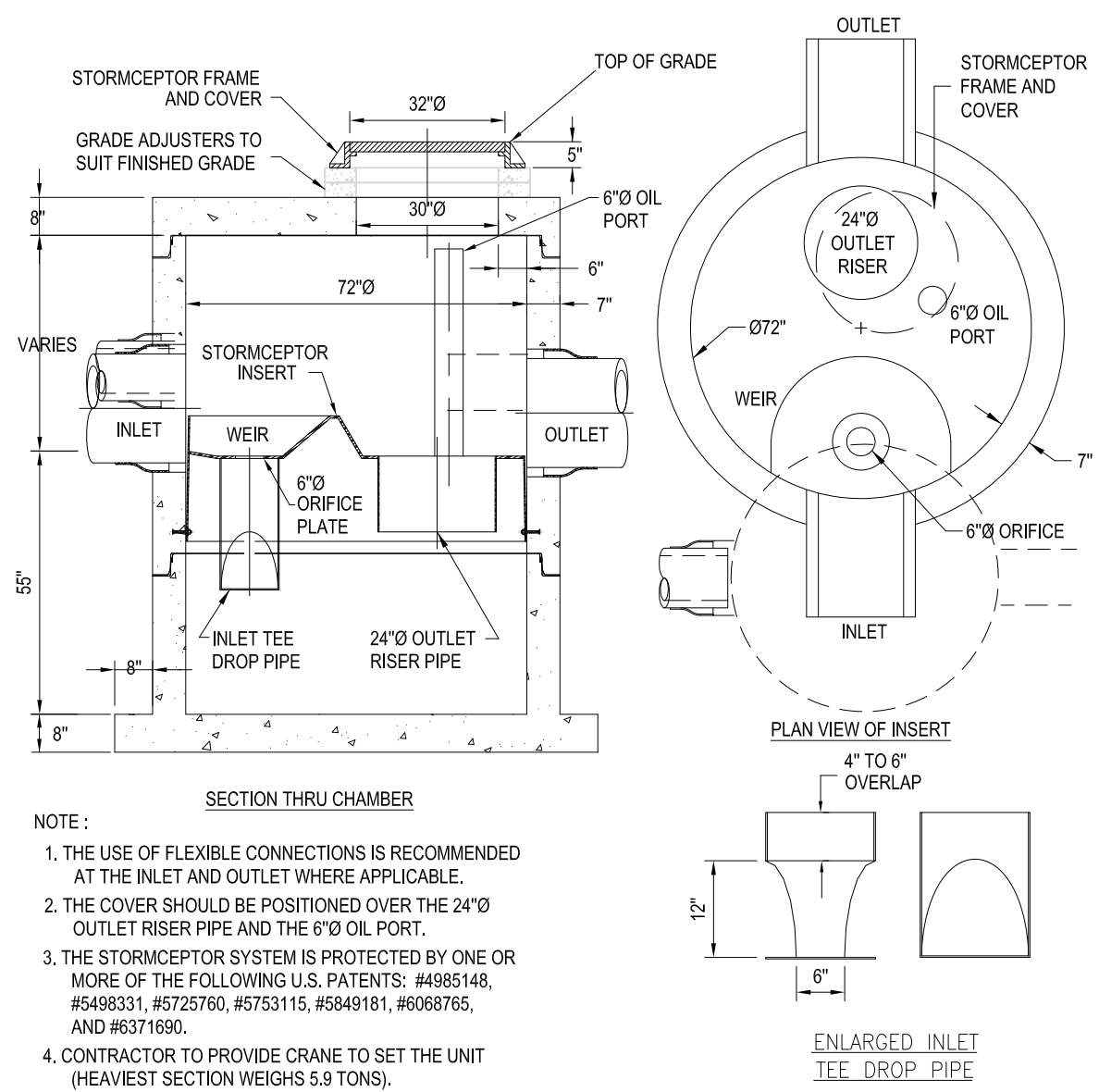
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 41530
CONNECTICUT LICENSE NO. 26177
RHODE ISLAND LICENSE NO. 9616
MAINE LICENSE NO. 1255

