

August 26, 2014
Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Karyl Spiller-Walsh	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	X	X	X	X	X	X

ALSO PRESENT:

Amy Sutherland, Meeting Recording Secretary
Planning Consultant, Gino Carlucci, PGC Associates
Engineering Consultant, Sean Reardon, Tetra Tech
Susy Affleck-Childs, PED Coordinator

The Chairman opened the meeting at 7:00 pm.

Discussion with Bruce Hamblin re: Open Space Committee

The Board is in receipt of the following documents (**See Attached**)

- Email communication between Susy Affleck-Childs and Bruce Hamblin dated 7/28/2014.
- Confidential email communication from Town Counsel Barbara Saint Andre dated 8/1/2014 (not included in the minutes).
- Email communications between Susy Affleck-Childs and Bruce Hamblin from 8/4/2014 – 8/15/14.
- Open Space Committee Meeting Attendance Record – Bruce Hamblin (2011-2014)

The Planning and Economic Development Board invited resident Hamblin to the meeting to discuss why he was not recently appointed to the Open Space Committee. The Chairman explained that Mr. Hamblin was not reappointed due to his attendance.

Mr. Hamblin responded that based on the PEDB minutes, the only reason for non-appointment was attendance. He further clarified that the attendance record did not include his attendance at a joint meeting with the Parks and Recreation Commission which he attended. He agrees that the attendance was mixed in 2013 but in 2014 this was his best year for attendance. He reported that he understood the Open Space Committee had no issue with him being reappointed.

Chairman Rodenhiser noted that the Open Space Committee was looking to expand the Committee. There are now six members serving. There can be nine on the committee.

Susy spoke with OSC Chairman Wright and it was suggested to appoint Bruce for a one year term provisional appointment.

Member Tucker does not want to discourage anyone from serving on a board, but obviously attendance needs to be there for quorum purposes. He recommends appointment.

The other members concur with the 1 year appointment.

Bruce informed the Board that he has worked hard to secure \$75,000 to do the canoe launch on the Charles River and it is almost done. The Board appreciates this accomplishment.

On a motion made by Bob Tucker and seconded by Matt Hayes, the Committee voted unanimously to appoint Bruce Hamblin for a one year provisional appointment through June 30, 2015.

Consultant Reports:

PGC Report:

- No new updates.

Tetra Tech Reports:

The Board is in receipt of the following documents: **(See Attached)**

- Construction Report – Cumberland Farms #10 (8-14-14)
- Construction Report – Cumberland Farms #11 (8-18-14)
- Construction Report – Cumberland Farms #12 (8-19-14)
- Construction Report – Cumberland Farms #13 (7-23-14)

The Board was made aware that Tetra Tech is overseeing five projects – Charles River Village, Middle School parking lot paving, Millstone Village, Cumberland Farms, Norwood Acres and Fox Run Farm.

Millstone Village:

They are now clearing the site and are coordinating with the Conservation Commission.

Cumberland Farms:

The Board is satisfied with how Cumberland Farms is visually shaping up. The west side of the landscaping was sparse, so another tree was brought in. The “blasted rock” outcroppings have been placed at the direction of the Design Review Committee. Cumberland Farms will be contacting the Board for sign off so they can get a Certificate of Occupancy. The contractor has been a good company to work with.

Norwood Acres:

There was a site inspection and they are in the process of grading the proposed swale alongside the gravel roadway.

Charles River Village:

There was a site visit during the last rain event. There was clear water running.

Other Business:

Zoning Bylaw Recodification (See attached)

- The Zoning Bylaw recodification effort noted a Table of Contents. This was included in the packet along with a Schedule of dates.
- The Chairman of the Zoning Board of Appeals was emailed inviting this committee to a joint meeting on Tuesday September 16, 2014. The discussion topics will be “Use Regulations and Non-Conformity.

Fox Run Farm:

Susy noted that she had been contacted by the developer of Fox Run Farm and they are interested on working for street acceptance for the fall. The Zoning Board of Appeals was amenable to relieving them of the sidewalk and street light requirement. They will be doing concrete curbing this week. A punch list and bond reduction will be coming from Tetra Tech.

Tetra Tech will check the curbing placement.

Other

- The new energy manager, Robert Weiss started yesterday.
- Holliston is hosting a meeting on Wednesday, August 27th on the addition of three traffic lights at the various three intersections. This will be at the Holliston High School.

Site Plan Pre-Application Discussion - John’s Auto Body for 25 Jayar Rd:

The Board is in receipt of the following documents: **(See Attached)**

- Preliminary Site Plan dated 7/28/2014 prepared by Faist Engineering & O’Driscoll Land Surveying.

The property owner and forthcoming applicant is John Solari who was present.

Engineer, David Faist from Faist Engineering and Dan O’Driscoll of O’Driscoll Land Surveying were also present.

David Faist summarized the project. The applicant wants to build a new 5,000 sq. ft. garage to house his trucks. He had built a garage a few years ago. The preliminary site plan was emailed to the PEDB. The property was surveyed and flagged. There is currently 6 inches of reclaimed asphalt on site. This site is very flat and water pitches back to the wetlands. There is town water and sewer. There is a 25 ft. no disturb zone around the wetlands. The applicant will be meeting with the Conservation Commission this week. There will need to be a waiver due to the aquifer. Since there is no drainage on site the applicant may need to have a filtration or catch basin with treatment. The applicant wants to leave the driveway as gravel.

In regards to parking, the zoning regulations state that with four employees, there would need to be seven spaces. They can move spaces if necessary. If the handicap space is too close to the required setback, a waiver would need to be sought. In the past application, there was a waiver from the site plan regulations. The Board does not think there is a problem waiving the parking based on the existing parking on site.

Member Spiller-Walsh wanted to know if the applicant could reduce the length of the building back 20 ft. The applicant wants to keep the length of building to accommodate the tractor trailer trucks.

The applicant was made aware that there are limitations about backing out into the street.

There will also need to be a stormwater operation and maintenance plan in place. There should be a water quality unit in case of a spill. It is like a gas trap.

This may need a Special Permit from the Zoning Board of Appeals to address the mitigation to prevent the seepage into the ground. This should be filed before the site plan. The property is in the groundwater protection area. The Consultant indicated that this will probably need to be paved.

The Board recommended that the applicant show an elevation view, landscaping and lighting. The lighting will only be building mounted. The Board would also like more information about traffic movement between the two sites.

Discussion RE: 2 Knollwood Road and 35 Milford Street:

Paul DeSimone was present to speak on behalf of the owners of 2 Knollwood and 35 Milford Street and Greg Coras, who is interested in developing 2 lots by splitting each of the noted lots.

This subdivision was approved in 1988 as a 3 lot private way subdivision. There is 21 ft. of pavement, with a cul-de-sac at the end. Mr. Desimone explained that the three deeded lots have a maintenance agreement to maintain road with each lot responsible for 1/3 of the cost. His client wants to put in two additional lots. The road as paved is wider than current private way road requirements. They are requesting a waiver to complete the additional lots without being required to install curbing or sidewalks. The water runs down into a detention basin. He would like to split Parcel A and Lot One. There would be a total of five. There are some wetlands on site.

Consultant Carlucci indicated that Knollwood Road was approved with a specific condition that no further lots be created unless further improvements are done to the roadway. This would need to be a subdivision modification application. Then the applicant would seek the waivers. It cannot be as an ANR.

It is not clear of who owns Knollwood Road.

Mr. DeSimone responded it was R& S Realty and the ownership has transferred to Bill Ronka who now owns the road. He would be rewriting the deeds so that the residents own 1/5 of road. They are not planning a homeowners association. Paul spoke with Bill and he does not want to own the road. He did not know that he had it.

The Board noted the road will need to be given to the association as a group. The client will agree to seal and repair the pavement.

There was a suggestion to put in a landscape island at the cul-de-sac.

Member Tucker disagrees that this is needed.

The Board would like an analysis of stormwater.

Public Hearing Continuation - Tri-Valley Commons Site Plan:

The Board was in receipt of the following documents: **(See Attached)**

- Email dated 8/12/ 2014 from Medway business person Holly Trufant
- Email dated 8/15/2014 from Joe Frawley at Mass DOT re: Route 109.
- Revised elevation drawing – Building A/Goodyear (undated but received 8/15/2014)
- A letter dated 8/20/2014 from Bob Poxon/Guerriere & Halnon in response to previous plan review letters from Tetra Tech and PGC Associates.
- Previous Tetra Tech review letter dated 8/6/2014
- Previous PGC review letter dated 8/7/2014
- Revised Site Layout Plan dated 8/20/2014
- Revised Site Plan Sheet (8) dated 8/20/2014
- Public Hearing Schedule – updated 8/12/104

The Chairman communicated that the stormwater will be the discussion focus for the evening.

Rich Landry, applicant and Bob Poxon, engineer were present.

Engineer Poxon reviewed the stormwater and other changes. As requested, the second phase of the plan was eliminated. The green space was noted and plans were revised. The calculations were redone to show what is proposed. The roadway going to the back of the site was kept on the plans. The stormwater calculations were redone and resubmitted. The water will be collected within catch basins, manholes and a piping system into two underground infiltration areas with perforated plastic structures which allows the water to go in and the water will discharge from pipe. The site pitches from west to east and at the bottom there is a wetland. There is a culvert which runs under Rt. 109. This is not on their property. They did not analyze the capacity of the culvert but looked at pre-development and post development drainage calculations to make sure there is no increase. All piping was designed for a 100 year storm. The pipes will be big enough for the 2, 10, and 100 year storm.

Consultant Sean Reardon wants the total acreage of calculations indicated to make sure it is consistent. He also wanted to discuss the isolated rows.

Engineer Poxon noted that he had isolated rows on the last submittal and it is in the same location but the reason it was designed this way was based on comments from previous Tetra Tech consultant Dave Pellegri.

Sean Reardon wants to make sure that oils and floatables are treated. This will need to be checked. These are just technical issues. Everything in the building should go to sewer; this is a plumbing code issue.

Member Tucker is concerned about the oil and gas spill that exceeds five gallons and how will it be handled.

Engineer Poxon responded that the stormwater design was based on comments from Tetra Tech.

There will need to be a pretreatment water quality units for the auto repair business.

The roof drains are not shown on the plan. This needs to be placed on plan. A hard pipe connection is recommended. There will need to be a grease separator if there is going to be a restaurant on site. This is a plumbing issue and this will go into the sewer.

The crosswalks meet 2% for cross slopes. Goodyear wanted to make sure that those slopes are met. Bob Poxon explained that the flow of water goes down Main Street and will be captured. The volume will increase but will be captured and will be infiltrated. The total volume of water leaving the site is less than pre-development. The pipe will control the flow. The pipe will control the rate of flow to prevent any flooding. 6.7 inches is the expected amount of water in a 100 year storm.

The invert of the culvert was noted.

Mr. David Cassidy noted that the volume is going to be higher. This water comes in quick and during the last storm, there was a lot of sediment. It will sweep out through the wall.

Engineer Poxon responded that there is very little lateral seepage. The system is surrounded by stone and these are designed so that everything goes down. Gravity pulls it down. There is an outlet pipe which controls this flow. This pipe was sized to mitigate flow into this area. There will be an 18 inch pipe to slow down the flow to mitigate and reduce flow. The volume will only increase in a 100 year storm.

Consultant Reardon responded that in this case, the right controls are in place. This design will have less volume and have right controls in place. Since the site is close to drain, it takes a long time for this to drain and the run off will get to the pipe quicker, and will not impact the system peak flow. The 2, 10 and 100 year storm events these are statistical events that do not really exist. These are terms used to help evaluate.

The system will be dry within 25 hours of a 100 year storm.

Consultant Reardon communicated that the applicant has done more than they have to do to reduce the amount of water. Tetra Tech will be watching the entire construction of the project.

The Chairman explained that the Engineers have professional certified stamps that provide certainty that what is on the plan has been reviewed and there will not be more water leaving the site.

Mr. Bob Parella from Charles River Bank communicated that in his 17 years at the bank, he has never seen water accumulate there. The proper soils will allow for proper drainage.

John Cassidy is concerned about the saturation of the low end of the property on the north side near the driving range area.

The Chairman suggested to the Cassidy family that they document what their site is like now and if this changes after the project, document it then as well.

Engineer Poxon responded that there is not going to be any drainage to the driving range. The topography shows that this does not flow up. The run off does not go uphill. It has been designed to go downstream.

Member Spiller-Walsh wanted the applicant to explain what the head wall at the culvert will look like.

This is part of Rt. 109, but it is a concrete modular block but not visible from the roadway.

Mr. David Cassidy noted that the entrance to the Medway Commons discharges on the other side of CVS. This is where the water comes across. There was an 8 inch pipe which came from the side of the hill. Mr. Cassidy indicates that he has been in front of the Planning Board in years past and the Board communicated that this was not their concern.

Member Gay communicated that FEMA has a flood zone that runs right through there.

Mr. Cassidy indicated that when Medway Commons was built, the water in the area did not change.

Long Distance Tire owner Kevin Conley wanted to know if there is an impervious surface requirement in Medway.

There is a requirement for building coverage. It is 30%. The applicant is at 11% without building F. It was 16% with Building F.

Mr. Conley said he came to the Board 18 years ago for Long Distance Tire and there were limitations then.

