

Tuesday, October 21, 2014
Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Karyl Spiller-Walsh	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	X	X	ABSENT WITH NOTICE	X	X	X

ALSO PRESENT:

Consultant Gino Carlucci, PGC Associates
Consultant Steve Bouley, Tetra Tech
Susy Affleck-Childs, Planning and Economic Development Coordinator

The minutes were transcribed from the Medway Cable Access recording of the meeting.

The Chairman opened the meeting at 6:30 pm.

FOX RUN FARM:

The Board is in receipt of the following documents: **(See Attached)**

- Email from abutter Bill Dacier, 1 Higgins Road dated October 16, 2014
- Updated punch list from Tetra Tech regarding Fox Run Farm dated October 15, 2014.
- Fox Run Farm original plan dated June 24, 2011.

The Fire Chief would like the fire hydrants repositioned.

The Conservation Agent requested that the catch basins be cleaned prior to street acceptance. The Town should also have a Stormwater Operation & Maintenance plan in place.

The snow storage is blocked. This will need to be addressed.

Consultant Bouley did inform the Board that the O & M plan was sent over today. He will review and provide follow-up comments.

Susy responded that at the last meeting there were issues with landscaping and buffer. The plans were referenced about landscaping. Sheets one of three were reviewed. There is overall grading plan and landscaping in the southeast and also the north side. Some of the grading was added after the Zoning Board of Appeals hearing.

There was a focus on landscaping in the area abutting Mr. Dacier's property. The abutter was present at the meeting.

The developer and resident have worked out an agreement for the installation of a fence. This is in lieu of planting bushes. It addresses both property lines. The abutter thinks there is enough of a natural buffer. There is still a concern about water run-off.

Consultant Bouley responded that the landscaping on the North and East sides is fine. There has been soil placed on site to help with drainage. Consultant Bouley recommends that there should be some grading since the water is running to the southeast corner. There is roof run off which discharges to the property line.

The abutter explained that there are two runoffs areas. One of these is on Lot 8. The resident has put on his property a 2,500 water release system.

It was brought up that there is no landscaping on the drainage parcel. There is shrubbery through this area near the drainage.

Developer Mujeeb Ahmed responded that at the Zoning Board of Appeals meeting it was communicated that there was not a need for landscaping. The final plan was dated May 24, 2014.

The plans do not have the same landscaping. The trees east of Lots 7A, 6A and 5A are planted and seem to be surviving. The ones on the northern side are all planted.

The Board is comfortable with this since the plan has been followed and the issue was mitigated with a fence replacing the planting of 11 trees.

The other thing identified from Conservation Agent advised was that when the Town accepts a drainage parcel and system, the town should secure from developer the records for construction for maintenance, and in particular the SWPPP inspection reports. This should all be documented so that the Town knows that it has been properly cared for.

Tetra Tech responded that they do inspect these areas and he agrees that it should be cleaned prior to street acceptance.

Mr. Mujeed did supply these documents.

The Board discussed that they do ask for this during the construction meetings, but we should collect it as part of the close out of the project.

The Board was made aware that the Board of Selectmen voted to lay out the roadway for Morningside Drive and that the BOS certification was filed with the town clerk.

This will be on agenda for the next meeting.

BAY OAKS MODIFICATION - CONSULTANT ESTIMATE:

The Board is in receipt of the following fee estimate for plan modification: (See Attached)

- Estimate from Tetra Tech dated October 20, 2014.

The applicant has filled a minor modification for Bay Oaks to address a grading issue.

On a motion made by Tom Gay and seconded by Matt Hayes, the Board voted unanimously to approve the estimate for Bay Oaks in the amount of \$257.00.

Applegate Modification Plan

See attached first amendment to Covenant.

On a motion made by Bot Tucker and seconded by Matt Hayes, the Board voted unanimously to sign the first amendment to the Covenant to the Applegate Modification Plan.

CONSTRUCTION REPORTS:

The Board is in receipt of the following construction reports: (See Attached)

- Millstone Village ARCPUD – Report #10 (10-3-2014)
- Millstone Village ARCPUD – Report #11 (10-6-2014)
- Millstone Village ARCPUD – Report #12 (10-7-2014)
- Millstone Village ARCPUD – Report #13 (10-8-2014)
- Millstone Village ARCPUD – Report #14 (10-9-2014)
- Millstone Village ARCPUD – Report #15 (10-10-2014)
- Millstone Village ARCPUD – Report #16 (10-13-2014)
- Millstone Village ARCPUD – Report #17 (10-14-2014)
- Millstone Village ARCPUD – Report #18 (10-15-2014)
- Bay Oaks Subdivision – Report #1 (10-7-2014)
- Bay Oaks Subdivision – Report #1 (10-7-2014)
- Applegate Subdivision – Report #47 (10-6-2014)

Consultant Bouley reported that electric conduit was installed last week at Applegate.

Millstone did the binder coat and will continue with the drainage and water lines.

Susy did speak with Rob Truax from GMC about the site clearance issue on Winthrop Street. The distance shown takes into account the comments from Jeff Watson.

PEDB MEETING MINUTES

October 7, 2014:

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted unanimously to accept the minutes from the October 7, 2014 meeting.

PLANNING CONSULTANT'S REPORT:

- There was a SWAP meeting held on October 15, 2014 in Sherborn. The discussion topic is Long Range Transportation Plan for the Boston metropolitan area.
- Consultant Carlucci will be attending the Planning Association meeting which will take place in Providence RI.

REPORTS

- The Rt. 109 Committee will meet on Wednesday, October 22, 2014.
- There will be an Energy Committee meeting on Wednesday October 22, 2014.

The Board was informed that there are two variances petitions before the ZBA. In regards to the variance petition for signs at the Medway Shopping Center, the applicant will be going to the Design Review Committee for review. There was concern about the size. The Maritime Housing petition was continued since the Chairman and Vice Chairman wanted to read court cases before rendering a decision.

ARTICLES FOR FALL TOWN MEETING

The Board is in receipt of the following: **(See Attached)**

- Articles for Town Meeting dated October 21, 2014
- Notice of Public Hearing dated October 21, 2014
- Confidential email from Town Counsel dated October 8, 2014

On a motion made by Matt Hayes and seconded by Bob Tucker, the Board voted unanimously to waive the reading of the public hearing notice.

Article 23:

There were 12 residents present for Article 23 (proposed rezoning of 6 parcels of land on Summer and Milford Streets from ARII to Commercial V).

Susy provided an overview of Article 23. The Planning and Economic Development Board was approached by owners in that area expressing a desire to have this area rezoned from Residential to Commercial. This type of change fits in with the town master plan.

Michael Damon, 9 Little Tree Rd:

This resident is opposed to the article since he does not want to see another gas station in this area. The other concern is the sewer. If something goes wrong with the sewer on Little Tree, who is liable?

The Chairman responded that this article was brought to the Planning Board by residents. In regards to the Little Tree development, it is a private way and the residents of Little Tree would be responsible if there were an issue.

Rob Condon, 3 Rustic RD

Mr. Condon is opposed to this warrant article. He would like the Planning and Economic Board to find another option for these properties. He suggested finding another way to rezone that would have a more limited scope of allowed uses such as Murphy's Insurance and office uses. This would be more suitable. He is not opposed to the Bain's seeking this zoning change (for their property at 37 Milford Street), but he could be in the same dilemma as them some day. He does agree that the Cumberland Farms was nicely done, but it will effect his property value. This would work for everyone. The last concern is about who would be responsible if there was a break in the sewer. It was indicated that 31 and 33 Summer ST. were able to tie into the Speroni Acres sewer system. There should be an insurance bond held in case there are problems.

It was explained that with the Special Permit process we are able to include conditions to be included as was done with Cumberland Farms. Cumberland Farms did work with the Bains and provided a fence.

NOTE – The resident at 7 Willow Tree indicated that he did not know about the private sewer system in Speroni Acres until this meeting. He recently moved in and would be interested in a conversation about this at a later meeting.

The Board thought it would be a good idea to get the neighbors together to have a better understanding of the situation and what the town is able to do and not do.

Resident Pam Ballino Rivera, Knollwood Road.

Her concerns are the traffic patterns and people that turn around on her street. We get traffic driving through and turning around. She wishes that she was more vocal at some of the hearings with Cumberland Farms since her backyard is now lighted by the Medway Garden Center.

Susy will follow-up the Medway Gardens about the lighting and some landscaping.

Resident, Todd Valdeean 7 Little Tree Rd:

Mr. Valdeean is concerned about traffic at the intersection. Another concern is the cut through traffic. This resident wanted clarity on how the zoning change process works.

The Chairman noted that this process has been going on for few months. The idea for this particular zoning change was brought to the Board by residents. The proposal was submitted to the Board of Selectmen and then it goes to Town Meeting for a vote on Monday, November 10, 2014. This is a multi step process and the public opinion is so important to this process.

Resident, Teigan Bain: 37 Milford Street:

Mrs. Bain wanted to know if this warrant article is denied, can her situation in isolation be placed in the town warrant in the spring.

It was indicated that if this does not pass, then it can be brought up again at the spring town meeting.

Resident, Sara Houser 14 Little Tree:

This resident communicated the following concerns:

- Truck Traffic
- Increased use of the street for cut through traffic.

Resident, Mike Langley 29 Summer St.:

He is opposed to this article. He would like to see allowances and would not support this unless it is amended.

An email submitted by Tracy Stewart of Lovering Street in support of Article 23. (**See Attached.**)

Article 25 (Commercial District I)

Diane Bowen, 10 Richard Rd.:

This resident was present since the map enclosed in the mailing she received shows a line going through her property.

Susy responded that the dark line shows the ground water protection district.

David Cassidy, 42 Ellis Street:

This resident indicated that he is in support of the article.

The Board explained that with this article, all the current formulas and parking regulations would continue to need to be met. This article would provide more flexibility and diversity of housing. It is better for economic development in the town.

It was suggested to have a meeting to discuss future zoning possibilities from Broad Street to behind the Shaw's plaza.

The manger of Medway Block was present. His concern is about the future and his ability to add onto his site. The site is a pre-existing, non-conforming property. In the future, he may want to change and move machinery to another section of his property.

It was recommended that he come to speak with Susy, Andy and new building inspector.

There was a letter dated October 21, 2014 from the Medway Business Counsel that was entered into the record. (**See Attached.**)

It was explained that the Design Review Committee is appointed by the Planning and Economic Development Board. Their recommendations are advisory.

The Planning Board does refer projects to the Design Review Committee for review within the context of the Design Review Guidelines. There is an article for the town meeting warrant seeking funding to review, update and illustrate the Design Guidelines.

Consultant Carlucci explained that the article does not change the function or take away anything from the Design Review Committee.

Resident Jessica Collin, 9 Robins Circle:

This resident asked about if someone wanted to put residential housing in a commercial building, what would a developer have to do.

It was explained that this would have to go through the Special Permit process.

The Board is in receipt of comments from Town Counsel on the draft article.

G: Commercial District I:

Counsel recommends taking out the wording referring to traditional New England architecture. Board did not agree with this recommendation.

It was recommended to take out the reference to the Design Review Guidelines in the Purpose section of the zoning district. This could be included and added in the Site Plan Rules and Regulations.

In a discussion on what constitutes New England style architecture, it was noted that there are many different types of New England style architecture from log cabins to modern buildings. There needs to be a broader view. There are many images for New England design. There is work that needs to be done on the Design Review guidelines. The goal is to encourage business.

2I Consumer:

Town Counsel thinks the term consumer is vague and provided a list of illustrative consumer service businesses. The definition of this was read by member Hayes. There could be some refinement to the definition.

4D Dimensional regulations:

The Board would like to keep the setback requirements as noted.

5D Special Permit Review Criteria:

The Board would like the following:

- Use the term “Use” and not “Design”.
- Keep the term New England town center

- Town Counsel noted there is no definition for “environmentally sustainable.” She recommends that the term be removed. The Board decided remove the words “economically viable.”
- It was recommended to take “c” out regarding Medway Design Review Guidelines and put it into the Site Plan Rules and Regulations. The Board is in agreement.
- In (f.) suggested to eliminate the terms “economical” and “efficient”. The Board agrees with recommendation.
- (g) Use the word “use”
- (h) Recommend to remove. Board is in agreement.

Medical Offices or Clinic:

Town Counsel noted that Medical Offices and Clinic are different from laboratories. One could have a procedure done at a lab which is different than going to a doctor for a physical. These laboratories are sometimes accessories to the offices of clinics.

The Board was made aware that Consultant Barrett is putting together a proposal to work on the sign bylaw. The Board is in the agreement that this is one of many things they want her to work on. The list will be prioritized.


On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted to continue the public hearing to October 28, 2014.

ADJOURN

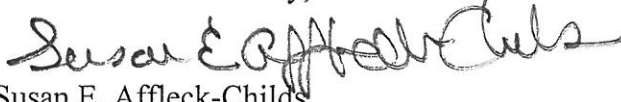
On a motion made by Bob Tucker, and seconded by Matt Hayes, the Board voted unanimously to adjourn the meeting.

The meeting was adjourned at 10:30 pm.

Respectfully Submitted,


Amy Sutherland
Recording Secretary

Reviewed and edited by,


Susan E. Affleck-Childs
Planning and Economic Development Coordinator



October 21, 2014
Medway Planning & Economic Development Board
Meeting

Fox Run Farm/Morningside Drive

- Email from Bill Dacier, 1 Higgins Road re: continued concerns about Fox Run Farm/Morningside Drive
- Updated Fox Run Farm punch list dated 10-15-2014 from Tetra Tech
- Fox Run Farm plans dated 6-24-2011

Susan Affleck-Childs

From: william dacier <dacier_bill@yahoo.com>
Sent: Thursday, October 16, 2014 8:17 PM
To: Susan Affleck-Childs
Cc: dacier_bill@yahoo.com
Subject: RE: Fox Run Farm

Sue ,

Per your recommendation, I'm updating you and the board on the uncompleted landscaping items that were approved by the planning board on 5/24/2011 for Fox Run .

It was documented in the plans that three deliverables (see below) would be completed by the builder to meet his obligation of the approved plans and the town of Medway.

Deliverables:

1. Limit clearing to maintain existing trees and shrubs - 10 ft no cut line on all boundaries
2. No water displacement or run off from Fox Run on to the surrounding properties (being addressed)
I contacted the town's Engineering firm on 10/16/2014 and site visit is planned to investigate.
3. A buffer planting on outer property boundary lines between Dacier and Higgins and lot 9 and 8.
(Approved landscape plans states 11 , 6-8 ft of evergreen plants by Dacier and 9 evergreens by Higgins)

This email is to address the buffer. I've been asked to deal with the builder directly to ensure the landscape buffer of 6-8ft evergreens or a method of screening between the property lines gets resolved .

