

October 27, 2015
Medway Planning and Economic Development Board Meeting
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	X	X	Remote Participation	X	X

ALSO PRESENT:

Steve Bouley, Tetra Tech
 Stephanie Mercandetti, Director of Community and Economic Development
 Amy Sutherland, Recording Secretary

The Chairman opened the meeting at 7:05 pm.

Tom Gay participated remotely and the paperwork was approved. (See Attached)

The Haven Subdivision

The Board is in receipt of the following documents: (See Attached)

- Tetra Tech Construction Services estimate dated October 20, 2015.
- Email dated 10-22-15 from project engineer Dan Merrikin with comments on the construction services estimate.

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board approved by roll call vote the construction services estimate from Tetra Tech for the Haven subdivision in the amount of \$9,556.00.

Roll Call Vote

Bob Tucker aye
 Andy Rodenhiser aye
 Matt Hayes aye
 Tom Gay aye
 Rich Di Iulio aye

Construction Reports

The Board is in receipt of the following construction reports from Tetra Tech: (See Attached)

Tri Valley Commons Reports:

- Tri Valley Commons Report #10 (10/15/15)
- Tri Valley Commons Report #11 (10/16/15)

The Board was made aware that the steel for the center building (Advance Auto) is going up at Tri Valley Commons. The contractor is in the process of installing the drainage system. Two crushed stone/straw bale check dams have been installed up gradient of the temporary sediment basin.

Millstone Village Reports:

- Millstone Village Report #55 (10/15/15)
- Millstone Village Report #56 (10/16/15)

The contractor is continuing the installation of the drainage infrastructure and leaching area in Phase II.

Applegate Subdivision

Consultant Bouley informed the Board that the silt sacks at site and debris at Applegate have been addressed.

PEDB MEETING MINUTES

October 6, 2015

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board approved by roll call vote the minutes from the October 6, 2015 PEDB meeting.

Roll Call Vote

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Tom Gay	aye
Rich Di Iulio	aye

October 13, 2015

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board approved by roll call vote the minutes from the October 13, 2015 PEDB meeting.

Roll Call Vote.

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Tom Gay	aye
Rich Di Iulio	aye

Charles River Village – Status of Trail on Open Space Parcel

The Board was in receipt of the following documents. (See Attached)

- Memorandum dated October 13, 2015 from Tetra Tech.

The language in the special permit states that the open space parcel shall be conveyed to the Town prior to the issuance of an occupancy permit for the 11th unit. There was a site visit on October 22, 2015 with Steve Bouley, Bridget Graziano, Andy Rodenhiser and Jim Wickis of the Open Space Committee.

Jim Wickis was present and informed the Board that the trail looks fine and is being used. There was discussion about improving public access to this trail. The Open Space Committee will be discussing incorporating language into decisions about what standards need to be adhered to for trail markings.

There was a concern brought up about UPS/Fed Ex trucks traveling up the stone driveway (emergency access driveway) connecting to Cherokee Drive which is not meant to be a standard roadway. There was a suggestion to have signage in this area.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted by roll call to approve the trail for Charles River Village as being placed according to the plan.

Roll Call Vote

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Tom Gay	aye
Rich Di Iulio	aye

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board approved by roll call vote to approve accepting the open space parcel for Charles River Village.

Roll Call Vote.

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Tom Gay	aye
Rich Di Iulio	aye

The Willows ARCPUD Special Permit – Public Hearing Continuation

The Chairman opened the continued public hearing for the Willows.

The Board is in receipt of the following documents: **(See Attached)**

- Site Plan/Civil Drawings – Revised 10-20-15 (not included due to size)
- Architectural Drawings – Revised 10-13-15 (not included due to size)
- Landscape Drawings – Revised 10-13-15 (not included due to size)
- Letter dated 10-13-15 from Coneco Engineering Inc. in response to Tetra Tech 8-5-15 plan review letter (letter only without attachments)
- Email dated 10-21-15 from Coneco Engineering Inc.

- Letter dated 10-13-15 from Dario Designs in response to the previous plan review comments/letters from: PGC Associates, Fire Chief, Department of Public Services, Design Review Committee, Open Space Committee and Tetra Tech re: traffic study.

The Willows consultants, Dario DiMare and Shane Oates, were present. The applicant, Jeff Robinson, began the presentation by explaining the various changes made to the plan based on input from abutters, committees/departments and the public.

Tetra Tech indicated that they will be providing a follow-up response letter to the new submittal.

The Board was made aware that on October 13, 2015, the applicant submitted a revised civil drawings/site plan set, landscaping plan, architectural plan, stormwater report and the applicant's consultants' (Coneco and Dario Designs) response letters to the previously provided comment letters from the Board's consultants and other Town officials and committees from August 2015.

On October 16, 2015, additional changes to the civil drawings/site plan were made along with a further revised stormwater report and a series of analyses that had been requested by the Conservation Commission. Those were provided to the Town on October 21, 2015 along with an email from Coneco Engineering explaining those additional revisions as compared to the October 13, 2015 version of the civil drawings/site plan. There was a further revised plan submitted on October 20, 2015.

The applicant began by addressing the previously provided comments from the Fire Department. The Fire Chief had indicated that the turnaround on Lilac Path by building #50 should be longer to accommodate fire apparatus. This will need a waiver from ConCom to go into the 25' wetland setback. The setback separation distances are shown on all plans and in only one case the building is closer than the required feet. There was also square footage added for the pavilion which is 3,522 sq. ft. The medical building now shows three ways of access. Access is from the parking lot to the south of the building, the drop off area west of the building and Village Street to the north. The numbering of the apartments will be odd and even and logically sequenced. It was suggested that the applicant consult with the Board of Assessors to make sure they are in agreement with the numbering.

The next topic addressed was the plan review letter from Consultant Gino Carlucci. There had been a question about the four step design process. The applicant indicated that in "Exhibit B" which was presented on February 10, 2015, the four step design process followed by the designers was explained. The applicant wants to make sure that Consultant Carlucci was provided this information since this was noted in his plan review letter. In relation to the parking requirements, the applicant showed the spaces on the plans. There are 336 required spaces and the plan proposes 442 spaces which exceeds what is required. The applicant will be requesting a waiver from the requirement for bicycle spaces since their residents will not use them. There will be bike racks provided for the employees.

The applicant indicated that they will provide a covenant to run with the land. This will be subject to Town Counsel approval. This will be to protect the open space land. Since Village Street is a Scenic Road, the applicant provided exhibit "D" from August 25, 2015 which showed

proof of the requirements being met. All mail for residents will be delivered to the main building. There will be low flow water fixtures used. Any outside watering will be from a well. One of comments made reference to verifying the cellar floor elevations. The applicant communicated that there are currently no cellars proposed. If cellars are added they will be above the water table. Section 7.1.2 in relation to no light trespass onto abutting properties has been revised and corrected. This is not included in the photometric plan. The trash and recycling receptacles areas are located on the plan at the main building. The applicant looked at the “Keep Right” sign at the entrance of the development and it is on drawing G1.02 exterior perspectives at site main entry. Also included on the Civil Site Layout plans are locations for the signs to the connecting streets along with the cross street names. Streets such as Lilac Path and Walnut Grove will have signs identifying what unit numbers are on each prior to entering the street.

The applicant indicated that as the design process progresses more detail of the screening will be shown for the HVAC systems at the rear buildings. The applicant noted that the barn roof portion of the medical building will not have dormers, but the addition of articulation has been provided on the north elevation to address the lengthiness of this building. The proposed wetland crossings have been designed with retaining walls in conjunction with pre-fabricated culvert structures. The material of the retaining walls will be constructed of blocks that reflect New England Style fieldstone. There will also be wooden guardrails used. There will be bench seating throughout the site where appropriate. A photograph of this was presented and is shown on the landscape plan.

The Design Review Committee recommended buffering along the roadway on the east side of the site. There will be a wood-grain vinyl privacy fence and evergreen tree plantings. There will be some adjustments to the plantings once the locations of some of the larger trees are further mapped. The fencing material was presented at the August 25, 2015 meeting. The DRC does not recommend the entry sign as presently proposed. The DRC would like this to be scaled down. The current size does not comply with the Medway Design Guidelines nor the Sign Regulations section of the Zoning Bylaw. The applicant has filed a petition with the ZBA for a variance and the hearing with the Zoning Board of Appeals is scheduled for Wednesday, November 4, 2015. Member Gay communicated that the entrance sign is 30% larger than what is allowed. There is also more signage than allowed. The applicant responded that the Building Inspector indicated that the other sign (for the medical building) was allowed. The applicant stated that the sign (for the medical building) is needed to attract tenants. A photo of that proposed sign was shown. DRC Chairman Matt Buckley responded that placing the sign on the building could be another option and the DRC is not in support of the variance. Member Gay is concerned about over-signage within such a short distance.

The applicant has substituted alternatives for the two plants identified as invasive. The proposed pachysandra is in locations from which it will be highly unlikely to spread. The invasive plants will be local and indigenous to area. This is noted on the plan. Open Space Committee member Wickis appreciates the applicant making these changes. The applicant will provide a written plan guaranteeing maintenance of the trails in perpetuity. There have been two crosswalks added across Village Street from the eastern access point on Village St. One was added at the main entrance. The crosswalks will have ADA accessible ramps.

Resident, Carol Kilroy, 245 Village Street:

This resident wanted to know how their driveway would be effected by the crosswalk across Village Street. The applicant also indicated that the Kilroys want a privacy fence. The applicant responded that the crosswalk will be across the street and will not impair the driveway. In fact, the applicant indicated that part of their driveway is on the developer's land.

The applicant explained to the Board that since this is a private development, the applicant will be responsible for plowing and snow removal. All trash will be picked up internally by Salmon and dumped by a private entity.

The sewer capacity has been approved by Charles River Pollution Control District. The applicant indicated that they are not subject to the MS4 permit since it will be privately owned and operated. The water meter tie-ins have been added to the plan as requested. Anything to do with the water and sewer will need to go through the Water/Sewer Commission.

Resident, Patty Brenneman, 7 Naumkeag St:

This resident wanted to know if there will be a sewer tie in to the pavilion. The applicant responded that a sewer easement will be needed. There will be pavement over the sewer easement bringing the manholes to grade. The final approval will be from the Water and Sewer Commission. The paving will be on southwest portion.

The stormwater catchment areas were observed. The surveyors were out on site three times. Consultant Shane Oates explained that when the Charles River neighborhood road was built, it created a dam and flows to the low spot. The construction of Village Street created the wetlands there.

The appearance of the stream crossing were discussed. The applicant indicated that the crossing will be concrete veneered with fieldstone. The details were provided. It will be a prefabricated bottomless culvert. The elevations has not changed. The Conservation Commission does not want any new plants introduced only native seed mix. The Conservation Commission is also considering reducing the amount of retaining walls by sloping the land for a natural mitigation with a hill instead of having to construct a retaining wall. The Commission would like a plan presented on this. The Conservation Commission's review comments are not complete yet. The applicant indicated that the trails have changed as a result of an informal meeting with the Conservation Commission. The originally proposed trails near the vernal pool will not be constructed but the existing cart paths will be used wherever possible. The trail design will have no woodchips. The riparian zone with the basin has an access driveway and will need to be grass. The Conservation Agent was planning on writing a letter to explain what they are requiring, but the applicant was informed that the Conservation wants it natural and did not want any new plants but native seed mix. The next meeting with the Conservation Commission will be on Thursday, November 12, 2015.

Resident, Sue Rorke. 34 Ellis Street

Ms. Rorke wanted to know if the trails will be wheelchair accessible. The applicant responded that the Conservation Commission and Department of Environmental Protection will not allow it,

but the whole loop with sidewalks can accommodate wheelchairs. There can be no earthwork in this area.

The applicant's responses to the original plan review letter from Tetra Tech was reviewed next. The comments are located in the stormwater report and Steve will be reviewing the revisions.

The revised plan also included the following: profile labeling, keeping project name consistent throughout plan set, showing existing trees with those which are 24 and 30 inches in width. Those were shown on a plan. The trees which the Board would like to retain were noted by the applicant. (30 inch Oak near swale; 28 inch Oak near entrance, 40 inch Oak). The Board would like a plan provided on how to protect the noted trees from construction possibly with tree wells.

Consultant Oates explained that the run off will go into the infiltration system and will be recharged. The applicant indicates that they are not required to do any treatment. The system is recharging the 100 year storm on the whole site. The step analysis for the stormceptors was provided and these were resized accordingly. The stormceptors and inverts are confirmed as flush inverts and the manufacturer's notes will be included. The bottom trenches correspond to C28. Basin 1 and Basin 3 have vehicle access. The inlets are submerged and did not provide hydraulic. Basin 2 was originally at grade and had chambers underneath but there was a revision and more chambers were added. The majority of the earthwork was eliminated and a retaining wall be included. This will be block material. Matt Buckley wants to see screening of that retaining wall. The materials have not been decided. These will be nine feet. The berm elevations have been confirmed.

The discussion moved to the stormwater runoff from the adjacent Charles River neighborhood side streets. Shane Oates explained that there was a field walk and the flow is from Narragansett and everything east is treated. The high point of Narragansett will capture the water to drain back into the wetland. The water (south) Narragansett to Charles River will be collected to a swale going south. The swale is graded and runs south to Mohawk Street.

Resident, Jeremy Barstow, 4 Narragansett:

This resident continues to be concerned about the water flow onto abutting properties. If the flow is not straight, the water will back up into the abutting properties.

Member Tucker wants Consultant Bouley to reexamine this area to make sure that any sheet flow is addressed.

The draw down calculations are noted and drain within 72 hours. This has been added. Any non-detached facility with an infiltration facility proposed will have a test pit in area to verify rate in the noted areas.

The Stormwater Operations and Maintenance Plan has been improved with the additional information for the Conservation Commission which they requested.

The next comment was in relation to the pond description and designations. Those are not noted and matched with designation on plan set. The test pits are noted on all sheets for ease of review.

Table II was added with peak rates. Labeling for the infiltration trenches has been added. Appendix I and II will have this information and the numbers will be equal.

Resident, Tim Choate, 7 Iroquois Street:

This resident wants to make sure the swale can handle the amount of water that would be going into it. He also wanted to know if there was a flow rate analysis done. The main area of concern is the water on the west side of Charles River Road. The water run-off from snow melting is another concern since his yard will be flooded.