SHEET TITLE: **CONSTRUCTION DETAIL SHEET**

SHEET NUMBER: **14 OF 15**

REV 1 - 04/27/2015

P:\141182\CON\W141182S1.dwg, 14-Dwg.tbl, 10/20/2014, 4:26:00 PM, cmahomes, Xerox50101.pct, User034, 1.0, 09/09/07



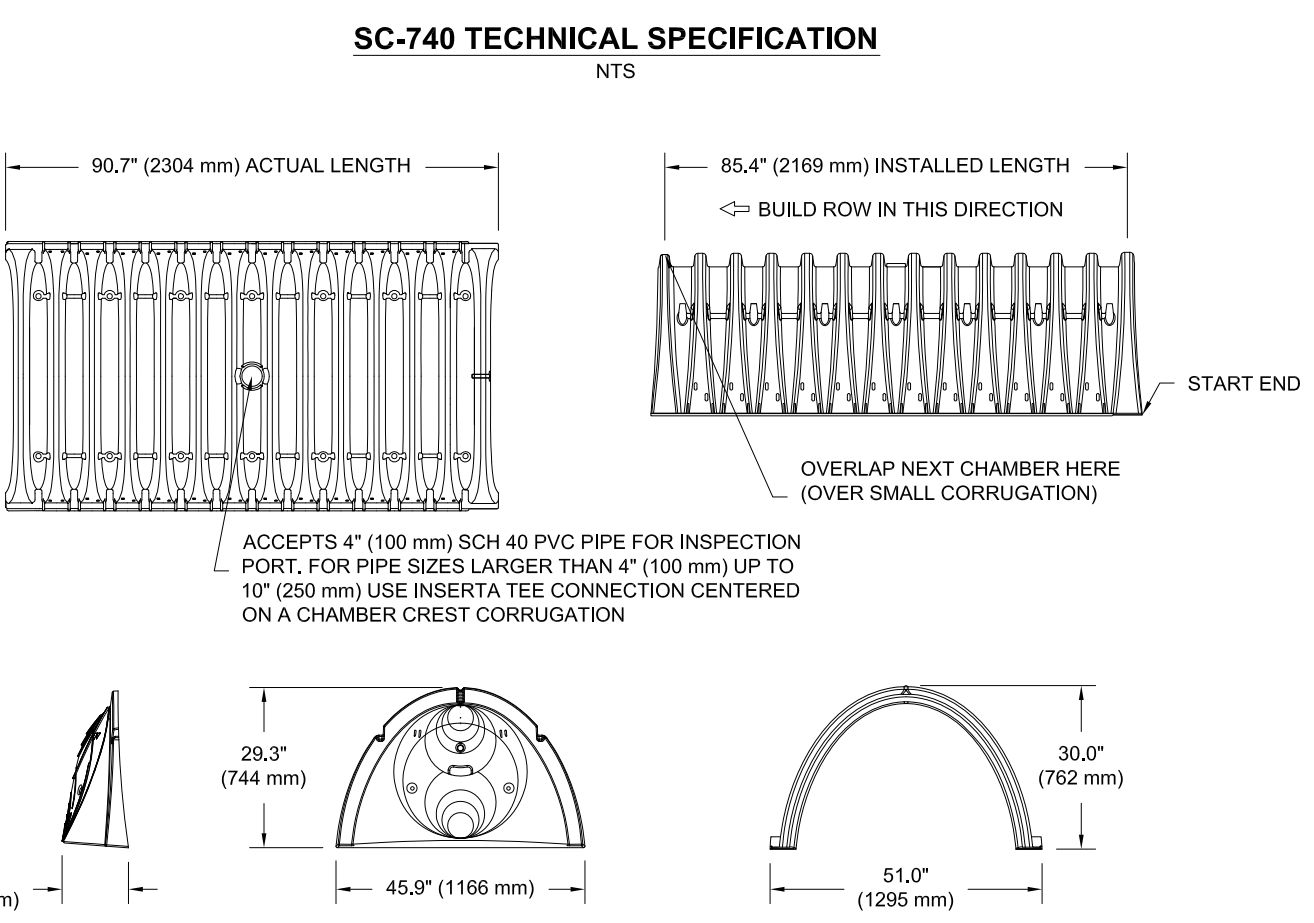
NOTE:
 1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 2. THE COVER SHOULD BE POSITIONED OVER THE 24" OUTLET RISER PIPE AND THE 6" OIL PORT.
 3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4685148, #5483331, #5725760, #5753115, #5849181, #608765, AND #6371693.
 4. CONTRACTOR TO PROVIDE CRANE TO SET THE UNIT (HEAVIEST SECTION WEIGHS 5.9 TONS).