On the plans it mentions a buffer and the builder has randomly placed 13 under sized bushes on the priority lines for Higgins and Dacier that he considers adequate buffer!!!

There is no logic for the random placement of 13 undersized bushes and half have died due to lack of care and water.

According to the plan there should be 20 ,6-8 ft mature evergreens plants on the boundary. Why did he not plant the correct amount and in the locations per the approved landscape plan?

I am still attempting to resolve the buffer issue with the builder but he is only concerned with replacing the 7 random undersized bushes that died.

The builder has offered me \$680 dollars to resolve the landscape issues on the plan, but I have asked the builder to review the suggestion provided by both owners. (lot 8 and the Daciers)

Please find my notes from my suggestion to resolve the landscaping issues with the builder :

I did meet with the builder 10/15/2014 and shared our suggestion from Daciers and lot 8 (see below) on how to resolve the buffer issue. The builder offered \$680 and for us to resolve.

Suggestion

32 ft nylon fence on lot 8 - approved by the owner of lot 8 - estimate from MR Fence \$32 sq ft or \$1,200 plus tax

Update: as of today, 10/16/14 the builder has offered to pay the cost of the fence -approx \$1,200. I've scheduled Mr. Fence for Friday 10/17/2014 for a real quote and install date. The owner of lot 8 and I will be there for the quote. I'll provide another update at Tuesday meeting.

Regards ,Bill Dacier

Respectfully ,

Bill Dacier

On Thu, 10/16/14, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Subject: RE: Fox Run Farm

To: "Bill D" <dacier_bill@yahoo.com>

Date: Thursday, October 16, 2014, 2:19 PM

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5 2 2 2 4 3 2 4;}

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{}

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Great news. Good
luck.

I am leaving at 4:30
today. Tomorrow morning by 8 am is fine!!

Susy

From: Bill D
[mailto:dacier_bill@yahoo.com]

Sent: Thursday, October 16, 2014 2:22 PM

To: Susan Affleck-Childs

Subject: Re: Fox Run Farm

Susan I'm working with
the builder as we speak at this point he has agreed to pay for the fence My letter is at home and needs to be update
with today's activities ill send it before 5pm

Sorry for the delay but he
is trying to meet my demands -getting closer by the hour

Sent from my iPhone

On Oct 16, 2014, at 2:00 PM, Susan Affleck-Childs <sachilds@townofmedway.org>
wrote:

Hi Bill,

I am compiling all the
information for the board packet for the Planning and Economic Development Board meeting for Tuesday, 10/21/2014
and I want to include your letter.

When do you plan to email
it to me?

Thanks.

Susy Affleck-Childs

Susan E. Affleck-Childs

Medway Planning and Economic
Development Coordinator
508-533-3291
155 Village Street
Medway, MA 02053

Town of Medway –
A Massachusetts
Green Community

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MEMORANDUM

To: Susan Affleck-Childs – Medway Planning and Economic Development Board
Coordinator

Fr: Steven Bouley, E.I.T. – Tetra Tech (TT)

Re: **Fox Run Farm
Subdivision Review (Punchlist)
Medway, MA**

Dt: September 4, 2014 (Revised October 16, 2014)

On September 4, 2014 at the request of the Medway Planning and Economic Development Board, Tetra Tech (TT) performed a Punch List inspection of the Fox Run Farm Subdivision.

On October 16, 2014 TT visited the project site to conduct a punch list inspection in order to update the punch list. Additional items have been added since the previous inspection (see items 8 through 13) per comments received from town officials.

The following is a list of items and issues that should be repaired or resolved:

Right-of-Way

1. An HMA leveling course/binder repair is required in areas from the entrance to SMH 2 prior to HMA top course paving. (See Photo #1 - #2)
 - TT 10/16/14 Update: The HMA leveling course was placed. No further action required for this item.
2. The applicant shall install HMA top course throughout the roadway layout. The existing binder surface shall be swept and tack applied prior to paving operations. It should be noted that upon completion of top course paving operations, storm water runoff from the roadway shall not be permitted to flow onto private property.
 - TT 10/16/14 Update: The HMA top course was placed and drainage issues rectified. No further action required for this item.



3. Loam and seed is required at all newly installed curb locations and all disturbed areas within the right-of-way. (See Photo #3 - #4)
 - TT 10/16/14 Update: The curb locations have been loamed and seeded. No further action required for this item.
4. The applicant shall install landscaping in the center cul-de-sac island as shown on the approved plans. (See Photo #4)
 - TT 10/16/14 Update: At the direction of the residents of Fox Run Farm, the island has been landscaped. No further action required for this item.
5. Dead and/or dying screen trees have been observed along the property line. All dead and/or dying screen trees should be replaced. (See Photo #5 - #6)
 - TT 10/16/14 Update: It does not appear that trees have been placed per the approved plans along the southern property line. Existing trees are not at the recommended height and are not placed as designed. The applicant should install all trees as shown on the plan entitled "Grading Plan" dated May 24, 2011 and plan entitled "Landscaping Plan" dated May 24, 2011. Trees should be approximately 6'-8' in height, shall be staggered and shall be of type arborvitae, white pine or scotch pine as shown on the plans to provide the proper screening to neighboring properties.
6. The applicant shall paint a stop line and the word "STOP" upon completion of top course paving. It is recommended to delay painting approximately one week to allow for the HMA surface to cure providing a sufficient surface to paint upon.
 - TT 10/16/14 Update: The stop line and the word "STOP" have been painted. No further action required for this item.
7. The applicant should cut and cap electrical conduit which was to be utilized for the proposed light poles. The cup and cap should be buried as to prevent mowing equipment from striking the conduit during mowing.
 - TT 10/16/14 Update: The conduit has been cut and capped. No further action required for this item.



Additional Comments*

8. The Medway fire chief requested that the hydrant at the cul-de-sac island be pointed out toward the roadway and not the interior of the island.
 - TT 10/16/14 Update: The hydrant has been realigned to point in the direction of the roadway. No further action required for this item.
9. Catch basins/rip-rap outlet protection should be cleaned.
10. An operation and maintenance plan should be provided to the town as to provide proper maintenance procedures necessary to clean drainage infrastructure.
11. Concrete has been dumped on Parcel A. The concrete should be removed. (See Photo #7)
12. Mailboxes blocking the snow storage area shall be relocated in order to prevent any damage from plows in the winter months. (See Photo #8)
13. Cleanout covers for the underground detention system should be replaced with the word "Drainage" and not "Electric". This can cause confusion at a later date when the system will require cleaning. All covers shall also be locked or shall be heavy type as to not be easily removed. (See Photo #9)

*Per Conservation Agent, Board of Health, Building Inspector, Fire Chief, DPS Director comments.

If you have any questions or require additional information, please don't hesitate to contact me at (508) 903-2000.

PA21583\127-21583-11001\DOCS\MEMO\MEMO-FOX RUN FARM PUNCH LIST 2014-09-04 (REVISED 2014-10-16).DOC

Photo # 1



Photo # 2



Photo # 3



Photo # 4

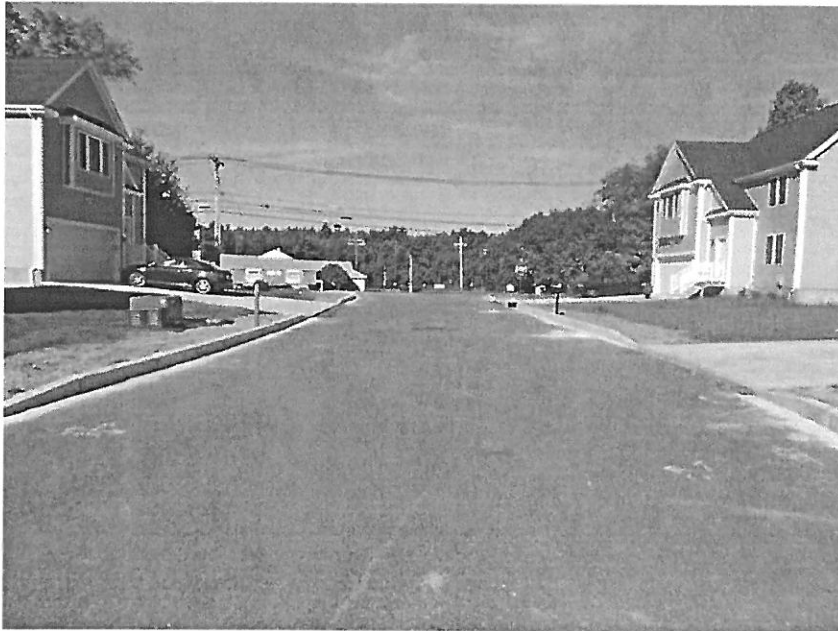


Photo # 5



Photo # 6





TETRA TECH

Photo # 7



Photo # 8

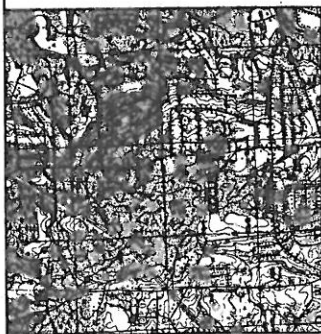




TETRA TECH

Photo # 9





LOCUS
SCALE: 1"=2000'

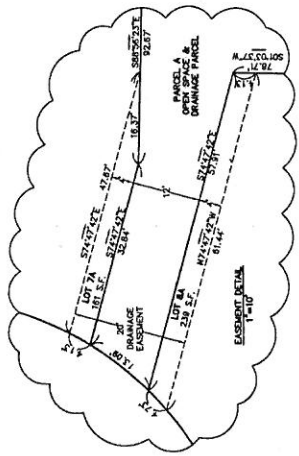
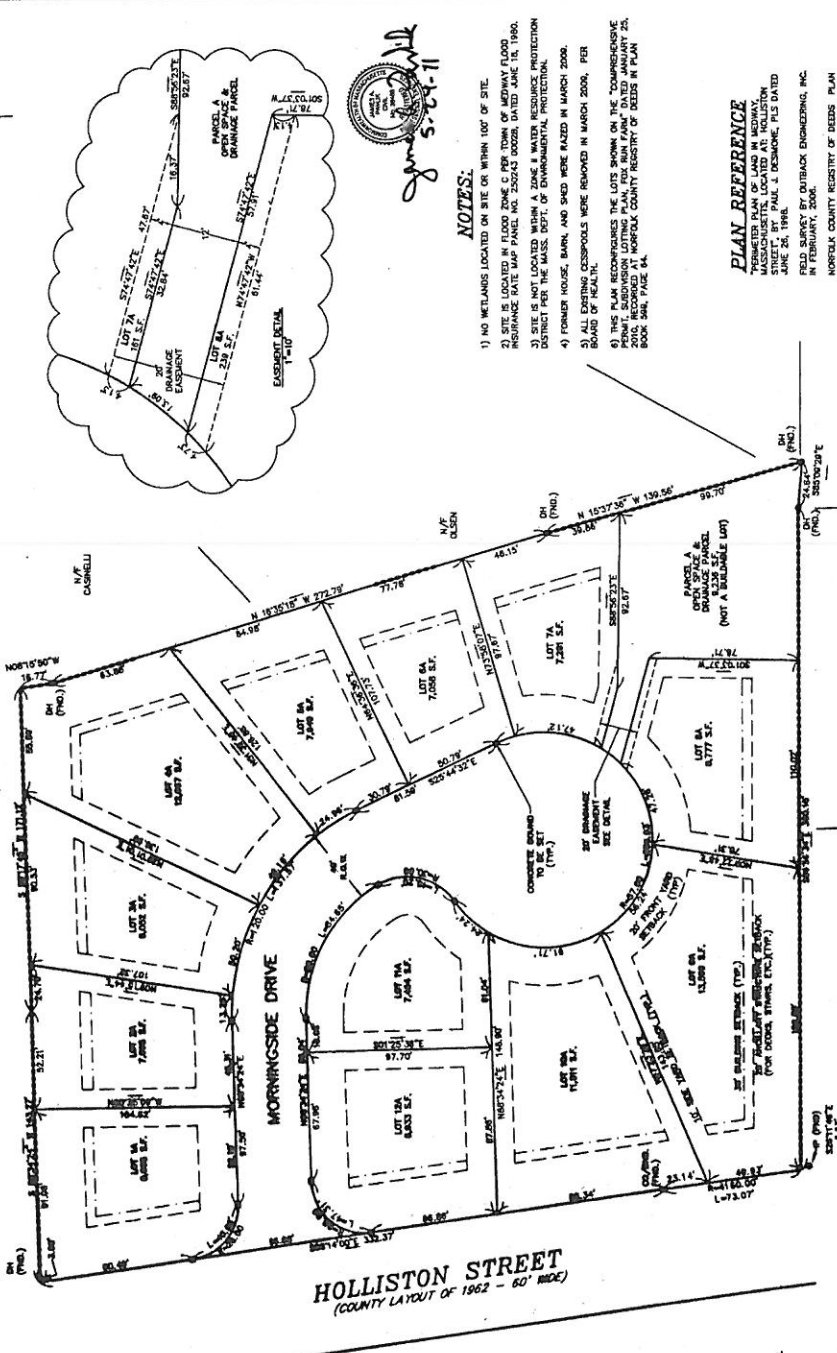
N/E CASWELL
N/E OLSEN
N/E MOORE
N/E CASWELL

MEDWAY VETERANS BELONG ASSOC.

FOR COMPLETE LOT & ROADWAY REQUIREMENTS, INCLUDING WAIVERS FROM TOWN REGULATIONS, REFER TO FOX RUN FARM, A 408 COMPREHENSIVE PERMIT MODIFICATION ISSUED BY MEDWAY ZBA ON NOVEMBER 4, 2009, AND SOUND ZONING REGULATIONS, MEDWAY, MASSACHUSETTS, SOME GENERAL REQUIREMENTS LISTED BELOW.

