

LEGEND

- N/F NOW OR FORMERLY
- CB DH CONCRETE BOUND WITH DRILL HOLE
- FND. FOUND
- EXIST. EXISTING
- PROP. PROPOSED
- INV. INVERT
- R.C.P. REINFORCED CONCRETE PIPE
- APPROX. APPROXIMATE
- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- STORMWATER CATCH BASIN
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OHV OVERHEAD WIRES
- SFM SEWER FORCE MAIN
- DTH DEEP TEST HOLE
- DET. DETENTION
- UTILITY POLE
- FES FLARED END SECTION
- ELEV. ELEVATION
- BIT. BITUMINOUS
- CONC. CONCRETE
- F.F. FIRST FLOOR ELEVATION
- B.F. BASEMENT FLOOR ELEVATION
- G.F. GARAGE FLOOR ELEVATION
- BM. BENCHMARK
- FA FIRE ALARM BOX
- WATER GATE
- V.G.C. VERTICAL GRANITE CURB
- TP TEST PITS
- ETC ELECTRIC, TELEPHONE & CABLE

PROJECT ENGINEER:
DAVID T. FAIST, P.E.
FAIST ENGINEERING, INC.
600 CHARLTON STREET
SOUTHBRIDGE, MA 01550
PH: (508) 765-7755

PROJECT SURVEYOR:
DANIEL A. O'DRISCOLL, P.L.S.
O'DRISCOLL LAND SURVEYING, CO.
46 COTTAGE STREET
MEDWAY, MA 02053
P: 1-508-533-3314

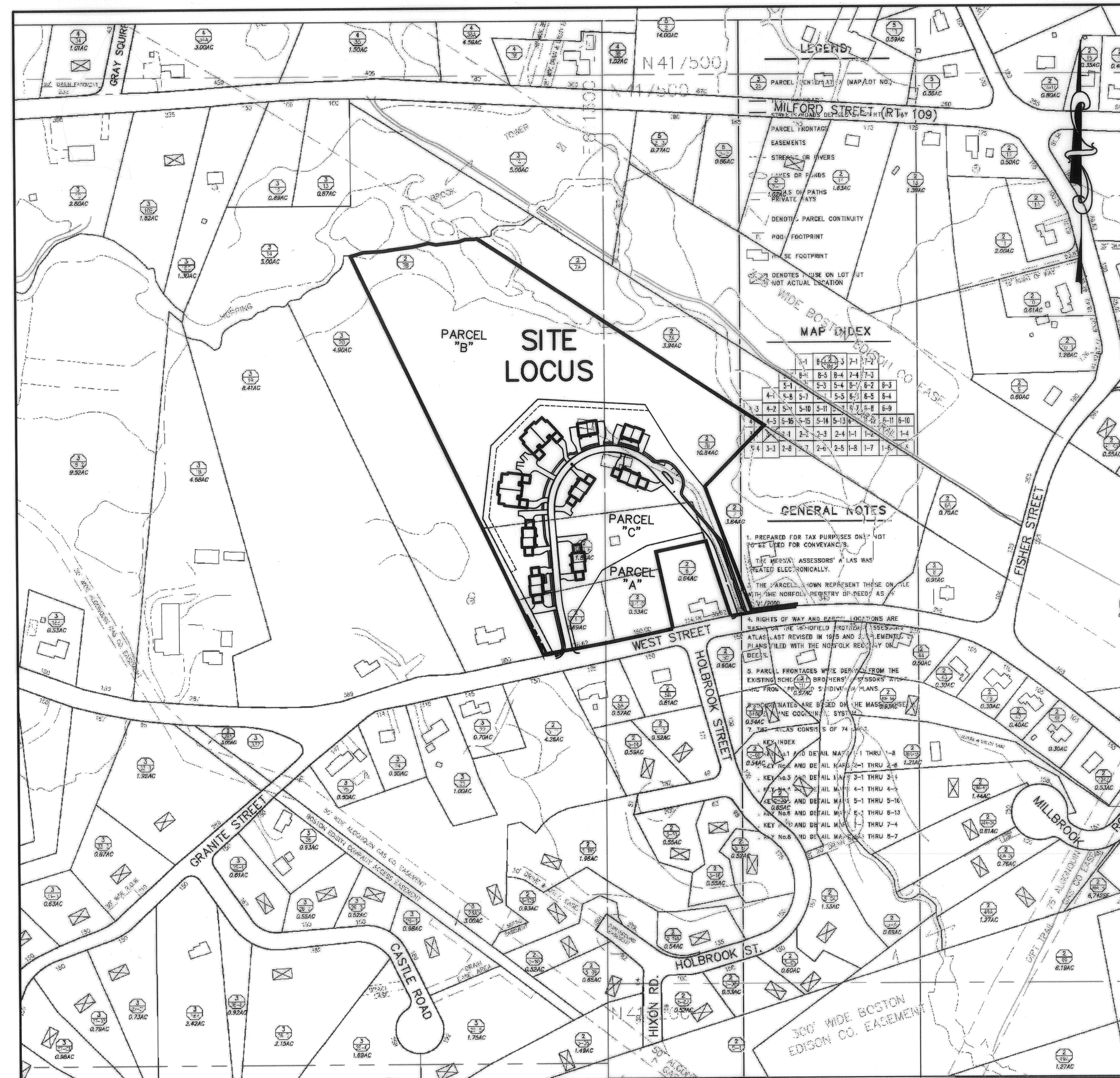
PROJECT ARCHITECT:
MICHAEL H. BLANCHETTE
ARCHITECT
49 MAIN STREET
MEDWAY, MA 02053
PH: (508)-321-0111

LANDSCAPE ARCHITECT:
W. PHILIP BARLOW, A.S.L.A.
TO DESIGN, LLC
114 WEST MAIN STREET
SUITE 201
NEW BRITAIN, CT
PH: (860) 612-1700