STORMCEPTOR 900

N.T.S.

BENCH DETAIL

N.T.S.



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	51.0" X 30.0" X 85.4" (1295 mm X 762 mm X 2169 mm)	(1295 mm X 762 mm X 2169 mm)
CHAMBER STORAGE	45.9 CUBIC FEET (1.30 m ³)	(1.30 m ³)
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET (2.12 m ³)	(2.12 m ³)
WEIGHT	75.0 lbs. (33.6 kg)	(33.6 kg)

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	A	B	C
SC740PE06T	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	---
SC740PE06B	---	---	---	0.5" (13 mm)
SC740PE08T	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	---
SC740PE08B	---	---	---	0.6" (15 mm)
SC740PE10T	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	---
SC740PE10B	---	---	---	0.7" (18 mm)
SC740PE12T	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	1.2" (30 mm)
SC740PE12B	---	---	---	---
SC740PE15T	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	---
SC740PE15B	---	---	---	1.3" (33 mm)
SC740PE18T	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	---
SC740PE18B	---	---	---	1.6" (41 mm)
SC740PE24B	24" (600 mm)	18.5" (470 mm)	---	0.1" (3 mm)

ALL STUBS, EXCEPT FOR THE SC740PE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.
 *FOR THE SC740PE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.
 NOTE: ALL DIMENSIONS ARE NOMINAL

STORMTECH SC-740 UNIT

N.T.S.

STORMWATER CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740, SC-310, OR APPROVED EQUAL.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET ASTM F2922 (POLYETHYLENE) OR ASTM F2418 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.35 FOR DEAD LOAD AND 1.175 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET. THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 OR ASTM F2922 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310/SC-740 SYSTEM

- STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
 - STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
 - CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS.

STORMTECH RECOMMENDS 3 BACKFILL METHODS:

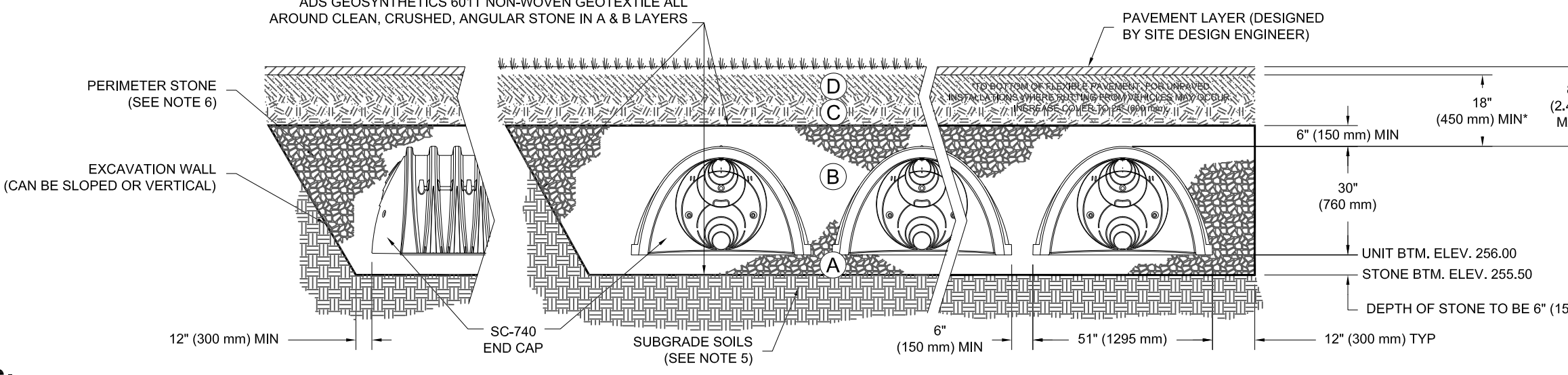
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
 - THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
 - JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
 - MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
 - EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4-2" (20-50 mm).
 - THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
 - ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.
- NOTES FOR CONSTRUCTION EQUIPMENT**
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
 - THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
 - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ¹