- LOT AREA & FRONTAGE REQUIREMENTS**
(OVER SPACE PARCELS NOT INCLUDED)
FRONT YARD - 25'
SIDE YARD - 10'
- BUILDING SETBACK REQUIREMENTS**
A 20 FT. WIDE (MINIMUM) GENERALLY ADJACENT TO PROJECT OUTER PROPERTY LINES IS REQUIRED, SUCH THAT NO PORTION OF ANY OF THE PROPERTY LINES, BUT EXCEPT STAIRS AND OTHER UNCLAYED CONCRETE WALLS 20 FT. TO THE PROJECTS OUTER PROPERTY LINES.
- PROPOSED ROAD TO BE TOWN-OWNED**
40 FT. RIGHT OF WAY
114 FT. O.C. DE 540 PART OF WAY DIMENSION

114 FT. O.C. DE 540 PART OF WAY DIMENSION



NOTES:

- NO METALS LOCATED ON SITE OR WITHIN 100' OF SITE.
- SITE IS LOCATED IN FLOOD ZONE C PER TOWN OF MEDWAY FLOOD INSURANCE RATE MAP PANEL NO. 232243 0000R, DATED JUNE 18, 1990.
- SITE IS NOT LOCATED WITHIN A ZONE I WATER RESOURCE PROTECTION DISTRICT PER THE MASS. DEPT. OF ENVIRONMENTAL PROTECTION.
- FORMER HOUSE, BARN, AND SHED WERE RAZED IN MARCH 2009.
- ALL EXISTING CESSPOOLS WERE REMOVED IN MARCH 2009, PER BOARD OF HEALTH.
- THIS PLAN RECONSTRUCTS THE LOTS SHOWN ON THE "COMPREHENSIVE PERMIT MODIFICATION" SUBDIVISION LAYOUT PLAN, FOX RUN FARM, DATED JANUARY 29, 2009, AND THE "COMPREHENSIVE PERMIT MODIFICATION" SUBDIVISION LAYOUT PLAN, FOX RUN FARM, DATED JANUARY 29, 2009, PER THE "COMPREHENSIVE PERMIT MODIFICATION" SUBDIVISION LAYOUT PLAN, FOX RUN FARM, PAGE 34.

PLAN REFERENCE
PERMETER PLAN OF LAND IN MEDWAY, MASSACHUSETTS, DATED JANUARY 29, 2009, BY PAUL J. DESROSIER, PLS DATED JUNE 26, 1998.
FIELD SURVEY BY OUTBACK ENGINEERING, INC. IN FEBRUARY, 2006.
NORFOLK COUNTY RECISTRY OF DEEDS PLAN BOOK 308, PAGE 34.

REVISIONS

NO.	DATE	DESCRIPTION
1.		
2.		
3.		
4.		
5.		

NO.	DATE	DESCRIPTION
1.		
2.		
3.		
4.		
5.		

SCALE: 1"=200'

FOR RECISTRY USE ONLY

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE RECISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: MAY 24, 2011

APPROVED SUBJECT TO TERMS AND CONDITIONS OF THE SUBDIVISION PERMIT FOR ZONING BOARD OF APPEALS AND THE ZONING BOARD OF APPEALS OF THE COMMONWEALTH OF MASSACHUSETTS GENERAL LAWS, SECTIONS 20A-23, AND SUBJECT TO A CONDEMNATION TO BE RECORDED HEREWITH.

DATE:

MEDWAY ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE ZONING BOARD HAS BEEN FILED AT THIS OFFICE.

TOWN CLERK-TOWN OF MEDWAY DATE:

PROJECT ADDRESS
122 HOLLISTON STREET
MEDWAY, MASSACHUSETTS 01948

ASSIGNMENT OF 8 DEEDS
DEED REFERENCE:
NORFOLK COUNTY RECISTRY OF DEEDS BOOK 308, PAGE 34.

PREPARED FOR
FOX RUN DEVELOPMENT GROUP LLC
11 WEST BUTTERFIELD ROAD
UNION, MA

MODIFICATION TO COMPREHENSIVE PERMIT

SUBDIVISION LAYOUT PLAN

"FOX RUN FARM"

IN MEDWAY MASSACHUSETTS

DATE: MAY 24, 2011

Outback Engineering
INCORPORATED

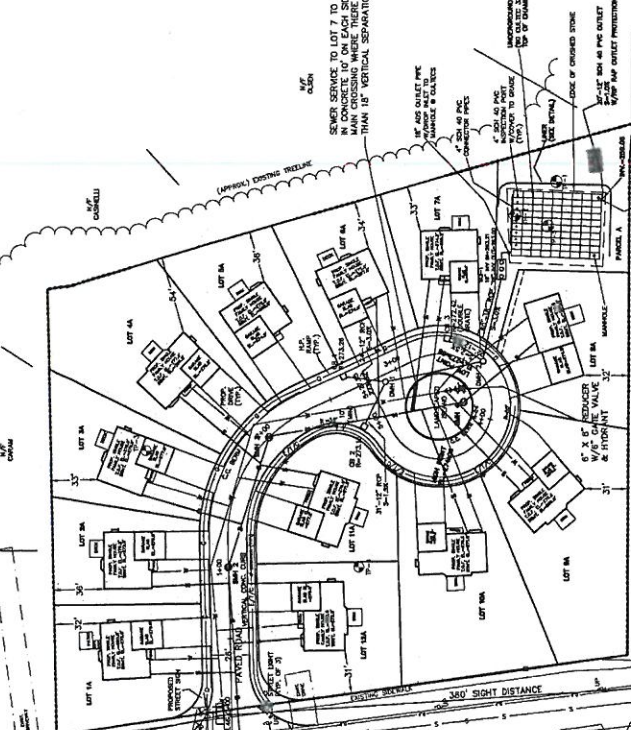
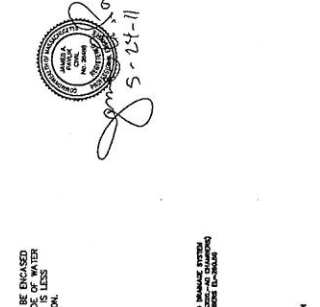
165 EAST GROVE STREET
MILFORD, MASSACHUSETTS 01864
TEL: (508) 946-9231

DIANNE BR. REG. 1
PROSPECTING REG. 10000
SHEET 2 OF 3

SCALE: 1"=200'

- WATER AND SEWER NOTES:**
1. ALL SEWER CONNECTIONS TO TOWN OF MIDWAY SHALL BE MADE TO THE MAIN SEWER LINE AS SHOWN ON THE PLAN.
 2. SEWER MAINS SHALL BE CLEANED AND TESTED BEFORE ACCEPTANCE. SOIL, CONSTRUCTION DEBRIS, AND OTHER MATERIALS SHALL BE PREVENTED FROM ENTERING THE SYSTEM.
 3. WATER MAINS SHALL BE LOCATED A MINIMUM OF 10' FROM SEWER MAINS. SEWER MAINS SHALL BE INSTALLED WITH A VERTICAL SEPARATION OF 10' ABOVE THE SEWER MAINS.
 4. IF THE 10' HORIZONTAL SEPARATION CANNOT BE MET, THEN THE WATER AND SEWER MUST BE LAD IN SEPARATE TRENCHES.
 5. ALL SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 10' FROM ANY WATER MAIN. BOTH SEWER MAINS SHALL BE ENCASED IN CONCRETE. THE SEWER MAIN SHALL BE ENCASED IN CONCRETE A DISTANCE OF 10' MINIMUM FROM THE WATER MAIN. THE CONCRETE SHALL BE TESTED TO ENSURE WATER TIGHTNESS.
 6. IF A SPOKE MUST CROSS ABOVE A WATER SERVICE, THEN THE WATER SERVICE SHALL BE ENCASED IN CONCRETE A DISTANCE OF 10' MINIMUM BEYOND THE CROSSING.

SEWER SERVICE TO LOT 7 TO BE ENCASED IN CONCRETE WHERE THERE IS LESS THAN 18" VERTICAL SEPARATION.



SMALL INSTALLATION NOTES:

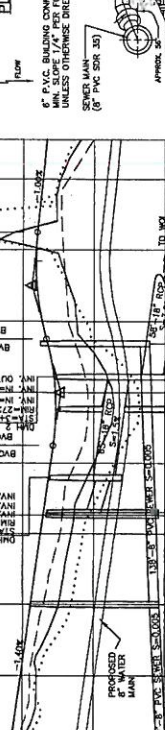
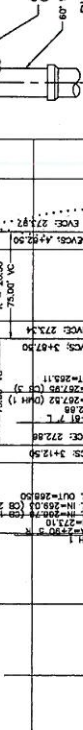
SMALL SHALL BE A 100'-HOUSE STYLE PRECAST CONCRETE MANHOLE. THE MANHOLE SHALL BE SET TO FINISH GRADE. THE MANHOLE SHALL BE SET TO FINISH GRADE. THE MANHOLE SHALL BE SET TO FINISH GRADE.

LEGEND

- EXISTING RIGHT SOLELINE
- EXISTING LEFT SOLELINE
- EXISTING CENTERLINE
- PROPOSED CENTERLINE

LEGEND

- EXISTING STONEWALL
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- EXISTING ELEVATIONS
- PERC TEST HOLE
- AFFORDABLE UNIT



REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE PROFESSIONAL LAND SURVEYOR

5-24-11

APPROVED SUBJECT TO TERMS AND CONDITIONS OF A COMPREHENSIVE PERMIT AS AUTHORIZED BY CHAPTER 86B OF THE MASSACHUSETTS GENERAL LAWS. THIS PERMIT IS VALID FOR A PERIOD OF 180 DAYS FROM THE DATE OF ISSUANCE. THIS PERMIT IS VALID FOR A PERIOD OF 180 DAYS FROM THE DATE OF ISSUANCE.

MIDWAY ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE ZONING BOARD DECISION, AS AUTHORIZED BY CHAPTER 86B OF THE MASSACHUSETTS GENERAL LAWS. THIS PERMIT IS VALID FOR A PERIOD OF 180 DAYS FROM THE DATE OF ISSUANCE.

TOWN CLERK/TOWN OF MIDWAY

PROJECT ADDRESS

ASSESSORS MAP & PARCEL 102

DEED REFERENCE: REGISTRY OF DEEDS BOOK: 1056, PAGE: 53

PREPARED FOR

FOX RUN DEVELOPMENT GROUP LLC

11 WEST BUTTERFLY ROAD

UNION, RI

MODIFICATION TO COMPREHENSIVE PERMIT

UTILITY PLAN & ROAD PROFILE

"FOX RUN FARM"

IN MIDWAY MASSACHUSETTS

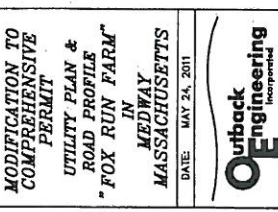
DATE: MAY 24, 2011

Outback Engineering

165 EAST GROVE STREET
 MIDDLETOWN, MA 01462
 TEL: (508) 948-9231

DRAWN BY: VEZIRI, C/PROJECT NO.: JAP
 PROJECT NO.: 06-1038A
 SHEET 3 OF 3

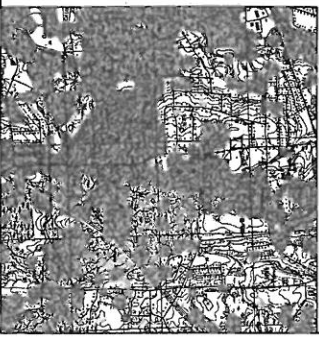
SCALE: AS SHOWN



1050943-PROJFILE CREATIONS

FOX RUN FARM

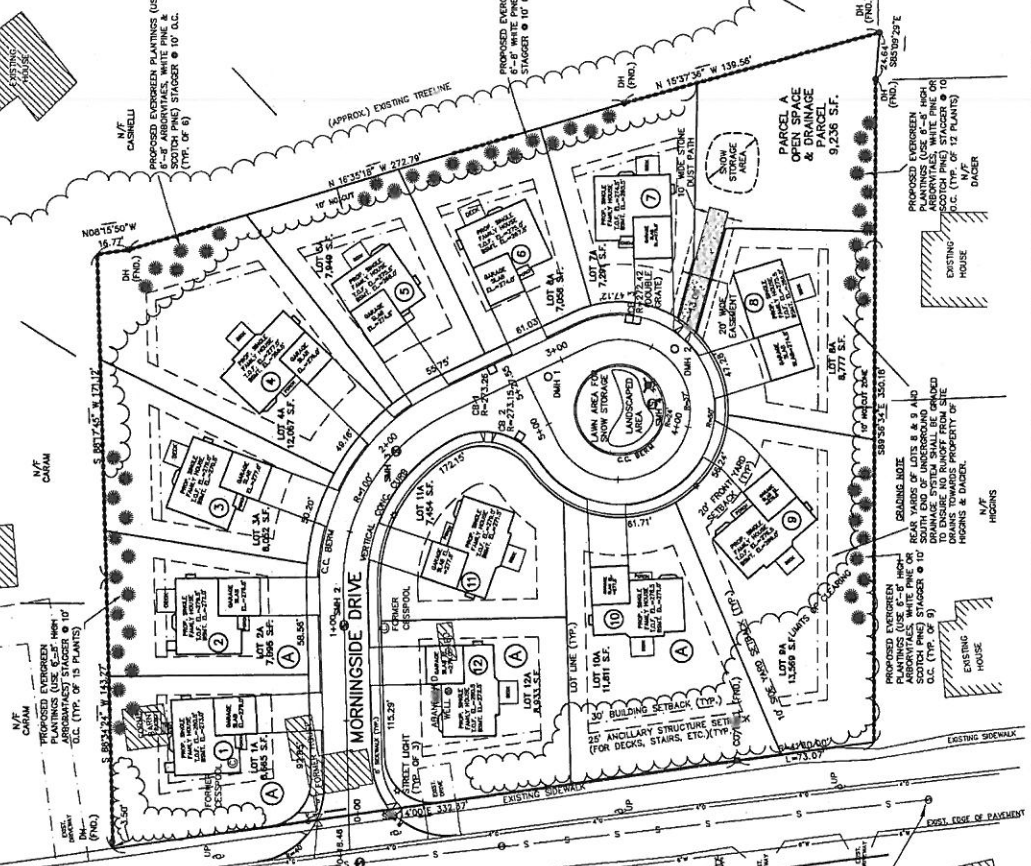
PROPOSED RESIDENTIAL DEVELOPMENT
IN MASSACHUSETTS



LOCUS
SCALE: 1" = 2000'

HOLLISTON STREET
(COURTNEY LAYOUT OF 1962 - 60' WIDE)

MORNINGSIDE DRIVE



PLAN PURPOSE
THE PURPOSE OF THIS PLAN IS TO SUBMIT TO THE BOARD OF APPEALS FOR ZONING AND PERMITS, THE PROPOSED DEVELOPMENT OF 12 SINGLE-FAMILY HOUSE LOTS AS SHOWN HEREON AND FOR THE BOARD OF APPEALS TO APPROVE THE PROPOSED DEVELOPMENT AND TO ISSUE A PERMIT FOR THE PROPOSED DEVELOPMENT. THIS PLAN IS BEING SUBMITTED TO THE BOARD OF APPEALS FOR ZONING AND PERMITS FOR THE MAY 24, 2011 DECISION. REFER TO MAY 24, 2011 DECISION FOR THE PLAN PURPOSE.

PROPOSED EVERGREEN PLANTINGS (USE SCOTCH PINE) STAGGER @ 10' O.C. (TYP. OF 8)

PROPOSED EVERGREEN PLANTINGS (USE SCOTCH PINE) STAGGER @ 10' O.C. (TYP. OF 13 PLANTS)

PROPOSED EVERGREEN PLANTINGS (USE SCOTCH PINE) STAGGER @ 10' O.C. (TYP. OF 14)

PROPOSED EVERGREEN PLANTINGS (USE SCOTCH PINE) STAGGER @ 10' O.C. (TYP. OF 14)

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PROPOSED EVERGREEN PLANTINGS (USE SCOTCH PINE) STAGGER @ 10' O.C. (TYP. OF 14)

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE REGISTERS OF DEEDS.