- GENERAL NOTES:**
1. ALL SEWER MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE TOWN OF MEDWAY WATER AND SEWER DEPARTMENT REGULATIONS.
 2. CONTRACTOR TO CONTACT DIG-SAFE BEFORE PRIOR TO ANY CONSTRUCTION. (1-888-DIG-SAFE)
 3. ALL SIGNS, INCLUDING STREET SIGNS, MUST CONFORM TO THE TOWN OF MEDWAY STANDARDS.
 4. LOCATION OF ALL UTILITIES SHALL BE DETERMINED IN THE FIELD, BY THE RESPECTIVE UTILITY COMPANIES (ELECTRIC, CABLE, & TELECOM). THE APPLICANT "WILLIAMSBURG CONDOMINIUM CORP." SHALL BE RESPONSIBLE TO ACCURATELY LOCATE THE UTILITIES DURING CONSTRUCTION, PRIOR TO BACKFILL, SUCH THAT THE ACTUAL LOCATION CAN BE ACCURATELY REPRESENTED ON THE AS-BUILT DRAWINGS.
 5. ALL STORMWATER DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS SECTION 4.4.5.
 6. PLAN ENDORSEMENT IS SUBJECT TO THE CONDITIONS SET FORTH IN THE MEDWAY PLANNING BOARD CERTIFICATE OF ACTION DATED JANUARY 19, 2010, TO BE RECORDED WITH THE PLAN.
 7. SUBJECT TO A COVENANT TO BE RECORDED WITH THE PLAN.
 - 8A. OPEN SPACE PARCEL "A" TO REMAIN AS OPEN SPACE UNDER OWNERSHIP OF "WILLIAMSBURG CONDOMINIUM CORPORATION"
 - 8B. OPEN SPACE PARCEL "B" TO BE DEEDED TO THE TOWN OF MEDWAY CONSERVATION COMMISSION, BASED ON 2-12-09 CONSERVATION COMMITTEE MEETING.
 9. THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT FOR A GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND THAT THEY ARE RESPONSIBLE FOR PREPARING AND IMPLEMENTING A STORMWATER POLLUTION PREVENTION PLAN IN FULL COMPLIANCE WITH THE EPA'S NPDES STORMWATER REGULATIONS (40 CFR PARTS 122, 123 & 124).
 10. OWNER/CONTRACTOR SHALL MINIMIZE THE DESTRUCTION OF MATURE TREES ON-SITE.
 11. ALL WORK WITHIN TOWN RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MASS HIGHWAY HANDICAP REQUIREMENTS AND THE ADA/AB REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
 12. ALL ELEVATIONS REFER TO NGVD 1929.
 13. PROJECT SUBJECT TO "SUPERSEDING ORDER OF RESOURCE AREA DELINEATION" DEP FILE # 216-765 DATE OCTOBER 29, 2009.
 14. PROJECT SUBJECT TO "SUPERSEDING ORDER OF CONDITIONS" DEP FILE #CE 216-0771 DATE DECEMBER 29, 2009.
 15. PROJECT SUBJECT TO "LONG TERM OPERATION AND MAINTENANCE PLAN" PREPARED AS A SEPARATE DOCUMENT BY FAIST ENGINEERING, INC., DATE NOVEMBER 2009 AND IS INCORPORATED BY REFERENCE FOR ALL COMPONENTS OF THE SITE'S STORMWATER MANAGEMENT SYSTEM SHOWN ON THESE PLANS.

DIG-SAFE NOTE

CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. CONTRACTOR TO NOTIFY "DIG-SAFE" AT 1-888-DIG-SAFE (1-888-344-7233).



LOCUS MAP SCALE: 1"=200'

"WILLIAMSBURG WAY"
WEST STREET - MEDWAY, MASSACHUSETTS
"WILLIAMSBURG CONDOMINIUM" DEFINITIVE PLANS
OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD)

APPLICANT / PROPERTY INFORMATION:

APPLICANT: WILLIAMSBURG CONDOMINIUM CORPORATION
4 DAFFODIL LANE
MEDWAY, MA 02053
P. (508)-533-2292

RECORD OWNER: WILLIAMSBURG CONDOMINIUM CORPORATION
4 DAFFODIL LANE
MEDWAY, MA 02053
P. (508)-533-2292

ASSESSORS REFERENCE: MAP 2-1 PARCEL 7B
MAP 2-1 PARCEL 6-1-B
MAP 2-1 PARCEL 6-1-2
MAP 2-1 PARCEL 6-1-3

DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
BOOK 14461 PAGE 231
BOOK 16837 PAGE 38
BOOK 27111 PAGE 118

PLAN REFERENCES: PLAN No. 83 OF 1973
PLAN No. 389 OF 2002
PLAN No. 726 OF 2003, PL. BK. 515
PLAN No. 51, PL. BK. 595

WAIVER REQUESTS FROM TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS:
(APPROVED JANUARY 19, 2010)

| | |
|---|--|
| SECTION NO: 5.6.3 5.7.19 5.20.2 (a) 6.4.1 6.6.3 6.8.1 6.8.2 6.8.3 6.8.4 6.8.6 6.8.7 6.8.8 6.8.9 6.8.10 6.8.11 7.9.1 (e) 7.9.4 (a) 7.9.5 (a) 7.9.7 (g) 7.10.2 7.13.2 7.19.2, 7.19.4 | WAIVER DESCRIPTION: NAVD 88 DATUM LAYOUT OF PROPOSED ELECTRIC, TELECOMMUNICATIONS, GAS, AND CABLE TV UTILITY LINES WAYS AND SERVICES TO BE COMPLETE BEFORE SUCH LOT MAY BE BUILT UPON ALLOW FOR ONE (1) DUPLEX BUILDING PERMIT WITH NO OCCUPANCY UNTIL COMPLETION OF DRIVEWAY BASE COAT PARTIAL RELEASE OF SECURITY DURING CONSTRUCTION PRIOR TO COMPLETION OF SIDEWALK BINDER STREET ACCEPTANCE: LEGAL DESCRIPTION, DEEDS & EASEMENTS STREET/INFRASTRUCTURE ACCEPTANCE FEE STREET ACCEPTANCE PLAN PRE-ACCEPTANCE INSPECTION & REVIEW BY OTHER TOWN BOARDS BOARD RECOMMENDATION TOWN MEETING WARRANT BOARD OF SELECTMAN ESTABLISH ROADWAY LAYOUT APPROVAL OF STREET ACCEPTANCE PLANS TOWN MEETING ACCEPTANCE RECORDING NUMBER OF DWELLINGS ON A PRIVATE WAY MINIMUM RIGHT OF WAY WIDTH = 50 FEET PROPOSED CENTERLINE GRADE AT SITE ENTRANCE MINIMUM = 2% MINIMUM ROADWAY WIDTH FOR A LOCAL STREET = 26 FEET SLOPED GRANITE EDGING (TYPE S-A) ROADWAY CURBING SIDEWALKS SHALL BE 6 FT. WIDE STREET TREES |
|---|--|

WAIVER REQUESTS RELATING TO THE OSRD BY-LAW (APPROVED JANUARY 19, 2010):

| | |
|-----------------------------|---|
| SECTION NO: T.8.F | WAIVER DESCRIPTION: GARAGE SETBACKS "T" STYLE HOUSING UNITS |
|-----------------------------|---|

TOWN OF MEDWAY PLANNING BOARD

[Signatures]

1-19-2010
APPROVAL DATE
2-23-2010
ENDORSEMENT DATE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

MaryJane White *Jan 24 2010*
TOWN CLERK DATE

ZONING INFORMATION TABLE

ZONING REQUIREMENTS FOR: AGRICULTURAL RESIDENTIAL II (AR-II) ZONING DISTRICT

LOT AREA=22,500 S.F. (MIN.)
LOT FRONTAGE=150' (MIN.)
FRONT YARD SETBACK=35' (MIN.)
SIDE YARD SETBACK =15' (MIN.)
REAR YARD SETBACK =15' (MIN.)
LOT SHAPE FACTOR RATIO:
LESS THAN OR EQUAL TO 22

MAXIMUM # OF OSRD DWELLING UNITS = 18 UNITS
AFFORDABLE DWELLING UNITS = THREE (3)-UNITS
UNITS 9, 11, & 17

OSRD SPECIAL PERMIT:
"NOTICE OF PLANNING BOARD DECISION "WILLIAMSBURG CONDOMINIUM" OPEN SPACE RESIDENTIAL DEVELOPMENT SPECIAL PERMIT, DATED MARCH 10, 2009.
DEED BK. 27111 PG. 96 / PLAN BK. 595 PLANS 51~56