The Board suggested that the applicant put revision dates on plans so it is clear what plan is being referenced.

The Board is scheduled for the next public hearing on Tuesday September 2, 2014. The focus will be site, design and building. There cannot be a meeting on September 9, 2014 due to the state primary. Member Gay will sign a Mullins Rule for the next meeting. The Board will tentatively look at September 8, 2014 as a possible time. Susy needs to discuss this with GPI, the Board's traffic consultant, to determine their availability.

Signage for Goodyear was discussed. The scale is compliant with the sign regulations. The building elevation drawings that the Board was presented with were not the drawings presented at the previous Design Review Committee meeting on August 18th. These new drawings will not go to DRC prior to their letter being provided to the PEDB. The DRC's letter will be prepared based on what they were provided at the last DRC meeting. The drawings were not ready at the last DRC meeting. Extra detail was added to the building and rooflines.

The Board can consider the anticipated letter from DRC as a status letter. They would like to get a final letter also.

Member Spiller-Walsh noted that the previous plans did not resolve the bulleted list of items which the DRC had provided to Mr. Landry.

The applicant noted that this has been difficult since Goodyear is straying from their prototype. Each revision made needs to go to Goodyear. Their consultant does not see how the building design does not meet the Town's Design Review Guidelines. This has not been easy. The applicant communicated that there was a point when he was ready to walk away from project. He is over budget, and the cost to make the last round of changes effects the budget each time. He did commit to having some 3-D renderings prepared for the Board.

The Chairman noted he is trying to run a concurrent process with all the boards. Putting an automotive use in a retail area is not easy.

The applicant does not know what else he can do in regards to a design for the Goodyear building.

Member Spiller-Walsh noted this is the first time we have not dealt directly with the tenant. We are dealing with the developer.

The applicant replied that the tenant wants certain things and he needs a return on investment. The site costs are enormous. The 3-D renderings will provide a better understanding. These will be finalized by Thursday morning (8/28/14).

There was a concern about no buffering between TVC and Gould's and no sidewalks between the two sites. The access road has no pedestrian access. The access is internal to site, but not along the driveway. It would not go anywhere.

The applicant will remove the road extension since that portion of the property is not proposed for development at this time.

Member Spiller-Walsh would like to see a 40 ft. buffer with meandering sidewalks.

Consultant Reardon communicated that the applicant needs to address the driveway and parking at Papa Gino's. This area is extremely tight.

Bob Poxon said he would add parking buffers.

The applicant will look at the scheduled dates and will send it back to Susy.

There is a letter from Mass DOT and they are OK with the center turn lanes as proposed.

The Chairman attended a meeting with GPI about the project and the way the project has proposed the center turn lanes may be a better way of doing the project. There will be another meeting with Rt. 109 about the new numbers and the resolution based on the various input from GPI.

The applicant did meet with GPI, Dr. Cooper and Dunkin Donuts. All are comfortable with what is being proposed.

The Board discussed that there was a letter from GPI which has not been provided to the Planning and Economic Board. This letter describes three options for the center turn lanes. Member Hayes noted that he had received this since he was a liaison to the Rt.109 Committee. The Board would like to be forwarded on any emails which come in re: Route 109.

The Board was made aware that there is a Rt. 109 meeting on Wednesday, September 3, 2014.

Public Hearing Continuation

On a motion made by Bob Tucker, and seconded by Karyl Spiller-Walsh, the Board voted unanimously to continue the hearing for Tri-Valley to Tuesday, September 2, 2014 at 8:00pm at the Millville Senior Center.

Minutes:

August 12, 2014

The minutes from August 12, 2014 will be tabled until the next meeting.

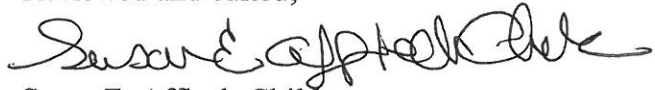
Adjourn:

On a motion made by Karyl Spiller-Walsh, and seconded by Matt Hayes, the Board voted unanimously to adjourn the meeting at 9:47 pm.

Respectfully Submitted,


Amy Sutherland
Recording Secretary

Reviewed and edited,


Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Susan Affleck-Childs

From: Bruce Hamblin <bruceh508@yahoo.com>
Sent: Monday, July 28, 2014 3:33 PM
To: Susan Affleck-Childs
Subject: Re: Medway Open Space Committee

Incredible, first you tell me that I forced the open space comm. to accept my agenda, that they and the always unnamed others didn't want the canoe launch then and are still truly upset that it has been created. but I can meet with Andy to appeal the decision. I ask for the meeting, you say you will arrange it and you never did, nor call me back as promised, but now tell me the decision is final and thank me for my work on the canoe launch. One of the selectmen contacted Andy and was told that the Pl. Bd. would be glad to reappoint me and the problem lied with the O.S.C. and I was told to contact Tina to discuss everything. I called her and am still waiting a return call from her after my call of two weeks ago. great way to treat someone. Has there been any meeting of any Board to discuss my reappointment? and why no opportunity to be heard? Send me any written record of any discussions and board votes from both the Board and the OSC .I deserve to know who is behind this whole thing before I meet with the BOS. For your information, I've contacted the A.G. office and they have indicated that towns are not allowed to discriminate against anyone whom they deem to have "inadequate" computer access. I expect that I will receive your response in a reasonable time frame and ask that you convey to Andy my disappointment with his and your failure to set up the promised meeting with him and failure to contact me in any way to advise me of same. Bruce Hamblin

On Monday, July 28, 2014 7:37 AM, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Bruce,

I am writing to follow-up on our recent telephone conversation about your involvement with the Medway Open Space Committee. At that time, I informed you that the Planning and Economic Development Board had declined to reappoint you to the Open Space Committee.

Regular attendance at meetings is an essential expectation for any board/committee member. Unfortunately, your difficulty in regularly and reliably attending Open Space Committee meetings over the past few years has created problems for the Committee's functioning and reflects a less than full commitment on your part to the Committee's mission. Further, your limited access to email has resulted in difficult communication challenges.

I do want to thank you for the work you have done to establish a canoe launch on the Charles River at Canal Street. That will be a wonderful additional access point to the Charles River for Medway residents.

Best regards,

Susy Affleck-Childs

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator

508-533-3291
155 Village Street
Medway, MA 02053

Town of Medway – ***A Massachusetts Green Community***

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Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Friday, August 15, 2014 11:52 AM
To: 'Bruce Hamblin'
Cc: Andy Rodenhiser ; Andy Rodenhiser
Subject: RE: Meeting with the Planning and Economic Development Board - August 26th
Attachments: Bruce Hamblin Attendance record - sac 8-13-2014.xlsx

Hi Bruce,

Attached is your attendance record for Open Space Committee meetings from 2011 – 2014.

Best regards,

Susy Affleck-Childs

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
508-533-3291
155 Village Street
Medway, MA 02053

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From: Bruce Hamblin [mailto:bruceh508@yahoo.com]
Sent: Wednesday, August 13, 2014 12:48 PM
To: Susan Affleck-Childs
Subject: Re: Meeting with the Planning and Economic Development Board - August 26th

that date and time will work for me. please advise me of my attendance record for the last year on the O.S.C... bruce hamblin

On Wednesday, August 13, 2014 9:01 AM, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Hi Bruce,

I am writing to follow-up on my email to you dated August 4th inviting you to meet with Planning and Economic Development Board on Tuesday, August 26, 2014 at 7 pm to discuss your involvement with the Medway Open Space Committee.

I had not heard back from you.

Please let me know if that date and time work for you. If not, we are glad to reschedule to a better date.

Thanks.

Susy Affleck-Childs

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
508-533-3291
155 Village Street
Medway, MA 02053

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From: Susan Affleck-Childs
Sent: Monday, August 04, 2014 4:53 PM
To: Bruce Hamblin
Cc: Andy Rodenhiser ; Tina Wright
Subject: Meeting with the Planning and Economic Development Board - August 26th

Hi Bruce,

I am writing to you on behalf of the Planning and Economic Development Board to invite you to attend the August 26th PEDB meeting at 7 pm at Town Hall. The PEDB has agreed to meet with you to listen to your concerns about not being reappointed to the Open Space Committee.

Does this date and time work for you? Please let me know. Thanks.

Best regards,

Susy Affleck-Childs

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
508-533-3291
155 Village Street
Medway, MA 02053

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OSC Meeting Dates		
	Bruce Hamblin	
2011		
1/4/2011	Absent	
2/8/2011	Absent	
3/1/2011	Present	
4/5/2011	Present	
5/11/2011	Absent	
7/12/2011	Present	
8/2/2011	Present	
11/10/2011	Absent	
2012		
5/1/2012	Present	
6/5/2012	Absent	
8/7/2012	Present	
9/4/2012	Present	
11/7/2012	Present	
12/4/2012	Absent	
2013		
1/2/2013	Absent	
4/2/2013	Present	
5/14/2013	Present	
6/4/2013	Present	
9/3/2013	Absent	
10/1/2013	Absent	
11/5/2013	Absent	
2014		
1/7/2014	Present	
2/4/2014	Present	
3/4/2014	Present	
4/1/2014	Absent	
5/6/2014	Present	
8/13/2014 - sac		

Project Cumberland Farms	Date 08-14-14	Report No. 10
Location Milford St. (Rt. 109)/Summer St. (Rt. 126)	Project No. 143-21583-14007	Sheet 2 of 2
Contractor Highland Development/J.B. Lanagan Kevin Leverone/John	Weather A.M. SUNNY P.M.	Temperature A.M. 75° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule

A. The contractor plans to connect the water and sewer to existing infrastructure in the roadway early next week. TT asked that the contractor contact the water and sewer department during connections to the existing mains in the roadway. All excavations will be backfilled with flowable fill.

3. New Action Items

A. N/A

4. Previous Open Action Items

A. The Design Review Committee shall inspect and choose 5 largest boulders for use as rock outcropping. All other boulders will be crushed and used as gravel. *The DRC visited the project site and selected the blasted rock for use in the landscaping.*

5. Materials Delivered to Site Since Last Inspection:

A. N/A

Tetra Tech
 One Grant Street
 Framingham, MA 01701

Project Cumberland Farms	Date 08-19-14	Report No. 12
Location Milford St. (Rt. 109)/Summer St. (Rt. 126)	Project No. 143-21583-14007	Sheet 1 of 2
Contractor Highland Development/J.B. Lanagan Kevin Leverone/John	Weather A.M. SUNNY P.M.	Temperature A.M. 75° P.M.

FIELD OBSERVATIONS

On Tuesday, August 19, 2014 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. TT was on-site to observe the installation of 2-inch water service connection to the existing 6-inch water main located in Summer Street. The contractor tapped the existing 6-inch water main and installed a corporation stop. The contractor installed 2-inch copper tubing from the corporation stop to the curb stop which was installed at the property line of the Cumberland Farms property. The water department was on-site to witness the water service being turned on. The service was backfilled with sand in the pipe zone and warning tape placed. The excavation was then backfilled with flowable fill within the limits of the town's right-of-way and plated.
- B. The trench in the roadway from the connection of the proposed drainage system to the existing manhole in Summer Street was backfilled with flowable fill and plated.
- C. The contractor was removing boulders from the site in preparation to continue the installation of the proposed landscaping.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't					Dept. or Company	Description of Work
Foreman		Bulldozer		Asphalt Paver		
Laborers	1	Backhoe		Asphalt Reclaimer		
Drivers		Loader	1	Vib. Roller		
Oper. Engr.	1	Rubber Tire Backhoe/Loader		Static Roller		
Carpenters		Bobcat		Vib. Walk Comp.		
Masons		Hoeram		Compressor		
Iron Workers		Excavator	1	Jack Hammer		
Electricians		Grader		Power Saw		
Flag persons		Crane		Conc. Vib.		
Surveyors		Scraper		Tree Remover		
		Conc. Mixer		Chipper		
		Conc. Truck		Screener		
		Pickup Truck		Drill Rig	Medway Water Dept.	
		Dump Truck 6 Whl		Boom Lift		
		Dump Truck 10 Whl		Water Tank		
		Dump Truck 14 Whl		Lull		
		Dump Truck 18 Whl	1	Gradall		

OFFICIAL VISITORS TO JOB

Police Details: 1	RESIDENT REPRESENTATIVE FORCE	
Time on site: 8:00 A.M. – 12:30 P.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative: Steve Bouley	

Project Cumberland Farms	Date 08-19-14	Report No. 12
Location Milford St. (Rt. 109)/Summer St. (Rt. 126)	Project No. 143-21583-14007	Sheet 2 of 2
Contractor Highland Development/J.B. Lanagan Kevin Leverone/John	Weather A.M. SUNNY P.M.	Temperature A.M. 75° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. The contractor plans to patch the roadway later this week and begin the installation of the proposed French drain.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. N/A

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Medway Zoning Bylaw
Suggested Alternative Format
Table of Contents

ARTICLE 1: GENERAL PROVISIONS

- 1-A Purposes
- 1-B Authority
- 1-C Applicability
- 1-D Amendment
- 1-E Severability

ARTICLE 2: DEFINITIONS

ARTICLE 3: ADMINISTRATION

- 3-A Building Permit
- 3-B Board of Appeals
- 3-C Special Permits
- 3-D Site Plan Review
- 3-E Design Review
- 3-F Enforcement

ARTICLE 4: ESTABLISHMENT OF DISTRICTS

- 4-A Districts Enumerated
- 4-B Overlay Districts
- 4-C Zoning Map
- 4-D Lots Divided By District Boundaries

ARTICLE 5: USE REGULATIONS

- 5-A General Provisions
- 5-B Prohibited Uses
- 5-C Exempt Uses
- 5-D Schedule of Uses¹
 - 1) Agricultural-Residential I
 - 2) Agricultural-Residential II
 - 3) Commercial I
 - 4) Commercial III
 - 5) Commercial IV
 - 6) Commercial V
 - 7) Industrial I
 - 8) Industrial II
 - 9) Industrial III
- 5-E Nonconforming Uses and Structures
- 5-F Overlay Districts

¹ This TOC assumes that Medway wants to keep its existing “outline” approach to use regulations and not convert to a Table of Uses. Either method is fine.