DATE: PROFESSIONAL LAND SURVEYOR

APPROVED SUBJECT TO TERMS AND CONDITIONS OF THE PERMIT FOR ZONING AND PERMITS DECISION, AS AUTHORIZED BY CHAPTER 40A, SECTION 20-21, AND SUBJECT TO A CONVEYMENT TO BE RECORDED HEREIN.

DATE: MAY 24, 2011

PREPARED FOR: FOX RUN FARM, LLC, 17 WEST BUTTERFLY ROAD, LINCOLN, RI

MODIFICATION TO COMPREHENSIVE PERMIT

LANDSCAPING PLAN FOR FOX RUN FARM IN MEDWAY MASSACHUSETTS

DATE: MAY 24, 2011

SEAL OF THE PROFESSIONAL LAND SURVEYOR

PROFESSIONAL LAND SURVEYOR

DATE: MAY 24, 2011

APPROVED SUBJECT TO TERMS AND CONDITIONS OF THE PERMIT FOR ZONING AND PERMITS DECISION, AS AUTHORIZED BY CHAPTER 40A, SECTION 20-21, AND SUBJECT TO A CONVEYMENT TO BE RECORDED HEREIN.

DATE: MAY 24, 2011

PREPARED FOR: FOX RUN FARM, LLC, 17 WEST BUTTERFLY ROAD, LINCOLN, RI

MODIFICATION TO COMPREHENSIVE PERMIT

LANDSCAPING PLAN FOR FOX RUN FARM IN MEDWAY MASSACHUSETTS

DATE: MAY 24, 2011

SEAL OF THE PROFESSIONAL LAND SURVEYOR

PROFESSIONAL LAND SURVEYOR

REVISIONS

NO.	DATE	DESCRIPTION
1.		
2.		
3.		
4.		
5.		
6.		
7.		

LANDSCAPING NOTES:

- LIMITS OF CLEARING SHOWN ARE INTENDED TO RETAIN USABLE EXISTING TREES AND SHRUBS ALONG PROPERTY BOUNDARIES TO PREVENT REMOVAL OF TREES.
- WHERE SHOWN AT OUTER PROPERTY BOUNDARY, BUFFER PLANTINGS OF EVERGREEN PLANTINGS SHALL BE INSTALLED SCREENING TO ADJACENT PROPERTIES.
- FOUNDATION PLANTINGS (NOT SHOWN) SHALL INCLUDE AZALEAS, ETC.
- CENTER OF COL DE SAC SHALL BE PLANTED WITH TREES. PLANTINGS SHALL BE INSTALLED IN A NUMBER OF ISLANDS TO BE LOWNED AND SEEDS FOR SNOW STORAGE AREA.

PROPOSED EVERGREEN PLANTINGS (USE SCOTCH PINE) STAGGER @ 10' O.C. (TYP. OF 14)

PROPOSED EVERGREEN PLANTINGS (USE SCOTCH PINE) STAGGER @ 10' O.C. (TYP. OF 14)

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LEGEND

- EXISTING STONEWALL
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- EXISTING SENSOR MAIN
- EXISTING ELEVATORS
- PERC TEST HOLE
- AFFORDABLE UNIT

EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE

EXISTING HOUSE



October 20, 2014

Ms. Susan Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Bay Oaks Subdivision
Minor Modification Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

We are pleased to submit this Proposal to the Town of Medway (the Client) for professional services associated with the review of a minor modification application for the Bay Oaks subdivision in Medway, Massachusetts (the Project).

Scope of Services

The following specifically describes the Scope of Services to be completed:

Task 1 Minor Modification Review

1. We will review the minor modification application and provide a review letter.

Cost

Our cost for the above Scope of Services will be on a time and expenses basis in accordance with Tetra Tech's and Medway's existing contract rates. Please be advised that this estimate is based on our current understanding of the Project needs additional requirements by the town may result in additional charges not included in this proposal. The breakdown of this fee by task is as follows:

Task	Task Description	Fee
Task 1	Minor Modification Review	\$250
	Labor Subtotal:	\$250
	Expenses (3.5%)	\$7
	Total Fee	\$257

Schedule

We are prepared to begin work immediately upon receipt of this executed Proposal. We recognize that timely performance of these services is an important element of this Proposal and

One Grant Street
Framingham, MA 01702
Tel 508.903.2000 Fax 508.903.2001



TETRA TECH

will put forth our best effort, consistent with accepted professional practice, to comply with the project's needs. We are not responsible for delays in performance caused by circumstances beyond our control or which could not have reasonably been anticipated or prevented

General Terms and Conditions

This Proposal is subject to the existing Terms and Conditions signed by Tetra Tech and the Town of Medway. Should this proposal meet with your approval, please sign and return a copy to us for our files. Your signature provides full authorization for us to proceed. We look forward to working with you on this Project. Please contact us with any questions, or if you require additional information.

Very truly yours,

Sean P. Reardon, P.E.
Vice President

Certified by: _____ Date _____
Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator

FIRST AMENDMENT TO COVENANT

This First Amendment to Covenant is entered into as of this 15 day of October 2014, by and between the Town of Medway, a Massachusetts municipal corporation, acting by and through its Planning and Economic Development Board, with an address of 155 Village Street, Medway, Massachusetts 02053 (the "Board") and Ralph M. Costello, Trustee of the Cedar Trail Trust, under Declaration of Trust dated October 15, 1992, and recorded in the Norfolk County Registry of Deeds (the "Registry") in Book 9591, Page 536 (the "Owner"), record owner of the parcels of land shown as Lots 1B through 12B on a definitive subdivision plan of land entitled "Definitive Subdivision Plan 'Applegate Farm' Twelve Lot Single Family Residential Subdivision, Medway, MA," prepared by GLM Engineering Consultants, Inc., dated December 1, 2005, revised January 12, 2007 and recorded at the Registry as Plan 53 of 2007 in Plan Book 565 (the "Subdivision Plan").

WHEREAS, the Board and the Owner executed a Covenant dated January 31, 2007 and recorded with the Registry in Book 24559, Page 9 (the "Covenant");

WHEREAS, the Board approved a Certificate of Action – Amendment to Applegate Farm Definitive Subdivision Plan on January 14, 2014 and filed with the Medway Town Clerk on January 23, 2014, (the "Certificate of Action");

WHEREAS, the Certificate of Action approved certain revisions to the Subdivision Plan (the "Amended Subdivision Plan");

WHEREAS, the Certificate of Action is recorded herewith at the Registry;

WHEREAS, the Amended Subdivision Plan is shown on a plan entitled "Amended Definitive Subdivision Plan 'Applegate Farm' Twelve Lot Single Family Residential Subdivision, Medway, Massachusetts," prepared by GLM Engineering Consultants, Inc., dated February 20, 2013, last revised April 28, 2014,

WHEREAS, the Amended Subdivision Plan is recorded herewith at the Registry; and

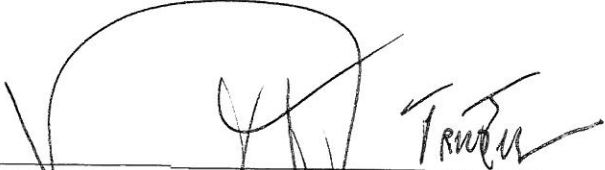
WHEREAS, the parties wish to amend the Covenant so as to reference the Amended Subdivision Plan.

NOW, THEREFORE, for and in consideration of the mutual promises set forth below, and for good and valuable consideration, the parties agree as follows:

1. All references in the Covenant to the Covenant shall be deemed to be a reference to this First Amendment to Covenant.
2. All references in the Covenant to the Subdivision Plan shall be deemed to be a reference to the Amended Subdivision Plan.
3. In all other respects, the Covenant shall remain in full force and effect.

EXECUTED as a sealed instrument as of this 15, day of October, 2014


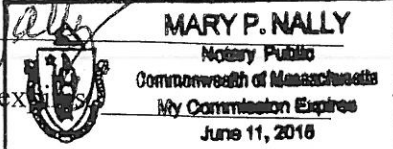
OWNER


Ralph M. Costello, as Trustee of
Cedar Trail Trust and not individually


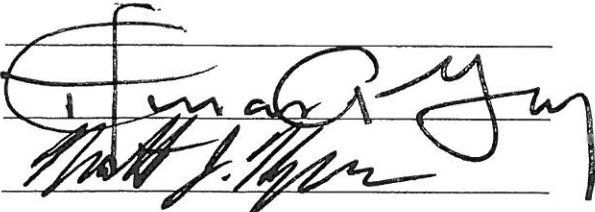
COMMONWEALTH OF MASSACHUSETTS

County of Norfolk

On this 15th day of October, 2014, before me, the undersigned notary public, personally appeared Ralph M. Costello, proved to me through satisfactory evidence of identification, which was a Massachusetts driver's license, to be the person whose name is signed on the preceding document and acknowledged to me that he signed it voluntarily for its stated purpose as Trustee of Cedar Trail Trust.


Notary Public
My commission expires 

TOWN OF MEDWAY PLANNING and ECONOMIC DEVELOPMENT BOARD

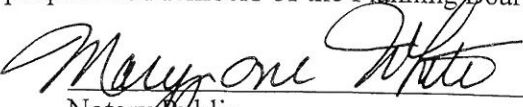



COMMONWEALTH OF MASSACHUSETTS

County of Norfolk

On this 21 day of October, 2014, before me, the undersigned notary public, personally appeared Andy Rodenhuser, Thomas Gay, Matthew Hayes

proved to me through satisfactory evidence of identification, which was a Massachusetts driver's license, to be the persons whose names are signed on the preceding document and acknowledged to me that he signed it voluntarily for its stated purpose as Members of the Planning Board of the Town of Medway.


Notary Public
My commission expires: Aug 6, 2015

ASSENT OF MORTGAGEE

Needham Bank, f/k/a, Needham Cooperative Bank, 1063 Great Plain Avenue, Needham, MA 02492, is the mortgagee of that certain parcel of land constituting the Subdivision, pursuant to that certain mortgage dated September 14, 2005 and recorded in the Registry in Book 22894, Page 6. The undersigned mortgagee agrees to hold said mortgage subject to the terms and provisions of the Covenant, as amended by the First Amendment To Covenant, and agrees that said mortgage shall be subordinate to the Covenant as so amended, which Covenant as so amended shall have the same status, force, and effect as though executed and recorded prior to the execution and recordation of said mortgage.

MORTGAGEE:

NEEDHAM BANK

By: Charles M Steele
Name: Charles M Steele
Title: Senior Vice President

COMMONWEALTH OF MASSACHUSETTS

Norfolk, ss

On this 14th day of October, 2014, before me, the undersigned notary public, personally appeared Charles M. Steele of Needham Bank, who proved to me through satisfactory evidence of identification, which was a Massachusetts driver's license, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily on behalf of Needham Cooperative Bank for its stated purpose.

Anna-Jean Ellis
Notary Public Anna-Jean Ellis
My Commission Expires: 8/31/2018



October 21, 2014
Medway Planning & Economic Development Board
Meeting

CONSTRUCTION REPORTS

- Millstone Village ARCPUD - Report #10 (10-3-14)
- Millstone Village ARCPUD - Report #11 (10-6-14)
- Millstone Village ARCPUD - Report #12 (10-7-14)
- Millstone Village ARCPUD - Report #13 (10-8-14)
- Millstone Village ARCPUD - Report #14 (10-9-14)
- Millstone Village ARCPUD - Report #15 (10-10-14)
- Millstone Village ARCPUD - Report #16 (10-13-14)
- Millstone Village ARCPUD - Report #17 (10-14-14)
- Millstone Village ARCPUD - Report #18 (10-15-14)

- Bay Oaks Subdivision – Report #1 (10-7-14)
- Bay Oaks Subdivision – Report #2 (10-8-14)

- Applegate Subdivision – Report #47 (10-6-14)

Project Millstone Village	Date 10-03-14	Report No. 10
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. CLOUDY P.M.	Temperature A.M. 60° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. The contractor expects to continue the installation of the sewer through next week and begin the installation of the drainage system.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Contractor to finish pave sewer/water trenches in Winthrop Street.
- B. Applicant to notify PEDB of any landscape plan changes since the approved plan set was issued.

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech
 One Grant Street
 Framingham, MA 01701

Project Millstone Village	Date 10-06-14	Report No. 11
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 60° P.M.

FIELD OBSERVATIONS

On Monday, October 6, 2014 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations
 - A. The contractor is in the process of grading Detention Basin #1P. All headwalls and the outlet control structure have been placed in the pond as well as the rip-rap outlet protection in the forebays.
 - B. It appears that the landscaping for the area adjacent to Winthrop Street has been completed and hydroseeded. However the landscaping appears to be placed per a modified landscaping plan which is not reflected in the approved plans.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't					Dept. or Company	Description of Work
Foreman	1	Bulldozer		Asphalt Paver		
		Backhoe		Asphalt Reclaimer		
Laborers	2	Loader	1	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	2	Bobcat		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	2	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flag persons		Scraper		Tree Remover		
Surveyors		Articulating Dump Truck		Chipper		
		Conc. Truck		Screener		
		Pickup Truck		Drill Rig		
		Dump Truck 6 Whl		Boom Lift		
		Dump Truck 10 Whl		Water Truck		
		Dump Truck 14 Whl		Lull		
		Dump Truck 18 Whl		Gradall		

OFFICIAL VISITORS TO JOB

Police Details:	RESIDENT REPRESENTATIVE FORCE	
Time on site: 8:00 A.M. – 10:00 P.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative: Steven Bouley	

Project Millstone Village	Date 10-06-14	Report No. 11
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 60° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. The contractor expects to continue the installation of the sewer this week and begin the installation of the drainage system.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Contractor to finish pave sewer/water trenches in Winthrop Street.
- B. Applicant to notify PEDB of any landscape plan changes since the approved plan set was issued.