LAND USE AREA TABLE (SEC. 5.7.26)

| |
|--|
| TOTAL AREA TO BE SUBDIVIDED = 604,471 S.F. (13.88 ACRES) |
| PARCEL "A" = 43,621 S.F. (1.00 AC.) |
| PARCEL "B" = 332,267 S.F. (7.63 AC.) |
| PARCEL "C" = 228,583 S.F. (5.24 AC.) |
| TOTAL PROJECT AREA = 604,471 S.F. (13.88 AC.) |
| REQUIRED OPEN SPACE (50% TA)=302,236 S.F. (6.94 AC.) |
| TOTAL SITE WETLANDS (24.4%)=147,597 S.F. (3.39 AC.) |
| REQUIRED UPLAND (75.6% R.O.S.)=228,437 S.F. (5.25 AC.) |
| OPEN SPACE PROVIDED - PARCEL "A" & "B" |
| PARCEL "A" = 43,621 S.F. (1.00 AC.) |
| PARCEL "B" = 332,267 S.F. (7.63 AC.) |
| TOTAL = 375,888 S.F. (8.63 AC.) |
| UPLAND AREA = 231,679 S.F. (5.32 AC.) |
| WETLAND AREA = 144,209 S.F. (3.31 AC.) |

| |
|--|
| DRIVEWAYS & SIDEWALKS = 40,534 S.F. |
| BUILDING COVERAGE AREA = 26,002 S.F. |
| LAWNS, LANDSCAPING, & WOODS = 162,047 S.F. |
| OPEN SPACE PARCEL "A" = 43,621 S.F. |
| OPEN SPACE PARCEL "B" = 332,267 S.F. |
| TOTAL PROJECT AREA = 604,471 S.F. |

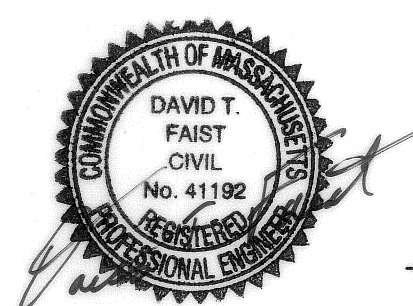
PLAN INDEX

| | |
|--|--------------------------------------|
| SHEET 1: TITLE SHEET | SHEET 10: DETAIL SHEET - 1 |
| SHEET 2: PROPERTY BOUNDARY SURVEY PLAN | SHEET 11: DETAIL SHEET - 2 |
| SHEET 3: EXISTING CONDITIONS & TOPOGRAPHY PLAN | SHEET 12: DETAIL SHEET - 3 |
| SHEET 4: DEFINITIVE OSRD LAYOUT PLAN | SHEET 13: DETAIL SHEET - 4 |
| SHEET 5: GRADING & DRAINAGE PLAN | SHEET 14: LANDSCAPE PLAN |
| SHEET 6: UTILITIES PLAN | SHEET 15: LANDSCAPE DETAILS |
| SHEET 7: PLAN & PROFILE - 1 | SHEET 16: LIGHTING PLAN |
| SHEET 8: PLAN & PROFILE - 2 | SHEET 17: ARCHITECT'S ELEVATIONS A-1 |
| SHEET 9: EROSION & SEDIMENT CONTROL PLAN | |

DEFINITIVE PLANS
"WILLIAMSBURG WAY"
OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD)
IN
MEDWAY, MASSACHUSETTS

DATE: AUGUST 31, 2009

REVISE DATES:
OCTOBER 15, 2009
NOVEMBER 30, 2009
DECEMBER 15, 2009
JANUARY 28, 2010



O'DRISCOLL
LAND SURVEYING Co.
LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

FAIST ENGINEERING, INC.
600 Charlton Street
Southbridge, MA 01550
MA Phone/Fax: (508) 765-7755
e-mail: dfaist@faisteng.com

Handwritten signatures and notes:
PLAN No. 83 OF 1973 BK. 4905 PG. 388
DATE 2-23-10

RESERVED FOR REGISTRY USE

DATE 2-23-10

I MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

Maryjane White
TOWN CLERK
DATE Feb 24, 2010

N/F
MICHAEL ROBINSON
BK. 14539 PG. 392

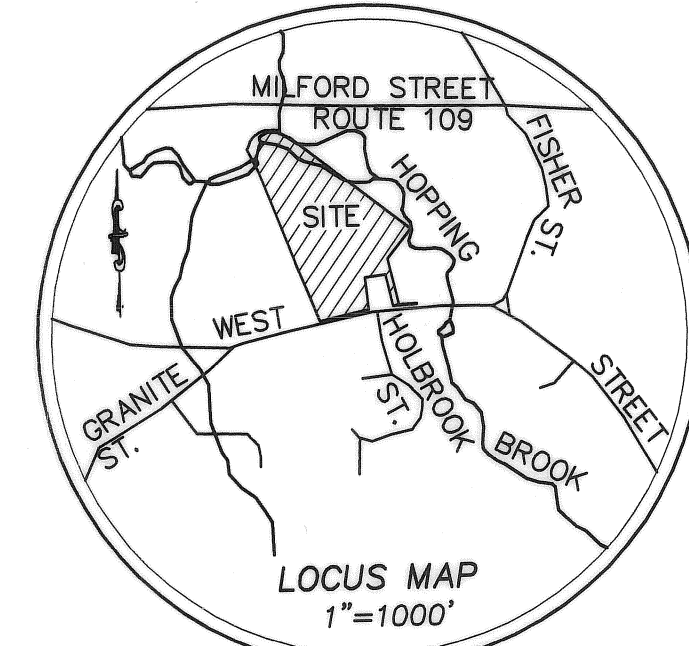
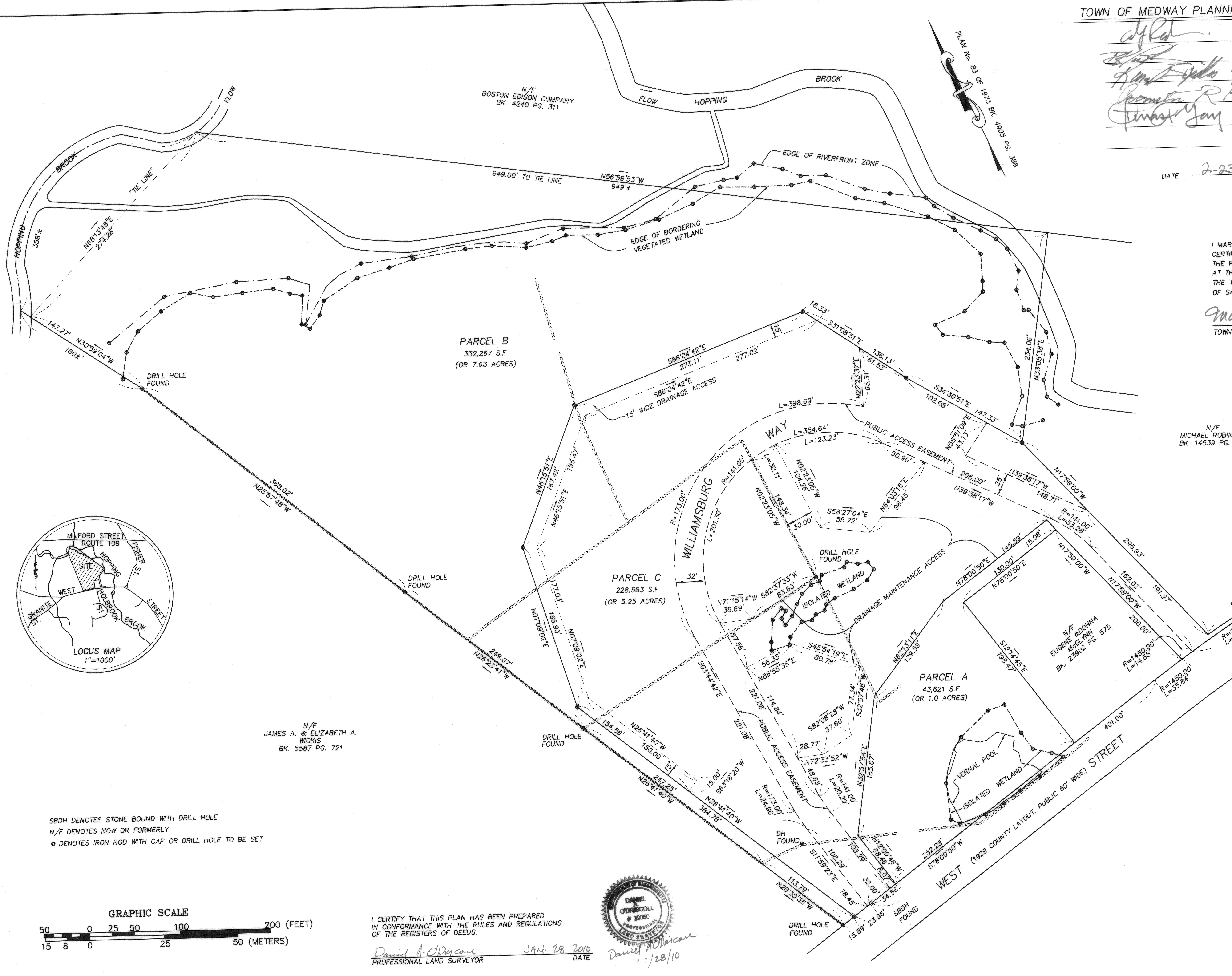
PREPARED FOR: WILLIAMSBURG CONDOMINIUM CORPORATION
4 DAFFODIL LANE
MEDWAY, MA 02053
ASSESSORS REFERENCE: MAP 2-1
PARCELS: 2/7B, 2/6-1-B, 2/6-1-2, 2/6-1-3
DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
BOOK 27111 PAGE 118
PLAN REFERENCES: PLAN No. 83 OF 1973 BK. 4905 PG. 388
PLAN No. 389 OF 2002 PL. BK. 497
PLAN No. 726 OF 2003 PL. BK. 515
1929 COUNTY LAYOUT OF WEST STREET