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COUAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

STORMTECH SECTION

N.T.S.

REVISIONS

REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
2			
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PRELIMINARY

PROJECT No.:	W141182
DRAWN BY:	CFD/BPB
CHECKED BY:	JAB/JAK
DATE:	1/8/2015
SCALE:	AS NOTED
CAD I.D.:	W141182S51

PROJECT: SITE DEVELOPMENT PLANS FOR THURKEN III, LLC

LOCATION OF SITE
 72 MAIN STREET
 TOWN OF MEDWAY
 NORFOLK COUNTY
 MASSACHUSETTS

BOHLER ENGINEERING
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 Fax: (508) 480-9080
www.BohlerEngineering.com

J.A. KUCICH
 PROFESSIONAL ENGINEER
 MASSACHUSETTS LICENSE NO. 41530
 CONNECTICUT LICENSE NO. 26177
 RHODE ISLAND LICENSE NO. 9616
 MAINE LICENSE NO. 12553

APPROVED DATE: _____
 MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: _____
 BEING A MAJORITY

SHEET TITLE:
CONSTRUCTION DETAIL SHEET

SHEET NUMBER:
15
 OF 15

REV 1 - 04/27/2015

STORMTECH SPECIFICATIONS

N.T.S.

P:\14\W141182\DWG\W141182s51.dwg, 15-04-2015 14:26:00 PM, cmahomes, Xeno05/03/15, pcd, User04, 1:0 08/09/07

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Thursday, April 16, 2015 10:46 AM
To: 'Richard Landry'
Cc: John Kucich; Andy Rodenhiser ; Matthew Buckley; Gino Carlucci; Sean Reardon ; Steve Bouley
Subject: RE: Tri Valley Commons - Review of Traffic Assessment Report

Hi Rich,

Thanks for your note.

I have reviewed your request to add site amenities and circulation to the discussion for the 4/28 public hearing. I have also looked at the Board's calendar. As you know, we put together the TVC public hearing schedule with a great deal of thought and consideration for timing, scope, and coordination with the DRC.

We are not able to accommodate your request for several reasons.

The DRC is planning to prepare its Letter of Recommendation to the PEDB after you meet with them on 4/27. We want to have the DRC's letter in hand before the Board discusses items other than the TVC traffic report and site access matters, the focus topics for the 4/28 hearing. The PEDB expects to receive the DRC's letter by 5/7. Any sooner than that is just not do-able.

The idea of revising the TVC plans after the 4/28 hearing and discussing those changes with the PEDB at the 5/12 hearing is not workable for us. Any site plan revisions have to be reviewed by Tetra Tech and PGC Associates. We require that plan revisions be submitted to us at least 2 weeks prior to the public hearing when they will be discussed. The timetable you have proposed does not provide sufficient time for the consultants or PEDB members to adequately review the plan changes you will put forth.

The Board is also busy with other development projects plus Medway's annual Town Meeting takes place on 5/11 when the Board has 3 substantive zoning amendments being considered.

For all these reasons, we need to keep to the original TVC schedule we laid out before. Review and discussion of site design, on-site circulation, site amenities, landscaping, and building elevations will take place at the 5/12 hearing.