All agree that a swale is a better option since it does not clog and is better for rapid run off. The Stormwater Operation and Maintenance Plan does requires that the swale be maintained.

The Chairman responded that the issue Tim speaks about needs to be addressed with the Town. The project is private property and it would be beneficial if the Town and applicant could work together to address this issue. Steve Bouley and the applicant will reach out to the Medway Department of Public Services.

The applicant was made aware that the plan set needs to be updated to address the swale. This was not included in the most recently revised plan. There will also need to be the inclusion of some buffering. The swale will be 8 to 10 ft. This will need to be reviewed by the Design Review Committee.

Resident, Dan Hooper 6 Naumkeag Street:

Mr. Hooper wanted to know if the current proposal calculations for the open space requirements in ARCPUD have been updated to account for the additional swale.

The applicant responded that this was reviewed and there is a letter from PGC Associates. The project exceeds the required amount of open space.

Resident, Sue Rorke, 34 Ellis Street:

She wanted to know if the applicant is building at a “zero step”. The applicant responded that the units are not being built at 0% since the residents do not want this.

Willows Public Hearing Continuation:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board approved by roll call vote to continue the public hearing for the Willows to Tuesday, November 10, 2015 at 7:30 pm.

Roll Call Vote.

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Tom Gay	aye
Rich Di Iulio	aye

Member Gay discontinued his remote participation in the meeting at 10:10 p.m.

ZONING BYLAW AMENDMENTS - Public Hearing Continuation

The Chairman opened the continued public hearing on the proposed zoning bylaw amendment warrant articles.

Resident Michael Healy was present to support the article regarding backyard chickens.

Resident Sue Rorke wanted to know if the Board could add a definition for “visitability”. She submitted a standard definition for the Board to review. (**See Attached**)

The Chairman communicated that this will need to be taken under advisement. The recommendations have already been submitted to the Board of Selectmen.

The Board did not want to take action on the “visitability “definition.

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to close the hearing for the proposed zoning bylaw amendments.

Adjourn:

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to adjourn the meeting.

The meeting was adjourned at 10:16 pm.

Respectfully Submitted,



Amy Sutherland
Recording Secretary



Town of Medway

Remote Participation Request

I, THOMAS GAY (print name), hereby request to participate remotely at the meeting of the PLANNING & ECONOMIC DEVELOPMENT (Board/Committee/Commission) to be held on 10.27.2015 (date). I certify to the Chair that my absence is the result of one or more of the following factors which make my physical presence unreasonably difficult:

- (1) Personal Illness or Disability (2) A Family or Other Emergency
 (3) Military Service (4) Geographic Distance (Employment / Board Business)

Explanation: I WILL BE AWAY ON AN EXTENDED BUSINESS/ VACATION TRIP TO SEVERAL LOCATIONS WITHOUT RETURN TO MEDWAY BETWEEN

During the meeting, I will be at the following location:

OCALA, FL
Address

508 341 5174
Phone Number

[Signature]
Signature of Member

10.6.2015
Date

Please sign and return to Chair

Request received by Andy Rodenhiser
Chair (please print)

10/6/15
Date

Method of Participation Phone (e.g. speakerphone)

Request Approved ASR Request Denied* _____

[Signature]
Signature of Chair

10/6/15
Date

Signed form to be appended to the meeting minutes.

*All Denied Requests are Final and Not Appealable.



BT
RDEK

October 27, 2015
Medway Planning & Economic Development Board
Meeting

The Haven

- Tetra Tech Construction Services estimate dated 10-20-15.
- 10-22-15 email from project engineer Dan Merrikin with comments on the construction services estimate.

The Haven Definitive Plan decision requires the applicant to establish a construction account with the Town before the PEDB endorses the plan. Attached is the cost estimate prepared by Tetra Tech. It has been provided to Dan Merrikin in his capacity as official representative of the applicant Louis Cheschi. Dan's email dated 10-22-15 expresses his reservations about what he feels is a high price. Please review his note and comments.

Please discuss the Tetra Tech price quote for construction services for The Haven subdivision and determine if you wish to adjust it or not.

Susan Affleck-Childs

From: Daniel Merrikin <dan@merrikinengineering.com>
Sent: Thursday, October 22, 2015 1:37 PM
To: Susan Affleck-Childs
Subject: Re: FW: The Haven Endorsement - Construction Services Estimate
Attachments: Inspection Comments.xlsx

Hi Susy,

Not trying to cause trouble here but the inspection budget seems excessive. The Applicant almost fell over when I told him how much it was going to be.

It is obviously up to the Board but it seems to me that 40 inspections for a little subdivision like this might be overkill. I've written up a few comments. The Applicant would appreciate it greatly if the Board would give this some consideration.

Thanks

Dan

Dan

Yours Truly,

Daniel J. Merrikin, P.E.
Partner

Merrikin Engineering LLP
730 Main Street
Suite 2C
Millis, MA 02054

Office: 508-376-8883
Mobile: 508-868-8353

On Wed, Oct 21, 2015 at 4:23 PM, Daniel Merrikin <dan@merrikinengineering.com> wrote:

I would think the number of inspections could be reduced. I'll have to look at it closely but I have a 37 lot subdivision going on right now in another town and the peer construction inspectional fee was only \$35k. This is only three lots. \$10k is a lot of money for a little project like this...

I will look at it again.

Thanks

Dan

Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

From: Daniel Merrikin [mailto:dan@merrikinengineering.com]
Sent: Wednesday, October 21, 2015 4:12 PM
To: Susan Affleck-Childs
Subject: Re: FW: The Haven Endorsement - Construction Services Estimate

Susy - this is a huge figure. They're making more than I am on this job....

Any leeway here?

Dan

Dan

Yours Truly,

Daniel J. Merrikin, P.E.

Partner

Item No	Inspection	# of Visits	Hours Per Visit	Total Hours	Rate	Cost	Dan Merrikin Comments
1	Erosion Control	1	1.5	1.5	\$ 105	\$ 158	None
2	Clear & Grub	1	1	1	\$ 105	\$ 105	Couldn't this be done with #3?
3	Subgrade/Staking	1	2	2	\$ 105	\$ 210	None
4	Drainage System	1	3	3	\$ 105	\$ 315	None
5	Subsurface Detention System	1	2	2	\$ 105	\$ 210	None
6	Roadway Gravel	1	2	2	\$ 105	\$ 210	None
7	Water System	3	3	9	\$ 105	\$ 945	Why are three inspections needed?
8	Water System Testing	1	2	2	\$ 105	\$ 210	None
9	Roadway Binder	1	4	4	\$ 105	\$ 420	None
10	Curb/Berm	1	2	2	\$ 105	\$ 210	There is only 100' of berm. Is this necessary?
11	Private Utilities	1	1	1	\$ 105	\$ 105	Utility companies inspect their own systems - is this necessary?
12	Sidewalk Base/Gravel	1	2	2	\$ 105	\$ 210	Can this be done in conjunction with 12?
13	Sidewalk Binder	1	4	4	\$ 105	\$ 420	None
14	Roadway Top	1	4	4	\$ 105	\$ 420	None
15	Sidewalk Top	1	4	4	\$ 105	\$ 420	None
16	Frames and Covers/Grates	1	1	1	\$ 105	\$ 105	Is inspection necessary? Only 5 structures
17	Adjust Frames & Covers/Grates	1	1	1	\$ 105	\$ 105	Is inspection of adjustment necessary?
18	Bounds	1	1	1	\$ 105	\$ 105	Can this be done at the same time as 21?
19	Landscape/Plantings	1	1	1	\$ 105	\$ 105	Can this be done at the same time as 21?
20	O&M Inspections	5	1	5	\$ 105	\$ 525	What are these for?
21	Punch List Inspections	2	6	12	\$ 105	\$1,260	Six hours per visit seems excessive for such a small
22	Bond Estimates	2	4	8	\$ 105	\$ 840	None
23	As-Built Plans	2	3	6	\$ 105	\$ 630	None
24	Meetings	4	2	8	\$ 105	\$ 840	None
25	Admin	3	1	3	\$ 50	\$ 150	None
		39		89.5		9232.5	



October 27, 2015
Medway Planning & Economic Development Board
Meeting

Construction Reports

The following reports are attached for your review. Steve Bouley will be available to answer any questions.

- Tri Valley Commons Report #6 – 9/28/15
- Tri Valley Commons Report #7 – 10/1/15
- Tri Valley Commons Report #8 – 10/6/15
- Tri Valley Commons Report #9 – 10/8/15
- Tri Valley Commons Report #10 – 10/15/15
- Tri Valley Commons Report #11 – 10/16/15
- Millstone Report #52 – 9/18/15
- Millstone Report #53 – 10/2/15
- Millstone Report #54- 10/6/15
- Millstone Report #55 – 10/15/15
- Millstone Report #56 – 10/16/15

Tetra Tech One Grant Street Framingham, MA 01701		
Project Tri-Valley Commons	Date 09-29-15	Report No. 06
Location Main Street (Route 109)	Project No. 143-21583-15014	Sheet 1 of 2
Contractor Dixon Inc. General Contracting Steve Garrepy	Weather A.M. SUNNY P.M.	Temperature A.M. 65° P.M.

FIELD OBSERVATIONS

On Monday, September 28, 2015, Steve Bouley from Tetra Tech (TT) visited the project site to inspect water main tap in Route 109 and the current condition of the site. The following observations were made:

1. Observations

- A. The contractor trenched across Route 109 to the existing 12" water main located on the southern side of Main Street (Route 109). A tapping sleeve and gate valve were placed on the existing main and air pressure tested to ensure a proper seal. The main was tapped and valve flushed prior to closing the gate. Medway Water Department was on-site to witness the tap. The excavation was plated and edges of the plates sealed with cold patch. Pipe will be installed tomorrow and backfilled with flowable fill per the towns requirements.
- B. Foundations are in the process of being construction for both Phase I buildings.
- C. The rear portion of Drainage Basin #1 has been graded and seeded. The emergency spillway has also been installed.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't				Dept. or Company	Description of Work
	1	Bulldozer		Asphalt Paver	
Foreman		Backhoe		Asphalt Reclaimer	
Laborers	1	Loader	1	Vib. Roller	
Drivers		Rubber Tire Backhoe/Loader		Static Roller	
Oper. Engr.	2	Bobcat		Vib. Walk Comp.	
Carpenters		Hoeram		Compressor	
Masons		Excavator	1	Jack Hammer	
Iron Workers		Grader		Power Saw	
Electricians		Crane		Conc. Vib.	
Flag persons		Scraper		Rock Crusher	
Surveyors		Articulating Dump Truck		Chipper	
Driller		Conc. Truck		Screener	
Blast Crew		Pickup Truck	1	Drill Rig	Barry Smith Medway Water/Sewer
Sewer/Water Tester		Dump Truck 6 Whl		Boom Lift	
		Dump Truck 10 Whl	1	Water Truck	
		Dump Truck 14 Whl		Lull	
		Dump Truck 18 Whl		Gradall	
Police Details: 2				RESIDENT REPRESENTATIVE FORCE	
Time on site: 8:30 A.M. – 3:00 P.M.				Name	Name
CONTRACTOR'S Hours of Work:					
				Resident Representative: Steve Bouley	

Project Tri-Valley Commons	Date 09-29-15	Report No. 06
Location Main Street (Route 109)	Project No. 143-21583-15014	Sheet 2 of 2
Contractor Dixon Inc. General Contracting Steve Garrepy	Weather A.M. SUNNY P.M.	Temperature A.M. 65° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. TT will inspect the site as required during construction.

3. New Action Items
 - A. N/A

4. Previous Open Action Items
 - A. N/A

5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Tri-Valley Commons	Date 10-01-15	Report No. 07
Location Main Street (Route 109)	Project No. 143-21583-15014	Sheet 1 of 2
Contractor Dixon Inc. General Contracting Steve Garrepy	Weather A.M. SUNNY P.M.	Temperature A.M. 65° P.M.

FIELD OBSERVATIONS

On Thursday, October 1, 2015, Steve Bouley from Tetra Tech (TT), Bridget Graziano from Medway Conservation (Conservation) and Jim Smith from Medway Department of Public Services (DPS) visited the project to inspect the current condition of the site. The following observations were made:

1. Observations

- A. The site meeting was arranged to speak about issues with sediment runoff from the site during intense storm events the day before. Sediment was washed from the site into the public right-of-way as well as the nearby wetland and associated buffer zone. Attached to this report is an email message from Bridget to the project team outlining the meeting and how the contractor is to address each issue.
- B. During the site visit the Dixon crew was installing temporary asphalt berm along the roadway in order to keep water from the roadway draining onto the site and causing erosion issues.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't	1	Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer			
Laborers	2	Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.		Bobcat		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flag persons		Scraper		Rock Crusher			
Surveyors		Articulating Dump Truck		Chipper			
Driller		Conc. Truck		Screener			
Blast Crew		Pickup Truck	1	Drill Rig		Bridget Graziano	Medway Conservation
Sewer/Water Tester		Dump Truck 6 Whl		Boom Lift		Jim Smith	Medway DPS
		Dump Truck 10 Whl	1	Water Truck			
		Dump Truck 14 Whl		Lull			
		Dump Truck 18 Whl		Gradall			

OFFICIAL VISITORS TO JOB

RESIDENT REPRESENTATIVE FORCE

Police Details:							
Time on site: 8:30 A.M. – 10:00 A.M.						Name	Name
CONTRACTOR'S Hours of Work:							
						Resident Representative: Steve Bouley	

Project Tri-Valley Commons	Date 10-01-15	Report No. 07
Location Main Street (Route 109)	Project No. 143-21583-15014	Sheet 2 of 2
Contractor Dixon Inc. General Contracting Steve Garrepy	Weather A.M. SUNNY P.M.	Temperature A.M. 65° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. TT will inspect the site as required during construction.