ZONING DISTRICT: AGRICULTURAL RESIDENTIAL II
PLAN OF LAND
"WILLIAMSBURG WAY"
DEFINITIVE OSRD DEVELOPMENT PLAN
IN
MEDWAY, MASSACHUSETTS

SCALE: 1"=50'
AUGUST 31, 2009
REVISED: OCTOBER 15, 2009
REVISED: NOVEMBER 30, 2009
REVISED: JANUARY 28, 2010

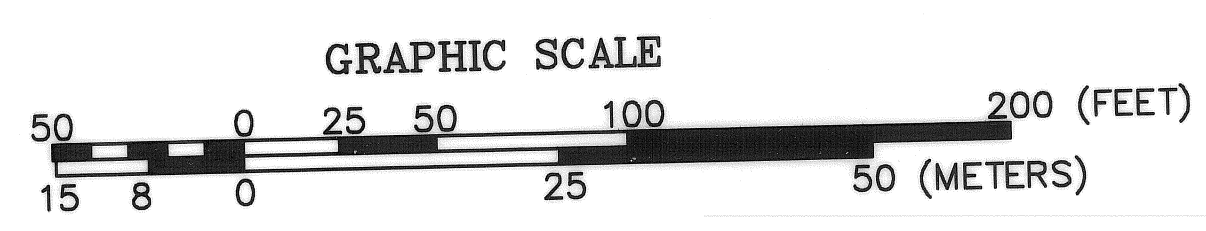
O'DRISCOLL
LAND SURVEYING Co.

LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314



N/F
JAMES A. & ELIZABETH A.
WICKIS
BK. 5587 PG. 721

SBDH DENOTES STONE BOUND WITH DRILL HOLE
N/F DENOTES NOW OR FORMERLY
○ DENOTES IRON ROD WITH CAP OR DRILL HOLE TO BE SET



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Daniel A. O'Driscoll
PROFESSIONAL LAND SURVEYOR
DATE JAN. 28, 2010
Daniel A. O'Driscoll
1/28/10



TOWN OF MEDWAY PLANNING BOARD

[Handwritten signatures]
 DATE: 2-23-10

RESERVED FOR REGISTRY USE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

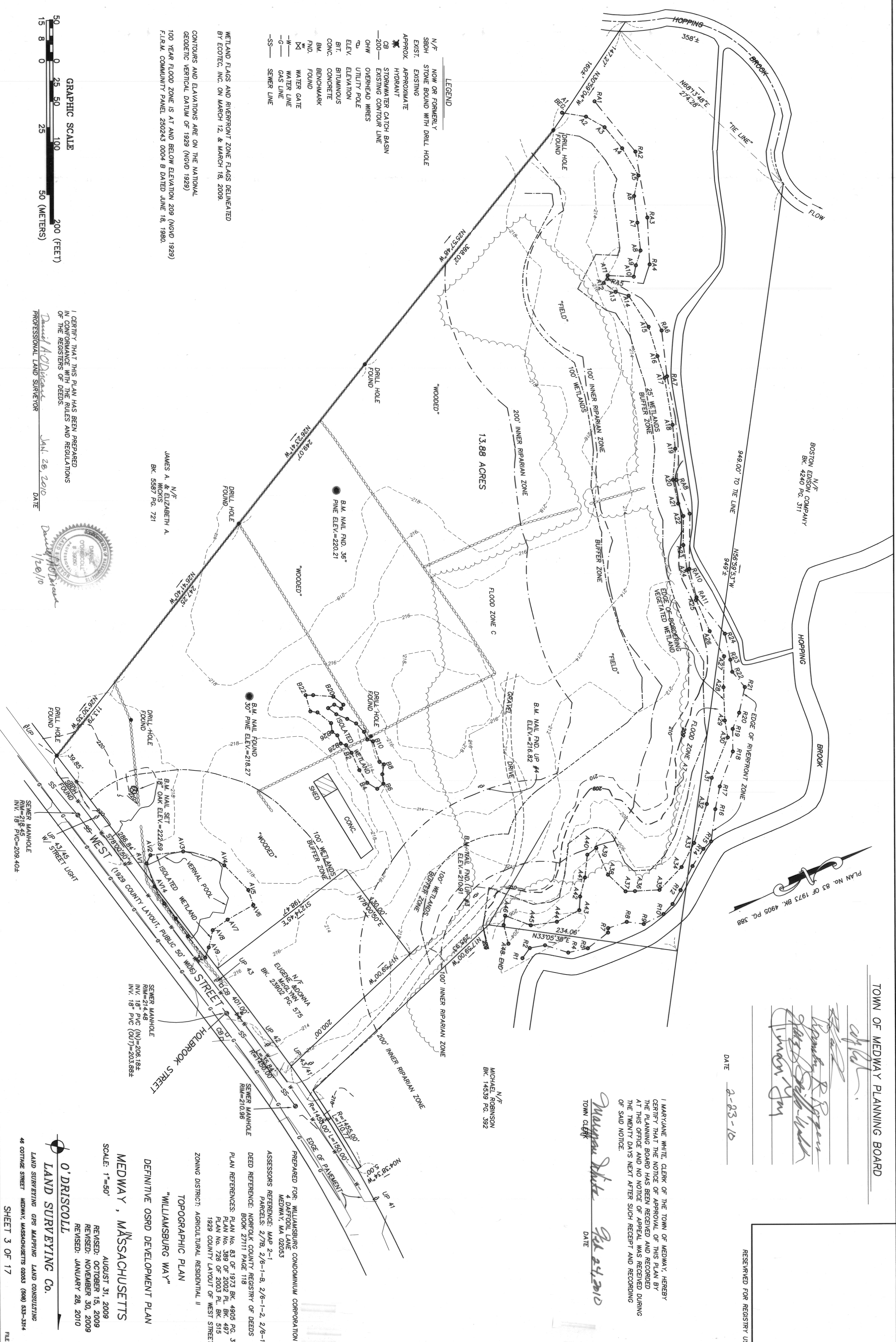
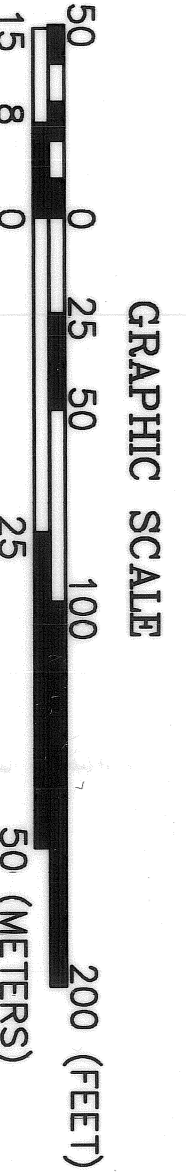
[Signature]
 TOWN CLERK DATE 2/24/2010