After the 5/12 hearing, when do you expect you can submit the revised plans to the Board? In looking at our schedule, the soonest the Board could consider revised plans would be 6/9. This is based on the presumption that you would submit revised plans to us no later than 5/26. I can pencil you in for the 6/9 meeting if you like. Please let me know.

Best regards,

Susy

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
508-533-3291

155 Village Street
Medway, MA 02053

Town of Medway – *A Massachusetts Green Community*

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From: Richard Landry [mailto:rl@landryarchitects.com]
Sent: Wednesday, April 15, 2015 7:42 PM
To: Susan Affleck-Childs
Cc: John Kucich
Subject: Re: Tri Valley Commons - Review of Traffic Assessment Report

Susy in reviewing this letter I don't think the traffic session will be a very long discussion. I would like to add some other items to the topics of discussion for the meeting on the 28th. Given the traffic consultants may have input on things like circulation we should add site amenities and circulation to that meeting leaving only building design and landscaping for May 12th. We will likely make our changes to the site plans after next meeting. This will allow us to discuss the building design, landscaping and changes at the meeting on the twelfth and tie that in with how those items, our work and concessions made play into the criteria for the special permit all at once.

On Apr 15, 2015, at 4:43 PM, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Hi,

Attached is the review letter from GPI regarding the TVC Traffic Assessment Report prepared by Ron Muller Associates.

This will be provided to the Planning and Economic Development Board in preparation for the next public hearing on April 28th.

Best regards,

Susy Affleck-Childs

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
508-533-3291
155 Village Street
Medway, MA 02053

Town of Medway – *A Massachusetts Green Community*

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<GPI Traffic Assessment Review Letter (2015-4-8).pdf>



Change Order

Project: Norwood Acres
Summer Street
Medway, MA

TT Project No.: 143-21583-14004

Change No.: CO-001

Date: May 12, 2015

To: Susan Affleck-Childs – Medway Planning and Economic
Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA

Contract Summary:	
Original Budget:	\$ 9,149
App. C.O.s:	\$ 0
Pending C.O.s:	\$ 0
This Change	\$ 621
Revised Budget	\$ 9,770

Scope of Services

Task	Initial Contract	Change Order 001	Total
003 - Design Review	\$ -	\$ 400	\$ 400
004 - Meeting Attendance	\$ -	\$ 200	\$ 200
Subtotal		\$ 600	\$ 600
Expenses (3.5%)		\$ 21	\$ 21
Total	\$ -	\$ 621	\$ 621

Task 005 Design Documents:

Review the proposed design and provide comments in email format.

- 4 Hours @ \$100/Hour=\$400

Task 006 Construction Documents:

TT will attend and participate one (1) meeting with the Medway Planning and Economic Development Board.

- 1 Hour @ \$200/Hour=\$200

Please execute this change order to our existing Contract Agreement authorizing us to proceed with the above scope of service at the stated cost. Upon execution by both parties, this change order becomes part of our original Contract Agreement and is subject to all terms and conditions and provisions therein.

Tetra Tech Authorization

Client Authorization

By: Sean P. Reardon, P.E.

By:

Title: Vice President

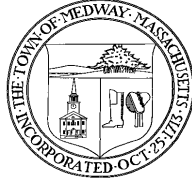
Title:

Date: May 12, 2015

Date:

P:\21583\143-21583-14004 (NORWOOD ACRES)\ProjMgmt\Contracts\COs\Change Order 001-Additional Services-2015-05-12.doc

One Grant Street
Framingham, MA 01702
Tel 508.903.2000 Fax 508.903.2001



May 12, 2015

**Medway Planning & Economic Development Board
Meeting**

Millstone Village

- Email dated 5-5-15 from Steve Bouley
- Revised Bond Estimate for Phases 1A and 1B dated 5-5-15 prepared by Steve Bouley. Reduced by \$64,978 from \$345,613 to \$282,635.
- First Bond Estimate for Phase 4 dated 5-4-15 prepared by Steve Bouley. Estimate = \$187,961
- SAC email communication to Millstone developer Steve Venincasa dated 5-5-15 with bond estimates