3. New Action Items
 - A. N/A

4. Previous Open Action Items
 - A. N/A

5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

From: [Bridget Graziano](#)
To: [Eric Dubrule](#); [John Kucich](#); [Matt Dixon](#); [Phil Dixon](#); [Richard Landry](#); [Bouley, Steven](#); [Susan Affleck-Childs](#); [Brian Snow](#); [David Travalini](#); [Ken McKay](#); [Scott Salvucci \(scott.c.salvucci@gmail.com\)](#)
Cc: [Jack Mee](#)
Subject: Site Visit 10/1/15 - Tri Valley Commons
Date: Friday, October 02, 2015 8:38:41 AM
Importance: High

All-

I completed a site walk today of 72 Main Street to review issues that arose in yesterday's storm, the following people were present, Jimmy Smith (DPS), Steve Bouley (Tetra Tech), Matt Dixon (Dixon), Steve Garrephy (Dixon), and myself. On September 30, 2015 a Commission member noted issues with sediment entering catch basins and traveling Route 109 during a storm. Measures to correct this were taken by Steve Garrephy, but DPS become involved to clean the streets of sediment that traveled down gradient, to the Charles River Bank and Route 109 and Holliston Street intersection. At some point catch basins were equipped with siltation sacks during the storm. During today's site visit it was determined that the issues seem to have been addressed appropriately and there should not be more issues since the final berm is being completed today along Route 109. Requirement #1 below should be implemented, now. However, during the site visit Steve Bouley and I found issues with stormwater and erosion. The main issue is the stormwater infiltration basin (not completed) is holding a considerable amount of water and is not equipped or stable enough to handle another storm. The following items were found at the site.

1. Catch basins along Route 109 need siltation sack replacement immediately (prior to Friday's storm). It is my understanding that all you have one set of new siltation sacks of the ones in the basin, for now, please replace with those. However, these are breaking/ripping and not functioning, for the future please order the following similar spec unit <http://www.bmpstore.com/drop-inlet-protection-s/1898.htm>.
2. Catch basin at Route 109 and Holliston Street should be cleaned of sediment from storm on September 30, 2015.
3. The stormwater infiltration basin (not yet completed construction, temporary phase) is holding a significant amount of water from the storm with unstable slopes up and down gradient. During on site discussions with Steve B. and myself it was thought to have the water pumped out of the basin and stored in a tank or pumped into a pump truck and removed from site prior to the afternoon of Friday, October 2, 2015. Matt D. agreed to expand the size of the basin in addition to pumping out the water. Additionally, it was agreed that the slopes of this basin up gradient and down need to be stabilized in some capacity, either reflecting what was done to the large slopes near the wetland or with another approved method. It is also suggested that meeting with the engineer to calculate site flow and devise a plan to mitigate issues with stormwater on site for the duration of this project would be in the best interest of the applicant/property owner.
4. Erosion control fail and sediment within 25' No Alteration Zone and Wetlands Resource @ WF A-7: portions of the erosion control fail were mitigated by the addition of a second erosion control line within a non-approved alteration area, but some sediment about 1.5" entered the wetlands resource and associated 25' no alteration zone. This needs to be addressed requirements #2 is completed for Friday Afternoon. The sediment needs to be

removed from behind the original approved erosion control line but the second line needs to be left in place in case of similar issues arising. The sediment shall be removed from the first erosion control line and this line needs to be re-established. The sediment in the 25' no alteration zone and the wetland resource will be discussed and addressed by the Commission at the October 8, 2015 meeting. The Commission will need to see active progress on these requirements or enforcement order will be issued. The Commission at the October 8, 2015 may still require an EO be issued in order to document our requirements and deadlines.

5. Erosion controls line the eastern portion of the site have sediment that has accrued up to 3-6 inches from the top of the bales, another storm will cause a similar issue as at WF A-7, excess soils and sediment shall be removed from the erosion control line.
6. Please contact our office Friday afternoon to review mitigation measures taken for this weekend's storm.
7. Additionally, please provide any proposed work to take place on site other than the required mitigation measures for the storm between Friday through Monday.

Please note that the Commission office should be contacted immediately when there is any issue with sedimentation and failure of erosion control lines in order to work with the Agent to properly address the issue. See conditions #13, 60, 62, 89, 102.

Additionally, Steve Bouley and I will need to know what the proposed plans are for site work until Monday. It is my understanding that today would be to prepare for rain this weekend and no other work would be taking place during storms other than mitigation for erosion if and when needed. If there are other tasks to be completed please send those to our office.

Plan for site visit Monday morning around 10:30am. Please be aware that we hope there are no additional alterations to jurisdictional areas, if there is our office will be forced to shut down operations until the site can be properly stabilized and restored. Good luck!

Let me know if you have any questions.

**Town of Medway
Conservation Commission
Bridget Craziano, Agent
155 Village Street
Medway, MA 02053**

**508.533.3292 (o)
508.918.5986 (c)
bcraziano@townofmedway.org**

A Green Community

Tetra Tech One Grant Street Framingham, MA 01701		
Project Tri-Valley Commons	Date 10-06-15	Report No. 08
Location Main Street (Route 109)	Project No. 143-21583-15014	Sheet 1 of 2
Contractor Dixon Inc. General Contracting Steve Garrepy	Weather A.M. SUNNY P.M.	Temperature A.M. 50° P.M.

FIELD OBSERVATIONS

On Tuesday, October 6, 2015, Steve Bouley from Tetra Tech (TT) visited the project to inspect construction progress and the current condition of the site. The following observations were made:

1. Observations

- A. The contractor is in the process of installing proposed drainage throughout the site. The contractor has excavated for the proposed subsurface Infiltration Basin #2. The contractor excavated to the proper elevation, wrapped the excavation in filter fabric, placed crushed stone and the proposed Stormtech Chambers. It appears the contractor has installed the units per the approved plans. The units will be backfilled tomorrow.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't					Dept. or Company	Description of Work
	1	Bulldozer		Asphalt Paver		
Foreman	1	Backhoe		Asphalt Reclaimer		
Laborers	2	Loader	1	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Bobcat		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flag persons		Scraper		Rock Crusher		
Surveyors		Articulating Dump Truck		Chipper		
Driller		Conc. Truck		Screener		
Blast Crew		Pickup Truck	1	Drill Rig	Bridget Graziano	Medway Conservation
Sewer/Water Tester		Dump Truck 6 Whl		Boom Lift	Jim Smith	Medway DPS
		Dump Truck 10 Whl	1	Water Truck		
		Dump Truck 14 Whl		Lull		
		Dump Truck 18 Whl		Gradall		

OFFICIAL VISITORS TO JOB

RESIDENT REPRESENTATIVE FORCE

Police Details:		
Time on site: 8:30 A.M. – 11:00 A.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative: Steve Bouley	

Project Tri-Valley Commons	Date 10-06-15	Report No. 08
Location Main Street (Route 109)	Project No. 143-21583-15014	Sheet 2 of 2
Contractor Dixon Inc. General Contracting Steve Garrepy	Weather A.M. SUNNY P.M.	Temperature A.M. 50° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. TT will inspect the site as required during construction.

3. New Action Items
 - A. N/A

4. Previous Open Action Items
 - A. N/A

5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Tri-Valley Commons	Date 10-08-15	Report No. 09
Location Main Street (Route 109)	Project No. 143-21583-15014	Sheet 1 of 2
Contractor Dixon Inc. General Contracting Steve Garrepy	Weather A.M. SUNNY P.M.	Temperature A.M. 50° P.M.

FIELD OBSERVATIONS

On Thursday, October 8, 2015, Steve Bouley from Tetra Tech (TT) visited the project to inspect construction progress and the current condition of the site. The following observations were made:

1. Observations

- A. The contractor is in the process of backfilling the stormtech system. Crushed stone was placed over the structures to the proposed elevation, filter fabric wrapped around the stone and backfilled with gravel. It appears the installation was conducted per the approved plans.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't				Asphalt Paver		Dept. or Company	Description of Work
Foreman	1	Bulldozer		Asphalt Reclaimer			
Laborers	2	Backhoe		Asphalt Reclaimer			
Drivers		Loader	1	Vib. Roller			
Oper. Engr.		Rubber Tire Backhoe/Loader		Static Roller			
Carpenters		Bobcat		Vib. Walk Comp.			
Masons		Hoeram		Compressor			
Iron Workers		Excavator	1	Jack Hammer			
Electricians		Grader		Power Saw			
Flag persons		Crane		Conc. Vib.			
Surveyors		Scraper		Rock Crusher			
Driller		Articulating Dump Truck		Chipper			
Blast Crew		Conc. Truck		Screener			
Sewer/Water Tester		Pickup Truck	1	Drill Rig		Bridget Graziano	Medway Conservation
		Dump Truck 6 Whl		Boom Lift		Jim Smith	Medway DPS
		Dump Truck 10 Whl	1	Water Truck			
		Dump Truck 14 Whl		Lull			
		Dump Truck 18 Whl		Gradall			
Police Details:						RESIDENT REPRESENTATIVE FORCE	
Time on site: 8:30 A.M. – 11:00 A.M.						Name	Name
CONTRACTOR'S Hours of Work:							
						Resident Representative: Steve Bouley	

Project Tri-Valley Commons	Date 10-08-15	Report No. 09
Location Main Street (Route 109)	Project No. 143-21583-15014	Sheet 2 of 2
Contractor Dixon Inc. General Contracting Steve Garrepy	Weather A.M. SUNNY P.M.	Temperature A.M. 50° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. TT will inspect the site as required during construction.

3. New Action Items
 - A. N/A

4. Previous Open Action Items
 - A. N/A

5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Tri-Valley Commons	Date 10-15-15	Report No. 10
Location Main Street (Route 109)	Project No. 143-21583-15014	Sheet 1 of 2
Contractor Dixon Inc. General Contracting Steve Garrepy	Weather A.M. SUNNY P.M.	Temperature A.M. 50° P.M.

FIELD OBSERVATIONS

On Thursday, October 15, 2015, Steve Bouley from Tetra Tech (TT) visited the project to inspect construction progress and the current condition of the site. The following observations were made:

1. Observations

- A. The contractor is in the process of installing proposed drainage. The contractor has installed CB-6, FES-5 and associated 12" hdpe pipe. Pipe and structures were installed per the approved plans.
- B. The contractor has cleaned up much of the sediment that was spilled into the wetland buffer zone. Strawbales/silt fence has been repaired and sediment removed along the strawbale line. One of the Frac tanks has been removed and the pond no longer contains any standing water. Additional strawbales have been installed at the toe of the stockpiles located on the eastern portion of the site. Two crushed stone/strawbale check dams have been installed upgradient of the temporary sediment basin.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't				Dept. or Company	Description of Work
	1	Bulldozer		Asphalt Paver	
Foreman	1	Backhoe		Asphalt Reclaimer	
Laborers	2	Loader	1	Vib. Roller	
Drivers		Rubber Tire Backhoe/Loader		Static Roller	
Oper. Engr.		Bobcat		Vib. Walk Comp.	
Carpenters		Hoeram		Compressor	
Masons		Excavator	1	Jack Hammer	
Iron Workers		Grader		Power Saw	
Electricians		Crane		Conc. Vib.	
Flag persons		Scraper		Rock Crusher	
Surveyors		Articulating Dump Truck		Chipper	
Driller		Conc. Truck		Screener	
Blast Crew		Pickup Truck	1	Drill Rig	
Sewer/Water Tester		Dump Truck 6 Whl		Boom Lift	
		Dump Truck 10 Whl	1	Water Truck	
		Dump Truck 14 Whl		Lull	
		Dump Truck 18 Whl		Gradall	

OFFICIAL VISITORS TO JOB

Police Details:	RESIDENT REPRESENTATIVE FORCE	
Time on site: 8:30 A.M. – 11:00 A.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative: Steve Bouley	

Project Tri-Valley Commons	Date 10-15-15	Report No. 10
Location Main Street (Route 109)	Project No. 143-21583-15014	Sheet 2 of 2
Contractor Dixon Inc. General Contracting Steve Garrepy	Weather A.M. SUNNY P.M.	Temperature A.M. 50° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. TT will inspect the site as required during construction.

3. New Action Items
 - A. N/A

4. Previous Open Action Items
 - A. N/A

5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Tri-Valley Commons	Date 10-16-15	Report No. 11
Location Main Street (Route 109)	Project No. 143-21583-15014	Sheet 1 of 2
Contractor Dixon Inc. General Contracting Steve Garrepy	Weather A.M. SUNNY P.M.	Temperature A.M. 70° P.M.

FIELD OBSERVATIONS

On Friday, October 16, 2015, Marco Goncalves from Tetra Tech (TT) visited the project to inspect the current condition of the site. The following observations were made:

1. Observations

- A. Upon arrival at the site, contractors were in the process of installing drainage structure DMH-G located at the northeast corner of the proposed Advanced Auto Parts building foundation. The structure was installed, tied to the building and connected to an HDPE pipe that extends to Infiltration Basin #2. These installations were made per approved construction plans.
- B. Contractors installed jute mesh along the hillsides of the proposed gravel access drive for an approximate 40' span. TT was informed that this is part of an effort to increase erosion control following recent runoff issues on the site.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't				Dept. or Company	Description of Work
	1	Bulldozer			Asphalt Paver
Foreman	1	Backhoe	1		Asphalt Reclaimer
Laborers	3	Loader			Vib. Roller
Drivers		Rubber Tire Backhoe/Loader			Static Roller
Oper. Engr.		Bobcat			Vib. Walk Comp.
Carpenters		Hoeram			Compressor
Masons		Excavator			Jack Hammer
Iron Workers		Grader			Power Saw
Electricians		Crane			Conc. Vib.
Flag persons		Scraper			Rock Crusher
Surveyors		Articulating Dump Truck			Chipper
Driller		Conc. Truck			Screener
Blast Crew		Pickup Truck	1		Drill Rig
Sewer/Water Tester		Dump Truck 6 Whl			Boom Lift
		Dump Truck 10 Whl	1		Water Truck
		Dump Truck 14 Whl			Lull
		Dump Truck 18 Whl			Gradall

OFFICIAL VISITORS TO JOB

Police Details:	RESIDENT REPRESENTATIVE FORCE	
Time on site: 11:00 A.M. – 3:00 P.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative: Marco Goncalves	

Project Tri-Valley Commons	Date 10-16-15	Report No. 11
Location Main Street (Route 109)	Project No. 143-21583-15014	Sheet 2 of 2
Contractor Dixon Inc. General Contracting Steve Garrepy	Weather A.M. SUNNY P.M.	Temperature A.M. 75° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. TT will inspect the site as required during construction.