ARTICLE 6: DENSITY AND DIMENSIONAL REGULATIONS

- 6-A General Provisions
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ARTICLE 7: GENERAL REGULATIONS

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- 7-B Landscaping.
- 7-C Outdoor Lighting.
- 7-D Signs.

ARTICLE 8: SPECIAL REGULATIONS

- 8-A OSRD.
- 8-B Affordable Housing.
- 5-A Home-Based Businesses
- 5-B Infill Housing
- 5-A Wireless Communications Facilities
- 5-B Small Wind Generation

Medway Zoning Bylaw Recodification - Schedule

General Discussion	7/29/2014	
Article I - Purpose	8/19/2014	Extra Mtg
Article 4 - Districts	8/19/2014	Extra Mtg
Article 5 - Use Regulations (except Non-Conformities)	9/6/2014	Saturday mtg
Article 6 -	9/6/2014	Saturday mtg
Article 5 - Use Regulations (Non-Conformities)	9/16/2014	Extra Mtg - Invite ZBA
Article 3 - Administration (3A, 3B, 3C, 3F)	9/16/2014	Extra Mtg - Invite ZBA
Article 7 - ??	9/23/2014	Regular Mtg
Article 8 - ??	9/23/2014	Regular Mtg
Article 3 - Administration (3D, 3E)	9/30/2014	Extra Mtg
BOS Meeting	10/6/2014	
Article 2 - Definitions	10/7/2014	Extra Mtg
Send Legal Ad to Milford Daily News	by 10/7/2014	To run on 10/13 and 10/21/14
Post Public Hearing Notice with Town Clerk & to TOM web page	by 10/13/2014	
Review Consolidated Draft	10/14/2014	Regular Mtg
BOS Meeting	10/20/2021	
Review Revised Consolidated Draft	10/21/2014	Extra Mtg
PEDB Public Hearing	10/28/2014	Regular Mtg
File Document with Town Clerk & BOS for warrant	TBD	
PEDB votes it recommendation to Town Mtg	TBD	
Town Meeting	11/10/2014	
<i>revised 8-21-2014</i>		



August 26, 2014

**Medway Planning & Economic Development Board
Meeting**

Appointment – 7:30 p.m.

**Site Plan Pre-Application Discussion
John's Auto Body for 25 Jayar Road**

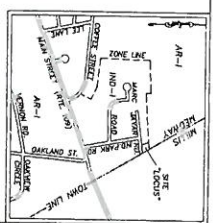
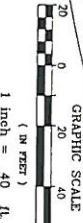
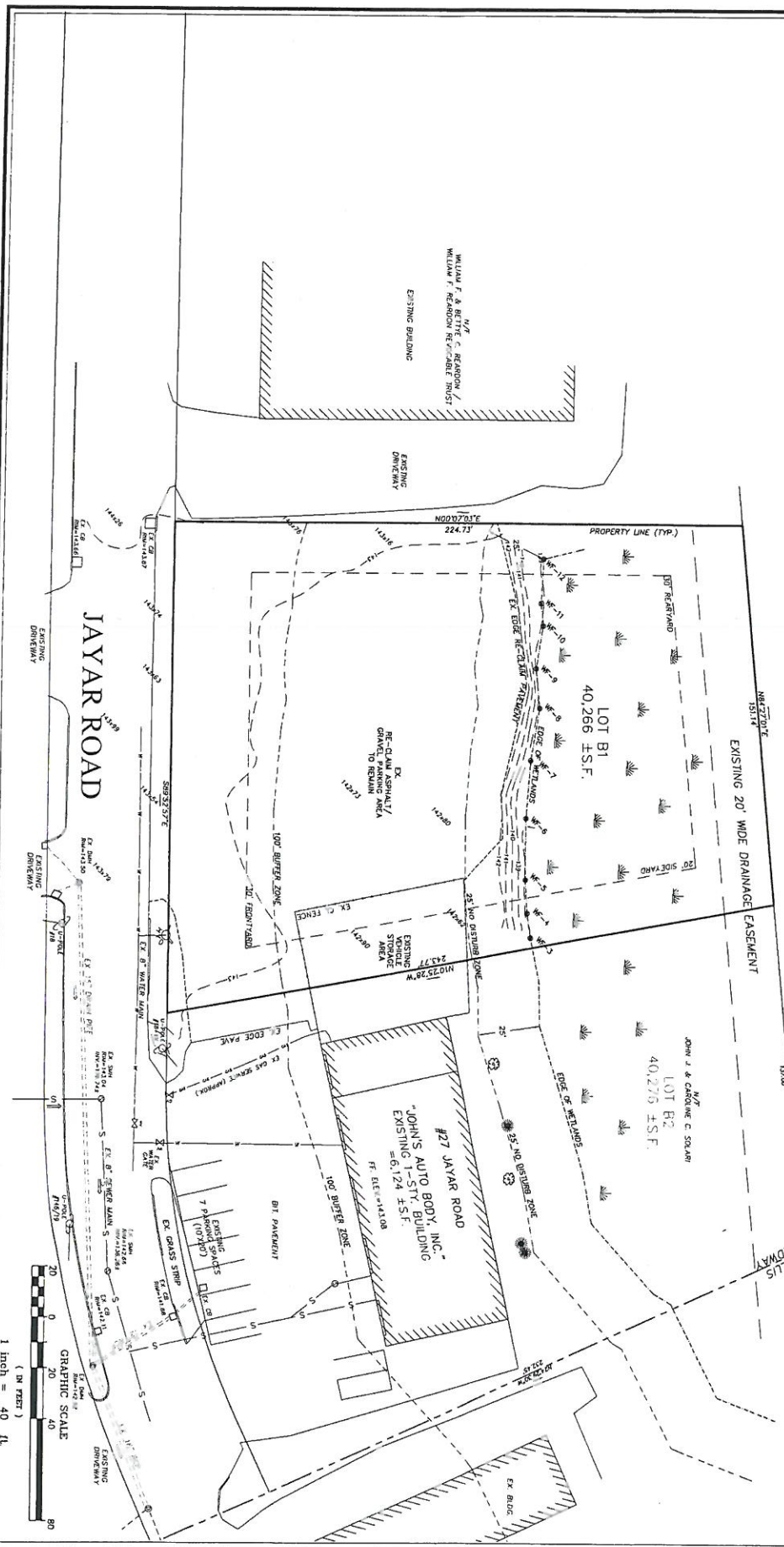
- Existing Conditions and Preliminary Site Plan dated 7/28/2014 prepared by Faist Engineering & O'Driscoll Land Surveying

ZONING INFORMATION TABLE - MEDWAY, MA
 #25 JAYAR ROAD

APPLICANT / CURRENT OWNER:	JOHN J. & CAROLINE C. SOLARI 18 WINTHROP STREET MEDWAY, MA 02053 PHONE: (508) 533-2800
ASSESSOR'S MAP ID:	24-013 DEED: BK 14144 PG 371
ZONING:	INDUSTRIAL I
EXISTING USE:	PARKING AREA FOR ADJACENT AUTO REPAIR BUSINESS
PROPOSED USE:	5,000 S.F. ACCESSORY BUILDING TO AUTO REPAIR BUSINESS & ASSOCIATED PARKING

LEGEND

MC	MOULDED CONCRETE
N/T	NOT FOUND
EX	EXISTING
PROG	PROPOSED
MB	MANHOLE
SM	SEWER MANHOLE
SD	SEWER DRAINAGE
300	EXISTING CONCRETE LINE
TO	UTILITY POLE
BR	BUILDINGS
CONC	CONCRETE
CCB	CAST CONCRETE
CG	GRAVEL DRIVEWAY
D	DRIVEWAY
LI	LIGHT POST



EC-1

EXISTING CONDITIONS
 JOHN'S AUTO BODY, INC.
 25 JAYAR ROAD
 MEDWAY, MA

DATE ISSUED: 7/28/14
 DWG. SCALE: 1"=40'
 DRAWN BY: DO/DF
 REVIEWED BY: DTF
 PROJECT NO: JOH-2014

REVISIONS PER:	DATE:

FAIST ENGINEERING, INC.
 #67 HALL ROAD STURBRIDGE, MA 01566
 Phone: (508) 351-6802 Fax: (508) 351-6803
 O'BRISCOLL
 LAND SURVEYING Co.
 48 CENTRAL STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-1000

Susan Affleck-Childs

From: HOLLY TRUFANT <trufant1@verizon.net>
Sent: Tuesday, August 12, 2014 7:23 PM
To: Planning Board
Subject: trivalley commons

Tri Valley Commons Site Plan
#72 - #74 Main Street

To whom it may concern:

My name is Holly Trufant and writing this e-mail/letter because I am unable to make tonight's meeting. I am the current owner/operator of Flair Cut @ #79 Main Street. I have worked @ Flair Cut for 26 years, owning it for the last 6. In that time, traffic has always been an issue, very difficult pulling in and out, obviously more so at the (3) rush hours, morning - noon - evening. My concern is that the traffic will worsen, in turn, leaving my clients in debate on going to another local salon that is more convenient. I am hoping that both the developer and the planning board will do diligence and come up with a design, that the impact to the already tough traffic situation will be as minimal as possible.

Thanks for your consideration,

Holly Trufant

Click to reply all

Send

Brighten your day.

Susan Affleck-Childs

From: Richard Landry <rl@landryarchitects.com>
Sent: Friday, August 15, 2014 10:37 AM
To: Susan Affleck-Childs
Subject: Fwd: Medway - follow up from meeting

Sent from my iPhone

Begin forwarded message:

From: "Frawley, Joseph (DOT)" <joseph.frawley@state.ma.us>
Date: August 15, 2014 at 10:06:58 AM EDT
To: "'ronmuller@RonMullerAssociates.com'" <ronmuller@RonMullerAssociates.com>
Cc: "'David Damico'" <ddamico@townofmedway.org>, John Diaz <jdiaz@gpinet.com>, Rich Landry <RL@LandryArchitects.com>, "Risotti, Stephen (DOT)" <stephen.risotti@state.ma.us>, "Goodale, Ross A (DOT)" <ross.a.goodale@state.ma.us>, "Emerick, Thomas (DOT)" <thomas.emerick@state.ma.us>
Subject: RE: Medway - follow up from meeting

Ron,

We have reviewed the revised concept plan you provided, and feel that the proposed 13-foot wide two-way left-turn lane (TWLTL) is acceptable.

As you work with the Town and GPI to finalize the plan, we want to ensure that the design addresses the following two concerns:

- 1) Please verify that the plan to create the 13-foot wide TWLTL by widening Route 109 on the north side only will have no additional impacts to the utilities on the south side of Route 109.
- 2) Please verify that the design of the wall on the north side of Route 109 east of the proposed Tri-Valley Commons site driveway will not change.

If you have any questions as you work to finalize the plan, please feel free to call or email me.

Thanks,
Joe

Joseph R. Frawley, P.E.
District 3 Traffic Operations Engineer
Massachusetts Department of Transportation, Highway Division
P: (508) 929-3916
F: (508) 799-9763
Joseph.frawley@state.ma.us

From: Ron Muller [<mailto:ronmuller@RonMullerAssociates.com>]
Sent: Tuesday, July 29, 2014 12:42 PM
To: Frawley, Joseph (DOT)

Cc: 'David Damico'; John Diaz; Rich Landry
Subject: RE: Medway - follow up from meeting

Hi Joe - attached is the revised concept plan showing the 13-foot wide TWLTL by widening Route 109 on the north side only. Please let me know your thoughts.

Thanks
Ron

Ron Müller & Associates

Traffic Engineering and Consulting Services

56 Teresa Road, Hopkinton, MA 01748

P: (508) 395-1576

F: (508) 435-2481

Email: ronmuller@RonMullerAssociates.com

www.RonMullerAssociates.com

From: Ron Muller [<mailto:ronmuller@RonMullerAssociates.com>]
Sent: Monday, July 28, 2014 12:34 PM
To: 'Frawley, Joseph (DOT)'
Cc: 'David Damico'; John Diaz (jdiaz@gpinet.com); Rich Landry (RL@LandryArchitects.com)
Subject: Medway - follow up from meeting

Hi Joe - as requested at our meeting regarding the design changes for Route 109, I researched the standards that other states use in designing two way left turn lanes (TWLTL). Attached are standards from Connecticut and Rhode Island. New Hampshire did not have any guidance on the width. As you can see, CT has a recommended width of 14 feet with a 12-foot minimum. Rhode Island uses 12 feet as the minimum standard with 16 feet as the maximum. Coupled with the MassDOT Project Development and Design Guide, they all have 12 feet as the minimum standard for TWLTLs and they all recommend greater widths when possible. I think this supports going with the 13-foot lane width we discussed.