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Tuesday, May 05, 2015 4:03 PM
To: Susan Affleck-Childs
Cc: Reardon, Sean
Subject: RE: Millstone - bond
Attachments: Bond Estimate_04_Millstone Ph 1A-1B_2014-12-10 (Revised 2015-05-05).pdf; Bond Estimate_04_Millstone Ph 4_2014-12-10 (Revised 2015-05-05).pdf

Hi Susy,

Please see attached Bond Estimates. I have highlighted the items in gray which have been updated as part of this bond reduction. I have also updated unit pricing to current MassDOT pricing. The following items have not been completed as stated in Section 6.6.3 of the Subdivision Regulations:

1. Drainage system in Phase 4 has not been completed. Cultec leaching area 3P has not been installed.
2. As-built plans of Drainage Basin 1P (Phase 1) have not been supplied.
3. Street name signs and regulatory signs have not been installed throughout Phase 1A/1B and Phase 4.
4. Stop Line and word "STOP" have not been painted.
5. Sidewalk binder has only been partially completed in Phase 1A/1B and is completely missing from Phase 4.

Please let me know if you need anything else, thanks.

Steve

From: Susan Affleck-Childs [mailto:sachilds@townofmedway.org]
Sent: Wednesday, April 29, 2015 11:12 AM
To: Bouley, Steven
Cc: Reardon, Sean
Subject: Millstone - bond

Hi Steve,

At last night's PEDB meeting, the Board signed the Tri Party Agreement with Southborough Savings Bank and Steve Venincasa in the amount of \$345,613.

As you know, that amount was set last fall.

Please do an inspection of phases 1A and 1B and prepare a bond reduction estimate. I need that from you by 5/6/15.

Then, please prepare a bond estimate for the Phase 4 section (up to the top of Millstone Drive) – Also needed by 5/6/15. Apparently, they have a very interested buyer for a single family home in that section so Steve has asked the Board to consider releasing that section as well. I need to know if they have completed all of the minimum infrastructure work (per the Subdivision Rules and Regs) that must be done for the Board to even contemplate releasing that section for house construction.

Please call me if you have any questions. Thanks.

Susy

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
508-533-3291
155 Village Street
Medway, MA 02053

Town of Medway – *A Massachusetts Green Community*

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Bond Estimate
Millstone Village (Phase 1A/1B)
Medway, Massachusetts
 December 10, 2014 (Revised May 5, 2015)

One Grant Street
 Framingham, MA 01701
 Tel 508.903.2000 Fax 508.903.2001

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
HMA Top Course-Main Road	360	TON	\$100.00	\$36,000
HMA Top Course-Common Road	87	TON	\$100.00	\$8,700
HMA Top Course-Sidewalk	80	TON	\$100.00	\$8,000
HMA Binder Course-Common Road	145	TON	\$100.00	\$14,500
HMA Binder Course-Sidewalk	85	TON	\$100.00	\$8,500
Gravel Borrow-Common Road	398	CY	\$32.00	\$12,736
Gravel Borrow-Sidewalk	334	CY	\$32.00	\$10,688
Catch Basin	2	EA	\$3,000.00	\$6,000
Catch Basin Hood	0	EA	\$400.00	\$0
Drain Manhole	1	EA	\$3,500.00	\$3,500
Frame and Grate	5	EA	\$726.00	\$3,630
Frame and Cover	1	EA	\$726.00	\$726
Adjust Castings	38	EA	\$325.00	\$12,350
12" RCP Pipe	92	EA	\$70.00	\$6,440
Guardrail	0	FT	\$20.00	\$0
Gas Main-Services	0	LS	\$5,000.00	\$0
Electrical Services	1	LS	\$10,000.00	\$10,000
Vertical Granite Curb	701	FT	\$45.00	\$31,545
Cape Cod Berm	1,299	FT	\$6.75	\$8,768
Rehandled Topsoil	368	CY	\$25.00	\$9,200
Seed	1,850	SY	\$2.00	\$3,700
Sight Distance Mitigation	1	LS	\$6,000.00	\$6,000
Line Striping (Binder)	1	LS	\$500.00	\$500
Line Striping (Top)	1	LS	\$2,000.00	\$2,000
Signage	6	EA	\$300.00	\$1,800
Landscaping	1	LS	\$10,000.00	\$10,000
As-Built Plans	2,165	LF	\$5.00	\$10,825
Subtotal				\$226,108
25% Contingency				\$56,527
Total				\$282,635

Notes:

1. Unit prices are taken from the latest information provided on the Mass DOT website. They utilize the Mass DOT weighted bid prices (Combined - All Districts) for the time period 5/2014 - 5/2015.