3. New Action Items
 - A. N/A

4. Previous Open Action Items
 - A. N/A

5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Millstone Village	Date 09-18-2015	Report No. 52
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 80° P.M.

FIELD OBSERVATIONS

On Friday, September 18, 2015 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. Since the previous inspection Titan has installed sewer infrastructure on Steppingstone Drive.
- B. The contractor is in the process of installing sewer infrastructure for units #59 through #64. The contractor installed 8" sdr 35 pcv pipe from previously installed SMH #14 and appurtenant 6" sdr 35 pvc services for the units. Pipe was installed per the approved plans.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't					Dept. or Company	Description of Work
	1	Bulldozer		Asphalt Paver		
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	3	Loader	1	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	2	Bobcat		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flag persons		Scraper		Rock Crusher		
Surveyors		Articulating Dump Truck		Chipper		
Driller		Conc. Truck		Screener		
Blast Crew		Pickup Truck		Drill Rig		
Sewer/Water Tester		Dump Truck 6 Whl		Boom Lift		
		Dump Truck 10 Whl		Water Truck		
		Dump Truck 14 Whl		Lull		
		Dump Truck 18 Whl		Gradall		

OFFICIAL VISITORS TO JOB

Police Details:	RESIDENT REPRESENTATIVE FORCE	
Time on site: 8:30 A.M. – 10:00 A.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative: Steven Bouley	

Project Millstone Village	Date 09-18-2015	Report No. 52
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 80° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to continue the installation of sewer in Phase II until completion next week. Titan will then move on to water main installation in Phase II.

3. New Action Items
 - A. N/A

4. Previous Open Action Items
 - A. N/A

5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Millstone Village	Date 10-02-2015	Report No. 53
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. DRIZZLE P.M.	Temperature A.M. 50° P.M.

FIELD OBSERVATIONS

On Friday, October 2, 2015 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. The contractor is in the process of installing drain infrastructure along Fieldstone Drive. The contractor has installed CB # 51, #52, #55, and #56 as well as DMH #53 and #54 and associated HDPE Pipe. Structures and pipe were installed per the approved plans.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS		
Sup't				Dept. or Company	Description of Work	
	1	Bulldozer		Asphalt Paver		
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	3	Loader	1	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	2	Bobcat		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flag persons		Scraper		Rock Crusher		
Surveyors		Articulating Dump Truck		Chipper		
Driller		Conc. Truck		Screener	OFFICIAL VISITORS TO JOB	
Blast Crew		Pickup Truck		Drill Rig		
Sewer/Water Tester		Dump Truck 6 Whl		Boom Lift		
		Dump Truck 10 Whl		Water Truck		
		Dump Truck 14 Whl		Lull		
		Dump Truck 18 Whl		Gradall		
Police Details:				RESIDENT REPRESENTATIVE FORCE		
Time on site: 8:30 A.M. – 10:00 A.M.				Name	Name	
CONTRACTOR'S Hours of Work:						
				Resident Representative: Steven Bouley		

Project Millstone Village	Date 10-02-2015	Report No. 53
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. DRIZZLE P.M.	Temperature A.M. 50° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. The contractor plans to continue the installation of sewer in Phase II until completion next week. Titan will then move on to water main installation in Phase II.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. N/A

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Millstone Village	Date 10-06-2015	Report No. 54
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 50° P.M.

FIELD OBSERVATIONS

On Tuesday, October 6, 2015 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. The contractor is in the process of installing drain infrastructure along Fieldstone Drive. The contractor has installed CB #19, #20, #23 and #24 as well as DMH #21, #22, #25, #26 and #26A and associated HDPE Pipe. Structures and pipe were installed per the approved plans.
- B. Subsurface leaching structures will be installed at a later date. The contractor is installing infrastructure in the roadway in order to prepare for paving binder course this construction season.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't					Dept. or Company	Description of Work
	1	Bulldozer		Asphalt Paver		
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	3	Loader	1	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	2	Bobcat		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flag persons		Scraper		Rock Crusher		
Surveyors		Articulating Dump Truck		Chipper		
Driller		Conc. Truck		Screener		
Blast Crew		Pickup Truck		Drill Rig		
Sewer/Water Tester		Dump Truck 6 Whl		Boom Lift		
		Dump Truck 10 Whl		Water Truck		
		Dump Truck 14 Whl		Lull		
		Dump Truck 18 Whl		Gradall		

OFFICIAL VISITORS TO JOB

Police Details:	RESIDENT REPRESENTATIVE FORCE	
Time on site: 8:30 A.M. – 10:00 A.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative: Steven Bouley	

Project Millstone Village	Date 10-06-2015	Report No. 54
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 50° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to continue the installation of Drain in Phase II until completion within the roadway next week. Titan will then move on to water main installation in Phase II.
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. N/A
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Millstone Village	Date 10-15-2015	Report No. 55
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 50° P.M.

FIELD OBSERVATIONS

On Thursday, October 15, 2015 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. The contractor is in the process of installing drain infrastructure along Cobblestone Terrace. The contractor has installed CB #70 as well as DMH #5P and associated HDPE Pipe. Structures and pipe were installed per the approved plans.
- B. The contractor has installed vertical granite curb around the Community Building. TT is awaiting a sketch of the proposed ADA ramp leading from the redesigned parking area to the building.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't				Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers	3	Loader	1	Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	2	Bobcat		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flag persons		Scraper		Rock Crusher			
Surveyors		Articulating Dump Truck		Chipper			
Driller		Conc. Truck		Screener			
Blast Crew		Pickup Truck		Drill Rig			
Sewer/Water Tester		Dump Truck 6 Whl		Boom Lift			
		Dump Truck 10 Whl		Water Truck			
		Dump Truck 14 Whl		Lull			
		Dump Truck 18 Whl		Gradall			

OFFICIAL VISITORS TO JOB

RESIDENT REPRESENTATIVE FORCE

Police Details:		Name	Name
Time on site: 8:30 A.M. – 10:00 A.M.			
CONTRACTOR'S Hours of Work:			
		Resident Representative: Steven Bouley	

Project Millstone Village	Date 10-15-2015	Report No. 55
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 50° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to continue the installation of Drain in Phase II until completion within the roadway next week. Titan will then move on to water main installation in Phase II.
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. N/A
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Millstone Village	Date 10-16-2015	Report No. 56
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. P.M. SUNNY	Temperature A.M. P.M. 70°

FIELD OBSERVATIONS

On Friday, October 16, 2015 Marco Goncalves from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. The contractor is in the process of installing drainage infrastructure at the northeast end of Cobblestone Drive; east of units #40 and #41. The contractor has installed DMH #26A located in this area and began to install the headwall structure in this area. The headwall was installed prior to installation of a DMH located north of designated leaching area #6P. The headwall was connected to the DMH via a 12" HDPE pipe per approved plans.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
Sup't				Dept. or Company	Description of Work
	1	Bulldozer			Asphalt Paver
Foreman		Backhoe			Asphalt Reclaimer
Laborers	3	Loader	1		Vib. Roller
Drivers		Rubber Tire Backhoe/Loader			Static Roller
Oper. Engr.	2	Bobcat			Vib. Walk Comp.
Carpenters		Hoeram			Compressor
Masons		Excavator	1		Jack Hammer
Iron Workers		Grader			Power Saw
Electricians		Crane			Conc. Vib.
Flag persons		Scraper			Rock Crusher
Surveyors		Articulating Dump Truck			Chipper
Driller		Conc. Truck			Screener
Blast Crew		Pickup Truck			Drill Rig
Sewer/Water Tester		Dump Truck 6 Whl			Boom Lift
		Dump Truck 10 Whl			Water Truck
		Dump Truck 14 Whl			Lull
		Dump Truck 18 Whl			Gradall
Police Details:				RESIDENT REPRESENTATIVE FORCE	
Time on site: 12:40 P.M. – 3:30 P.M.				Name	Name
CONTRACTOR'S Hours of Work:					
				Resident Representative: Marco Goncalves	

Project Millstone Village	Date 10-16-2015	Report No. 56
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. P.M. SUNNY	Temperature A.M. P.M. 70°

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to continue the installation of drain infrastructure and leaching area in Phase II until completion next week. Titan will then move on to water main installation in Phase II.
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. N/A
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A



October 27, 2015

**Medway Planning & Economic Development Board
Meeting**

Discussion on Charles River Village
OSRD

Paul Yorkis, acting on behalf of developer John Claffey, has begun the process for closing out this 11 unit OSRD project off of Neelon Lane. Tetra Tech has conducted an inspection and provided a punch list. See Attached. I have prepared a Project Completion TO DO list which is also attached.

One aspect of this development that needs your discussion pertains to the pathway/trail on Open Space Parcel B. The language in the special permit and definitive plan decisions re: the pathway/trail is as follows: *Open Space Parcel B shall be conveyed to the Town through its Conservation Commission prior to the issuance of an occupancy permit for the 11th unit. Prior to the conveyance of Parcel B to the Town, the Charles River Village Condominium Trust or its assigns shall provide a pathway/trail on Open Space Parcel B to the satisfaction of the Planning and Economic Development Board.*

Before I take this to ConCom and BOS to vote to accept the conveyance of the open space parcel to the Town, the PEDB needs to determine if the pathway/trail on the

Open Space parcel has been provided to your satisfaction. In the absence of details in the decision and on the plan regarding the composition of the pathway/trail, this is a judgment call you need to make.

On 10-22-15, a site visit was conducted by Steve Bouley, Conservation Agent Bridget Graziano, Andy Rodenhiser, and Open Space Committee member Jim Wickis to observe the current status of the pathway/trail. Andy and Steve will be able to report their observations and recommendations to you. A collection of photos of the path/trail are provided for your review.

FYI . . . after Open Space Parcel B is conveyed to the Town, the land will be under the stewardship of the Conservation Commission. However, the Charles River decisions do specify that the condo association *will be responsible for the on-going upkeep and maintenance of Open Space Parcel B. This shall include keeping the pathways free of weeds and debris (both natural and man-made) and the replacement of wood chips where necessary.*

Charles River Village - DRAFT Project Completion TO DO List

TASK	WHO is RESPONSIBLE?	STATUS & NOTES - 10/16/15
Check status of CRV Construction Account	SAC	9-27-15 \$4,372.16 in account - OK
Conduct site inspection and prepare punch list re: all items shown on CRV definitive plan including path/trail on open space parcel, landscaping between buildings and around utility boxes, completion of emergency access from CRV to Cherokee Lane, etc.	Tetra Tech	Inspection occurred 10/5/15. Punch list is dated 10/14/15 and was emailed to JC and PGY on 10/14.
Carry out specified punch list items	John Claffey	
TT Re-inspection	Tetra Tech	Requested for October 20 and after
Project Completion Sign off	Tetra Tech	
Complete and submit a Certification of Completion and Compliance to PEDB - Condition #23B of CRV Definitive Plan Certificate of Action	John Claffey and project engineer	
Prepare as-built plan and submit to PEDB for TT review - Condition 23A of CRV Definitive Plan Certificate of Action	Dave Faist/Dan O'Driscoll	
Review as-built plan and provide comments	Tetra Tech	
Revise as-built plan if needed	Dave Faist/Dan O'Driscoll	
Review revised as-built plan and sign off	Tetra Tech	
Convey Open Space Parcel B to Town thru CC and BOS. Conditions #7A and #23C in CRV Definitive Plan Certificate of Action	PGY & John Claffey	Deed submitted to PEDB on 9/30/15
PEDB vote re: acceptance of trail on Open Space Parcel B - Condition 7B in CRV Definitive Plan Certificate of Action	SAC to schedule	
ConCom vote to accept conveyance of Open Space Parcel B to TOM/CC	SAC to schedule	
BOS vote to accept conveyance of Open Space Parcel B to TOM/CC	SAC to schedule	
Sign the access and use easement allowing public access on Charles View Lane to access open space parcel and provide to PED office	PG & John Claffey	Easement docs submitted to PEDB on 9/30/15. Per Town Counsel, acceptance of this easement needs Town Meeting Vote. May 2016 town meeting.

TASK	WHO is RESPONSIBLE?	STATUS & NOTES - 10/16/15
Copies of invoices re: recent maintenance of stormwater system per the O & M plan	PGY	
Proof that payment in lieu of sidewalk construction has been made - \$3,347 or as specified in Condition #13 of CRV Definitive Plan Certificate of Action	SAC to check	DONE - Paid 11/14/14
Secure an acknowledgement letter from the CRV condo association re: their ownership of and responsibility for the operation and maintenance of Charles View Lane, stormwater management facilities, sewer, water, snowplowing/sanding, landscaping, street lights and the annual maintenance of paths in the Open Space Parcel	PGY	
Document that taxes are paid to the Town for all property owned by Charles River Village LLC (Claffey) and by the CRV Condo Association - Condition 23F	SAC to check with Treasurer/Collector's office	
Sign offs from various Town Departments - Condition 23G		
<i>Conservation Commission Certificate of Compliance (if applicable)</i>	SAC to contact and request	Not applicable per Bridget Graziano 10/15/16
<i>Fire Department</i>	SAC to contact and request	
<i>Police Department</i>	SAC to contact and request	
<i>DPS</i>	SAC to contact and request	
<i>PEDB</i>	SAC to schedule	
Verification that water conservation measures have been incorporated into building construction - As specified in Condition #14 of CRV Definitive Plan Certificate of Action	John Claffey	
Provide proof of recording of master deed, bylaws, rules/regulations, declaration of trust, stormwater management operations and maintenance plan, etc. - As specified in Condition #19 of the CRV Definitive Plan Certificate of Action	PGY	
Verification from Medway Affordable Housing Trust that payment in lieu of constructing 2 affordable housing units has been completed.	SAC to check	DONE - 9-8-15 email from Doug Havens
Revised draft - 10/16/15		



To: Susan Affleck-Childs – Medway Planning and Economic Development Board
Coordinator

Fr: Steven Bouley, E.I.T. – Tetra Tech (TT)

Re: **Charles River Village OSRD
Subdivision Review (Punchlist)
Medway, MA**

Dt: October 13, 2015

On October 5, 2015 at the request of the Medway Planning and Economic Development Board, Tetra Tech (TT), Medway Department of Public Services (DPS) and Medway Water/Sewer Department personnel performed a Punch List inspection of the Charles River Village OSRD. The inspection was conducted based upon the approved plan set.