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech
 One Grant Street
 Framingham, MA 01701

Project Millstone Village	Date 10-07-14	Report No. 12
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. P.M. SUNNY	Temperature A.M. P.M. 75°

FIELD OBSERVATIONS

On Tuesday, October 7, 2014 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations
 - A. The contractor is in the process of loaming Detention Basin #1P. Loam was placed to an approximate 6" depth and to the appropriate grades. Seeding will take place on Thursday due to rain expected tomorrow.
 - B. TT received a revised landscape plan endorsed by the PEDB which shows the field-stone wall location along the property line as well as updated landscaping.
 - C. The contractor stated he is in the process of applying for a permit to blast ledge at the northern end of Sandstone Drive adjacent to the intersection with Cobblestone Drive. TT stated that he must have a permit to conduct the blasting and all measures must be taken to obtain the permit prior to blasting. Mr. Zercoe stated that the permit application is in progress and is expecting to be finished by the end of the week.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't				Dept. or Company	Description of Work
Foreman	1	Bulldozer		Asphalt Paver	
		Backhoe		Asphalt Reclaimer	
Laborers	4	Loader	1	Vib. Roller	
Drivers		Rubber Tire Backhoe/Loader		Static Roller	
Oper. Engr.	2	Bobcat		Vib. Walk Comp.	
Carpenters		Hoeram		Compressor	
Masons		Excavator	2	Jack Hammer	
Iron Workers		Grader		Power Saw	
Electricians		Crane		Conc. Vib.	
Flag persons		Scraper		Tree Remover	
Surveyors		Articulating Dump Truck		Chipper	
		Conc. Truck		Screener	
		Pickup Truck		Drill Rig	
		Dump Truck 6 Whl		Boom Lift	
		Dump Truck 10 Whl		Water Truck	
		Dump Truck 14 Whl		Lull	
		Dump Truck 18 Whl		Gradall	

OFFICIAL VISITORS TO JOB

Police Details:	RESIDENT REPRESENTATIVE FORCE	
Time on site: 2:00 P.M. – 3:30 P.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative: Steven Bouley	

Project Millstone Village	Date 10-07-14	Report No. 12
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. P.M. SUNNY	Temperature A.M. P.M. 75°

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. The contractor expects to continue the installation of the sewer this week and begin the installation of the drainage system.

3. New Action Items

- A. Titan contracting (or blasting subcontractor) to obtain blasting permit for proposed blasting at the intersection of Sandstone/Cobblestone Drive.

4. Previous Open Action Items

- B. Contractor to finish pave sewer/water trenches in Winthrop Street.
- C. Applicant to notify PEDB of any landscape plan changes since the approved plan set was issued. *It received a revised version of the landscape plan with planning board endorsement showing the wall along the property line. No further action required for this item.*

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Millstone Village	Date 10-08-14	Report No. 13
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. P.M. SUNNY	Temperature A.M. P.M. 75°

FIELD OBSERVATIONS

On Wednesday, October 8, 2014 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. The contractor is in the process of installing the drainage system. The contractor installed CB #1, CB#2, DMH #3 and associated 12" RCP pipe which outlet to Detention Basin #1P at HW #4. The contractor has also installed CB #7 and DMH #6 and associated 12" RCP pipe. All pipe and structures were installed per the approved plans.
- B. The contractor is in the process of installing sewer service chimneys along Millstone Drive between approximate STA 3+00 and 5+00.
- C. The foundation crew is on-site forming the foundation for the clubhouse to be poured later today.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't					Dept. or Company	Description of Work
Foreman		Bulldozer		Asphalt Paver		
		Backhoe		Asphalt Reclaimer		
Laborers	3	Loader	1	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	3	Bobcat		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	2	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flag persons		Scraper		Tree Remover		
Surveyors		Articulating Dump Truck		Chipper		
		Conc. Truck		Screener		
		Pickup Truck		Drill Rig		
		Dump Truck 6 Whl		Boom Lift		
		Dump Truck 10 Whl		Water Truck		
		Dump Truck 14 Whl		Lull		
		Dump Truck 18 Whl		Gradall		

OFFICIAL VISITORS TO JOB

Police Details:	RESIDENT REPRESENTATIVE FORCE	
Time on site: 12:30 P.M. – 3:30 P.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative: Steven Bouley	

Project Millstone Village	Date 10-08-14	Report No. 13
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. P.M. SUNNY	Temperature A.M. P.M. 75°

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. The contractor expects to continue the installation of the sewer this week and begin the installation of the drainage system.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Contractor to finish pave sewer/water trenches in Winthrop Street.
- B. Titan contracting (or blasting subcontractor) to obtain blasting permit for proposed blasting at the intersection of Sandstone/Cobblestone Drive.

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Millstone Village	Date 10-09-14	Report No. 14
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 65° P.M.

FIELD OBSERVATIONS

On Thursday, October 9, 2014 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. The contractor is in the process of installing the drainage system. The contractor installed CB #8, and associated 12" RCP pipe to complete the infrastructure which outlets to Detention Basin #1P at HW #5. The contractor is in the process of installing the 18" RCP pipe and structure from HW#38 to DMH #37. All pipe and structures were installed per the approved plans.
- B. The foundation crew is in the process of pouring the concrete floors in the basements of Units #1 - #4. Once complete the building can begin construction the units and the clubhouse.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS		
Sup't					Dept. or Company	Description of Work
	1	Bulldozer		Asphalt Paver		
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	2	Loader	1	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	2	Bobcat		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	2	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flag persons		Scraper		Tree Remover		
Surveyors		Articulating Dump Truck		Chipper		
		Conc. Truck		Screener	OFFICIAL VISITORS TO JOB	
		Pickup Truck		Drill Rig		
		Dump Truck 6 Whl		Boom Lift		
		Dump Truck 10 Whl		Water Truck		
		Dump Truck 14 Whl		Lull		
		Dump Truck 18 Whl		Gradall		
Police Details:				RESIDENT REPRESENTATIVE FORCE		
Time on site: 8:00 A.M. – 12:00 P.M.				Name		Name
CONTRACTOR'S Hours of Work:						
				Resident Representative: Steven Bouley		

Project Millstone Village	Date 10-09-14	Report No. 14
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 65° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. The contractor plans to continue the installation of the drainage, sewer and begin the water installation shortly to be able to pave binder in Phase I in a few weeks.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Contractor to finish pave sewer/water trenches in Winthrop Street.
- B. Titan contracting (or blasting subcontractor) to obtain blasting permit for proposed blasting at the intersection of Sandstone/Cobblestone Drive.

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Millstone Village	Date 10-10-14	Report No. 15
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 60° P.M.

FIELD OBSERVATIONS

On Friday, October 10, 2014 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. The contractor is in the process of installing the drainage system. The contractor installed CB #10, CB #11, DMH #9 and associated 12" RCP pipe. Also, 12" RCP pipe has been installed from HW #9A to DMH #9 along Sandstone Drive. Pipe and structures were installed per the approved plans.
- B. The contractor is in the process of installing sewer service chimneys along Millstone Drive between approximate STA 3+00 and 5+00.
- C. A drilling company is on-site drilling ledge in preparation for blasting. A blasting permit has not yet been acquired by the contractor to blast.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
Sup't				Dept. or Company	Description of Work
		Bulldozer			
Foreman		Backhoe			
Laborers	3	Loader	1		
Drivers		Rubber Tire Backhoe/Loader			
Oper. Engr.	2	Bobcat			
Carpenters		Hoeram			
Masons		Excavator	2		
Iron Workers		Grader			
Electricians		Crane			
Flag persons		Scraper			
Surveyors		Articulating Dump Truck	1		
Driller	1	Conc. Truck			OFFICIAL VISITORS TO JOB
		Pickup Truck		1	
		Dump Truck 6 Whl			
		Dump Truck 10 Whl			
		Dump Truck 14 Whl			
		Dump Truck 18 Whl			
Police Details:				RESIDENT REPRESENTATIVE FORCE	
Time on site: 8:00 A.M. – 12:00 P.M.				Name	Name
CONTRACTOR'S Hours of Work:					
				Resident Representative: Steven Bouley	

Project Millstone Village	Date 10-10-14	Report No. 15
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 60° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. The contractor plans to continue the installation of the drainage, sewer and begin the water installation shortly to be able to pave binder in Phase I in a few weeks.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Contractor to finish pave sewer/water trenches in Winthrop Street.
- B. Titan contracting (or blasting subcontractor) to obtain blasting permit for proposed blasting at the intersection of Sandstone/Cobblestone Drive.

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech
 One Grant Street
 Framingham, MA 01701

Project Millstone Village	Date 10-13-14	Report No. 16
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. CLOUDY P.M.	Temperature A.M. 55° P.M.

FIELD OBSERVATIONS

On Monday, October 13, 2014 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. The contractor is in the process of installing sewer mainline along Millstone Drive from SMH #5 to SMH #6. The contractor is also installing SMH #6. Pipe and structures were installed per the approved plans.
- B. A drilling company is on-site drilling ledge in preparation for blasting. A blasting permit has not yet been acquired by the contractor to blast.
- C. The foundation crew is pouring the floors in the basement to Units #3 and #4.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't		Bulldozer	1	Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers	3	Loader	1	Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	3	Bobcat		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	2	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flag persons		Scraper		Tree Remover			
Surveyors		Articulating Dump Truck		Chipper			
Driller	1	Conc. Truck		Screener		OFFICIAL VISITORS TO JOB	
		Pickup Truck		Drill Rig	1		
		Dump Truck 6 Whl		Boom Lift			
		Dump Truck 10 Whl		Water Truck			
		Dump Truck 14 Whl		Lull			
		Dump Truck 18 Whl		Gradall			

Police Details:	RESIDENT REPRESENTATIVE FORCE	
Time on site: 8:00 A.M. – 12:00 P.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative: Steven Bouley	

Project Millstone Village	Date 10-13-14	Report No. 16
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. CLOUDY P.M.	Temperature A.M. 55° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. The contractor plans to continue the installation of the drainage, sewer and begin the water installation shortly to be able to pave binder in Phase I in a few weeks.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Contractor to finish pave sewer/water trenches in Winthrop Street.
- B. Titan contracting (or blasting subcontractor) to obtain blasting permit for proposed blasting at the intersection of Sandstone/Cobblestone Drive.

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Millstone Village	Date 10-14-14	Report No. 17
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. CLOUDY P.M.	Temperature A.M. 70° P.M.

FIELD OBSERVATIONS

On Tuesday, October 14, 2014 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. The contractor is in the process of installing sewer mainline along Millstone Drive from SMH #6 to SMH #7. Pipe was installed per the approved plans.
- B. A blasting subcontractor is on-site to blast ledge at the proposed intersection of Sandstone Drive and Cobblestone Drive. Nearby residents were notified as well as seismometers placed on their property to record the potential seismic effects of the blast.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS		
Sup't					Dept. or Company	Description of Work
		Bulldozer	1	Asphalt Paver		
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	3	Loader	1	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	3	Bobcat		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	2	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flag persons		Scraper		Tree Remover		
Surveyors		Articulating Dump Truck		Chipper		
Driller	1	Conc. Truck		Screener		OFFICIAL VISITORS TO JOB
Blast Crew	2	Pickup Truck		Drill Rig	1	
		Dump Truck 6 Whl		Boom Lift		
		Dump Truck 10 Whl		Water Truck		
		Dump Truck 14 Whl		Lull		
		Dump Truck 18 Whl		Gradall		
Police Details:				RESIDENT REPRESENTATIVE FORCE		
Time on site: 8:00 A.M. – 12:00 P.M.				Name		Name
CONTRACTOR'S Hours of Work:						
				Resident Representative: Steven Bouley		

Project Millstone Village	Date 10-14-14	Report No. 17
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. CLOUDY P.M.	Temperature A.M. 70° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. The contractor plans to continue the installation of the drainage, sewer and begin the water installation shortly to be able to pave binder in Phase I in a few weeks.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Contractor to finish pave sewer/water trenches in Winthrop Street.
- B. Titan contracting (or blasting subcontractor) to obtain blasting permit for proposed blasting at the intersection of Sandstone/Cobblestone Drive. *The blasting contractor acquired a blasting permit. No further action required for this item.*

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Millstone Village	Date 10-15-14	Report No. 18
Location Winthrop Street	Project No. 143-21583-14018	Sheet 1 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 75° P.M.

FIELD OBSERVATIONS

On Wednesday, October 15, 2014 Steven Bouley from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. The contractor is in the process of installing sewer mainline along Millstone Drive from SMH #6 to SMH #7 as well as SMH #7. Sewer services are also being installed along Millstone Drive as well as Sandstone Drive. All services on Sandstone drive are utilizing a chimney connection. Services are stubbed at the proposed edge of roadway to be connected to at a later date. Pipe and structures were installed per the approved plans.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't		Bulldozer	1	Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers	3	Loader	1	Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	3	Bobcat		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	2	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flag persons		Scraper		Tree Remover			
Surveyors		Articulating Dump Truck		Chipper			
Driller	1	Conc. Truck		Screener		OFFICIAL VISITORS TO JOB	
Blast Crew	2	Pickup Truck		Drill Rig	1		
		Dump Truck 6 Whl		Boom Lift			
		Dump Truck 10 Whl		Water Truck			
		Dump Truck 14 Whl		Lull			
		Dump Truck 18 Whl		Gradall			
Police Details:						RESIDENT REPRESENTATIVE FORCE	
Time on site: 8:00 A.M. – 12:00 P.M.						Name	Name
CONTRACTOR'S Hours of Work:							
						Resident Representative: Steven Bouley	

Project Millstone Village	Date 10-15-14	Report No. 18
Location Winthrop Street	Project No. 143-21583-14018	Sheet 2 of 2
Contractor Titan Contracting Dave Zercoe	Weather A.M. SUNNY P.M.	Temperature A.M. 75° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. The contractor plans to continue the installation of the drainage, sewer and begin the water installation shortly to be able to pave binder in Phase I in a few weeks.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Contractor to finish pave sewer/water trenches in Winthrop Street.

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Bay Oaks	Date 10-07-14	Report No. 01
Location Fisher Street/Dover Lane	Project No. 143-21583-14014	Sheet 1 of 2
Contractor Andy Rodenhiser	Weather A.M. P.M. SUNNY	Temperature A.M. P.M. 70°

FIELD OBSERVATIONS

On Tuesday, October 7, 2014 Steve Bouley from Tetra Tech (Tt) visited the project site to inspect the current condition of the site and address abutter concerns. The following observations were made:

I. Observations

- A. Mr. Rodenhiser's neighbor (Mr. Peter Rapp) expressed concern regarding the limit of clearing/boulder removal at the entrance to Dover Lane and felt that the work was encroaching onto his property. Mr. Rapp indicated that during the boulder removal/tree clearing by Mr. Rodenhiser, a boulder with a property bound (drill hole) was removed, equipment was placed on his property and granite curb was damaged during the work.
- B. It appears that the work conducted by Mr. Rodenhiser at the time of inspection is within the limits of the approved plans and his property. The property bound was indeed removed and will require replacement by Mr. Rodenhiser. Mr. Rodenhiser stated he was having a survey crew place stakes at the property boundary to limit any confusion regarding the limits of the property. The granite curb which was damaged by the excavation equipment requires setting with concrete.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't	1	Bulldozer	Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe	Asphalt Reclaimer		
Laborers		Loader	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader	Static Roller		
Oper. Engr.		Bobcat	Vib. Walk Comp.		
Carpenters		Hoeram	Compressor		
Masons		Excavator	Jack Hammer		
Iron Workers		Grader	Power Saw		
Electricians		Crane	Conc. Vib.		
Flag persons		Scraper	Tree Remover		
Surveyors		Conc. Mixer	Chipper		
		Conc. Truck	Screener	OFFICIAL VISITORS TO JOB	
		Pickup Truck	Drill Rig		
		Dump Truck 6 Whl	Boom Lift		
		Dump Truck 10 Whl	Water Tank		
		Dump Truck 14 Whl	Lull		
		Dump Truck 18 Whl	Gradall		

Police Details:	RESIDENT REPRESENTATIVE FORCE	
Time on site: 3:00 P.M. – 4:00 P.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative: Steve Bouley	

Project Bay Oaks	Date 10-07-14	Report No. 01
Location Fisher Street/Dover Lane	Project No. 143-21583-14014	Sheet 2 of 2
Contractor Andy Rodenhiser	Weather A.M. P.M. SUNNY	Temperature A.M. P.M. 70°

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. Mr. Rodenhiser plans to continue clearing and begin construction on the proposed swale and retention basin this week into next week.