Bond Estimate
Millstone Village (Phase 4)
Medway, Massachusetts
 May 5, 2015

One Grant Street
 Framingham, MA 01701
 Tel 508.903.2000 Fax 508.903.2001

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
HMA Top Course-Main Road	113	TON	\$100.00	\$11,300
HMA Top Course-Sidewalk	8	TON	\$100.00	\$800
HMA Binder Course-Sidewalk	11	TON	\$100.00	\$1,100
Gravel Borrow-Sidewalk	45	CY	\$32.00	\$1,440
Fine Grading and Compacting	116	SY	\$4.00	\$464
Catch Basin Hood	3	EA	\$400.00	\$1,200
Drain Manhole	3	EA	\$3,500.00	\$10,500
Frame and Grate	3	EA	\$726.00	\$2,178
Frame and Cover	8	EA	\$726.00	\$5,808
Adjust Castings	8	EA	\$325.00	\$2,600
Cultec Recharger 3P	1	LS	\$45,000.00	\$45,000
12" RCP Pipe	213	FT	\$70.00	\$14,910
18" RCP Pipe	92	FT	\$72.00	\$6,624
Electrical Services	1	LS	\$10,000.00	\$10,000
Vertical Granite Curb	341	FT	\$45.00	\$15,345
Sloped Granite Curb	75	FT	\$30.00	\$2,250
Cape Cod Berm	434	FT	\$6.75	\$2,930
Rehandled Topsoil	92	CY	\$25.00	\$2,300
Seed	460	SY	\$2.00	\$920
Line Striping (Top)	1	LS	\$1,000.00	\$1,000
Landscaping	1	LS	\$10,000.00	\$10,000
As-Built Plans	340	LF	\$5.00	\$1,700
Subtotal				\$150,369
25% Contingency				\$37,592
Total				\$187,961

Notes:

1. Unit prices are taken from the latest information provided on the Mass DOT website. They utilize the Mass DOT weighted bid prices (Combined - All Districts) for the time period 5/2014 - 5/2015.

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Tuesday, May 05, 2015 4:16 PM
To: Steven Venincasa
Subject: FW: Millstone - bond
Attachments: Bond Estimate_04_Millstone Ph 1A-1B_2014-12-10 (Revised 2015-05-05).pdf; Bond Estimate_04_Millstone Ph 4_2014-12-10 (Revised 2015-05-05).pdf

Hi Steve,

See email note below from Steve Bouley at Tetra Tech and the attachments.

Steve has revised the Phase 1A and 1B bond estimate. As you can see it has been reduced to \$282,635.

Steve also prepared a bond estimate for Phase 4. That amount is for \$187,961. HOWEVER, Steve's note lists the remaining minimum items that must be completed before the Board is able to consider any further release for construction.

This information will be shared with the PEDB and discussed at its meeting on 5/12/15.

Please contact me if you have any questions.