The following is a list of items and issues that should be repaired or resolved:

Roadway

1. The roadway requires top course paving. (See Appendix A, Photo #1)
2. Bituminous berm is required around the interior loop surrounding Stormwater Basin #1. (See Appendix A, Photo #1)
3. The water trench patch located in Village Street is settling and requires repair. Due to the damage caused by the settlement of the trench, Medway DPS requests the repair to be a 2" mill and overlay for the full width of Village Street within the limits of Neelon Lane. DPS has offered to adjust castings of drain, water and sewer structures located within the overlay area. (See Appendix A, Photo #2-#3)
4. The water trench patch located within the paved portion of Cherokee Lane is settling and requires repair. The area of trench settlement should be removed, gravel placed, compacted and the trench repaved. The joint between the existing pavement and the trench patch for the length of the patch to Charles River Road should be sealed. (See Appendix A, Photo #4)



Drainage

5. Rip-rap is required at FES-5 as the swale is eroding at the outlet location. (See Appendix A, Photo #5)
6. The swale along Cherokee Lane requires additional hydroseed in order to establish sufficient cover to prevent erosion. (See Appendix A, Photo #6)
7. DMH-4 requires backfill material (loam and seed) around the frame and cover. (See Appendix A, Photo #7)

Open Space/Landscaping

8. The proposed public access trail requires clearing and/or maintenance. It is difficult to determine the extent of the trail as there are no markers or a defined path to walk through. (See Appendix A, Photo #8-#10)
9. It does not appear the boundary markers (iron rod with cap) have been installed or cannot be found. The applicant should locate and/or install all boundary markers per the approved plans.
10. The applicant should ensure that all plantings, as shown on the “Definitive OSRD Planting Plan”, are installed as proposed.

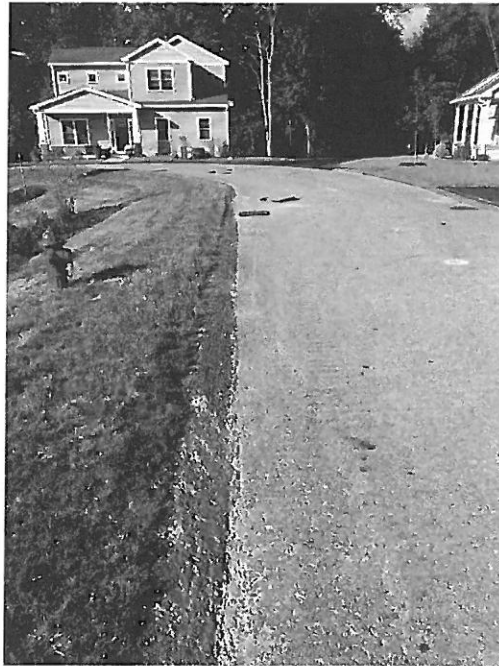
Water*

11. Hydrants are required to be painted and flagged per town standards. Coordinate with Medway Water Department regarding this item. (See Appendix A, Photo #11)

*Comments received from Town of Medway Water & Sewer Department.

If you have any questions or require additional information, please don't hesitate to contact me at (508) 786-2200.

Photo 1



Charles View Lane Paving and Berm

Photo 2



Village Street Water Trench Patch

Photo 3



Village Street Water Trench Patch Damage

Photo 4



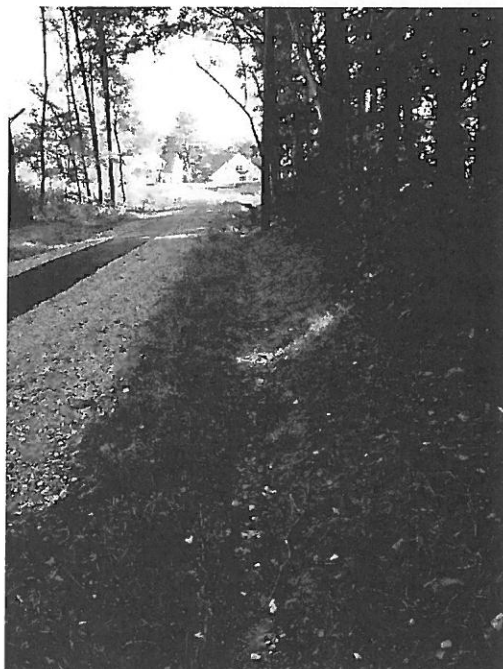
Cherokee Lane Water Trench Patch

Photo 5



FES-5 Erosion

Photo 6



Cherokee Lane Swale

Photo 7



DMH-4

Photo 8



Public Access Trail

Photo 9



Public Access Trail

Photo 10



Public Access Trail

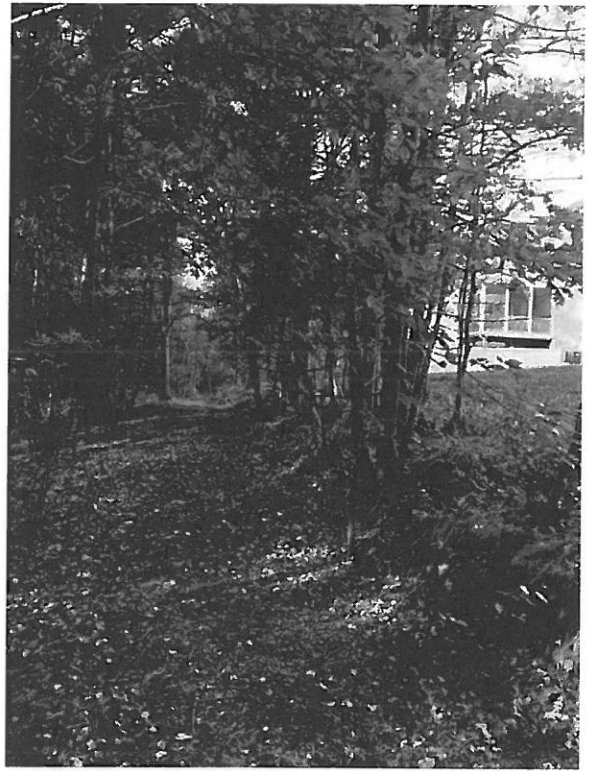
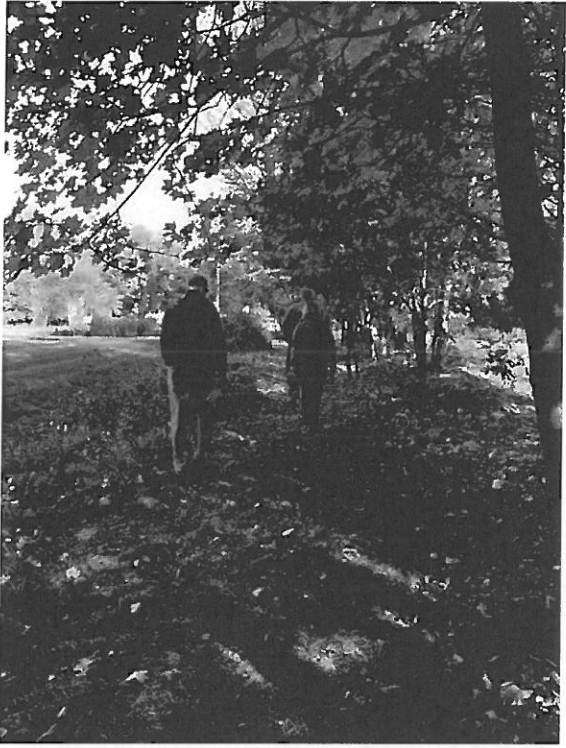
Photo 11

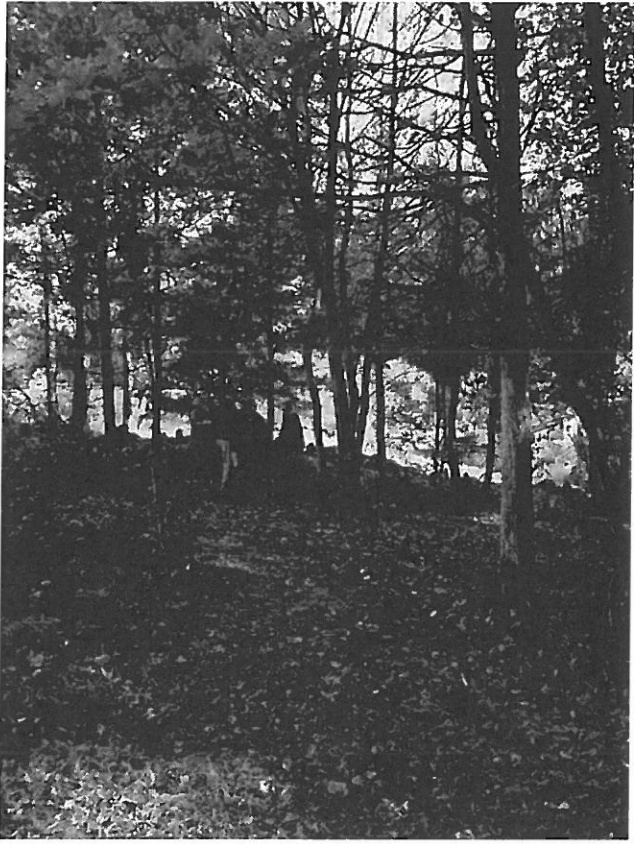


Installed Hydrant (Repaint/Flag per Town Standard)

Photos of Charles River Village path/trail
October 22, 2015







Susan Affleck-Childs

From: Shane Oates <soates@coneco.com>
Sent: Wednesday, October 21, 2015 3:26 PM
To: sean.reardon@tetrattech.com
Cc: Susan Affleck-Childs; 'JRobinsonCCM@aol.com'; Bridget Graziano
Subject: Salmon Health - Village Street, Medway
Attachments: Crossing Stream Flow Calcs - Waterside Run.pdf; Crossing Stream Flow Calcs - Willow Pond Road.pdf; Stormceptor STEP.pdf; Waterside Run - Stream Crossing Analysis.pdf; Willow Pond Road - Stream Crossing Analysis.pdf; Alternatives Analysis.pdf

Importance: High

Good afternoon Sean,

As I had mentioned in our conversation last week, we found a few issues with our plans from working drawings utilized as XREF's so we are showing facilities that are not correct on the revised plans you currently have. When going through that process we also found some other CADD layer type issues and general plan cleanup that will help with the review process.

Also, some of these revisions are a result of an informal meeting with had with Bridget and Stephanie last week.

I have listed all the revisions/changes below for ease of review and a separate email with a share file link (*for the larger files*) will be sent out by the end of the day today. We will also hand deliver copies to your office immediately.

Plan Modifications:

1. Trails have been modified to limit disturbance through areas of concern (Vernal Pools) for Conservation. Trail construction/labels have been modified and note has been added to Layout Sheets. Detail for walking path has been removed. **(Sheets C16-C21)**
2. Boat launch access cover type has been labeled and detail shown. **(Sheets C20 & C21)**
3. All resource area disturbances have been quantified and shown as a graphic. **(Sheets C44B & C44C)**
4. Wetland replication area has been relocated and detailed notes have been added. **(Sheet 44A)**
5. See attached Alternatives Analysis and Stream Crossing Standards for Conservation review.
6. Revised compensatory storage area locations. **(Sheet C44)**
7. Test pits shown on layout plans now as well. Pits that were not performed were removed. **(Sheets C16-C21)**
8. ILSF area shown on plans. **(Sheet 8 & associated plans)**
9. Additional existing contour labels added. **(Existing Conditions Plans)**
10. Erosion control material labels clarified. **(Sheet C10-C15, C52)**
11. TARP certification attached.
12. Infiltration facilities 25, 26, 29 & 31 have been removed entirely. Remaining infiltration facilities have been updated, refer to Infiltration Trench Summary Table and Drainage & Grading Plans. **(Sheets C22-C28)**
13. Basin 3 has been modified to accommodate removal of 4 infiltration facilities. **(Sheet C27)**
14. Grassed channel discharge at northwest portion of site has been labelled and calculations provided. **(Sheet C22, C52 & Volume I (Appendix C))**
15. Proposed swales on eastern property line have been detailed a bit more. **(Sheets C23, C25 & C27)**
16. Crosswalk added from Waterside Run. **(Sheets C16 & C17)**
17. Existing sewer manhole rims have been added with locking covers, detail added. **(Sheets C33, C34 & C53)**
18. Detail added to Crossing Elevation Plans. **(Sheet C42 & C43)**

Stormwater Report Modifications:

1. Volume II has been re-issued; 4 infiltration facilities were removed, all others were slightly modified, see comment 12 above. Infiltration Trench Summary Table is coordinated with Volume II.
2. Volume I catchments associated with Basin 3 have been updated as was Table 2, Table 4 in the Narrative and Appendix C.

Please call with questions and/or comments.

Best Regards,

Shane M. Oates
Senior Project Manager



4 First Street, Bridgewater, MA 02324
Phone: 508-697-3191 Ext. 110
Mobile: 508-245-2608
Email: soates@coneco.com
Web: coneco.com

Date October 13, 2015
To Town of Medway Planning & Economic Development
From Dario Designs Inc. and Coneco Engineers & Scientists
Project Salmon Health & Retirement Community
Subject Response to Town Comments

The Senior Community Site consists of 54 freestanding homes/cottages with attached garages, 15 attached homes/cottages with interior parking, 56 apartment homes in a common building, 60 traditional assisted living units and 40 memory care assisted living apartments, as well as a medical office building and pavilion proposed to be developed on the 56.9 acre site. The site is located on the south side of Village Street and west of the Charles River Road. It is bordered on the west and south by the Charles River. The site is at present mostly undeveloped forest with bordering vegetated wetlands and two certified vernal pools. The definitive plan submission includes landscape design drawings, architectural drawings for the facility and unit types, site utilities, including stormwater management design, water, gas, and electric.