I am preparing a revised concept plan to depict this design and will forward to you shortly. Please let me know if you have any questions.

Thanks
Ron

Ron Müller & Associates

Traffic Engineering and Consulting Services

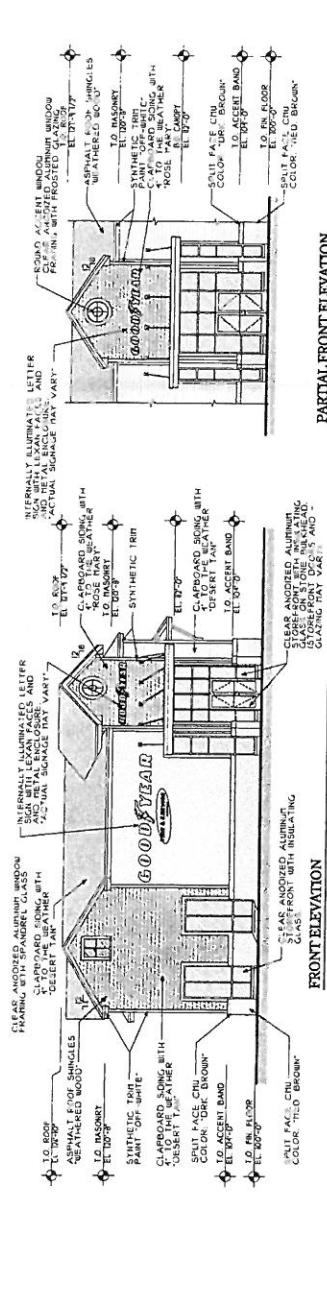
56 Teresa Road, Hopkinton, MA 01748

P: (508) 395-1576

F: (508) 435-2481

Email: ronmuller@RonMullerAssociates.com

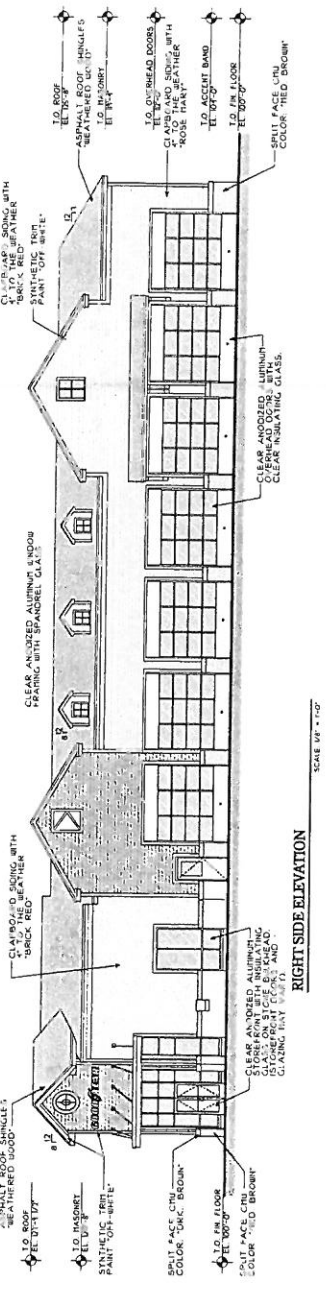
www.RonMullerAssociates.com



FRONT ELEVATION
SCALE 1/8" = 1'-0"

PARTIAL FRONT ELEVATION
SCALE 1/8" = 1'-0"

RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"

RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"

6. SCHEMATIC COLOR ELEVATIONS

MA-ME-038-13-GASC

LANDRY ARCHITECTS



**Guerriere &
Halnon, Inc.**
ENGINEERING & LAND SURVEYING
www.guerriereandhalnon.com

Est. 1972

G-9421

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333 West Street
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Milford, MA 01757-0235
Phone (508) 473-6630
Fax (508) 473-8243

Franklin Office
55 West Central Street
Franklin, MA 02038-2101
Phone (508) 528-3221
Fax (508) 528-7921

Whitinsville Office
1029 Providence Road
Whitinsville, MA 01588-2121
Phone (508) 234-6834
Fax (508) 234-6723

August 20, 2014

Mr. Andy Rodenhiser, Chairman
Medway Planning and Economic Development Board
Medway Town Hall
155 Village Street
Medway, MA 02053

RE: Tri Valley Commons

Dear Mr. Rodenhiser;

The following is in response to the project review letters prepared by PGC Associates, dated August 7, 2014, and Tetra Tech, dated August 6, 2014.

PGC Associates, Inc.

Zoning

4. A bike rack has been added to the plans
5. The parallel parking spaces have been revised.
6. The photometrics plan is being revised, but is not yet available for review.
7. The sign location has been revised so as to be in compliance. The setback distance has been added.

Site Plan Rules and Regulations

3. No response.
4. No response.
5. No response.
6. No response.
7. The Building A dimensions have been added to the plans.
8. All parking spaces have been dimensioned. A curb radii table has been added to Sheet 3.
9. No response
- 10 No response.
11. The sign design will be submitted at a future date.

12. The photometrics plan is being revised to address the potential spillover. Illumination times cannot be fully determined until all tenants are known; however, we do not expect lights to remain on after midnight.
13. No response.
14. An additional waiver will be requested.
15. Pedestrian walkways have been added to the plans.
16. No response.
17. No response.
18. No response.
19. No response.
20. While the applicant still plans on removing snow from the site, a snow storage area has been added to the plans.
21. The landscape plan is being revised.
22. No response.

Tetra Tech

Conformance with Medway Zoning By-Laws Section V:

- 1) The photometrics plan is being revised.

Conformance with Planning Board Rules and Regulations for Submission and Review of Site Plans (Chapter 200):

- 2) No response
- 3) No response
- 4) Note 3 on Sheet 4 attests to this.
- 5) No response
- 6) A curb radii table has been added to Sheet 3.
- 7) No response.
- 8) No response
- 9) See traffic report.
- 10) A snow storage area has been added to the plans.
- 11) The photometrics plan is being revised to comply.
- 12) No response
- 13)
 - a. The details have been revised.
 - b. The detail has been revised.
 - c. This detail was taken from the Medway Water and Sewer Regulations
 - d. This detail was taken from the Medway Water and Sewer Regulations

Stormwater

14 & 15) The Stormwater Report, Drainage Analysis and the Drainage Area Plans have been revised.

Water and Sewer

16) A note has been added to Sheet 4.

Other

17) All sidewalks are proposed to be concrete.

18) A note has been added to Sheet 4.

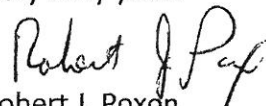
19) Notes 20 and 21 on Sheet 4 address this.

20) These locations will be designed by others and provided at a later date.

21) The drainage structures have been added to the grading plan.

I look forward to further discussion of the project at your meeting of August 26th.

Very truly yours


Robert J. Poxon
Project Engineer



TETRA TECH

August 6, 2014

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Tri Valley Commons
72 Main Street
Site Plan Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs,

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above mentioned project. The project includes the construction of four (4) new buildings of an area of 30,760 sf on a 4.6 ac site. The project also proposes to construct 142 parking spaces, a joint driveway entrance/exit (adjoining side property line) and a new curb cut on Route 109. New utility services will be constructed to accommodate the improvements. The stormwater design will consist of catch-basins and manholes that outlet to underground detention basins and then to wetland prior to flowing off-site.

TT is in receipt of the following materials:

- A plan (Plans) set entitled "Tri Valley Commons, A Site Plan in Medway, Massachusetts, 72 Main Street", dated May 20, 2014, prepared by Guerriere & Halnon, Inc. (GHI).
- A stormwater management report entitled "Stormwater Report, Tri Valley Commons, Medway, MA" dated May 20, 2013, prepared by GHI
- A description (Projection Description) entitled "Project Description, Tri Valley Commons" prepared by GHI
- A form (Application Forms) set entitled "Application for Review and Approval, Major Site Plan Project", dated July 16, 2014, prepared by GHI
- A form (Form Q) set entitled "Medway Planning and Economic Development Board, Form Q - Request for Waiver from Rules and Regulations", dated July 2, 2014, prepared by GHI.

The Plans, Drainage Report and accompanying materials were reviewed for conformance with the Town of Medway, Massachusetts Planning Board Regulations, the MA DEP Storm Water Management Standards (Revised January 2008), Town of Medway Water/Sewer Department Rules and Regulations, and good engineering practice. The following is a list of

comments generated during the review of the design documents. Reference to the applicable regulation requirement is given in parentheses following the comments.

Conformance with Medway Zoning By-Laws Section V:

- 1) Foot-candle readings at property lines between residential and non-residential properties shall not exceed 0.01 foot candles at any elevation. (Zoning §Section V-B.6.e.1)

Conformance with Planning Board Rules and Regulations for Submission and Review of Site Plans (Chapter 200):

- 2) The site plan shall be prepared, stamped, signed and dated by qualified professionals including a Registered Architect and/or Registered Landscape Architect in the Commonwealth of Massachusetts. (Ch. 200 §204-4.A)
- 3) The Applicant requested a waiver for the site plan to be drawn at a scale of one (1) inch equals forty (40) feet or such other scale that has been approved in advance by the Planning Board and that clearly and adequately represents the proposed improvements (Ch. 200 §204-4.B)
- 4) The Applicant shall verify on the plan set that all existing and proposed elevations refer to the North American Vertical Datum of 1988 (NAVD88). (Ch. 200 §204-4.D)
- 5) The Applicant requested a waiver for an Existing Landscape Inventory. (Ch. 200 §204-5.C-3)
- 6) Location and dimensions of proposed parking, including lot line setbacks, access lanes and curb radii. (Ch. 200 §204-5.D-2)
- 7) The Applicant shall provide a Building Layout/Floor Plan. (Ch. 200 §204-5.D-10)
- 8) The Applicant shall provide an Entry/Exit to Structures. (Ch. 200 §204-5.D-11)
- 9) Horizontal sight distances on the public way(s) at all entrances in both directions shall be provided (Ch. 200 §204-5.D-14)
- 10) The site must be designed to accommodate adequate snow storage for snow that is plowed from the paved parking and pedestrian areas. Snow storage areas shall be shown on the plan set. (Ch. 200 §205-7)
- 11) No light fixture shall be over twenty (20) feet in height. Overly bright lighting must be avoided. (Ch. 200 §205-8.C)

- 12) The Applicant requested a waiver for Tree Replacement (Ch. 200 §205-9.F)
- 13) Construction Standards — The requirements and construction standards of the *Rules and Regulations for the Subdivision of Land in Medway* shall be adhered to in matters not covered specifically by these *Site Plan Rules and Regulations*. Design and construction details not covered by either these *Rules and Regulations* or the *Subdivision Regulations* shall follow accepted engineering, construction, and landscape architectural practice.
 - a. Typical Precast Concrete Curb, Typical Concrete Walk-Curb Detail and Typical Vertical Granite Curb Detail to have a 7" reveal similar to Vertical Granite Curb detail. (Medway Construction Details, CD-12)
 - b. Precast Concrete Drain Manhole — Crushed Stone Base to be 12" Min. (Medway Construction Details, CD-21)
 - c. Water Main Plug and Water Main Tee refer to Concrete Thrust Block Detail (Medway Construction Details, CD-28)
 - d. Hydrant Detail to meet or exceed Town of Medway Hydrant Detail. (Medway Construction Details, CD-29)

The following items were found to be not in conformance with the MA DEP Storm Water Management Standards, or requiring additional information:

- 14) The table provided in the report for standard 3 states that the hydrologic soil group (HSG) for the site is "HSG C" soils. The recharge volume calculations use the "volume to recharge" as 0.35 inches of runoff which corresponds to "HSG B" soils. The Applicant should clarify which HSL soils underlay the site.
- 15) The Pre- and Post- inflow areas do not match. The pre-development inflow area is 4.60ac and post-development area is 3.88ac. The Applicant should clarify where all areas of the developed site are discharging. Missing areas should be added to the Hydro CAD model.

The following items were found to be not in conformance with the Town of Medway Water/Sewer Rules and Regulations:

- 16) The Applicant shall add note "Plumbers and drain layers of established reputation and experience will be licensed by the Board as Drain Layers authorized to perform work." (Article 111-2)

The following items were found to be not in conformance with good engineering practice or requiring additional information:

- 17) Are all of the sidewalks on the site proposed to be cement concrete?
- 18) The Applicant shall verify the siltation basket is also being used outside the property as well.
- 19) What type of pipe material is being used for the drain and gas line?
- 20) Are there electrical and communication lines provided to the building?
- 21) It may be beneficial to include the drainage infrastructure on the grading plan to help clarify where runoff will enter the system. It is difficult to review drainage infrastructure without grading.

These comments are offered as guides for use during the Town's review. If you have any questions or comments, please feel free to contact us at (508) 903-2000.

Very truly yours,

A handwritten signature in black ink, appearing to read 'S. P. Reardon', with a long horizontal flourish extending to the right.