Susy Affleck-Childs

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
508-533-3291
155 Village Street
Medway, MA 02053

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From: Bouley, Steven [mailto:Steven.Bouley@tetrattech.com]
Sent: Tuesday, May 05, 2015 4:03 PM
To: Susan Affleck-Childs

Cc: Reardon, Sean
Subject: RE: Millstone - bond

Hi Susy,

Please see attached Bond Estimates. I have highlighted the items in gray which have been updated as part of this bond reduction. I have also updated unit pricing to current MassDOT pricing. The following items have not been completed as stated in Section 6.6.3 of the Subdivision Regulations:

1. Drainage system in Phase 4 has not been completed. Cultec leaching area 3P has not been installed.
2. As-built plans of Drainage Basin 1P (Phase 1) have not been supplied.
3. Street name signs and regulatory signs have not been installed throughout Phase 1A/1B and Phase 4.
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Susan Affleck-Childs

From: Tina Wright <Tina.Wright@tbrassociates.com>
Sent: Thursday, May 07, 2015 10:52 AM
To: Susan Affleck-Childs
Cc: Open Space. Committee
Subject: Native Plantings

Good morning, another question. Jim noted the plantings at the new fields. They look great – he also noted that some were not native.

As a Committee Open Space wants to encourage native plantings whenever possible. This would be for ARCPUDs and other developments.

I don't think Planning Board had or was asked about plantings at the school. However it did raise the issue for the committee again.

Is this something we can/should try to codify going forward?

Your thoughts?

Tina

Tina Wright
TBR Associates
308 West Central St
Suite D
Franklin, MA 02038
508 528 4300 xt 200
Cell 508 735 7711
Fax 508 590 0725

Susan Affleck-Childs

From: Tina Wright <Tina.Wright@tbrassociates.com>
Sent: Thursday, May 07, 2015 10:49 AM
To: Susan Affleck-Childs
Subject: Charles River and Pine Ridge Arcpud update

Good morning. A few questions came up at our Open Space Meeting on Tuesday Nite. Hoping you can help answer them.

- 1) Status of the Charles/Neelon lane development – is it complete? If yes, are the trails/access/parking spots in? The committee could not recall exactly what was ultimately agreed to/promised.
- 2) Status of Pine Ridge Condos - is this also complete?

Does/did the town take ownership/control of the open space that was agreed too or is it staying with the developments?

When the town takes ownership how is the land conveyed and how do we confirm that what was agreed to has been done, finally, how do we maintain it? Looking for your thoughts on the last one.

These parcels are nice but not necessarily contiguous to other parcels. We realized, that once complete they may be being ignored – not on purpose though.

Tina Wright
TBR Associates
308 West Central St
Suite D
Franklin, MA 02038
508 528 4300 xt 200
Cell 508 735 7711
Fax 508 590 0725



Medway Planning and Economic Development Board Meetings

Prospective Agendas

May – September 2015

Updated – May 12, 2015

Tuesday, May 12, 2015 ♦ REGULAR MEETING - Sanford Hall

- Tri Valley Commons Site Plan and Special Permit Public Hearing #3

Absent: Matt Hayes (*will participate remotely*)

Tom Gay (*travelling overseas, not available for remote participation – Use Mullins Rule*)

Tuesday, May 26, 2015 ♦ REGULAR MEETING - Sanford Hall – CANCELLED

Absent: Andy Rodenhiser (*not available for remote participation – Use Mullins Rule*)

Susy Affleck-Childs (*vacation*)

Tuesday, June 9, 2015 ♦ REGULAR MEETING - Sanford Hall

- Executive Session – With Town Counsel re: Maritime Housing vs. Medway PEDB
- Public Hearing Continuation – The Haven Subdivision
- Plan Revision - Norwood Acres
- Appointments to the DRC, OSC, and EDC and PEDB Reorganization

Tuesday, June 23, 2015 ♦ REGULAR MEETING - Sanford Hall

- TENTATIVE – Public Hearing – Salmon Senior Living Community ARCPUD

Tuesday, July 14, 2015 ♦ REGULAR MEETING - Sanford Hall

Tuesday, July 28, 2015 ♦ REGULAR MEETING - Sanford Hall

Tuesday, August 11, 2015 ♦ REGULAR MEETING - Sanford Hall

Absent: Tom Gay (*not available for remote participation*)

Tuesday, August 25, 2015 ♦ REGULAR MEETING - Sanford Hall

Tuesday, September 8, 2015 REGULAR MEETING – Sanford Hall

Tuesday, September 22, 2015 REGULAR MEETING – Sanford Hall