BASIS OF REVIEW

- A. Plans entitled "Salmon Health and Retirement Community ARCPUD Special Permit Site Plans, Village Street, Medway, Massachusetts 02053" containing twenty (95) drawings, fifty-six (56) prepared by Coneco Engineers & Scientists (CES), eleven (11) prepared by Clough Harbour & Associates (CHA) and twenty-eight (28) prepared by Dario Designs, Inc. (DDI), dated June 12, 2015.
- B. "Stormwater Management Report" containing three hundred and eighteen (318) pages prepared by Coneco Engineers & Scientists (CES), dated May 1, 2015.
- C. "Traffic Impact Study" prepared by McMahon Associates, Inc. (MA), dated April 2015.
- D. A narrative (Project Narrative) entitled "Salmon Health and Retirement Senior Community" prepared by Continuing Care Management LLC (CCM).
- E. A form (Applications Forms) set entitled "Application for Adult Retirement Community Planned Unit Development (ARCPUD)", dated June 12, 2015, prepared by Coneco Engineers & Scientists (CES)

COMMENTS

ITEM COMMENTS FROM FIRE DEPARTMENT:

1. At the present time there is no information regarding the separation distances of the duplex houses. Separation distance should be a minimum of 30 ft. This Standard is not statutory, however does conform with industry's best practices. I have met with the architect for this development and he has agreed to fire rate exterior facing walls on buildings that are within 10 feet of each other. I feel that this will give adequate fire separation for these buildings, and will comply with the intent of the Standard.
DDI: As the design progresses, any buildings within 10 feet of each other will have 1 hour exterior walls. See Civil drawing, Site Plan Layout, for location of cottages under 10 feet.



2. The turnaround on Lilac Path by building # 50 should be longer to accommodate fire apparatus and ambulances.
CES: Cannot do without a waiver to go into the 25'-0" wetland setback.
3. The square footage of the Pavilion is not provided.
DDI: The Pavilion is 3,522 square feet. See drawing A1.01P.
4. It appears access to the medical building is only provided on one side. The building appears to be 6,375 square feet and should be access to at least two sides of the building by fire lanes.
DDI: See site plan for 3 ways of access. Access is from the parking lot to the south of the building, the drop off area west of the building and Village Street to the north.
5. When numbering the apartments I request the fire department be consulted so they are numbered in a manner such that they are in order and make sense to first responders.
DDI: We will consult the Fire Department in conjunction with the Assessor's Office. The cottages are currently numbered and we will await comments. See the Civil Site Layout drawing for numbers.

COMMENTS FROM PEER REVIEW - PGC ASSOCIATES, INC.:

6. Zoning Comment 9. It is not possible to determine that the open space requirements are met. No calculations are provided to document that the quantities are met (40% of total, 60% Common Open Space, maximum of 50% of required open space can be wetland resources and no drainage facilities within open space) and no boundaries are indicated to identify open space.
CES: An Open Space Plan has been developed, submitted and included with the revised Plan Set (see sheet C2). This Plan has been reviewed by PGC Associates, Inc., see attached review letter dated August 4, 2015. (SEE EXHIBIT A)
7. Zoning Comment 11. There is no documentation that the Four Step Design Process was used (8.5.J). It should be noted, however, the result indicates that the most important resource areas have been avoided.
DDI: In accordance with the Town of Medway Zoning Bylaw (updated July 7, 2014), Section U. Adult Retirement Community Overlay District, 4b.2- Four Step Design Process, a presentation to the PEDB was made on February 10, 2015 at the Pre-Application Meeting. See attached Pre-App Meeting Drawings and Pre-App Meeting Agenda. (SEE EXHIBIT B)
8. Zoning Comment 14. Section 7.1 provides parking requirements. It requires 2 spaces per "unit" as calculated in #5 above. Thus 298 spaces are required for the units. It also requires 1 space per 300 square feet of net usable area for other uses. The medical offices require 38 spaces at 11,275 square feet, but this figure is likely to be reduced when net usable area is determined (At present, 21 spaces are provided). The pavilion is another 3,522 square feet so another 12 spaces would be required (and 14 are provided) for it for a total of 348 spaces required.
The applicant used a ratio of 1 space per 500 square feet for the medical building and pavilion. This has resulted in 20 spaces for the medical building and 8 for the pavilion. Therefore the total calculated by the applicant is 326. The applicant's Parking Impact Assessment indicates 334 spaces provided in one section and 440 in another. The total



- CES: See note on Civil Utility Plan.*
15. Verify dwellings are designed to ensure the cellar floor elevations are above the maximum seasonal high water table
CES: Currently there are no cellars drawn. If cellars are added they will be above the water table.
 16. Plan details call for installation and use of the Town standard hydrants to ensure consistency with Town systems and Fire Department operation.
CES: OK
 17. May inquire with Post Office relative to mail delivery procedures
DDI: All mail will be delivered to the main building.
 18. Snow Storage should be considered when designing roadway layout
CES: OK
 19. Street Opening Permit Requirements will govern Village Street access areas. Sight line considerations should be no issue but worth getting PD opinion. Signalized crosswalk from development to north Village Street sidewalks might be a good idea.
CES: See crosswalks on Civil Site Layout.
 20. CRPCD Considerations relative to the sewer connection should be addressed
CES: Spoke to CRPCD. Have verbal approvals. A permit from CRPCD is required prior to construction.
 21. Medway Police Department Safety Officer considerations should be addressed relative to Village Street access
CES: See responses below to comments from the Medway Police Department Safety Officer.
 22. Water Meters should be Census meters compatible with Town automated meter reading program
CES: See note on Civil Utility Plan.
 23. Strong consideration should be made for the installation of low-flow water fixtures/amenities.
DDI: OK
 24. Any outside irrigation would need a private well source.
CES: Outside irrigation will be on well.
 25. Consider trash/recycling receptacle areas
CES: Located in main building
 26. Drainage to meet anticipated MS4 permit requirements
CES: Municipal Separate Storm Sewer System (MS4) coverage is only required for stormwater conveyance or system of conveyances that are owned by a state, city, town, village or other public entity that discharge to waters of the U.S. The proposed stormwater management system will be privately owned and operated and will be designed in accordance with Massachusetts DEP Stormwater Standards.
 27. Obtain approval to construct over CRPCD sewer easement
CES: Spoke to CRPCD. Have verbal approvals. A permit from CRPCD is required prior to construction.



COMMENTS FROM MEDWAY POLICE (Jeffrey Watson, Sergeant/Safety Officer):

28. We would be looking for a keep right sign at the entrance of the development.
DDI: See Drawing G1.02, Exterior Perspectives – Site Main Entry
29. We advised that all connecting streets are required to have the street name along with the cross street name.
CES: See Civil Site Layout for locations.
DDI: See Typical Signs Elevation drawing G0.01
30. We would request that all units are numbered in a way that they are easily identified by emergency responding units.
DDI: We will consult the Police Department in conjunction with the Assessor's Office. The cottages are currently numbered and we will await comments. See the Civil Site Layout drawing for numbers.
31. We also request that streets such as Lilac Path and Walnut Grove have signs identifying what unit numbers are on each side prior to entering the street.
DDI: OK

COMMENTS FROM DESIGN REVIEW COMMITTEE:

32. Building Materials and Architecture: HVAC systems should be screened and positioned at the rear of buildings where possible.
DDI: As the design progresses, more detail of the screened systems will be shown.
33. Building Materials and Architecture: Barn roof portion of the medical building is lengthy and uninterrupted. Consider including a clerestory if uses permit.
DDI: After strong consideration, the addition of articulation has been provided on the North Elevation to address this.
34. Landscape: Provide naturalized landscaping to any stormwater retention/detention areas. Include site features like larger fieldstones. Consider use of willow tree[s] in some wet areas.
CES: Stormwater areas have been designed in accordance with the standards and regulations.
35. Landscape: Improve appearance of the stream crossings. The proposed apparatus at the stream crossings is bare concrete with a stark, interstate highway appearance. The DRC recommends that the concrete outflow flanges at each water crossing should be veneered with fieldstone like a shroud or screen to conceal the concrete pieces.
CES: The proposed crossings have been preliminarily designed utilizing retaining walls in conjunction with pre-fabricated culvert structures. Retaining wall materials will be determined at a later date by a Structural Engineer. Concrete materials will be covered to the maximum extent practical.
36. Landscape: Use attractive guardrail materials at the same space to create a site feature in place of stamped steel guardrails.
CES: Wooden guardrails will be provided.
37. Landscape: Retaining walls within the site should be constructed of blocks that reflect New England style fieldstone.



CES: Materials currently on-site will be used when feasible.

38. Landscape: Provide bench seating throughout site where appropriate and specifically at the skating pond.
CHA: See Landscape Plans for locations and styles.
39. Buffer: The DRC recommends sufficient buffers along the roadway at East of site. These buffers should include landscape buffers and fencing where appropriate. These areas are where cars make turning maneuvers, like parking area at the pavilion and at bends in the roadway.
CHA: We have provided a buffer along the eastern boundary abutting the Charles River Road neighborhood, incorporating both a wood-grain vinyl privacy fence, and evergreen tree plantings. We are planning to make some minor adjustments to the plantings once we have the mapped location of some large existing trees, and in response to some recent comments from abutters. See Landscape Plans.
40. Buffer: The fencing materials should be more natural in appearance with wood grain surfaces and muted colors that appear as wood.
CHA: The fencing material with a more natural wood grain appearance was presented at the meeting held on 08/25/15. It has been submitted and approved. See landscape Plans for size and scale only.
41. Buffer: Buffers should be provided during construction phase. No specifics have been shown.
CES: Erosion control shown on Civil Plans. See Construction Sequencing & Erosion Control Plan.
42. Entry Signage: The DRC does not recommend the entry sign as presented. The DRC recommends that this format be scaled down to residential size appropriate to this section of Village Street. The design is very large and will be repeated on each side of the entryway. The form of the sign is appropriate but the size does not comply with the *Medway Design Review Guidelines* nor the Sign Regulation section of the *Zoning Bylaw*.
CCM: A variance will be filed.
43. Entry Signage: The DRC does not recommend the additional free-standing street frontage sign proposed for the medical building. The DRC recommends that the information for this sign be incorporated into the main entry signs. The medical building is adjacent to the street and can have wall signage that will sufficiently mark its location. Specifics, like tenants, from the proposed secondary sign can be incorporated into the internal way finding signage.
CCM: A variance will be filed.

COMMENTS FROM OPEN SPACE COMMITTEE:

44. The attached addendum addresses the proposed plantings and concerns the Committee has with respect to some that are invasive or exotic in nature. The Committee respectfully requests the plants so identified in the addendum be replaced and alternative, native plantings be used in their stead.



CHA: We have substituted alternates for the 2 plants identified as invasive. The proposed pachysandra is in locations from which it will be highly unlikely to spread. See Landscape Plans.

45. Permanent guarantee of public access (should be addressed by the proposed easement).
CCM: Applicant shall provide an access easement to the Town of Medway, subject to Town Counsel approval, to guarantee public access to the development, subject to satisfactory indemnification for personal injury incurred by the public accessing the development, and satisfactory municipal insurance coverage.
46. Guarantee of parking for the public, to be incorporated into the plan – in the easement if possible.
CCM: Applicant shall include in the easement referred to in Paragraph 45 above, specific parking spaces to be designated for public use to be incorporated into the plan.
47. Signage noting parking for trails – perhaps including a kiosk – matching the Open Space kiosks throughout town should be placed by the parking area. This would readily identify the parking and the trail head as Open Space and encourage town residents to access both at the designated location.
CES: See Civil Site Layout for locations.
DDI: See Typical Signs Elevation drawing G0.01
48. Written provision guaranteeing maintenance of the trails in perpetuity.
CCM: Applicant shall provide a written plan, subject to Town Counsel approval, to guarantee the maintenance of the trails in perpetuity.

COMMENTS FROM TETRA TECH on TRAFFIC IMPACT STUDY:

49. *See attached document from McMahon Associates which contains all of the comments and responses. (SEE EXHIBIT E)*

COMMENTS FROM PEER REVIEW - TETRA TECH:

50. *Please refer to the Review Response Letter by Coneco dated October 13, 2015 contained within the supplemental package from Coneco.*



All of the drawings referred to above can be found in the “Salmon Health and Retirement Community ARCPUD Special Permit Site Plans” set dated June 12, 2015 Revised October 13, 2015. See attached Cover Sheet for the drawing list. *(SEE EXHIBIT F)*

Very truly yours,
Dario Designs, Inc.

Very truly yours,
Coneco Engineers & Scientists, Inc.

Dario DiMare, AIA, LEED AP
President

Shane M. Oates.
Senior Project Manager – Engineering



October 27, 2015
Medway Planning & Economic Development Board
Meeting

Zoning Bylaw Amendments
Public Hearing Continuation

- Revised Fall Town Meeting Warrant based on 10/13/15 BOS meeting

Per the revised warrant, Articles 17 – 25 are of interest to the PEDB. The Board of Selectmen appreciated the PEDB's willingness to hold off on several of the previously submitted zoning bylaw amendment articles.

I expect that some residents will attend the hearing to speak in support of Article # 22 to reduce the land size limitations for backyard chickens.

You need to close the public hearing at the end of the evening's discussion.

You can vote your recommendations to Town Meeting at the 11-10-15 PEDB mtg.

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**TOWN OF MEDWAY
WARRANT FOR 2015
FALL TOWN MEETING**

NORFOLK ss:

To either of the Constables of the Town of Medway

GREETING:

In the name of the Commonwealth of Massachusetts, you are hereby required to notify and warn the inhabitants of said Town who are qualified to vote in Town affairs to meet at the Medway High School Auditorium, 88 Summer Street, on Monday, November 16, 2015 at 7:00 PM, then and there to act on the following articles:

ARTICLE 1: (Fiscal Year 2016 Operating Budget Transfers)
To see if the Town will vote to transfer the sum of \$147,000 from the Fiscal Year 2016 Operating Budget in the amounts shown:

Dept. No.	Dept. Name	Amount
01301	Regional Schools	\$104,330
01915	Municipal Salary Reserve	\$ 42,670

to the following Fiscal Year 2016 departmental accounts in the amounts shown:

Dept. No.	Dept. Name	Amount
01135	Town Accountant	\$ 6,500
01141	Assessors	\$17,000
01145	Treasurer/Collector	\$ 8,000
01151	Legal Services	\$25,000
01155	Information Systems	\$35,000
01210	Police	\$11,000
01220	Fire	\$44,500

Or to act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

DRAFT

ARTICLE 2: (Purchase Dump Truck)

To see if the Town will vote to raise and appropriate, borrow, or transfer from available funds the sum of \$165,000 for the purpose of funding the purchase of a dump truck, including associated engineering, personnel, maintenance and legal service costs, said appropriation to be expended by June 30, 2016, with unexpended funds as of June 30, 2016 being returned to the General Fund, or to act in any manner relating thereto.