Sean P. Reardon, P.E.
Vice President

PGC ASSOCIATES, INC.

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

August 7, 2014

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

Re: **Tri-Valley Commons Site Plan**

Dear Mr. Rodenhiser:

I have reviewed the proposed site plan submitted by Thurken III LLC of New Castle, NH. The owners are Mecoba Properties, Inc. of Medway and Nagog Knoll Realty Trust of Acton.

The proposal is to construct a retail shopping center with 4 buildings totaling 37,760 square feet, plus associated parking, drainage, landscaping, etc. The plan was prepared by a team including Landry Architects of Salem, NH (architecture), and Guerriere and Halnon, Inc. (civil engineering) of Franklin. The plan is dated May 20, 2014.

The property is located at 72 Main Street in the Commercial I zoning district. I have comments as follows:

Zoning

1. The proposed use is a shopping center with retail, vehicle repair and restaurant uses. The retail and restaurant uses are allowed by right in the C-1 district. The shopping center and vehicle repair uses require a special permit from the ZBA, which have been applied for. The proposed development complies with the dimensional requirements of the Zoning Bylaw.
2. The plan proposes 142 parking spaces, including 11 van-accessible handicapped spaces. The plan includes a table illustrating how the number of spaces was calculated. The calculation indicates that 114 spaces are required. It indicates that 81 spaces are required for Phase I, and 90 are provided, and that 33 are required for Phase II and 52 are being provided. It should be noted that the calculations are based on net usable area. Since floor plans with spaces labeled were not provided, it is not possible to verify these figures.
3. While not identified on the plan, it appears that 12 of the spaces will be compact spaces. Sub-section V. B. 6. (d) (2) allows for compact spaces, but states that the compact spaces shall always constitute a minimum of 50% of the spaces, distributed proportionately, in closest proximity to a facility entrance. The 12 compact spaces represent 100% of the closest spaces to Building E so they comply with the bylaw.

4. Sub-section V.H.10 requires 1 bicycle space per 20 required parking spaces. If 114 spaces are required, then a rack or racks for 6 bicycle spaces needs to be provided.
5. S Sub-section V.H.7 (c) requires parallel parking spaces to be 8 feet wide by 22 feet long. There are three parallel parking spaces in front of Building B that are only 20 feet long.
6. Section V. B. 7. (e) (1) states that light trespass onto any abutting street or lot is not permitted. There is a slight light trespass from the site that reaches a maximum of 2.9 foot-candles onto the lot to the west, and 2.2 foot-candles on the Main Street right-of-way at the proposed entrance to the shopping center. This may be a less of an issue in this case since a common entrance is proposed that would serve the abutting property as well and since the abutting property owner is a co-applicant and that property is part of the site plan, it is not technically an "abutting" property but a part of the submitted site plan. The spillage onto Main Street occurs primarily at the intersection with the proposed common entrance. While additional light in this vicinity may be a positive, it does not strictly meet the bylaw requirement that there be no light trespass on any street. A special permit from ZBA would be needed to exceed the lighting limits specified on the bylaw.
7. A location for a development sign for the project is shown on the plan. However, no details on the design of the sign have been provided so it is not clear whether the sign meets the requirements of the Zoning Bylaw. The location appears to meet the 10-foot setback from a street right-of-way requirement but there is no dimension on the plan to document this.

Site Plan Rules and Regulations

3. Section 204.3 A. (7) requires a Development Impact Report. A 1-page report was provided, and a waiver from this requirement is requested.
4. Section 204-5 A requires certain information on the cover sheet of a plan set. The cover sheet is missing a table listing plan revisions (though the table is on other sheets). A list of waivers being requested is shown on the cover sheet as required, but the list is not consistent with the separate list and justification for waivers that was also submitted.
5. Section 204-5 B requires a Site Context Sheet. This was not provided. It should be noted, however, that much of the required information is shown on the Existing Conditions sheet. A locus is on the cover sheet and there are no groundwater protection districts or flood plains on the site.
6. Section 204-5 C. (3). The Existing Conditions Sheet also does not include an Existing Landscape Inventory prepared by a Landscape Architect. A waiver from this requirement is requested. Other information required to be on the Existing Conditions sheet are natural features, swales, areas of high water table (water table levels are shown on the Site Utilities sheet), and natural drainage courses.

7. Section 204-5 D (1) requires that dimensions of buildings and setbacks be on the plan. The dimensions of Building A were not entirely provided. The building is not regular and only two dimensions were shown for this building and not all setback distances were shown.
8. Section 204-5 D (2) requires that dimensions of parking spaces and loading/unloading areas and setbacks be provided. Dimensions for the standard spaces only are provided in a note. Setbacks have not been provided and as noted above the parallel spaces do not comply with the dimensional requirements. Curb radii are also not provided.
9. Section 204-5 D (5) requires an erosion control plan. An erosion control plan has been provided. Due to the slope of the site and the proximity to wetlands, it may be desirable to add a temporary detention basin to the plan. It also may be desirable to designate stockpile and staging areas to the plan.
10. Section 204-5 D (8) and (9) require an architectural plan with dimensions and details of façade designs of each building including specifications on style, materials and colors from all elevations as well as color renderings of the buildings and signage, as well as with views from public ways and other locations. Elevations have been provided. It is not clear if some of the required drawings and renderings and views have been provided to the Design Review Committee.
11. Section 204-5 D. (12) requires a signage plan indicating the design, location, materials, dimensions and lighting of all signs within the development. This has not been provided. As stated above, a development sign is shown on the plans but no details about the sign have been provided. Building signs are also shown in a generic manner on the elevations of the buildings. Also, a detailed list of sign standards for tenants is also required as part of the signage plan.
12. Section 204-5 D. (13) requires a lighting plan. A lighting plan has been provided. The photometric diagram indicates appropriate lighting levels but with some spillover to an abutting property and Main Street. Also, no information on times of illumination was provided.
13. Section 205-3 A encourages minimizing curb cuts. The proposed project does this by proposing a shared access with the abutting property. However, it is not clear from the plans what the impact of the shared access will have on the existing access to the Gould's Plaza site.
14. Section 205-3 B requires that driveways be set back at least 15 feet from a side lot line. The proposed access road does not meet this but is actually a better and more efficient solution. However, a waiver should be requested.
15. Section 205-3 C requires safe and convenient pedestrian and vehicular access both within the site and between the site and other buildings. Section 205-3 D requires pedestrian-friendly connections and crosswalks with different materials. No pedestrian facilities are provided except for sidewalks directly in front of buildings. No sidewalks or crosswalks between buildings, between the site and the sidewalk along the frontage or to abutting properties are provided.

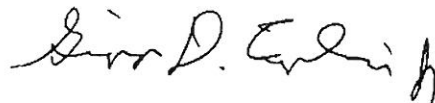
16. Section 205-6 A states that parking “should” be located to the side and rear of the building. This is not an absolute requirement. Some parking is located in front of the buildings facing Main Street.
17. Section 205-6 B requires pedestrian walkways through parking lots to have protection in the form of barriers or bollards or crosswalk striping. No pedestrian walkways through the parking areas are shown though the project consists of 4 separate buildings and presumably there will be pedestrian traffic between them (See Comment #15).
18. Section 205-6 G requires parking spaces to be 10’ x 20.’ This conflicts with the requirement of the Zoning Bylaw and a waiver has been requested.
19. Section 205-6 (H) requires “vertical granite curbing or similar type of edge treatment” around the perimeter of a parking lot. The plan proposes a concrete curb and a waiver is requested. The Board can judge whether concrete curb is similar and if so, no waiver would be needed.
20. Section 205-7 requires that snow storage areas be provided. No snow storage areas have been designated on the plan, but a note indicates that snow will be removed from the site.
21. Section 205-9 C requires that there be substantial landscaped islands within parking lots to reduce the “sea of asphalt” effect. More specifically, Section 209-6 C requires at least 1 deciduous tree per 6 spaces and only trees that provide shade to the parking area are to count toward this requirement. With 142 spaces, 24 trees are required. The landscape plan indicates that this number is exceeded. However, almost all of them are on the western half of the site with few on the eastern side.

General Comments

22. A retaining wall with a height of 22 feet is proposed. The height and length have been significantly reduced from a previous proposal. However, more details on wall construction and aesthetics as well as any proposed mitigation measures should be provided.

If there are any questions about these comments, please call or e-mail me.

Sincerely,



Gino D. Carlucci, Jr.

APPROVED DATE: MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: BEING A MAJORITY

CONSTRUCTION OF THIS PLAN IS SUBJECT TO ANY LANDSCAPE LAYOUTS WHICH MAY BE REQUIRED BY THE BOARD OF ZONING AND PLANNING.

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MASSACHUSETTS. I HAVE BEEN AWARE OF ALL THE FACTS AND CIRCUMSTANCES RELATING TO THIS PROJECT AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND, BUT I AM PROVIDING MY PROFESSIONAL OPINION AND SERVICE TO THE BEST OF MY ABILITY AND KNOWLEDGE.

CALL FOR SET: 1-888-511-5472 (1-888-344-1232)

MASSACHUSETTS REGISTRATION NO. 100104

REGISTERED PROFESSIONAL ENGINEER

NOTES

SEE NOTE ON SHEET 4

LEGEND

SEE LEGEND ON SHEET 5

NO.	DATE	PER	DESCRIPTION	REP
1			ORIGINAL	

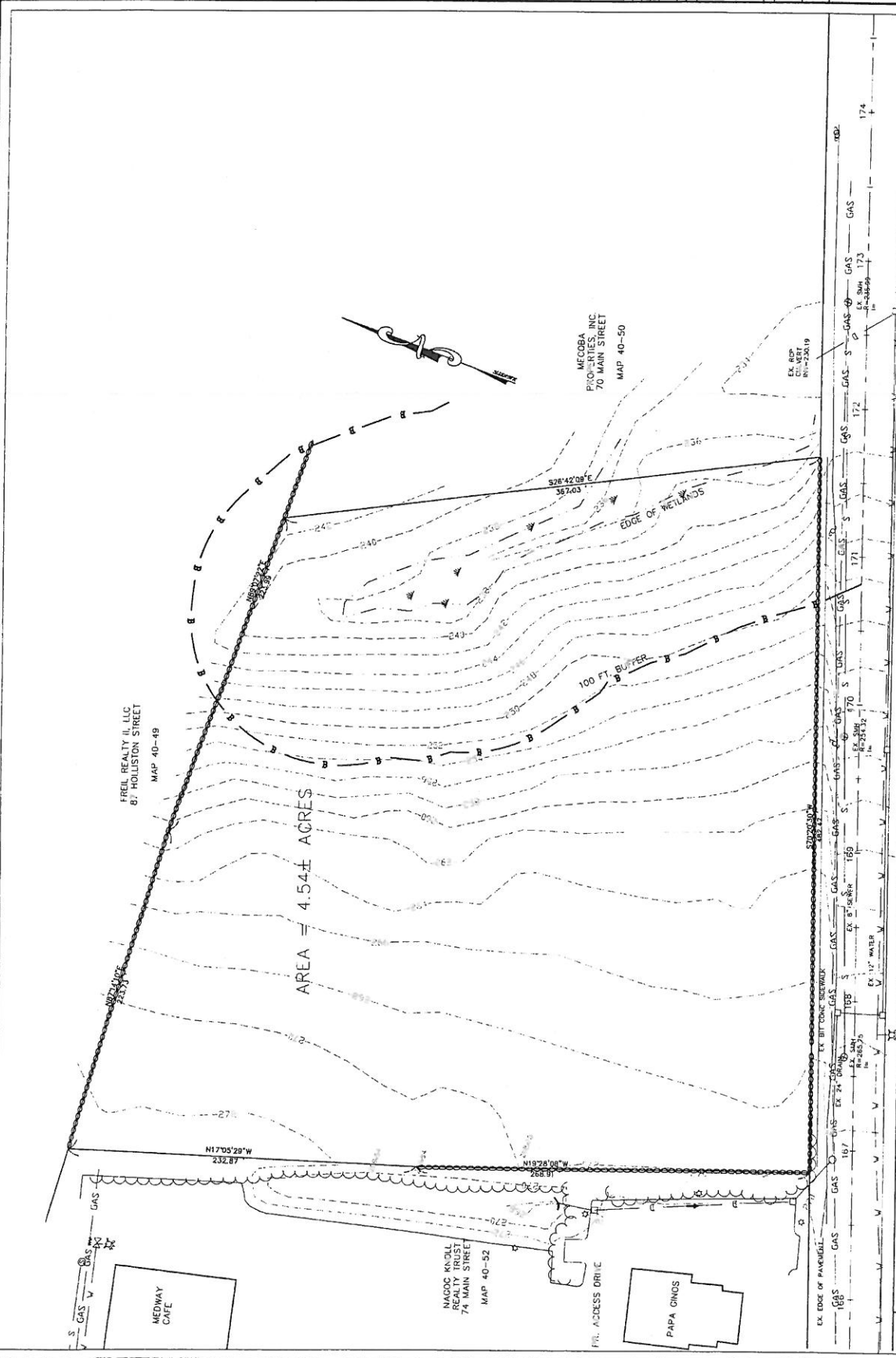
MICROSOFT PROPERTIES INC
70 MAIN STREET
MEDWAY, MA 02053