N/F MICHAEL ROBINSON
 BK. 14539 PG. 382

- LEGEND**
- N/F NOW OR FORMERLY
 - SBDH STONE BOUND WITH DRILL HOLE
 - EXST. EXISTING
 - APPROX. APPROXIMATE
 - HYDRANT HYDRANT
 - CB STORMWATER CATCH BASIN
 - OHW OVERHEAD WIRE
 - ELEV. ELEVATION
 - BIT. BITUMINOUS
 - CONC. CONCRETE
 - BM. BENCHMARK
 - FND. FOUND
 - WATER GATE
 - WATER LINE
 - GAS LINE
 - SS SEWER LINE

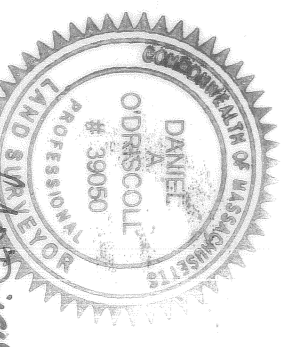
WETLAND FLAGS AND RIVERFRONT ZONE FLAGS DELINEATED BY ECOTEC, INC. ON MARCH 12, & MARCH 18, 2009.

CONTOURS AND ELEVATIONS ARE ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929)
 100 YEAR FLOOD ZONE IS AT AND BELOW ELEVATION 209 (NGVD 1929)
 F.L.R.M. COMMUNITY PANEL 250243 0004 B DATED JUNE 18, 1980.



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature] DANIEL A. DRISCOLL
 PROFESSIONAL LAND SURVEYOR
 DATE: JAN. 28, 2010



N/F JAMES A. & ELIZABETH A. WICKS
 BK. 5587 PG. 721

N/F ELIZABETH WICKS
 BK. 25922 PG. 575

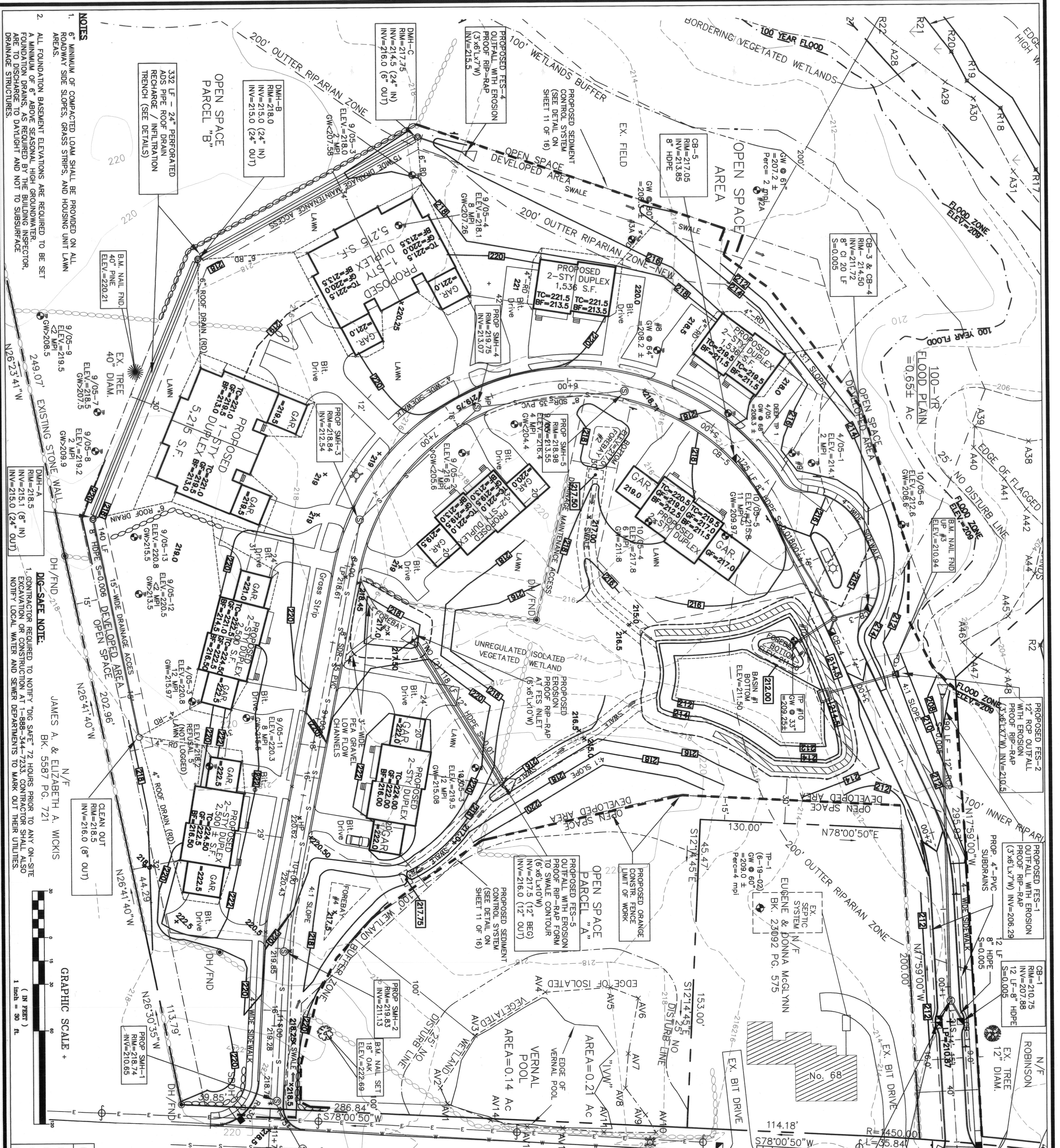
PREPARED FOR: WILLIAMSBURG CONDOMINIUM CORPORATION
 4 DAFFODIL LANE
 MEDWAY, MA 02053