DEPT. OF PUBLIC SERVICES

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 3: (Repair Winthrop St Culvert)

To see if the Town will vote to raise and appropriate, borrow, or transfer from available funds the sum of \$90,000 for the purpose of funding the repair of a culvert on Winthrop St, including associated engineering, personnel, maintenance and legal service costs, said appropriation to be expended by June 30, 2017, with unexpended funds as of June 30, 2017 being returned to the General Fund, or to act in any manner relating thereto.

DEPT. OF PUBLIC SERVICES

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 4: (Repurpose Funds: Water Meter Replacement Project to Water Main Replacement Project)

To see if the Town will vote to reallocate funds originally authorized to be borrowed under Article 14 of the June 15, 2009 Annual Town Meeting to pay costs of a Water Meter Replacement Program, which funds are no longer needed to pay costs of the project for which they were initially borrowed, to apply such funds, in the amount of \$78,035.98, to the Water Main Replacement Project authorized by vote of Article 11 of the May 2013 Annual Town Meeting, to pay costs of paving a portion of Winthrop Street, or to act in any manner relating thereto.

DEPT. OF PUBLIC SERVICES

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

DRAFT

ARTICLE 5: (Repurpose Funds: Athletic Fields Project to High School Baseball Field Improvements)

To see if the Town will vote to reallocate funds originally authorized to be borrowed under Article 15 of the May 12, 2014 Annual Town Meeting to pay costs of replacing Hanlon Field turf, which funds are no longer needed to pay costs of the projects for which they were initially borrowed, to apply such funds, in the amount of \$4,874.19, to make improvements to the baseball field at Medway High School, 88 Summer Street, and to a new equipment storage structure at this school, or act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 6: (Repurpose CPA Funds: Athletic Fields Project to High School Baseball Field Improvements)

To see if the Town will vote to reallocate Community Preservation Act funds originally authorized to be expended under Article 8 of the November 18, 2013 Fall Town Meeting to pay costs for athletic field design and engineering, which funds are no longer needed to pay costs of the project for which they were initially authorized, and Article 13 of the May 12, 2014 Annual Town Meeting the purpose of which was to pay costs of athletic field construction, which funds are no longer needed to pay costs of the project for which they were initially borrowed, to apply such funds, in the amounts of \$34,717.77 and \$160,787.07 respectively, to make improvements to the baseball field at Medway High School, 88 Summer Street, and to a new equipment storage structure at this school, or act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 7: (Land Acquisition: 54R Adams St)

To see if the Town will vote to authorize the Board of Selectmen to acquire by gift, purchase, eminent domain or otherwise and to accept the deed to the Town of a fee simple interest in all or a portion of the parcel of land located at 54 R Adams Street, Medway, Norfolk County, MA, identified on the Town of Medway Assessors Map as Map 20/Parcel 003, containing 33 acres more or less, as shown on the map filed with the Town Clerk, which land is now owned by George F. Lee and Charlotte A. Lee, upon such terms and conditions as the Board of Selectmen shall determine to be appropriate, to be used for purposes allowed by the so-called Community Preservation Act, Massachusetts General Laws Chapter 44B, to be under the management and control of said Board of Selectmen, and further, to see if the Town will vote to:

a) appropriate the sum of \$75,000.00 to pay costs of purchasing the property and \$10,000.00 for the payment of all other costs incidental and related thereto, and to determine whether this

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appropriation shall be raised by taxation, transfer from available funds, including amounts in the Community Preservation Fund, borrowing or otherwise provided;

b) authorize the Board of Selectmen to convey a permanent deed restriction with respect to this property in accordance with General Laws Chapter 44B, Section 12 and General Laws Chapter 184, Sections 31-33; and

c) authorize the Board of Selectmen and Town officers to take all related actions necessary or appropriate to carry out this acquisition, including the submission, on behalf of the Town, of any and all applications deemed necessary for grants and/or reimbursements from any state or federal programs and to receive and accept such grants or reimbursements for this purpose, and/or any other purposes in any way connected with the scope of this Article, or act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 8: (CPA Appropriation: Ecological Study of Adams St Area)

To see if the Town will vote to transfer the sum of \$6,500 from Community Preservation Act Fund Open Space Reserves to the Conservation Commission for the purpose of funding an ecological study and development of a land management plan for the Adams Street land owned by the Town and identified as parcel 29-020 on the Town of Medway Assessors' Map, and proximate Town-owned land with trails leading to Choate Park and identified as parcels 38-011, 47-032 and 39-074 on the Town of Medway Assessors' Map, or to act in any manner relating thereto.

**OPEN SPACE COMMITTEE
CONSERVATION COMMISSION**

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 9: (CPA Appropriation: Trail Design and Engineering)

To see if the Town will vote to transfer the sum of \$35,000 from Community Preservation Act Fund Open Space Reserves to the Open Space Committee for the purpose of designing and engineering a trail system from the Medway High School Athletic Fields to Lovering Street, or to act in any manner relating thereto.

OPEN SPACE COMMITTEE

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BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 10: (CPA Appropriation: Storywalk)

To see if the Town will vote to transfer \$10,000 from Community Preservation Act Fund Open Space Reserves to the Open Space Committee for the purpose of funding the placement of "Storywalk" sign stations along approximately one and a half miles of trail from the Medway High School to Choate Park, or to act in any manner relating thereto.

OPEN SPACE COMMITTEE

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 11: (CPA Appropriation: Update Parks, Open Space and Athletic Fields Master Plan)

To see if the Town will vote to transfer \$19,000 from the Community Preservation Act Fund Open Space Reserves to fund consulting, design and engineering services to update the Town of Medway's Parks, Open Space and Athletic Fields Master Plan to include improvements at Choate Park and enhance access to open space, or to act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 12: (Funding for Library Makerspace)

To see if the Town will vote to transfer the sum of \$55,000 from Certified Free Cash to fund the design, engineering and construction of a "Makerspace" at the Medway Public Library; said appropriation to be expended by June 30, 2017, with unexpended funds as of June 30, 2017 being returned to the General Fund, or to act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 13: (Prior Year Bills)

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To see if the Town will vote to transfer from the Human Resources Dept. Fiscal Year 2016 advertising account the sum of \$1,149.32 for the purpose of paying an unpaid bill of a prior year of the Town, or act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 14: (Amend General Bylaw: Penal Laws)
To see if the Town will vote to amend the Medway General Bylaws by revising Sections 12.9 (h), 12.21 (a), 12.22 (a), 12.23 (a), and 12.24 (a) in **Article XII: Penal Laws** as follows:

Maximum fine allowed: ~~\$100.00~~ **\$300.00**

Fine Schedule: First offense – Warning (*verbal or written*)
Second offense - ~~\$25.00~~ **\$100.00**
Third offense - ~~\$50.00~~ **\$200.00**
Fourth and each subsequent offense - ~~\$100.00~~ **\$300.00** maximum per day.
Each day to constitute a separate violation.

Or to act in any manner relating thereto.

BUILDING COMMISSIONER

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 15: (Amend General Bylaws: Affordable Housing Trust)
To see if the Town will vote to amend the Medway General Bylaws by revising Section 2.18 (c) 2. in **Article II** as follows:

To employ consultants and full or part-time staff, **and** to contract for administrative and support good and services, ~~and to expend up to ten percent (10%) of Trust Fund receipts for these purposes.~~

Or to act in any manner relating thereto.

MEDWAY AFFORDABLE HOUSING TRUST

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BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 16: (Street Acceptance: Pine Meadow Road and Lantern Lane)
To see if the Town will vote to accept as public ways, the following streets as laid out by the Board of Selectmen and as shown on a plan on file in the Office of the Town Clerk:

Pine Meadow Road in its entirety from Station 0+00 beginning at its intersection with Fisher Street, running easterly through to its end at Station 4+95.60 and Lantern Lane in its entirety from station 0+00 beginning at its intersection with Pine Meadow Road running northerly through to its end at Station 3+17.93 as shown on the *Street Acceptance Plan for Pine Meadow Road and Lantern Lane, Pine Meadow II Subdivision*, dated August 26, 2015 prepared by O'Driscoll Land Surveying Company of Medway, MA;

And further to authorize the Board of Selectmen to acquire by gift, purchase, eminent domain or otherwise, and to accept the deed or deeds to the Town of a fee simple interest or easements in said streets and any associated drainage, utility or other easements for said streets, and to appropriate a sum of money for this purpose and any related expenses;

And further to authorize the Board of Selectmen and town officers to take any and all related actions necessary or appropriate to carry out the purposes of this article;

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 17: (Amend Zoning Bylaw – Additional Definitions)
To see if the Town of Medway will vote to amend the Medway Zoning Bylaw, Section 2 Definitions, by inserting the following definitions in alphabetical order.

Agriculture – As defined in Massachusetts General Laws, Chapter 128, Section 1A.

Retail Bakery – An establishment engaged in the preparation and production of baked goods for direct sale to the general public.

Wholesale/Commercial Bakery – An establishment engaged in the preparation and production of baked goods for transport and sale off site. The limited retail sale of baked goods may occur as an incidental or accessory use.

Restaurant – A business establishment principally engaged in the preparation, serving, and sale

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of food and beverages to be consumed either on or off the premises, which includes indoor and/or outdoor seating and which may include wait service.

Outdoor Dining – A café, eating area, or any food service accessory to a restaurant that is open to the air and which contains readily removable tables and chairs.

Poultry – Chickens, ducks, geese, turkeys, pigeons, doves and other domestic fowl kept for eggs, meat, feathers or as pets.

Grade Plane – As defined in the latest edition of the *International Building Code* (IBC) published by International Code Council.

Gross Vehicle Weight Rating (GVWR) – The value specified by the manufacturer as the loaded weight of a single vehicle including the vehicle's chassis, body, engine, engine fluids, fuel, accessories, driver, passengers and cargo but excluding that of any trailers, as established by the National Highway Traffic Safety Administration, U.S. Department of Transportation.

And by revising the following definition. Deleted items are noted with a ~~strike through~~ and new items are noted in **bold** text.

Home Based Business – An occupation or business activity conducted **and/or managed** in whole (or in part) within a dwelling or structure accessory thereto by a person residing on the premises which results in the sale **or provision** of a product or service. ~~for financial gain.~~ A home-based business is an accessory use, incidental and subordinate to the primary residential use of the property.

And by revising the second paragraph in Section 2 Definitions as follows. New text is noted in **bold**.

Terms and words not defined herein but defined in the State Building Code **or Massachusetts General Laws** shall have the meaning given therein unless a contrary intention is clearly evident in this Zoning Bylaw. **Terms not defined in the State Building Code or Massachusetts General Laws shall have the meanings given them by the current edition of Black's Law Dictionary as determined by the Inspector of Buildings.** In addition, other sections of this Zoning Bylaw contain definitions particular to the subject matter for which they have been established.

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 18: (Revise Zoning Bylaws – Nonconforming Uses and Structures)
To see if the Town of Medway will vote to amend Section 5.5 of the Medway Zoning Bylaw as follows:

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By deleting Section 5.5. F. in its entirety and replacing it as follows. Deleted items are noted with a ~~strikethrough~~ and new items are noted in **bold** text.

CURRENT TEXT

~~F. Abandonment, Demolition, or Non-Use~~

- ~~1. Any non-conforming horticultural and floricultural use that has been abandoned, or not used for more than five years shall not be reestablished.~~
- ~~2. Any other nonconforming use which has been abandoned or not used for a period of two years, shall lose its protected status and be subject to all of the provisions of this Zoning Bylaw.~~

PROPOSED TEXT

F. Abandonment or Non-Use. Any nonconforming use that has been abandoned, or not used for more two years, shall lose any protected nonconforming status, and shall be subject to all of the provisions of this Zoning Bylaw.

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 19: (Amend Zoning Map – Multifamily Overlay District)
To see if the Town of Medway will vote to amend the Medway Zoning Map by adding the following parcel to the Multifamily Overlay District:

7 Kelley Street Medway Assessor's parcel 49-069

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 20: (Amend Zoning Bylaws – Design Review Process)
To see if the Town of Medway will vote to amend the Medway Zoning Bylaw as follows:

By deleting Section 7.2.6 A. Sign Permit, 3. Design Review and replacing it as follows:

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3. Design Review

- a. Before filing for a sign permit with the Building Inspector for any freestanding sign and for any other sign with six square feet or more of sign surface area, a sign design review application must first be made to the Design Review Committee. The Design Review Committee shall review proposed signs for compliance with the Medway Design Review Guidelines. The submittal of the application shall be in form and format as specified by the Design Review Committee.
- b. The Design Review Committee shall meet with the applicant or its representative to review the proposed sign within fifteen days of the receipt of a complete sign design review application (referred to herein as the application date). No later than thirty days from the application date, the Design Review Committee shall send its written review letter with recommendations regarding sign design to the Building Inspector. Failure of the Design Review Committee to act within thirty days shall be deemed a lack of opposition thereto. These deadlines may be extended by mutual agreement of the Design Review Committee and the applicant. Any such extension shall automatically extend the period within which the Building Inspector is required to act on a sign permit under this Section 7.2.6.

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 21: (Amend Zoning Bylaw – Sign Regulations)

To see if the Town of Medway will vote to amend the Medway Zoning Bylaw, Section 7.2 Signs as follows:

And by inserting the following to Section 7.2.1.C. Definitions 2. Types of Signs in alphabetical order:

Internally Illuminated Sign – A sign for which the source of artificial light is enclosed within or behind the sign face. Internal illumination also includes illumination designed to project light against the surface behind the sign, lettering, or graphic, also referred to as a backlit channel lettering or halo lighting.

Externally Illuminated Sign – A sign on which its message is illuminated by an external light fixture or device that casts artificial light directly onto the face of the sign which light is then reflected back to the viewer.

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And by revising Section 7.2.3 Prohibited Signs by deleting item T in its entirety and replacing it as follows. Deleted items are noted with a ~~strike through~~ and new items are noted in bold text.