NAGOC KNOLL REALTY TRUST
100 MAIN STREET
MEDWAY, MA 02053

ASPIRANT
P.O. BOX 837
NEW CASTLE, NH 03854

"TRI VALLEY COMMONS"
EXISTING CONDITIONS
PLAN OF LAND
MEDWAY, MA
SCALE: 30 FEET TO AN INCH
DATE: MAY 28, 2014

Guerriere & Halton, Inc.
100 MAIN STREET, MEDWAY, MASS 02053
(508) 544-4444 (FAX) (508) 715-8645



M. A. REALTY ACQUISITIONS 81A MAIN STREET MAP 40-81	MEDICAL PROPERTIES, INC 81B MAIN STREET MAP 40-83	MAIN STREET (ROUTE 109) PUBLIC 60 FEET WIDE 1921 COUNTY LAYOUT MAP 40-84	MR. K. OF MEDFIELD, INC 77 MAIN STREET MAP 40-85	METROWEST LAW & FINANCIAL CENTER, LLC 75 MAIN STREET MAP 40-75	LOK WEI NOMINEE TRUST 75 MAIN STREET MAP 40-75
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DATE: _____
 APPROVED DATE: MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

SIGNATURE: DATE: BEING A MAJORITY
 COUNTY OF WASHINGTON, DISTRICT OF COLUMBIA
 LICENSE NO. _____
 EXPIRES _____

NOTES
 SEE NOTE ON SHEET 4
 LEGEND
 SEE LEGEND ON SHEET 5

OWNER: MECOBA PROPERTIES, INC.
 70 MAIN STREET
 WASHINGTON, DC 20001
 APPLICANT: THURKLEN, LLC
 240 GREAT ROAD
 ACTON, MA 01720
 "TRI VALLEY COMMONS"
 "SITE LAYOUT"
 PLAN OF LAND
 IN
 MEDWAY, MA
 SCALE: 30 FEET TO 1" (1:360)
 DATE: MAY 20, 2014

Guertiere & Hainold, Inc.
 333 45th Street, 2nd Floor
 New York, NY 10018
 Tel: (212) 455-4535 Fax: (212) 455-4543

INTENSITY OF USE	REQD.	PROP.
MIN. LOT REQUIREMENTS	20,000	197,434
MIN. LOT WIDTH (S.F.)	10,000	197,434
MIN. LOT DEPTH (S.F.)	10,000	197,434
MIN. YARD REQUIREMENTS	50	66.3
FRONT YARD SETBACK (F.T.)	5	34.0
REAR YARD SETBACK (F.T.)	25	121.8
MAXIMUM BUILDING SIZE	30	11.7
BUILDING COVERAGE (% OF LOT)	40	40
MINIMUM OPEN SPACE	1	7
3' OF LOT AREA		
HEIGHT REQUIREMENTS		
MAX. HEIGHT (F.T.)		
PARKING REQUIREMENTS	80	87
TOTAL SPACES REQUIRED	1	1
HANDICAPPED PARKING REQD.	1	1

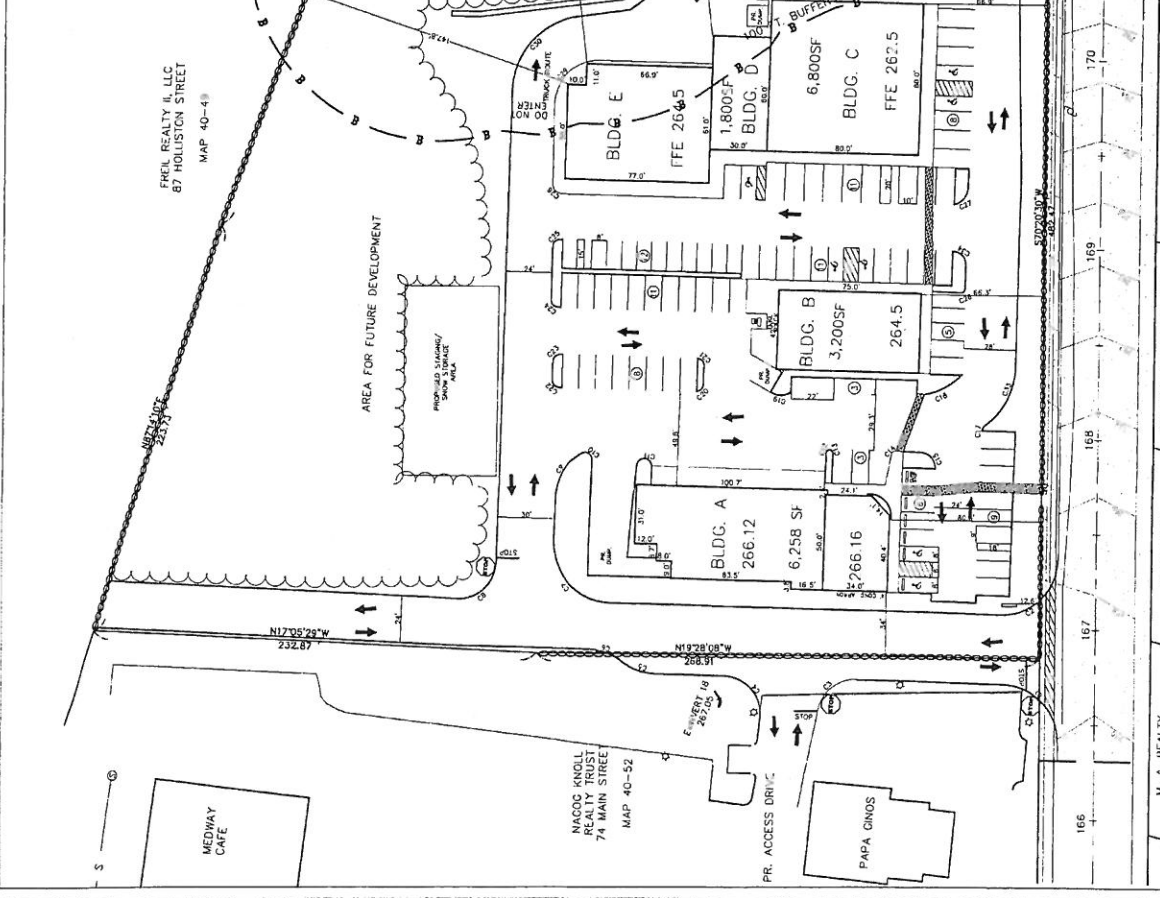
TABLE

BUILDING DIMENSIONS	AREA
A	8,500 S.F.
B	3,200 S.F.
C	6,800 S.F.
D	1,800 S.F.
E	1,800 S.F.
TOTAL FLOOR AREA =	23,100 S.F.

CURB RADIUS TABLE

CURB LENGTH	RADIUS
C1	46.45'
C2	47.79'
C3	28.48'
C4	33.17'
C5	19.31'
C6	19.31'
C7	19.31'
C8	19.31'
C9	29.39'
C10	8.37'
C11	11.31'
C12	3.14'
C13	3.14'
C14	2.79'
C15	14.14'
C16	9.00'
C17	9.00'
C18	4.00'
C19	23.72'
C20	6.27'
C21	6.27'
C22	4.00'
C23	4.00'
C24	4.00'
C25	4.00'
C26	4.00'
C27	4.00'
C28	4.00'
C29	4.00'
C30	4.00'
C31	4.00'
C32	4.00'
C33	4.00'
C34	4.00'

PHASE-1 PARKING CALCULATIONS
 RETAIL = 1 SPACE/200 S.F. OF NET FLOOR AREA
 RESTAURANT = 1 SPACE/100 S.F. OF NET FLOOR AREA
 VEHICLE REPAIR = 1 SPACE/200 S.F. OF NET FLOOR AREA
 RESTAURANT = 28 SPACES + 2 EMPLOYEES = 10.33 SPACES REQUIRED
 TOTAL PARKING SPACES REQUIRED = 80 SPACES
 SPACES PROVIDED = 87 SPACES



PHASE-1 PARKING CALCULATIONS
 RETAIL = 1 SPACE/200 S.F. OF NET FLOOR AREA
 RESTAURANT = 1 SPACE/100 S.F. OF NET FLOOR AREA
 VEHICLE REPAIR = 1 SPACE/200 S.F. OF NET FLOOR AREA
 RESTAURANT = 28 SPACES + 2 EMPLOYEES = 10.33 SPACES REQUIRED
 TOTAL PARKING SPACES REQUIRED = 80 SPACES
 SPACES PROVIDED = 87 SPACES

FRIL REALTY II, LLC
 87 HOLLISTON STREET
 MAP 40-43

AREA FOR FUTURE DEVELOPMENT

PROPOSED STAIRWAY/STREET

MEDWAY CAFE

MASCOX KNOLL REALTY
 74 MAIN STREET
 MAP 40-52

PAPA DINOS

PR. ACCESS DRIVE

PR. SEGMENTED BLOCK RETAINING WALL (BY OTHERS)

MECOBA PROPERTIES, INC.
 70 MAIN STREET
 MAP 40-50

EDGE OF WETLANDS

DO NOT ENTER

LIMIT OF MAIN STREET IMPROVEMENTS (SEE PLANS BY GFI)

166 167 169 170 171 172 173 174

BASELINE

MAIN STREET (ROUTE 109)
 PUBLIC 60 FEET WIDE
 1921 COUNTY LAYOUT

M. A. REALTY ACQUISITIONS
 81A MAIN STREET
 MAP 40-81

MAIN STREET
 NOMINEE TRUST
 81C MAIN STREET
 MAP 41-82

MEDICAL PROPERTIES INC
 81B MAIN STREET
 MAP 40-83

MR. K OF MEDFELD, INC
 79 MAIN STREET
 MAP 40-84

FINANCIAL CENTER, LLC
 77 MAIN STREET
 MAP 40-85

LOW MO NOMINEE TRUST
 75 MAIN STREET
 MAP 40-75

DATE: _____
 APPROVED DATE: MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: BEING A MAJORITY
 COMMENTARY ON THIS SET OF PLANS IS TO BE PROVIDED BY THE BOARD OF APPLICANTS WITHIN 14 DAYS OF THE DATE OF THE BOARD MEETING. COMMENTS SHOULD BE SUBMITTED BY THE BOARD OF APPLICANTS TO THE BOARD OF APPLICANTS AT THE BOARD MEETING. COMMENTS SHOULD BE SUBMITTED BY THE BOARD OF APPLICANTS TO THE BOARD OF APPLICANTS AT THE BOARD MEETING.

LEGEND
 SEE LEGEND ON SHEET 5

MECOBA PROPERTIES, INC.
 70 MAIN STREET
 MEDWAY, MA 01948
 HANCOCK INVESTMENT TRUST
 240 GREAT ROAD
 ACTON, MA 01720

APPLICANT
 THURBEN III, LLC
 NEW CASTLE, VA 23054

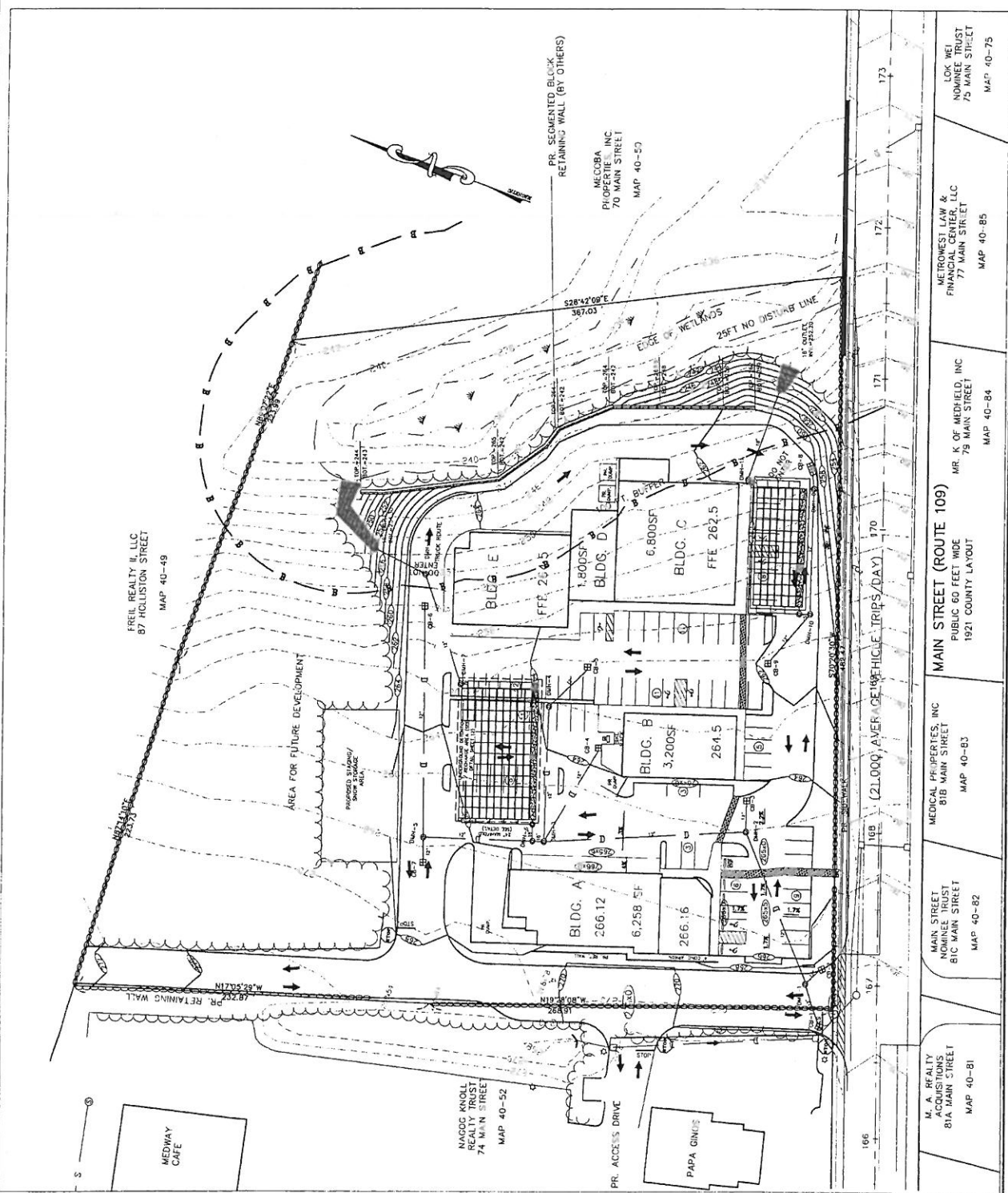
"TRI VALLEY COMMONS"
 "SITE GRADING"
 PLAN OF LAND
 IN
 MEDWAY, MA
 SCALE: 30 FEET TO AN INCH
 DATE: MAY 20, 2014