ASSESSORS REFERENCE: MAP 2-1
 PARCELS: 2/7B, 2/6-1-B, 2/6-1-2, 2/6-1-3

DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
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 1929 COUNTY LAYOUT OF WEST STREET

ZONING DISTRICT: AGRICULTURAL RESIDENTIAL II
 TOPOGRAPHIC PLAN
 "WILLIAMSBURG WAY"
 DEFINITIVE OSD DEVELOPMENT PLAN
 MEDWAY, MASSACHUSETTS
 SCALE: 1"=50'
 AUGUST 31, 2009
 REVISED: OCTOBER 15, 2009
 REVISED: NOVEMBER 30, 2009
 REVISED: JANUARY 28, 2010
 O'DRISCOLL LAND SURVEYING Co.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314
 SHEET 3 OF 17
 FILE No. 1198



GRADING & DRAINAGE PLAN
"WILLIAMSBURG WAY"
OSRD DEFINITIVE PLAN
 IN
MEDWAY, MASSACHUSETTS

PREPARED FOR:
WILLIAMSBURG CONDOMINIUM CORPORATION
 4 DAFODIL LANE
 MEDWAY, MA 02053
 (508) 533-2292

REVISIONS:
 REVISE DATE: OCTOBER 15, 2009
 OCTOBER 30, 2009
 NOVEMBER 30, 2009
 JANUARY 28, 2010
 PREPARED BY: FAIST ENGINEERING, INC.
 600 Charlton Street
 Southbridge, MA 01550
 MA Phone/Fax: (508) 765-7755
 E-mail: dfaist@faisteng.com

DATE ISSUED: 8/31/09
 DWG. SCALE: 1"=30'
 DRAWN BY: KPK/DTF
 REVIEWED BY: DTF
 PROJECT NO.: WLL-2340

TOWN OF MEDWAY PLANNING BOARD

DATE: 2-23-2010

LEGEND:
 N/F NOW OR FORMERLY
 CB FH CONCRETE FOUND WITH DRILL HOLE
 EXIST. EXISTING
 PROP. PROPOSED
 INV. INVERT
 R.C.P. REINFORCED CONCRETE PIPE
 APPROX. APPROXIMATE
 SEWER MANHOLE
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 FLARED END SECTION
 ELEV. ELEVATION
 BIT. BITUMINOUS
 CONC. CONCRETE
 O.C.S. OUTLET CONTROL STRUCTURE
 F.F. FIRST FLOOR ELEVATION
 B.F. BASEMENT FLOOR ELEVATION
 G.F. GARAGE FLOOR ELEVATION
 B.M. BENCHMARK
 FA FIRE ALARM BOX
 X WATER GATE
 V.G.C. VERTICAL GRANITE CURB
 OLD TEST PITS (PD-)
 NEW TEST PITS (DAO-2005)
 ETC. ELECTRIC, TELEPHONE & CABLE
 PROPOSED GEOMITT FILTER BEAM
 EROSION & SEDIMENT CONTROL
 USE 8" CAST IRON OR "BLUE BRUTE" PIPING

1. MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

MaryJane White
 CLERK
 DATE: 2/24/2010

NOTES

- MINIMUM OF COMPACTED LOAM SHALL BE PROVIDED ON ALL AREAS.
- ROADWAY SIDE SLOPES, GRASS STRIPS, AND HOUSING UNIT LAWN AREAS.
- ALL FOUNDATION BASEMENT ELEVATIONS ARE REQUIRED TO BE SET TO FINISH GRADE.
- A MINIMUM OF 6" ABOVE SEASONAL HIGH GROUND WATER TABLE. FOUNDATION WALLS, S REQUIRED TO BE SET TO FINISH GRADE. FOUNDATION WALLS, S REQUIRED TO BE SET TO FINISH GRADE. FOUNDATION WALLS, S REQUIRED TO BE SET TO FINISH GRADE.

DIG-SAFE NOTE:

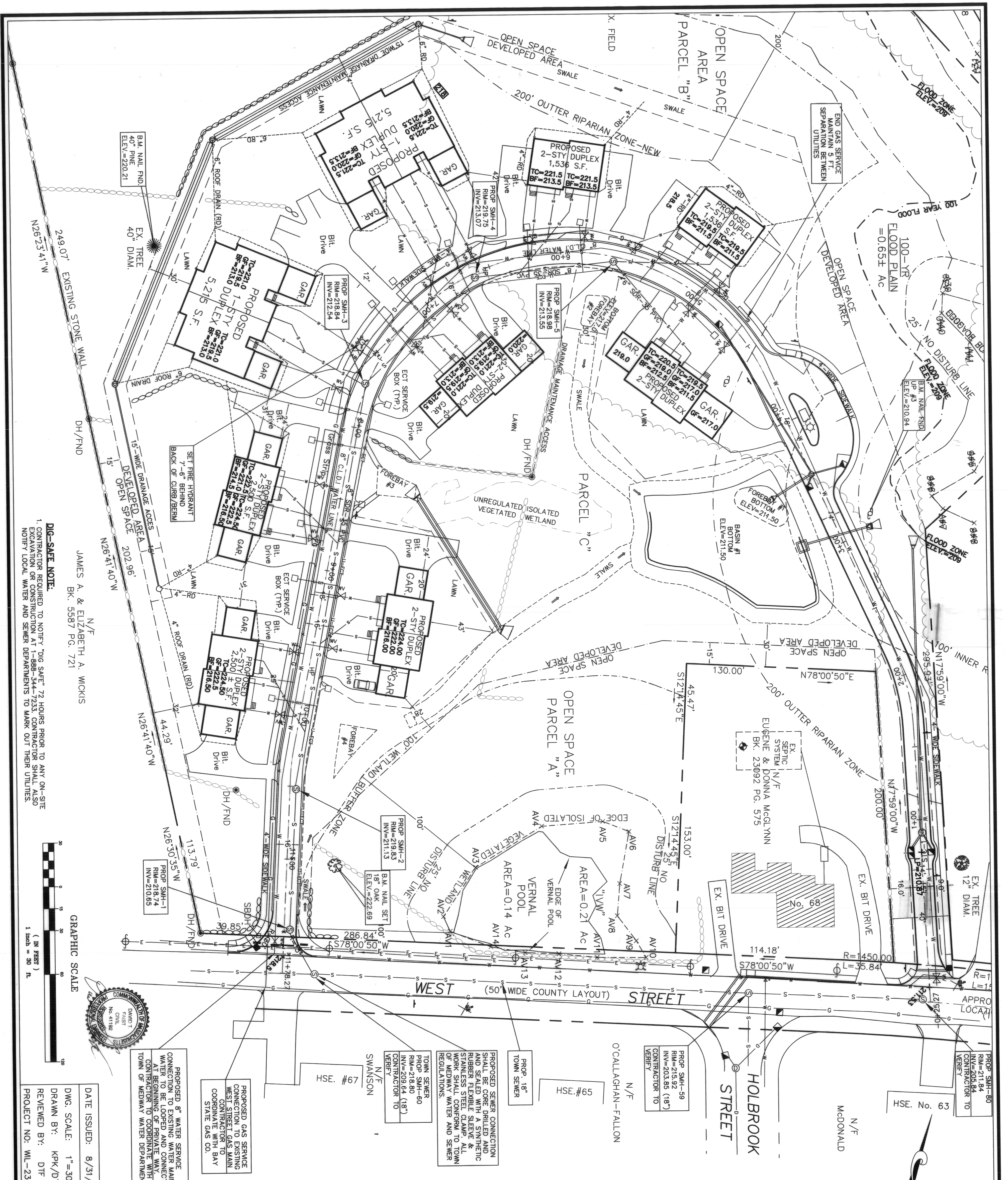
1. CONTRACTOR REQUIRED TO NOTIFY "DIG-SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