- T. ~~Signs which use light emitting diodes for internal illumination. Internally illuminated signs where light emitting diodes (LEDs) are directly visible from the front of the sign except for internally illuminated free-standing signs displaying fuel prices to the extent that no more than 20 percent of the sign surface area is dedicated to illuminated fuel price information.~~

And by revising Tables 4, 6 and 7 in Section 7.2.5 as follows:

- Deleting reference to Paragraph 7. g) and replacing it with reference to 7.2.5.B.2
- Deleting reference to Paragraph 7. k) and replacing it with reference to 7.2.5.B.4
- Deleting reference to Paragraph 7. i) and replacing it with reference to 7.2.5.B.8

And by deleting Table 5 in Section 7.2.5 in its entirety and replacing it as follows. Deleted items are noted with a ~~strike through~~ and new items are noted in bold text.

TABLE 5

Commercial District I					
<i>Individual Freestanding Establishment NOT Located in a Multi-Tenant Development</i>					
	<i>Total Maximum Sign Surface Area (square feet)</i>	<i>Maximum # of Signs</i>	<i>Maximum Sign Height (feet)</i>	<i>Minimum Setback from any Street Lot Line (feet)</i>	<i>Illumination</i>
Freestanding Sign	48 not to exceed 36 per sign face	1 per establishment	8	10	External
Wall Sign	Building Sign Frontage x 1.0 not to exceed 120 per establishment	2 per establishment not to exceed 1 per building face	NA	NA	External Internal
Projecting Sign	12	1 per establishment	See Paragraph 7-g) See 7.2.5 B.2.	NA	External

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TABLE 5 – Continued

Multi-Tenant Development (On a Lot or Lots Comprised of 5 or More Acres)					
	Total Maximum Sign Surface Area (square feet)	Maximum # of Signs	Maximum Sign Height (feet)	Minimum Setback from any Street Lot Line (feet)	Illumination
Development Sign	Primary 100 not to exceed 75 per sign face <hr/> Secondary 30 not to exceed 20 per sign face	1 per approved curb cut. not to exceed 1 per street frontage. One sign shall be considered to be the primary sign and all others shall be considered to be secondary signs.	Primary 12 <hr/> Secondary 6	Primary 15 <hr/> Secondary 10	External
Individual Establishment Wall Sign	Building Sign frontage X 1.0 not to exceed 120 per establishment	3 for a freestanding establishment not to exceed 1 per façade 2 for an establishment located in a multi-unit building not to exceed 1 per façade 1 for all others	NA	NA	External Internal
Individual Establishment Projecting Sign	12	1 per establishment	See Paragraph 7-g) See 7.2.5 B.2.	NA	External
Freestanding Directory Sign	16	Per Master Signage Plan	6	See Paragraph 7-k) See 7.2.5.B.4.	External
Multi-Tenant Development (On a Lot or Lots Comprised of Less Than 5 Acres)					
Development Sign	60 not to exceed 40 per sign face	1 per development	8	10	External Indirect
Individual Establishment Wall Sign	Building Sign Frontage X 1.0 not to exceed 80 per establishment	2 for an establishment located in a multi-unit building not to exceed 1 per façade 1 for all others*	NA	NA	External Internal
Individual Establishment Projecting Sign	12	1 per establishment	See Paragraph 7-g) See 7.2.5 B.2.	NA	External
Freestanding Directory Sign	16	Per Master Signage Plan	6	See Paragraph 7-k) See 7.2.5.B.4.	External
* Unless an establishment has two or more building sign frontages. If so, see Paragraph 7-i) 7.2.5.B.8					

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And by adding Table 8 – Adaptive Use Overlay District in Section 7.2.5

TABLE 8

Adaptive Use Overlay District (AUOD) Special Permit Developments					
Individual Freestanding Establishment					
	Total Maximum Sign Surface Area (square feet)	Maximum # of Signs	Maximum Sign Height (feet)	Minimum Setback from any Street Lot Line (feet)	Illumination
Freestanding Sign	24 for a 2 sided sign; 18 for a 1 sided sign	1 per lot	6	10	External
Wall Sign	Building Sign Frontage x 1.0 not to exceed 30 per establishment*	1 per establishment	NA	NA	External
Projecting Sign	12	1 per establishment	See 7.2.5 B.2.	NA	External
Multi-Tenant Development					
	Total Maximum Sign Surface Area (square feet)	Maximum # of Signs	Maximum Sign Height (feet)	Minimum Setback from any Street Lot Line (feet)	Illumination
Development Sign	30 for a 2 sided sign; 20 for a 1 sided sign	1 per development	8	8	External
Individual Establishment Wall Sign	Building Sign Frontage x 1.0 not to exceed 20 per establishment*	1 per establishment	NA	NA	External
Individual Establishment Projecting Sign	8	1 per establishment	See 7.2.5 B.2.	NA	External
* Unless an establishment has two or more building sign frontages. If so, see 7.2.5.B.8					

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And by adding Table 9 – Business Industrial District in Section 7.2.5

TABLE 9

Business/Industrial District					
Individual Freestanding Establishment					
	Total Maximum Sign Surface Area (square feet)	Maximum # of Signs	Maximum Sign Height (feet)	Minimum Setback from any Street Lot Line (feet)	Illumination
Wall Sign	Building Sign Frontage x 1.0 not to exceed 60 per establishment*	1 per establishment	NA	NA	External Internal
Freestanding Sign	48 for a 2 sided sign; 36 for a 1 sided sign	1 per establishment	8	8	External
Projecting Sign	12	1 per establishment	See 7.2.5 B.2.	NA	External
Multi-Tenant Development					
	Total Maximum Sign Surface Area (square feet)	Maximum # of Signs	Maximum Sign Height (feet)	Minimum Setback from any Street Lot Line (feet)	Illumination
Development Sign	60 for a 2 sided sign; 40 for a 1 sided sign	1 per development plus one additional development sign may be allowed by special permit of the Zoning Board of Appeals if it determines that additional signage is necessary to facilitate safe ingress to the site.	8	8	External
Individual Establishment Wall Sign	Building Sign Frontage x 1.0 not to exceed 60 per establishment*	1 per establishment	NA	NA	External Internal
Individual Establishment Projecting Sign	8	1 per establishment	See 7.2.5 B.2.	NA	External
* Unless an establishment has two or more building sign frontages. If so, see 7.2.5.B.8					

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And by adding Table 10 – Commercial III and IV Districts in Section 7.2.5

TABLE 10

Commercial Districts III & IV					
	Total Maximum Sign Surface Area (square feet)	Maximum # of Signs	Maximum Sign Height (feet)	Minimum Setback from any Street Lot Line (feet)	Illumination
Freestanding Sign or Development Sign	40 for a 2 sided sign; 30 for a 1 sided sign	1 per lot	8	8	External
Wall Sign	Building Sign Frontage x 1.0 not to exceed 30 per establishment	1 per establishment	NA	NA	External
Projecting Sign	12	1 per establishment	See 7.2.5 B.2.	NA	External

* Unless an establishment has two or more building sign frontages. If so, see 7.2.5.B.8

And by revising Section 7.2.5 Sign Standards, Subsection A. as follows. Deleted items are noted with a ~~strike through~~ and new items are noted in **bold** text.

A. Except as may be limited under 7.2.5 above or Subsection B. below, signs which do not exceed the standards in ~~the~~ Tables 4, 5, ~~and~~ **6, 7, 8, 9, and 10** are allowed by right provided the Building Inspector issues a Sign Permit therefor. When noted in the tables, NA means not applicable.

By adding item 8. to Section 7.2.5 Sign Standards. B. Additional Requirements in Nonresidential Districts

8. When noted in the sign tables, a ground floor establishment occupying a location that provides two or more building sign frontages may have one additional wall sign. The total maximum sign surface area permitted for all wall signs per establishment shall be 2X the amount of sign surface area that is allowed by the sign standard requirement of the respective zoning district. Said factor shall be applied to the building sign frontage where the establishment’s main public entrance is located or, in the instance of a corner entrance, to the longest building sign frontage.

And by amending Section 7.2.6 Administration, A. Sign Permit, 2. Application by removing the last sentence from item 2. i. and by renaming item 2. i. to item 2. j. and by inserting a new item 2. i. as follows:

- 2. i. For any freestanding sign and for any other sign that has six square feet or more of sign surface area, a copy of the Review Letter from the Medway Design Review Committee.

Or to act in any manner relating thereto.

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PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 22: (Amend Zoning Bylaw – Schedule of Uses Table)
 To see if the Town of Medway will vote to amend the Medway Zoning Bylaw, Section 5.4 Schedule of Uses by revising Table 1: Schedule of Uses as follows: Deleted items are noted with a ~~strike through~~ and new items are noted in **bold** text.

TABLE 1: SCHEDULE OF USES										
	AR-I	AR-II	C-I	C-III	C-IV	C-V	BI	I-I	I-II	I-III
A. AGRICULTURE, CONSERVATION, RECREATION USES										
Poultry on less than 1 acre. Minimum lot size for poultry is 5,000 sq. ft. subject to Board of Health regulations.	Y	Y	N	N	N	N	N	N	N	N
Agriculture, excluding piggeries and fur farms on less than 5 acres of land, and excluding livestock and poultry on less than 44,000 sq. ft. of land.	Y	Y	N	N	N	N	N	N	N	N
Aviation	SP	SP	N	N	N	N	N	N	N	N

TABLE 1: SCHEDULE OF USES										
	AR-I	AR-II	C-I	C-III	C-IV	C-V	BI	I-I	I-II	I-III
C. RESIDENTIAL AND INSTITUTIONAL USES										
Multifamily dwellings and multifamily developments subject to 5.6.4	N	PB	N	PB	PB	N	N	N	N	N

TABLE 1: SCHEDULE OF USES										
	AR-I	AR-II	C-I	C-III	C-IV	C-V	BI	I-I	I-II	I-III
D. BUSINESS USES										
Retail Bakery	N	N	Y	Y	Y	Y	Y	N	N	N

TABLE 1: SCHEDULE OF USES										
	AR-I	AR-II	C-I	C-III	C-IV	C-V	BI	I-I	I-II	I-III
E. INDUSTRIAL AND RELATED USES										
Wholesale Bakery	N	N	N	N	N	N	N	Y	Y	Y

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

DRAFT

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 23: (Amend Zoning Bylaw – Registered Marijuana Dispensary Host Community Agreement)

To see if the Town of Medway will vote to amend the Medway Zoning Bylaw, Section 8.9 Registered Marijuana Dispensary as follows:

By adding a definition for Host Community Agreement in C. Definitions as follows.

Host Community Agreement (HCA) – A written agreement between an operator of a Registered Marijuana Dispensary and the Town of Medway that specifies measures an operator will take to anticipate, mitigate and address potential adverse impacts of the Registered Marijuana Dispensary on the Town, neighborhood, or community at large, including but not limited to public safety services and infrastructure.

And by deleting items 2. b, c, and d. in E. General Requirements and relabeling item e. to become item b.

And by adding a new sub-section P. as follows.

P. Each RMD permitted under this Zoning Bylaw shall enter into a Host Community Agreement (HCA) with the Town of Medway.

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 24: (Amend Zoning Bylaw – Home Based Business)
To see if the Town of Medway will vote to amend the Medway Zoning Bylaw, Section 8.3 Home Based Business, C. Basic Requirements as follows. Deleted text is shown as a ~~striketrough~~ and new items are noted in **bold** text.

By deleting the second sentence in item 5 in C. Basic Requirements as follows:

5. The maximum number of off-street parking spaces for employee and customer parking shall be two. ~~There shall be no outside parking of more than two commercial vehicles as defined by the Registry of Motor Vehicles in 540 CMR 4.02.~~

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And by adding a new item 6. in C. as follows:

6. There shall be no outside parking of more than two Class 3 commercial motor vehicles and no commercial motor vehicles rated Class 4 and above as defined by gross vehicle weight rating (GVWR).

And by renumbering the remaining items C. 6 – 9 to become C. 7 – 10.

And by adding the following item 11 in C.

11. The owner or operator of the home-based business shall reside on the premises.

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

ARTICLE 25: (Amend Zoning Bylaw – Adaptive Use Overlay District)
To see if the Town will vote to amend the Medway Zoning Bylaw, Section 5.6.2 Adaptive Use Overlay District, by revising D. Use Regulations, 2. Uses Allowed by Special Permit as follows. Deleted items are noted with a ~~strike through~~ and new items are noted in **bold** text.

c. Retail sales for handcrafted merchandise, original arts and crafts or copies thereof, antiques, ~~and~~ second hand goods, **gifts, clothing, accessories, and decorative home furnishings.**

d. Food services, including but not limited to bakeries, cafés, coffee shops, delicatessens, frozen dessert shops, pastry shops, ~~or~~ sandwich shops **and other specialty food items, not to exceed 3,000 sq. ft.**

And by adding a new item h.

h. Individual consumer services including but not limited to opticians, personal fitness, tailor, shoe repair, music lessons, and travel agency.

And by renumbering the existing item h. to become item i.

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION:

DRAFT

And you are hereby directed to serve this warrant by posting printed attested copies thereof at two (2) locations in each precinct at least FOURTEEN (14) days before the day of said meeting. Hereof fail not and make due return of this warrant with your doings thereon to the Clerk of said Town at or before the time of said meeting.

Given under our hands in Medway, this 19th day of October 2015.

A TRUE COPY:

SELECTMEN OF THE TOWN OF MEDWAY

John Foresto, Chairman

Maryjane White, Vice-Chairman

Richard D’Innocenzo, Clerk

Dennis Crowley, Member

Glenn Trindade, Member

DRAFT

TOWN OF MEDWAY

CONSTABLE'S RETURN OF SERVICE

I, ***Paul Trufant***, a duly qualified Constable of the Town of Medway, Massachusetts affirm and certify that I posted attested copies of the November 16, 2015 Fall Town Meeting Warrant dated October 19, 2015, in at least eight (8) places in Town, consisting of at least two (2) places in each precinct of the Town, in addition to posting an attested copy of said warrant on the principal bulletin board in the Town Hall.

Dated at Medway: _____

Paul Trufant, Constable

Visitability

A house is visitable when it meets three basic requirements:

- one zero-step entrance.
- doors with 32 inches of clear passage space.
- one bathroom on the main floor you can get into in a wheelchair.