Guerriere & Halton, Inc.
 Engineering & Land Surveying
 113 WEST STREET
 MEDWAY, MA 01948
 (508) 414-2350 FAX: (508) 414-2343

NOTES

1. PLAN REFERS TO MEDWAY ASSESSORS MAP 40
2. ZONING CLASSIFICATION IS COMMERCIAL I
3. ENGINEERING CONSULTANTS, INC. AND REFERRED IN THESE PLANS TO BE THE ENGINEER OF RECORD FOR THIS PROJECT.
4. THE PLAN AS SHOWN IS TO BE CONSIDERED AS THE FINAL PLAN FOR THE PROJECT.
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M. A. REALTY ACQUISITIONS
 81A MAIN STREET
 MAP 40-81

MAIN STREET (ROUTE 109)
 PUBLIC 60 FEET WIDE
 1921 COUNTY LAYOUT

MR. K. OF MEDFIELD, INC.
 79 MAIN STREET
 MAP 40-84

METROWEST LAW & FINANCIAL CENTER, LLC
 77 MAIN STREET
 MAP 40-85

LOCK, NE. NOMINEE TRUST
 75 MAIN STREET
 MAP 40-75

MEDICAL PROPERTIES, INC.
 81B MAIN STREET
 MAP 40-83

FRIL REALTY II, LLC
 87 HOLLISTON STREET
 MAP 40-49

MECOBA PROPERTIES, INC.
 70 MAIN STREET
 MAP 40-50

MADDO KNOLL REALTY
 74 MAIN STREET
 MAP 40-52

PAPA GINO'S

PR. ACCESS DRIVE

AREA FOR FUTURE DEVELOPMENT

PR. SEGMENTED BLOCK RETAINING WALL (BY OTHERS)

EDGE OF WETLANDS

25 FT NO DISTURB LINE

166 167 168 169 170 171 172 173

(21,000' AVERAGE VEHICLE TRIPS/DAY)

DATE: _____ DATE: _____
 APPROVED DATE: _____
 ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: _____
 BEING A MAJORITY

NOTES

SEE NOTE ON SHEET 4

LEGEND

SEE LEGEND ON SHEET 5

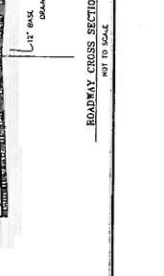
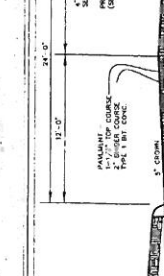
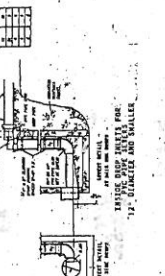
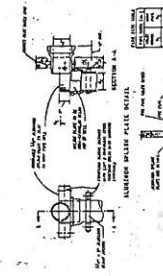
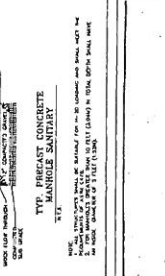
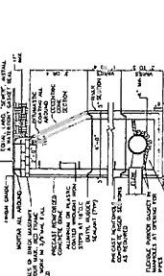
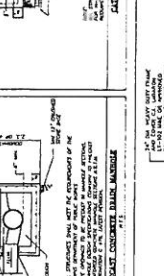
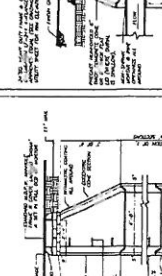
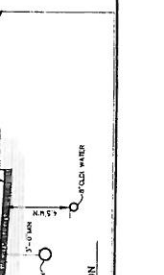
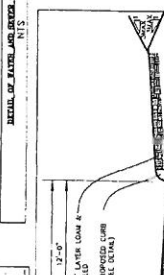
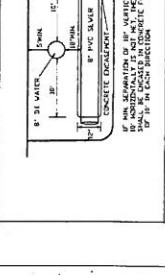
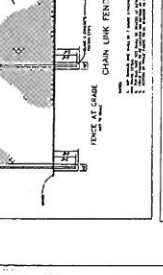
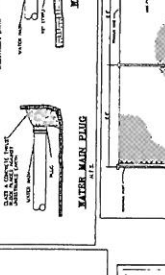
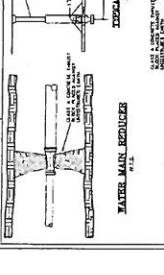
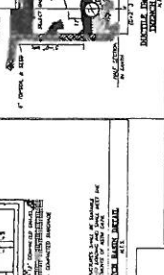
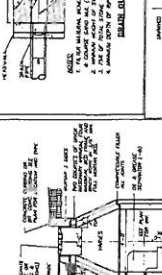
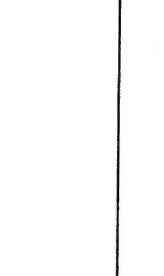
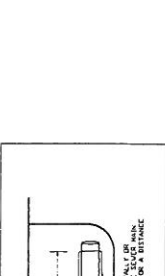
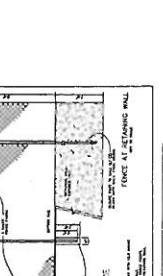
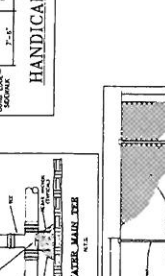
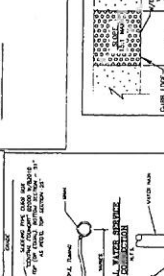
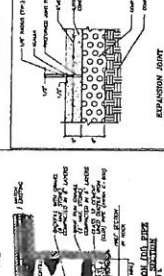
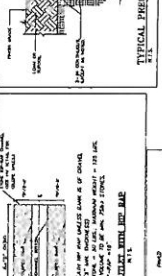
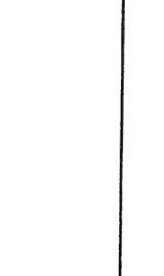
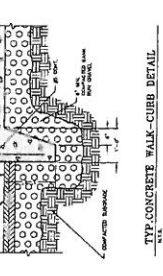
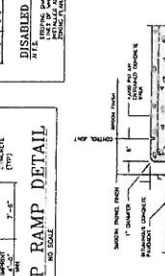
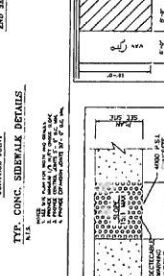
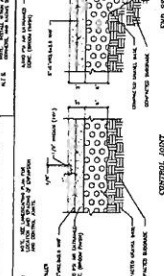
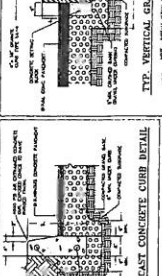
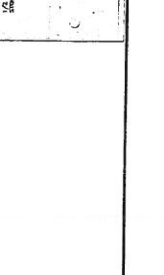
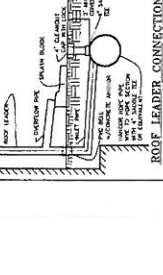
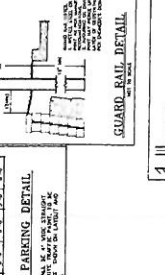
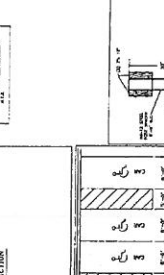
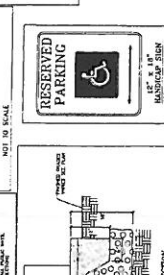
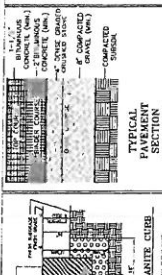
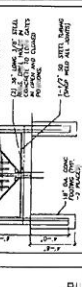
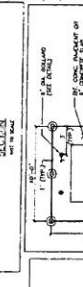
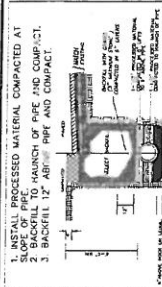
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10				

MECONA PROPERTIES, INC
 70 MAIN STREET
 MEDWAY, MA 01925
 MADONNINI REALTY TRUST
 ACTON, MA 01720

ARCHITECT
 THOMPSON & L.L.C.
 P.O. BOX 187
 NEW CASTLE, VT 05854

"TRI VALLEY COMMONS"
 "SITE DETAILS"
 PLAN OF LAND
 IN
 MEDWAY, MA
 SCALE: 30 FEET TO AN INCH
 DATE: MAY 20, 2014

Guerriere & Halnon, Inc.
 REGISTERED PROFESSIONAL ENGINEER
 230 WEST STREET, MEDFORD, MASSACHUSETTS 02155
 (508) 451-5622 FAX: (508) 453-8163

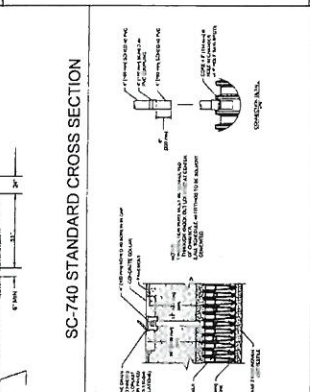
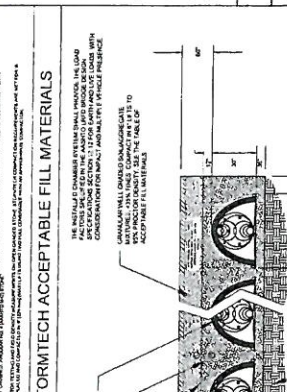


APPROVED DATE: MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD
DATE:

SIGNATURE DATE: BEING A MAJORITY
SEE NOTE ON SHEET 4
LEGEND

ACCEPTABLE FILL MATERIALS - STORMTECH SC-740 CHAMBER SYSTEMS

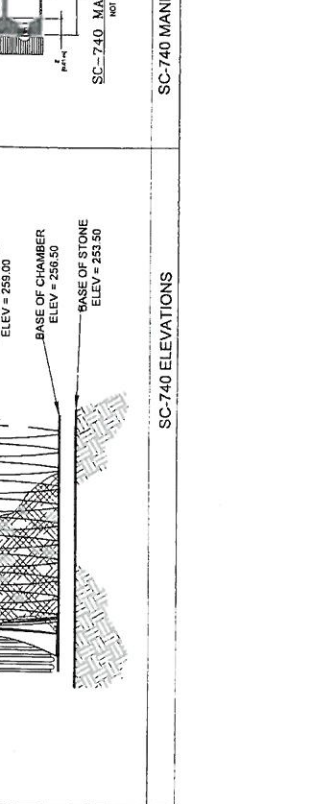
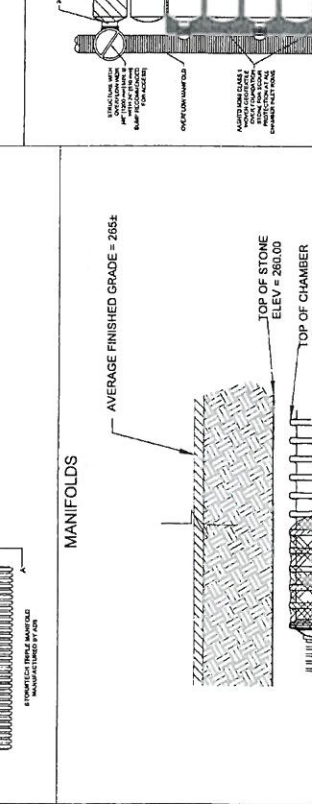
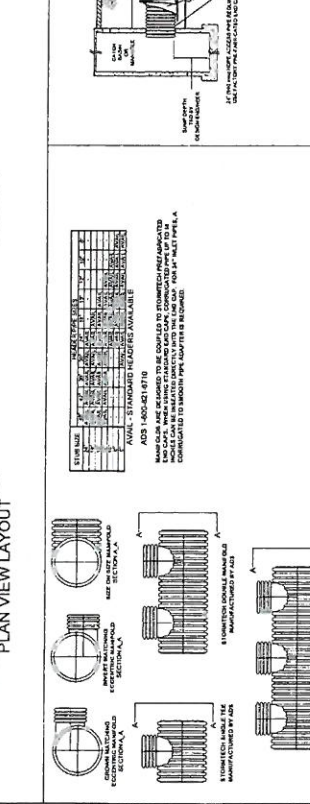
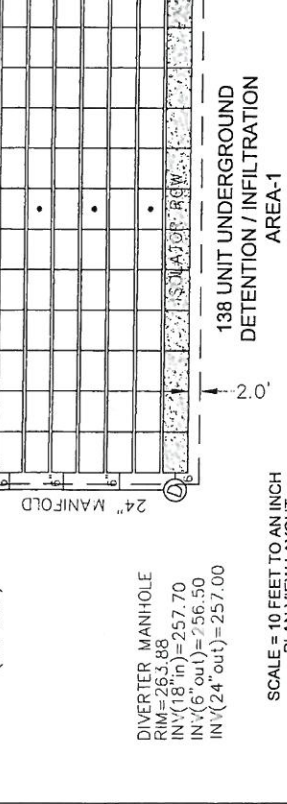
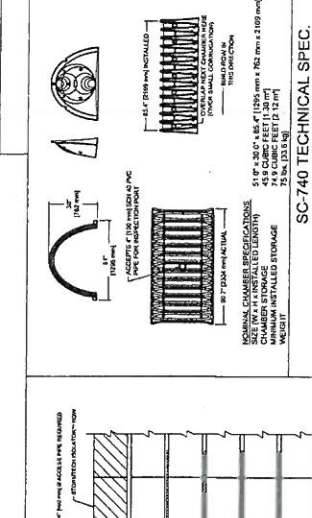
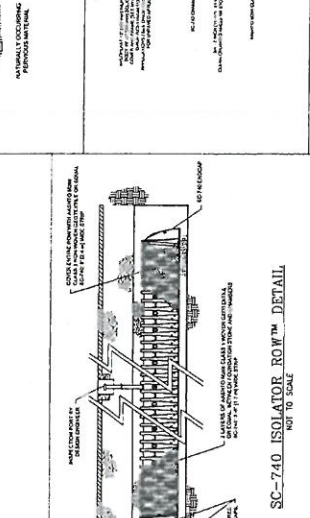
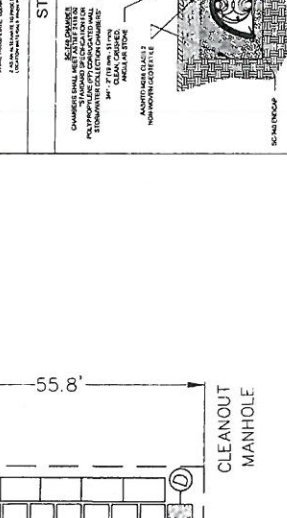
MATERIAL LOCATION	DESCRIPTION	COMMENTS/REQUIREMENTS
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SC-740 INSPECTION PORT DETAIL

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "8"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "1"

PART #	SIZE	LENGTH	WEIGHT	STUBS
SC-740-10-8	10" DIA	10" LONG	18.50 LBS	18.50 LBS
SC-740-12-8	12" DIA	12" LONG	27.00 LBS	27.00 LBS
SC-740-14-8	14" DIA	14" LONG	36.00 LBS	36.00 LBS
SC-740-16-8	16" DIA	16" LONG	45.00 LBS	45.00 LBS
SC-740-18-8	18" DIA	18" LONG	54.00 LBS	54.00 LBS
SC-740-20-8	20" DIA	20" LONG	63.00 LBS	63.00 LBS
SC-740-10-1	10" DIA	10" LONG	18.50 LBS	18.50 LBS
SC-740-12-1	12" DIA	12" LONG	27.00 LBS	27.00 LBS
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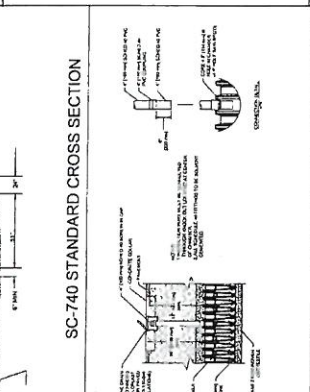
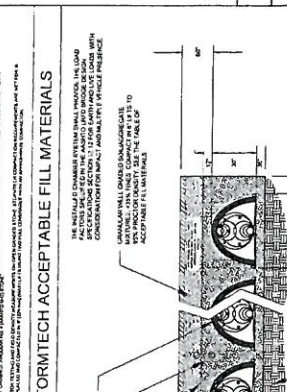


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ACCEPTABLE FILL MATERIALS - STORMTECH SC-740 CHAMBER SYSTEMS

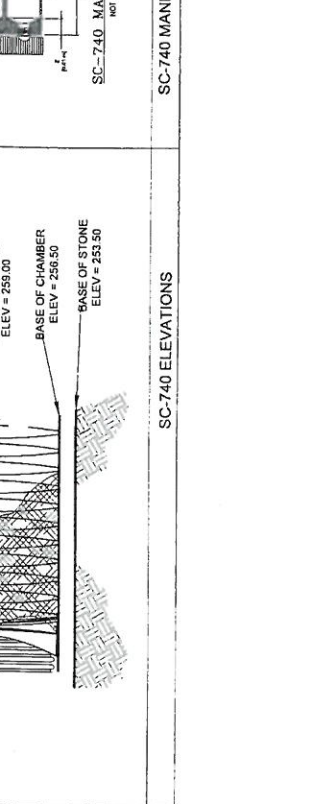
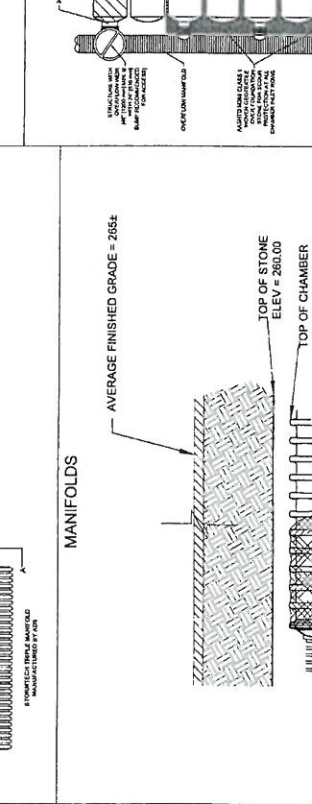
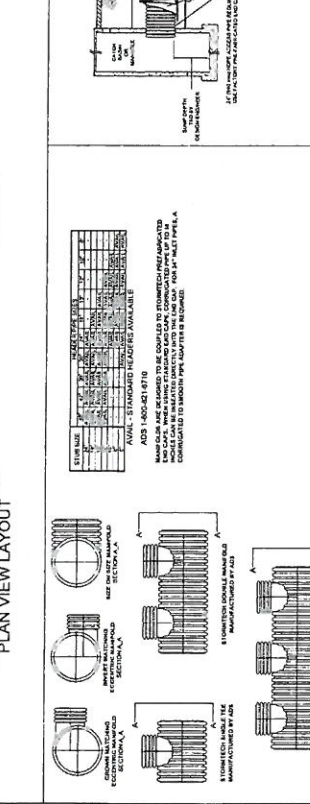
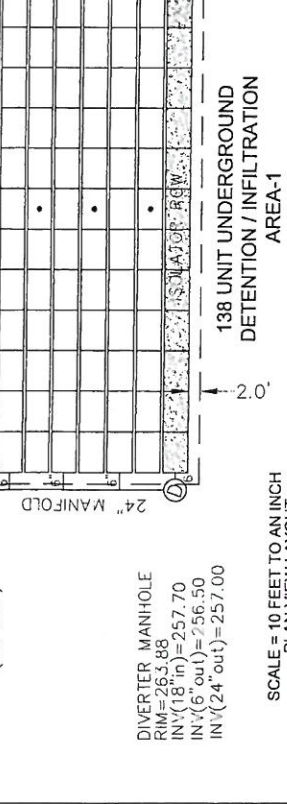
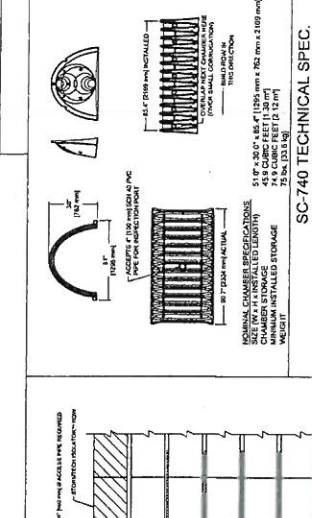
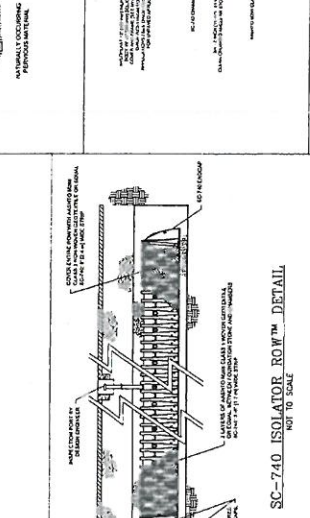
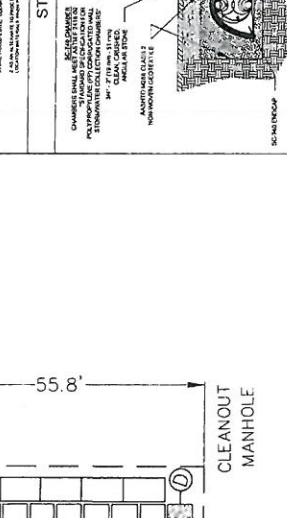
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Follow-Up From 8/12/2014 Tri Valley Commons Public Hearing

TO DO	ASSIGNED TO	STATUS
Respond to the August TT and PGC review letters	applicant/engineer	8/20/14 letter from Bob Poxon; included in board packet for 8/26/14 hearing
Add a bike rack to the plans	applicant/engineer	Shown on revised site plan dated 8/20/14; included in board packet for 8/26/14 hearing
Prepare and submit master signage plan	applicant	Not yet submitted
Revise and add dimensions of all parking spaces	engineer	Shown on revised plan dated 8/20/14; included in board packet for 8/26/14 hearing
Revise photometric plan	engineer	Revised plan dated 8/21/14 was submitted 8/25/14
Revise location for the development sign	engineer	Shown on revised site plan dated 8/20/14; included in board packet for 8/26/14 hearing
Revise Existing Conditions sheet	engineer	not completed
Add building dimensions to plan	engineer	Shown on revised site plan dated 8/20/14; included in board packet for 8/26/14 hearing
Show setbacks and dimensions of loading and unloading areas	engineer	Shown on revised site plan dated 8/20/14
Submit additional waiver request for 205-3 re: driveway setback from side lot line of less than 15'	engineer	Not yet submitted
Add pedestrian walkways to the site and within the site	engineer	Shown on revised site plan dated 8/20/14; included in board packet for 8/26/14 hearing
Add pedestrian walkway from Goulds to TVC, crosswalk across Main ST entrance, sidewalk to buildings from Main ST, and crosswalks to connect each building (per Police Dept's review memo)	engineer	

TO DO	ASSIGNED TO	STATUS
Install stop signs and painted pavement lines at 3 locations (per Police Department's review memo)	engineer	
Add snow storage area	engineer	Shown on revised site plan dated 8/20/14; included in board packet for 8/26/14 hearing
Arrange for someone from the Route 109 Committee to attend the 9/9 traffic session	Susy	Susy has contacted and made the request
Submit retaining wall and fence design and photos	applicant/engineer	
Landscape elevations to be revised to show "as is" condition upon installation AND addition of some MATURE trees on the east side of the retaining wall	applicant/engineer	
The cut line for the tree removal shall be staked	applicant	
Add horizontal sight distances to plan	engineer	
Revise details for curbing, drain manholes, water mains and hydrants	engineer	Shown on revised site plan dated 8/20/14; included in board packet for 8/26/14 hearing
Revise stormwater report, drainage analysis and drainage area plans	engineer	Shown on revised site plan dated 8/20/14; included in board packet for 8/26/14 hearing
Add note re: required qualifications for plumbers and drain layers	engineer	Shown on revised site plan dated 8/20/14; included in board packet for 8/26/14 hearing
Add drainage structures to Grading Plan	engineer	Shown on revised site plan dated 8/20/14; included in board packet for 8/26/14 hearing
Answer questions/comments #17 - 20 from TT letter	engineer	Answers provided on plan and or in response letter dated 8/20/14
Revise plans to NOT show Building F	engineer	Shown on revised site plan dated 8/20/14; included in board packet for 8/26/14 hearing

TO DO	ASSIGNED TO	STATUS
Meet with Dr. Cooper, Metro West Health Center, 81 Main ST	applicant	
Provide an inventory of mature trees to the west of the proposed driveway near Papa Gino's. What can be retained?	engineer	
Submit ANRAD or Notice of Intent to Conservation Commission	engineer	
Revise plans to show the parking at Papa Gino's	engineer	
Various items identified in 8/12/14 comment letter from Bridget Graziano, Conservation Agent	engineer	
sac - 8/26/14		