3. New Action Items

- A. Replace property bound at northeastern corner of Dover Lane layout at intersection with Fisher Street.
- B. Repair granite curb damaged during clearing/boulder removal.

4. Previous Open Action Items

- A. N/A

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech One Grant Street Framingham, MA 01701		
Project Bay Oaks	Date 10-08-14	Report No. 02
Location Fisher Street/Dover Lane	Project No. 143-21583-14014	Sheet 1 of 2
Contractor Andy Rodenhiser	Weather A.M. SUNNY P.M.	Temperature A.M. 65° P.M.

FIELD OBSERVATIONS

On Wednesday, October 8, 2014 Steve Bouley from Tetra Tech (Tt) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations

- A. TT met Mr. Rodenhiser on-site to discuss the progress on the project. He explained that he would like to bend the proposed grass swale around a rock outcrop to avoid the outcropping and to leave the site in its natural state as much as possible. TT does not have an issue with the change. Mr. Rodenhiser dug four test pits along the proposed driveway and within the right of way to allow for inspection of the subgrade/subbase. The test pit nearest the existing cul-de-sac yielded stones approximately 4"-6" in diameter and deemed not suitable for use as a subbase material for the proposed driveway. TT asked that processed gravel be placed where stones of this size are encountered during the driveway reclamation. All other test pits yielded gravel sufficient for use as a subbase.
- B. Mr. Rodenhiser would like to maintain the existing contours along the driveway due to ledge below the surface in proposed cut areas. TT has no objection to this due to the current use of the driveway but asked Mr. Rodenhiser to request a waiver to regulation 7.9.5b *Grade* which states the roadway should not exceed a slope of 8%.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't				Dept. or Company	Description of Work
Foreman	1	Bulldozer	Asphalt Paver		
Laborers		Backhoe	Asphalt Reclaimer		
Drivers		Loader	Vib. Roller		
Oper. Engr.		Rubber Tire Backhoe/Loader	Static Roller		
Carpenters	1	Bobcat	Vib. Walk Comp.		
Masons		Hoeram	Compressor		
Iron Workers		Excavator	Jack Hammer		
Electricians		Grader	Power Saw		
Flag persons		Crane	Conc. Vib.		
Surveyors		Scraper	Tree Remover		
		Conc. Mixer	Chipper		
		Conc. Truck	Screener		
		Pickup Truck	Drill Rig		
		Dump Truck 6 Whl	Boom Lift		
		Dump Truck 10 Whl	Water Tank		
		Dump Truck 14 Whl	Lull		
		Dump Truck 18 Whl	Gradall		

OFFICIAL VISITORS TO JOB

Police Details:	RESIDENT REPRESENTATIVE FORCE	
Time on site: 9:00 A.M. – 9:30 A.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative: Steve Bouley	

Project Bay Oaks	Date 10-08-14	Report No. 02
Location Fisher Street/Dover Lane	Project No. 143-21583-14014	Sheet 2 of 2
Contractor Andy Rodenhiser	Weather A.M. SUNNY P.M.	Temperature A.M. 65° P.M.

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. Mr. Rodenhiser plans to continue clearing and begin construction on the proposed swale and retention basin this week into next week.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Replace property bound at northeastern corner of Dover Lane layout at intersection with Fisher Street.
- B. Repair granite curb damaged during clearing/boulder removal.

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech
 One Grant Street
 Framingham, MA 01701

Project Applegate Farm	Date 10-06-14	Report No. 47
Location Coffee/Ellis Street, Medway, MA	Project No. 143-21583-12007	Sheet 1 of 2
Contractor Unique Homes Eric Johnson	Weather A.M. SUNNY P.M.	Temperature A.M. 60° P.M.

FIELD OBSERVATIONS

On Monday, October 6, 2014, Steve Bouley from Tetra Tech was on-site to inspect the current condition of the site. While on-site the following observations were made:

1. Observations

- A. The electrical contractor is in the process of installing the conduit for electric/telephone/cable along the edge of the right-of-way in the interior of the subdivision (Lots #8-#12). A new utility pole has been installed at the corner of Road A and Ellis Street on the northern side of Road A. The conduit begins at the new utility pole and runs along the northern side of the roadway to approximate STA 12+50 at which point it crosses the roadway to service the interior lots. The trench was excavated, conduit placed and backfilled with sand to approximately 12" above the top of pipe. TT requested that the contractor contact the town's electrical inspector to inspect the conduit installation. The contractor stated that calls were placed into the department but they have not heard anything back from the inspector. TT asked the contractor to take pictures of all installations for future use.

2. Schedule

- A. TT will inspect the subdivision on an as needed basis.

CONTRACTOR'S FORCE AND EQUIPMENT

WORK DONE BY OTHERS

Sup't		Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers		Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader	1	Static Roller			
Oper. Engr.		Bobcat		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians	2	Crane		Conc. Vib.			
Flagpersons		Scraper		Tree Remover			
Surveyors		Conc. Mixer		Chipper			
Blasting Crew		Conc. Truck		Screener			
		Pickup Truck		Drill Rig			
		Dump Truck 6 Whl		Boom Lift			
		Dump Truck 10 Whl		Water Tank			
		Dump Truck 14 Whl		Lull			
		Dump Truck 18 Whl		Gradall			

OFFICIAL VISITORS TO JOB

Police Details:	RESIDENT REPRESENTATIVE FORCE	
Time on site: 8:00 A.M.-9:00 A.M.	Name	Name
CONTRACTOR'S Hours of Work:		
	Resident Representative Steve Bouley	

Project Applegate Farm	Date 10-06-14	Report No. 47
Location Coffee/Ellis Street, Medway, MA	Project No. 143-21583-12007	Sheet 2 of 2
Contractor Unique Homes Eric Johnson	Weather A.M. SUNNY P.M.	Temperature A.M. 60° P.M.

FIELD OBSERVATIONS CONTINUED

3. New Action Items

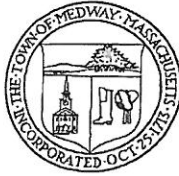
A. N/A

4. New Action Items

- A. When the clearing of Lot 7 occurred, the natural channel for the culvert runoff was eliminated. The site was leveled off and in doing so, the material is blocking the pathway from the culvert. This could prevent water from running through the culvert and cause flooding on Ellis Street. This could be a larger issue if freezing occurs as temperatures drop.
- B. The pavement in Coffee Street where the sewer connection was made needs to be repaired. *5/18 Update: Mr. Canesi has repaired that pavement in this location. The pavement is a temporary patch and will need to be repaired in a final condition prior to the completion of the project.*
- C. SMH 11 appears to be set too low. The flat top section of the structure is set at least 5' below the roadway grade. It appears that there is a discrepancy on the plan between the finish grade elevation in this area as shown on the profile versus the plan views. *5/18 Update: Mr. Canesi stated that he noticed this discrepancy but the structures were already ordered per the elevations provided in the profile. They will discuss with owner and revise as necessary. It should be easy to remove the flat top and add another riser section to raise the elevation as necessary.*
- D. It has been noted that the contractor is installing the drainage system in this portion of the site per an unapproved layout of the drainage system as shown on revised plans dated 2/15/12.
- E. Canesi requested that we connect the existing house on Lot 9R to the new sewer installed in Road A. TT will check with the DPS and Planning Board about connecting a house to the system prior to a bond being submitted. *DPS felt that TT should conduct a thorough inspection of the sewer system prior to allowing the new connection. It is also noted that the connection would be done at the risk to the Owner, meaning if there is an issue with the sewer line within the subdivision or on the house owners property, the town is not yet responsible for operation and maintenance of that line. A sketch shall be submitted to the BOH upon capping of the forcemain.*
- F. It was noted that the property at the intersection of Coffee Street and Ellis Street has cleared all of the trees within the ROW on Coffee Street. We discussed with the contractor of Applegate that the parcel owned by Mr. Costello along Coffee should not be cleared in the same manner. The intent of the design is to have the proposed sidewalk meander around the existing trees.
- G. The DPS has notified us that the project requires two water connection permits and will require an additional sewer connection permit when the main building on Lot 9R is reconnected into the Applegate Subdivision sewer system.
- H. The base material was still slightly wet in one area (near STA 6+00) which caused it to rut when the pavement was installed. This resulted in a thin pavement layer with some ruts. This section should be cut out and replaced prior to placing top course.

5. Materials Delivered to Site Since Last Inspection:

A. N/A.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Karyl Spiller Walsh
Richard Di Iulio, Associate Member

October 1, 2014

NOTICE OF PUBLIC HEARING
Town of Medway – Planning & Economic Development Board
Proposed Amendments to Medway Zoning Bylaw & Map

Pursuant to the Medway Zoning Bylaw and M.G.L. Ch. 40A, Section 5, **the Medway Planning and Economic Development Board will conduct a public hearing on Tuesday, October 21, 2014 at 7:15 p.m.** at Medway Town Hall, 155 Village Street, Medway, MA to receive comments on proposed amendments to the *Medway Zoning Bylaw and Map* (last update published July 7, 2014). The proposed amendments have been submitted for inclusion on the warrant for the November 10, 2014 Fall Town Meeting. The subject matter of the proposed amendments is indicated below. The noted warrant article numbers may change as the warrant is finalized and published.

MEDWAY ZONING BYLAW – Proposed Amendments

ARTICLE 23: Amend the *Medway Zoning Map* by rezoning 6 parcels of land (31, 32, 33, 35 & 37 Summer ST and 37 Milford ST) from Agricultural-Residential II zoning to Commercial V zoning. A map showing the parcels proposed for rezoning is on file with the Medway Town Clerk.

ARTICLE 24: Amend the *Medway Zoning Map* to depict the boundaries of the Medway Mill Conversion Subdistrict (165 Main Street) within the Adaptive Use Overlay District. A map showing the designated area is on file with the Medway Town Clerk.

ARTICLE 25: In SECTION V. USE REGULATIONS, delete Sub-Section G. Commercial District I in its entirety and replace it with a completely new Sub-Section G. Commercial District I.

ARTICLE 26: In SECTION V. USE REGULATIONS, Sub-Section U. Adult Retirement Community Planned Unit Development (ARCPUD), amend as follows:

- 4. c) 4) - Add *Medical Offices or Clinics and Adult Day Care* as allowed accessory uses and provide size limitations thereon; and
- 4. c) 6) - Refine the language regarding the maximum number of ARCPUD housing units by type of housing unit; and
- 4. c) 9) - Remove the affordable housing regulation in its entirety; and
- 4. e) 8) - Revise the parking requirements to allow flexibility depending on the types of ARCPUD housing units.

Telephone: 508-533-3291 Fax: 508-321-4987
planningboard@townofmedway.org

AND In SECTION II. DEFINITIONS - Add definitions for *Medical Office or Clinic* and for *Adult Day Care*;

AND in SECTION V. USE REGULATIONS, Sub-Section X. Affordable Housing as follows:

- 3. a) - Add a new item 5) Adult Retirement Community Planned Unit Development (ARCPUD) to the list of developments subject to the Town's general affordable housing requirements; AND
- 3. a) - Renumber the existing item 5) to item 6); AND
- 3. c) 2) - Exempt ARCPUD assisted living residence facilities, ARCPUD congregate living facilities, and ARCPUD long-term care facilities from the affordable housing requirements.

ARTICLE 27: In SECTION V. USE REGULATIONS, Sub-Section R. Sign Regulations - Revise the language regarding the process for the review and approval of temporary, special event banners across a public right-of-way.

The complete text of the proposed amendments to the *Medway Zoning Bylaw* and the *Medway Zoning Map* are on file with the Medway Town Clerk and the Planning and Economic Development office at Medway Town Hall, 155 Village Street, Medway, MA and may be inspected Monday through Thursday from 7:30 a.m. to 4:30 p.m. and Fridays from 7:30 am to 12:30 p.m. The information may also be viewed online at the Planning and Economic Development Board web page <http://www.townofmedway.org>. For further information, please contact the Planning and Economic Development office at 508-533-3291.

Interested persons or parties are invited to review the proposed amendments, attend the public hearing, and express their views at the designated time and place. Written comments are encouraged and may be sent to the Medway Planning and Economic Development Board, 155 Village Street, Medway, MA 02053 or emailed to: planningboard@townofmedway.org.

Andy Rodenhiser

Planning & Economic Development Board Chairman

To be published in the *Milford Daily News*:

Monday, October 6, 2014

Tuesday, October 14, 2014

Telephone: 508-533-3291 Fax: 508-321-4987

planningboard@townofmedway.org

ARTICLE 23: (Zoning Map Revision: portions of ARII to Commercial V)

To see if the Town of Medway will vote to rezone the following parcels from Agricultural Residential II district zoning to Commercial V district zoning as shown on a map on file with the Town Clerk and to amend the *Medway Zoning Map* accordingly.