GRAPHIC SCALE

1" = 30' (BY THEORY)
 1" = 30' (BY THEORY)

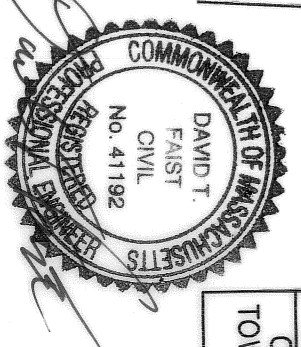
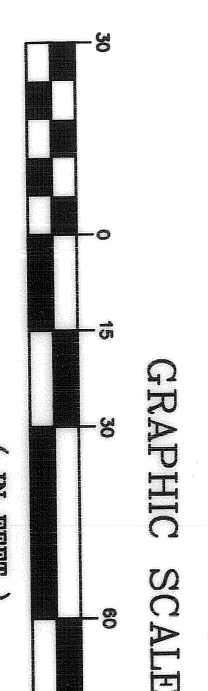
DATE ISSUED: 8/31/09
DWG. SCALE: 1"=30'
DRAWN BY: KPK/DTF
REVIEWED BY: DTF
PROJECT NO.: WLL-2340

DATE ISSUED: 8/31/09
DWG. SCALE: 1"=30'
DRAWN BY: KPK/DTF
REVIEWED BY: DTF
PROJECT NO.: WLL-2340



DIG-SAFE NOTE:
 1. CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

JAMES A. & ELIZABETH A. WICKIS
 N/F
 BK. 5587 PG. 721



PROPOSED 8" WATER SERVICE CONNECTION TO EXISTING WATER MAIN. WATER TO BE LOOPED AND CONNECT AT BEGINNING OF PRIVATE WAY. CONTRACTOR TO COORDINATE WITH BAY STATE GAS CO.

PROPOSED GAS SERVICE CONNECTION TO EXISTING WEST STREET GAS MAIN. CONTRACTOR TO COORDINATE WITH BAY STATE GAS CO.

PROPOSED 18" TOWN SEWER
 PROP. SMH-59
 RIM=215.92
 INV=203.85 (18")
 CONTRACTOR TO VERIFY

PROPOSED SEWER CONNECTION SHALL BE CORE BRILLED AND SEALED WITH A SYNTHETIC RUBBER LEAK RESISTANT JOINT. CONTRACTOR SHALL CONFORM TO TOWN OF MEDWAY WATER AND SEWER REGULATIONS.