1.38 acre parcel at 32 Summer Street (Berry's Greenhouse) - Medway Assessor's parcel 56-041

.09 acre parcel at 37 Summer Street (Alexander) - Medway Assessor's parcel 56-017

.67 acre parcel at 35 Summer Street (Alexander) - Medway Assessor's parcel 56-018

.42 acre parcel at 33 Summer Street (Notturmo) - Medway Assessor's parcel 56-019

.34 acre parcel at 31 Summer Street (PMAM Group LLC) - Medway Assessor's parcel 56-020

.52 acre parcel at 37 Milford Street (Bain) - Medway Assessor's parcel 56-036

And to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

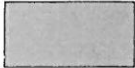
Proposed Expansion of Commercial V Zoning District


September 5, 2014

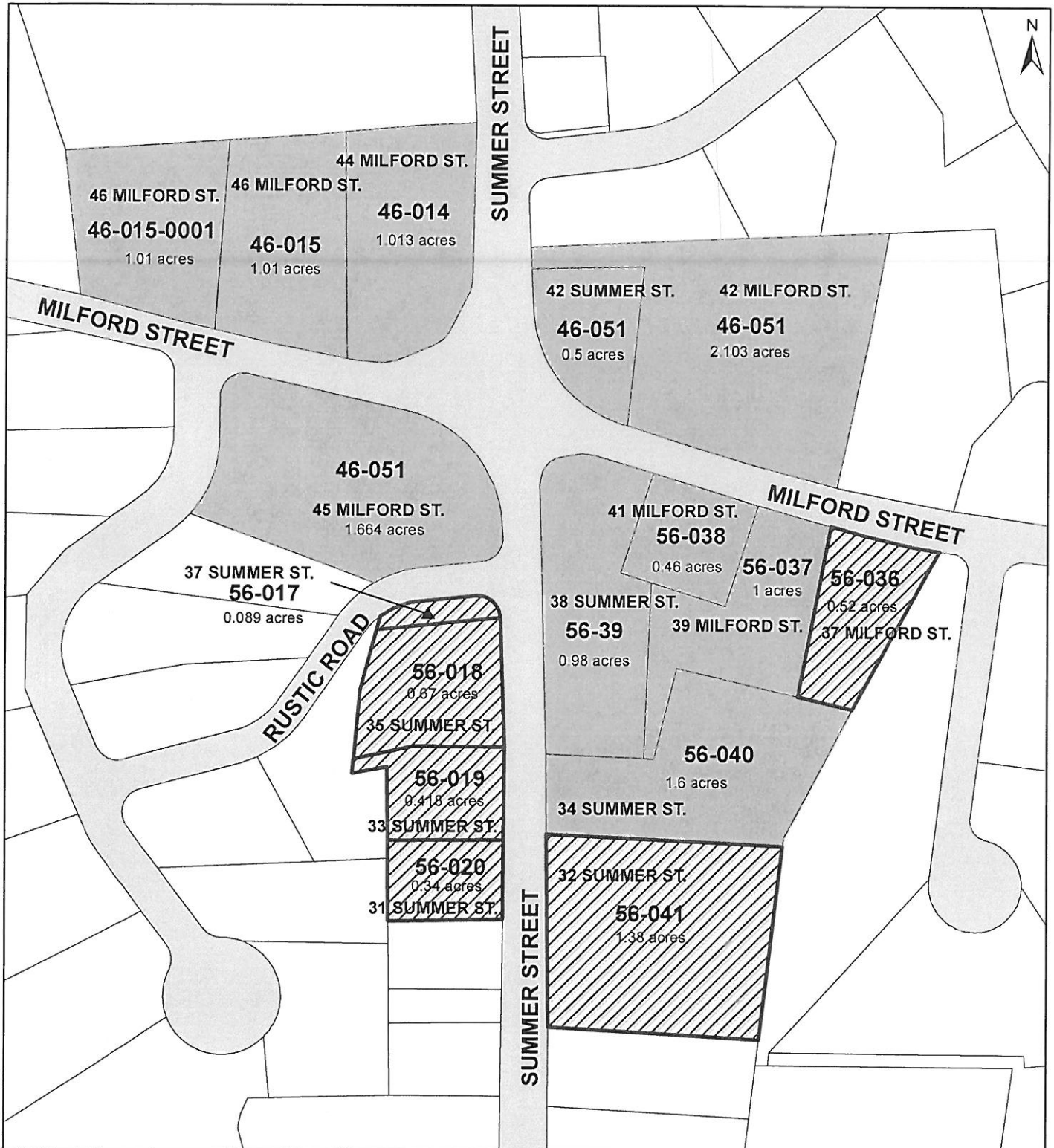
Data from MassGIS and the Town of Medway

The information on this map is believed to be correct but errors in data entry or transmission may occur.

The map is not to be used for legal purposes. The information on this map is subject to change or revision at any time.

 Existing C-V Zoning District

 Proposed Parcels to be Rezoned from AR-II to C-V





TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

October 1, 2014

Public Hearing - Proposed Changes to Medway Zoning Map

Dear Medway property owner,

I am writing to inform you that the Medway Planning and Economic Development Board has submitted an article to be considered at the November 10, 2014 Annual Town Meeting that pertains to property around the intersection of Routes 109 and 126.

The proposal is to amend the *Medway Zoning Map* by rezoning 6 parcels of land in the area around the intersection of Route 109/Milford ST and Route 126/Summer SR from Agricultural Residential II to Commercial V. The addresses of the properties are: 37 Milford Street and 31, 32, 33, 35 and 37 Summer Street. The owners of these parcels have communicated with the Planning and Economic Development Board their desire to have their property rezoned to the commercial classification.

Any change to the *Medway Zoning Bylaw and Map* requires a public hearing, Planning Board recommendation, and Town Meeting approval. In preparation for the November 10th Town Meeting, the Planning and Economic Development Board will hold a public hearing on this and other proposed amendments to the *Medway Zoning Bylaw and Map*. ***The public hearing will take place on Tuesday, October 21, 2014 at 7:15 p.m. in Sanford Hall at Medway Town Hall.***

You are being notified of the public hearing because the Planning and Economic Development Board wants to inform all parties of the proposed rezoning and invite you to attend to ask questions and provide comments.

I have enclosed the text of the warrant article, a map showing the subject parcels, and the text of the Commercial V district which specifies the allowed uses. A copy of the public hearing notice is also enclosed. We encourage you to attend the public hearing on October 21st. In the meantime, if you have any questions, please contact the Medway Planning and Economic Development office at 508-533-3291.

Best regards,

Andy Rodenhiser, Chairman

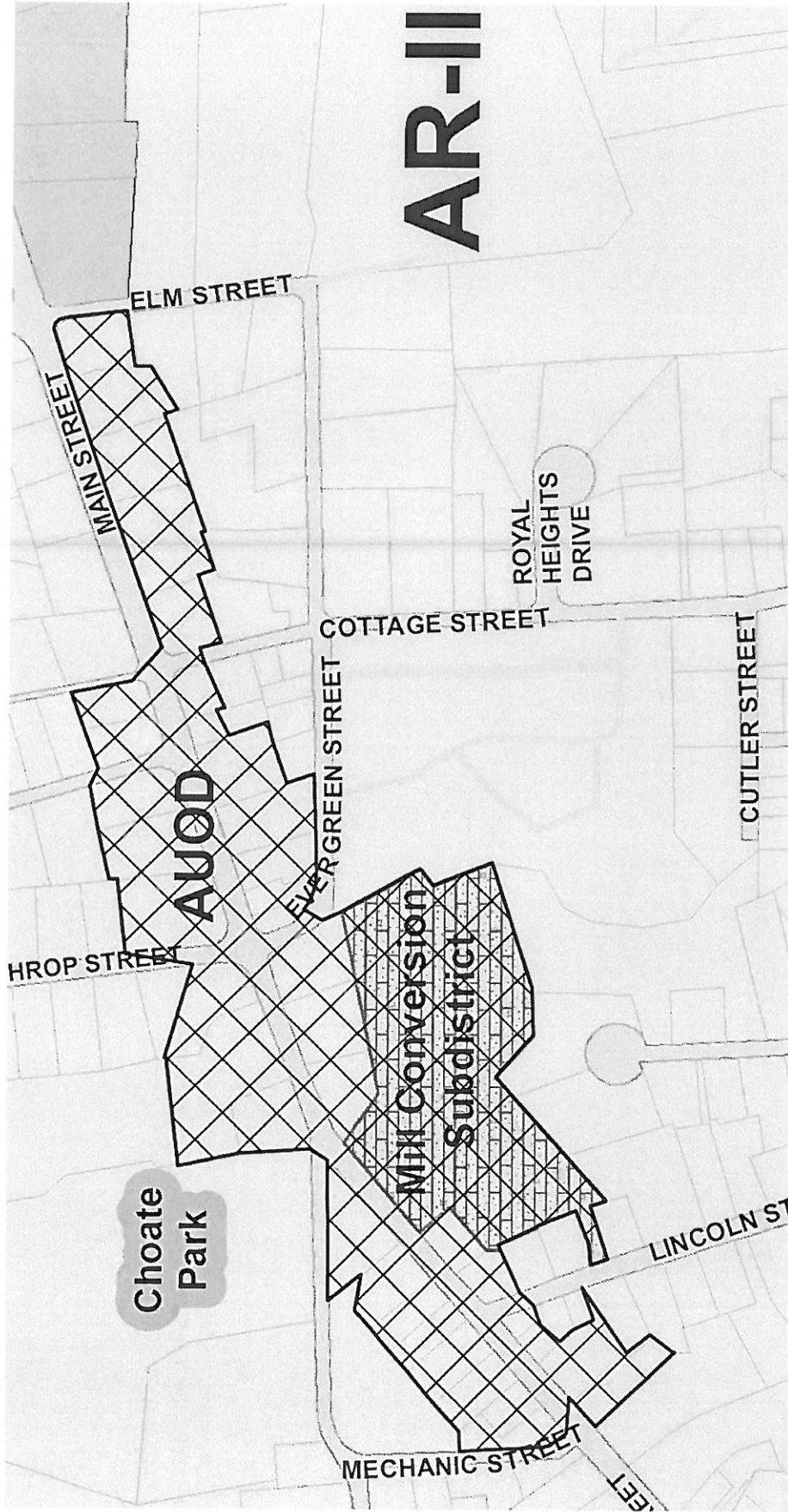
ARTICLE 24: (Zoning Map Revision: Adaptive Use Overlay District)

To see if the Town of Medway will vote to amend the Medway Zoning Map to depict the location and boundaries of the Medway Mill Conversion Subdistrict, all of which is located at 165 Main Street, Medway Assessor's Parcel 48-092, and is within the Adaptive Use Overlay District, as shown on a map on file with the Medway Town Clerk.

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

AUOD and Medway Mill Conversion Subdistrict



165 Main Street – Parcel 48-092

September 19, 2014

ARTICLE 25: (Revise Commercial I)
10-10-2014 showing changes and deletions

To see if the Town of Medway will vote to amend the Medway Zoning Bylaw by deleting Sub-Section G. Commercial District I in SECTION V. USE REGULATIONS and replacing it as follows: NOTE – Added text is noted in **Bold**; text to be deleted is shown as ~~stricken through~~.

G. COMMERCIAL DISTRICT I

1. **Purpose: To encourage the development and redevelopment of the district in a manner that represents the qualities, functions, and architectural features of a traditional New England town center as guided by the *Medway Design Review Guidelines*. Such features and functions include mixed business, service, civic, institutional and/or residential uses which are arranged in a compact pattern that is conducive to pedestrian access and use.**
2. Buildings, structures and premises may be used for any of the following purposes and uses customarily accessory thereto but no others, subject to the regulations and conditions enumerated herein:
 - a) Municipal use
 - b) Retail Sales
 - c) Offices for business or professional use
 - d) Salesroom for motor vehicles, trailers, boats, farm implements or machinery with repair services and storage permitted but not including auto body, welding or soldering shops
 - e) Undertaking establishment or funeral home
 - f) Restaurant or other establishment providing food and beverage within a building. **Outdoor dining may be permitted by the Building Inspector upon a determination that the location of the seating does not represent a safety hazard.**
 - g) Bank or other financial institution
 - h) Personal care services such as but not limited to barber shops, beauty parlors, and nail salons
 - i) **Services such as but not limited to health care, fitness facility, and other miscellaneous business and social/human services**
 - j) Repair shops for small electronic equipment, appliances and tools

k) **Schools**

l) Any of the following uses if authorized by special permit:

- 1) Live entertainment within a building.
- 2) Motel or hotel
- 3) Commercial indoor amusement or recreation place or place of assembly
- 4) Vehicle Fuel Station
- 5) Automotive car wash
- 6) Shopping
- 7) Drive-thru facility
- 8) Kennel
- 9) Vehicle Repair
- 10) Assisted living residence facility as defined by M.G.L, chapter 19D.
- 11) **Mixed Use Development – A combination of multi-family dwelling units with any of the by right and/or special permit uses specified herein.**

3. **Coordination of Special Permit and Site Plan Review - In order to facilitate a streamlined permitting process, when the scope of the development project necessitates major or minor site plan review pursuant to SECTION V. USE REGULATIONS, Sub-Section C. Site Plan Review and Approval of the Medway Zoning Bylaw, the special permit granting authority shall be the Planning and Economic Development Board so that the special permit and site plan reviews can be consolidated and conducted concurrently. Otherwise, the special permit granting authority shall be the Zoning Board of Appeals.**

4. By-right uses shall comply with the following dimensional regulations:

- a) Minimum lot size: 20,000 sq. ft.
- b) Maximum lot coverage, including accessory buildings: 30%
- c) Minimum continuous frontage: 100 ft.
- d) Minimum front-yard setback: 50 ft. of which the first 10 ft. nearest the street line shall not be used for the parking or storage of vehicles and shall be suitably landscaped
- e) Minimum side-yard and rear-yard setback: 25 ft. of which the first 10 ft. nearest each lot line, if the adjacent use is residential in whole or in part, shall not be used for the parking or storage of vehicles and shall be suitably landscaped
- f) Maximum building height: 40 ft. ~~A height greater than 40 ft. up to a maximum of 60" may be allowed by special permit from the Planning and Economic Development Board.~~

5. **Special Permit Regulations – The following provisions shall apply to Special Permit Uses and are also available to applicants for “By Right” uses who wish to seek a Special Permit to achieve flexible site design.**

a) **Dimensional Requirements**

- 1) **Minimum lot size: 10,000 sq. ft.**
- 2) **Minimum continuous frontage: 50 ft.**
- 3) **Minimum front-yard setback: Principle buildings shall be set back a minimum of 10 feet from the front lot line. Architectural features such as bay windows, porches, balconies, porticos, canopies, etc. shall not be subject to the 10-foot minimum setback.**
- 4) **Minimum side-yard and rear-yard setback: For lot lines abutting a residential zoning district, 25 ft. of which the first 10 ft. nearest each lot line shall not be used for the parking or storage of vehicles and shall be suitably landscaped. There is no side-yard or rear-yard setback for properties abutting other properties within the C1 district.**
- 5) **Maximum building height: 60 ft.**

b) **Residential Uses in a Mixed Use Development**

- 1) **Except for assisted living residence facilities, a building comprised of 100% multi-family dwelling units shall not be permitted.**
- 2) **In a 3 story building, no more than 67% of the gross floor area shall be comprised of multi-family dwelling units. In a 2 story building, no more than 50% of the gross floor area shall be comprised of multi-family dwelling units.**
- 3) **Multi-family dwelling units may not be located on the ground floor of a mixed-use building or development unless:**
 - a. **the building with the multi-family dwelling units is set behind another building which has business uses on the ground floor and a front façade that faces a public way or primary access drive; or**
 - b. **the residential portion of the ground floor is set behind the business uses within the same building which has a front façade that faces a public way or primary access drive.**

- 4) No more than 10% of the total number of a mixed-use development's residential dwelling units shall have more than 2 bedrooms.
- c) A minimum of 15% of the site shall function as landscaped and/or public space. The landscaped and/or public space shall be architecturally integral to the site and/or, as appropriate and practical, to abutting sites. No space that is used for vehicular parking or circulation, or loading shall be included as landscaped and/or public space.
- d) **Special Permit Review Criteria**
 - 1) Special permits granted under this sub-section are not subject to the special permit criteria specified in SECTION III. Sub-Section J of this Bylaw.
 - 2) Before granting a special permit for the specified special permit uses or for flexible site design of by-right uses in the Commercial I zoning district, the special permit granting authority shall find that in its judgment, all of the following criteria for granting the special permit are met:
 - a. The proposed site design represents the qualities of a traditional New England town center.
 - b. The proposed site design is environmentally sustainable, Economically viable and is readily accessible to and useable by pedestrians.
 - c. The design of buildings is consistent or compatible with traditional New England architectural styles as described in the *Medway Design Review Guidelines*.
 - d. The proposed site design reflects and advances the goals and objectives of the Medway Master Plan as updated.
 - e. Adequate pedestrian and (where applicable) vehicular linkages within the site and connecting to abutting properties are provided.
 - f. Streets, driveways, sidewalks, landscaped areas and public services are laid out in a safe, economical, and efficient manner.
 - g. Any detrimental impacts of the site design on abutting properties and/or residential neighborhoods have been adequately mitigated.
 - h. The development project incorporates site design and building construction features that minimize energy consumption and reduce environmental impacts.
 - i. The site design incorporates the site's existing topography and protects natural features to the maximum extent possible.

6. Design Requirements

- a) All facades of a building that are visible from a public way or an internal pedestrian or vehicular way shall be designed in accordance with the current *Medway Design Review Guidelines* and the Design Principles and Standards included in the *Site Plan Rules and Regulations*.
- b) All sites shall include pedestrian connections to abutting commercial properties and, where appropriate, to abutting residential neighborhoods. The pedestrian connections shall be well-defined and of a design and quality that will encourage significant use.
- c) Vehicular connections to abutting sites shall be provided where practical as determined by the Planning and Economic Development Board as part of the review process. In cases where physical connections are not currently possible, easements and a design to provide for potential future connections may be required.
- d) Buildings and developments shall be made pedestrian friendly by use of amenities such as wide sidewalks/pathways, outdoor seating, and patios or courtyards. All structures, parking, pathways and other pedestrian amenities shall be designed to maximize ease of pedestrian access.

7. Sustainability – New buildings constructed in the Commercial I district after the passage of this bylaw are encouraged to promote sustainability by being environmentally responsible and resource-efficient throughout a building’s life-cycle from siting to design, construction, operation, maintenance, renovation and deconstruction. This may be accomplished by incorporating sustainable materials in the construction (e.g., reused, recycled-content, or made from renewable resources); create healthy indoor environments with minimum pollutants (e.g., reduced product emissions); and/or feature landscaping that reduces water usage (e.g., by using native plants that survive without extra watering). The criteria in the current Leadership in Energy and Environmental Design (LEED), Institute for Sustainable Infrastructure (ISI), and EPA’s Green Building program offer examples of measures that will help accomplish this goal.

AND to amend the Sub-Section H. Parking Regulations of SECTION V. USE REGULATIONS by adding the following to the Parking Requirements Schedule in Paragraph 4.

Multi-Family Dwelling in Commercial I – 1.5 spaces per dwelling unit.

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

October 7, 2014

***Public Hearing - Proposed Changes to Medway Zoning Bylaw
Tuesday, October 21, 2014***

Dear Medway Property Owner,

I am writing to inform you that the Medway Planning and Economic Development Board (PEDB) has submitted an article to amend the Medway Zoning Bylaw for consideration at Medway's Fall Town Meeting on Monday, November 10, 2014. That article pertains to the Commercial I zoning district where you own property or to which property you own is adjacent.

The proposed amendments would provide for the following in the Commercial I district.

- A new mixed use option (*combining business and residential uses*) to be authorized by special permit from the PEDB.
- The consolidation of public hearings for any development project that would normally need a special permit from the Zoning Board of Appeals and site plan review from the PEDB. With this change, the special permit and site plan review would be considered simultaneously by the PEDB. This improves permitting efficiency and saves time and money for applicants.

I have enclosed the text of the proposed warrant article and a map showing the boundaries of the Commercial I zone to which the language applies.

State law requires that proposed change to a municipal Zoning Bylaw and Map are subject to a public hearing with and recommendation from the Planning Board with ultimate action taken by Town Meeting. In preparation for Medway's November 10th Fall Town Meeting, the PEDB will hold a public hearing on this and other proposed amendments to the Medway Zoning Bylaw and Map on Tuesday, October 21, 2014 at 7:15 p.m. in Sanford Hall at Medway Town Hall.

You are being notified of the public hearing because we feel all parties should have an opportunity to attend, ask questions, and provide comments. In the meantime, if you have any questions, please contact the Planning and Economic Development office at 508-533-3291.

Best regards,

Andy Rodenhiser
Chairman

Telephone: 508-533-3291

Fax: 508-321-4987

planningboard@townofmedway.org

ARTICLE 26: (Adult Retirement Community and Affordable Housing Revisions)

To see if the Town of Medway will vote to amend the Medway Zoning Bylaw, SECTION V. USE REGULATIONS, Sub-Section U. Adult Retirement Community Planned Unit Development (ARCPUD), 4. c) ARCPUD General Standards, item 4) to read as follows (new wording is underlined and wording that is being deleted is ~~stricken~~ through):

4. c) 4) Upon approval by the Planning and Economic Development Board, an ARCPUD also may include any combination of the following accessory uses:

- a. Local Convenience Retail;
- b. Medical Offices or Clinics; and
- c. Adult Day Care;

~~use of no more than 7,500 square feet of gross building area. If located within an ARCPUD development, by definition, provided that the total amount of building area occupied by Local Convenience Retail uses shall not exceed 4,500 square feet and the total of all such accessory uses shall not exceed five percent (5%) of the ARCPUD's total gross building area. or 7,500 square feet, whichever is greater.~~

AND to amend Sub-Section U. Adult Retirement Community Planned Unit Development (ARCPUD), Paragraph 4. c) ARCPUD General Standards, item 6) as follows (new wording is underlined and wording that is being deleted is ~~stricken~~ through):

4. c) 6) The maximum number of permitted housing units in an ARCPUD shall be determined by multiplying the gross acreage of the ARCPUD site by a factor of three (3.0). A housing unit shall be defined as equal to:
- a. A home site in an ARCPUD Residential Subdivision, a dwelling unit in an ARCPUD Independent Living Residence Facility, a townhouse, or a dwelling unit as defined in the Bylaw;
 - b. Two (2) dwellings or rooms in an ARCPUD Assisted Living Residence Facility or an ARCPUD Congregate Living Residence Facility, ~~provided such dwellings do not meet the definition of a dwelling unit;~~
 - c. Three (3) dwellings or rooms in an ARCPUD Long-Term Care Facility.

AND to amend Sub-Section U. 4. c) ARCPUD General Standards, by deleting item 9) as follows (wording that is being deleted is ~~stricken~~ through):

4. c) 9) ~~Affordability— At least 10% of the total number of ARCPUD residential dwelling units, rounded up to the next higher integer, shall be designated and made available as Affordable Dwelling Units as defined in this Zoning Bylaw.~~

AND to amend Sub-Section U. 4. e) 8) *ARCPUD Site Development Standards*, (new wording is underlined and wording that is being deleted is ~~stricken~~ through):

8) Within the ARCPUD a minimum of two (2) off-street parking spaces shall be required for each ~~dwelling~~ housing unit as calculated in Sub-Section U. 4. c) 6). The required parking space(s) shall be provided on the same lot as the dwelling(s) or on a contiguous lot (within the ARCPUD) provided that there are easements ensuring rights of access, use and maintenance. The Planning and Economic Development Board may, as a condition of granting a special permit for the ARCPUD, require additional off-street parking areas to be provided for use in common by dwelling unit owners or residents and their guests, or reduce the required number of parking spaces based on documentation from the applicant, including but not limited to standards from the Institute of Transportation Engineers Parking Generation Manual or data from similar facilities.

AND to amend SECTION II. DEFINITIONS by inserting the following definitions in alphabetical order (new wording is underlined):

Medical Office or Clinic – An establishment primarily engaged in furnishing medical, surgical, psychiatric or other health-related services to individuals, including the offices of physicians, dentists and other health practitioners, medical and dental laboratories, out-patient care facilities, and sale or rental of medical supplies.

Adult Day Care -- Also commonly known as adult day services, is a non-residential facility that supports the health, nutritional, social support, and daily living needs of adults in professionally staffed, group settings. Services may include transitional care and short-term rehabilitation following hospital discharge.

AND to amend SECTION V. USE REGULATIONS, Sub-Section X Affordable Housing. Paragraph 3. Applicability, a) by renumbering the current item 5) to become item 6) and by inserting a new item 5) as follows (new wording is underlined):

3. a) 5) Sub-Section U. Adult Retirement Community Planned Unit Development (ARCPUD) of SECTION V. USE REGULATIONS of the Medway Zoning Bylaw

AND in Paragraph 3. Applicability, c) by revising item 2) to read as follows (new wording is underlined and wording that is being deleted is ~~stricken~~ through):

3. c) 2) Adult Retirement Community ARCPUD Assisted Living Residence Facility, ARCPUD Congregate Living Facility, and an ARCPUD Long Term Care Facility approved pursuant to an ARCPUD Special Permit under SECTION V. USE REGULATIONS, Sub-Section U. Adult Retirement Community Planned Unit Development (ARCPUD)

ARTICLE 27: (Zoning Bylaw Amendment: Temporary Special Event Signs)

To see if the Town will vote to amend the Medway Zoning Bylaw, SECTION V. USE REGULATIONS, Sub-Section R. Sign Regulations, Paragraph 7. Sign Standards – All Zoning Districts, item s) as follows (new text is underlined and deleted text is ~~stricken~~ through);

7. s) Temporary special event signs advertising civic/community functions extended over a public right-of-way may be permitted upon prior approval of the Board of Selectmen. Such signs shall not require a sign permit. ~~but shall be reviewed by the Design Review Committee and a recommendation provided to the Board of Selectmen prior to approval.~~ The Board of Selectmen may adopt a Banner Display Policy governing such signs. The Board of Selectmen may designate the Town Administrator to approve signs under this subsection and may specify the terms and circumstances under which the Town Administrator or his designee may approve such signs, and may revoke such designation at any time.

BOARD OF SELECTMEN

Susan Affleck-Childs

From: Tracy Stewart <tracystewart903@gmail.com>
Sent: Tuesday, October 21, 2014 1:14 PM
To: Susan Affleck-Childs
Cc: Michael Boynton
Subject: Re: Article 23 - my letter of support

Whatever works Susie.
Best,
Tracy

On Oct 21, 2014, at 1:00 PM, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Hi Tracy,

Thanks for your note.

Would you like me to read it into the record at the public hearing tonight?

Susy Affleck-Childs

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
508-533-3291
155 Village Street
Medway, MA 02053

Town of Medway – A Massachusetts Green Community

Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

From: Tracy Stewart [<mailto:tracystewart903@gmail.com>]
Sent: Tuesday, October 21, 2014 11:53 AM
To: Susan Affleck-Childs; Michael Boynton
Subject: Article 23 - my letter of support

Hello Susie and Michael,

I am unable to attend tonight' PEDB meeting due to a meeting conflict. In light of the Cumberland Farms project being approved and completed I feel the Bain Family and other residences named in Article 23 deserve the Commercial zoning they are seeking.

As you know, I care about our whole community. Many of us worked very hard to make the Cumberland Farms development as stringent as we possibly could. But still, The Bain family, as the only direct residential abutters are frankly, miserable. I visited them recently to find out what kind of neighbor Cumberland Farms has been.

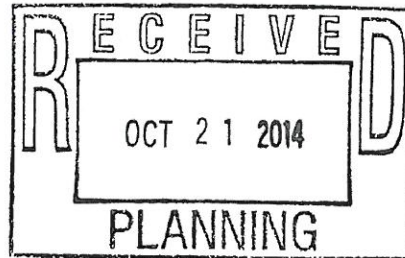
I know that Teigan and Jesse have come to this decision with a heavy heart, being they live in the home that Jesse grew up in. His parents now deceased, they are letting go of their legacy for what is best for them.

I accept Article 23 because I believe the wild-fire was set with the building of Cumberland Farms and it seems that much of the town planning points to the Summer Street / Milford Street corners as an inevitable development of Commercial Property.

Regards,
Tracy Stewart



Medway Business Council
P.O. Box 45, Medway, MA 02053
www.medwaybusinesscouncil.org



October 21, 2014

Town of Medway
Planning & Economic Development Board
155 Village Street
Medway, MA 02053

Re: Proposed Amendments to Medway Zoning Bylaw & Map Tuesday, October 21, 2014

Dear Planning Board Members:

The Medway Business Council would like this letter read and recorded in the minutes of the Public Hearing. Our concern is in regard to the following language of the proposed amendment to Article 25, specifically regarding the Design Review Committee.

Purpose: To encourage the development and redevelopment of the district in a manner that represents the qualities, functions, and architectural features of a traditional New England town center as guided by the Medway Design Review Guidelines. Such features and functions include mixed business, service, civic, institutional and/or residential uses which are arranged in a compact pattern that is conducive to pedestrian access and use.

According to the Town of Medway website, the DRC is a sub-committee of the Planning Board providing **recommendations, in an advisory capacity**, on site plans, subdivision plans, landscape plans and other proposals, **upon request**.

It is the opinion of the Medway Business Council that the Design Review Committee has its benefits in a town such as Medway. However, it is the Council's position that the DRC has, on occasion, overstepped their purview. The DRC has opportunity to make recommendations regarding design elements. Unfortunately there have been several occasions where the DRC, without regard for the business has made suggestions that are unnecessarily restrictive and cost prohibitive. Several attorneys have refused to represent clients on matters specifically because of the difficulties in dealing with this group. Our council does not have a sitting member on this committee specifically because of this fact. The "recommendations" seem to have become more like requirements and the wording of this paragraph of the proposed zoning bylaw gives even greater weight to the opinion of this non-elected body.

If the intent of this amendment is to give the DRC more binding and consequential power than is currently in place then the Medway Business Council is overwhelmingly opposed to this proposed amendment.

With abundant concern,

Deborah Anderson - President

Paul Rao - Vice President