PROP. 18" TOWN SEWER
 PROP. SMH-60
 RIM=218.80
 INV=209.64 (18")
 CONTRACTOR TO VERIFY

N/F
 O'CALLAGHAN-FALLON

PROP. 18" TOWN SEWER
 PROP. SMH-60
 RIM=218.80
 INV=209.64 (18")
 CONTRACTOR TO VERIFY

N/F
 HOLBROOK STREET

N/F
 MCDONALD

N/F
 MCDONALD

HSE. No. 63

PROP. SMH-80
 RIM=211.84
 INV=205.84
 CONTRACTOR TO VERIFY

DATE ISSUED: 8/31/09
 DWG. SCALE: 1"=30'
 DRAWN BY: KPK/DTF
 REVIEWED BY: DJF
 PROJECT NO.: WL-2340

PREPARED FOR:
WILLIAMSBURG CONDOMINIUM CORPORATION
 4 DAFPODIL LANE
 MEDWAY, MA 02053
 (508) 533-2292

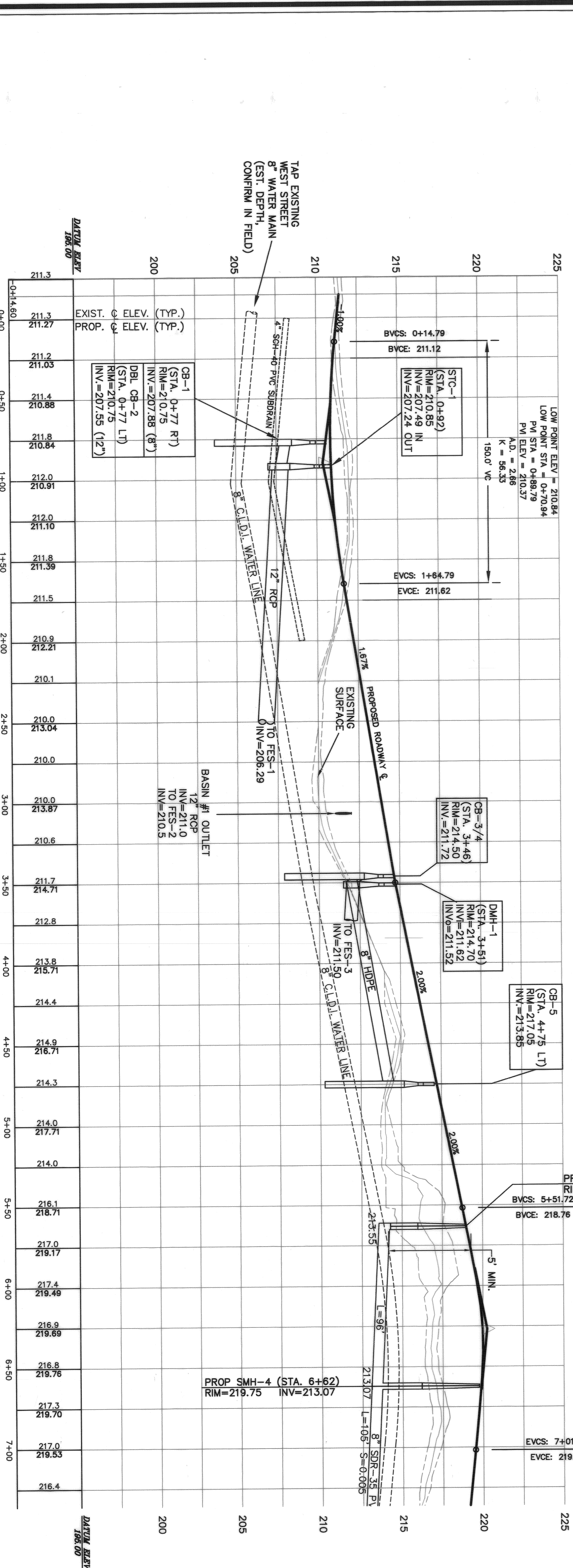
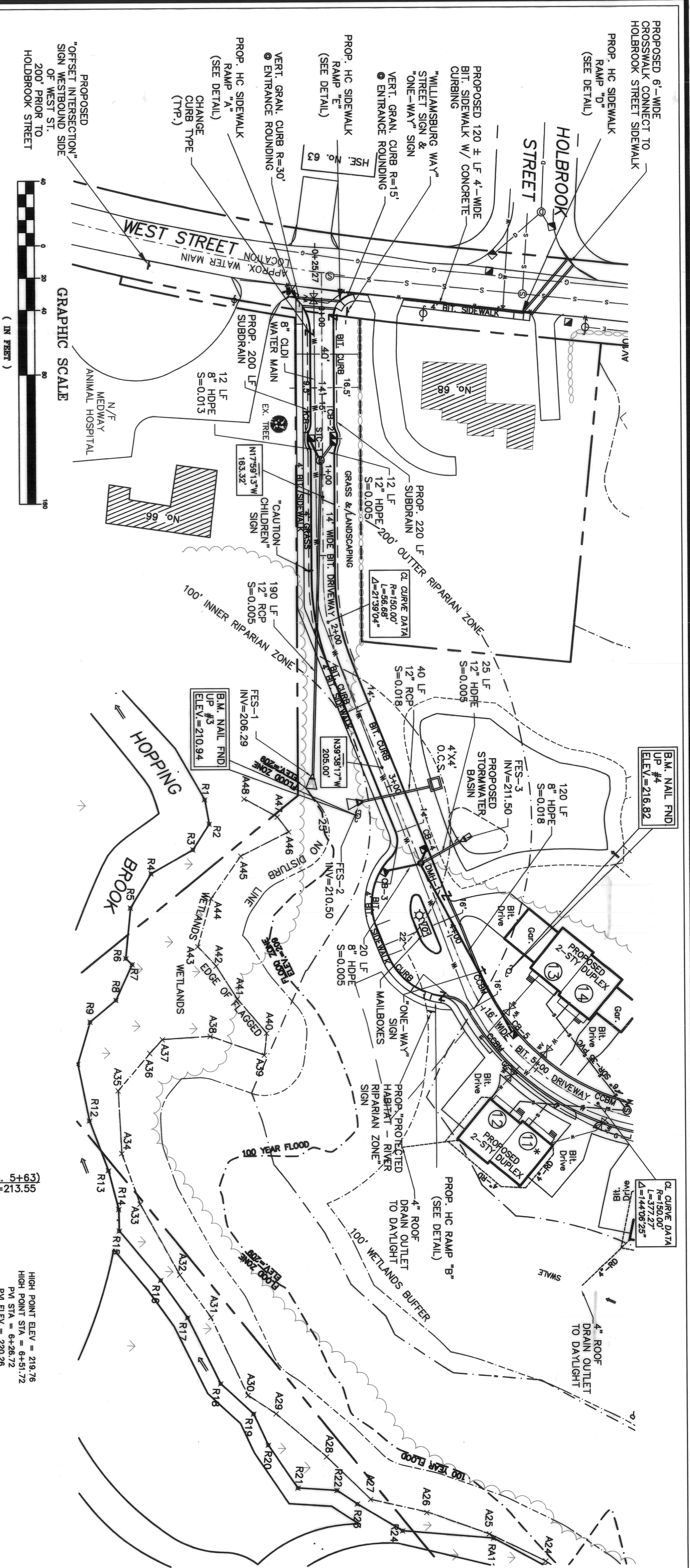
PREPARED BY:
FAIST ENGINEERING, INC.
 600 Chanton Street
 Southbridge, MA 01550
 MA Phone/Fax: (508) 765-7755
 E-mail: dfaist@faisteng.com

- UTILITIES PLAN**
"WILLIAMSBURG WAY"
OSRD DEVELOPMENT
 IN
MEDWAY, MASSACHUSETTS
1. MARYLANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.
 2. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY THE TOWN OF MEDWAY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
 3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS FOR AND FOR PERFORMING ANY NECESSARY WORK INVOLVED IN CONNECTION WITH THE DISCONTINUANCE OF ANY UTILITIES OR WITHIN THE JURISDICTION OF ANY UTILITY COMPANIES, SUCH AS ELECTRICITY, TELEPHONE, WATER, GAS AND ANY SYSTEM OR SYSTEMS WHICH WILL BE AFFECTED BY THE WORK TO BE PERFORMED UNDER THIS CONTRACT.
 4. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENT, AND SOLE-AGENTS IN WRITING AT LEAST 48 HOURS AND NOT MORE THAN 30-DAYS PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITIES AT THE SITE. CONSTRUCTION SHALL NOT INTERFERE WITH OR INTERRUPT UTILITIES WHICH ARE TO REMAIN IN OPERATION.
 5. ALL WATER, SEWER AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE TOWN OF MEDWAY, MA.
 6. GAS, TELEPHONE AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC AND PLUMBING CONSULTANTS. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND DESIGN OF NEW UTILITIES WITH ELECTRIC, CABLE TELEVISION AND TELECOMMUNICATION UTILITIES.
 7. INSTALL WATER LINES WITH A MINIMUM OF FIVE (5) FT. COVER AND MAXIMUM OF SEVEN (7) FT. COVER MATERIAL.
 8. MAINTAIN 10 FT. HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LINES. WHEREVER THERE IS LESS THAN 10 FT. OF HORIZONTAL SEPARATION AND 18 IN. VERTICAL SEPARATION BETWEEN SEWER AND WATER UTILITIES, ENCASE BOTH UTILITIES IN CONCRETE.
 9. UTILITY STRUCTURES TO BE ABANDONED SHALL BE REMOVED TO A DEPTH OF NO LESS THAN FEET BELOW FINISHED GRADE. THE BOTTOMS OF THE STRUCTURES COMPACTED GRAVEL.
 10. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED OR REMOVED AND DISPOSED (BACKFILL), AND SURFACE RESTORATION IS RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR THE GAS LINE INSTALLATION.
 11. CONTRACTOR SHALL LET CLEAN SITE DRAIN LINES AND VACUUM DRAIN STRUCTURES PRIOR TO DEMOBILIZATION.
 12. MAINTAIN 5 FT. HORIZONTAL SEPARATION BETWEEN GAS UTILITY SERVICE AND ALL OTHER UTILITIES.
 13. ELECTRICAL, CABLE, & TELEPHONE UTILITY LAYOUT IS PRELIMINARY AND SUBJECT TO FINAL DESIGN BY THE UTILITY COMPANY. LOCATION SHOWING THE UTILITY LAYOUT IS FOR PLANNING PURPOSES AND SUBJECT TO CHANGE IN THE FIELD BY EACH RESPECTIVE UTILITY COMPANY.

TOWN OF MEDWAY PLANNING BOARD

DATE: 2-23-2010

DATE: 2/24/2010



DIG-SAFE NOTES:
 1) CONTRACTOR TO CONTACT DIG-SAFE AT LEAST 72 HOURS PRIOR TO THE START OF ANY ON-SITE WORK AT 1-888-DIG-SAFE (1-888-344-7233).
 2) CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES FOUND IN THE FIELD.

PROFILE "WILLIAMSBURG WAY"
 (STA. 0+00 - STA. 6+00)
 HORIZONTAL SCALE: 1" = 40'
 VERTICAL SCALE: 1" = 4'

TOWN OF MEDWAY PLANNING BOARD
 DATE: 2-23-2010

LEGEND
 N/F NOW OR FORMERLY
 CB DH CONCRETE BOUND WITH DRILL HOLE
 DET. DETENTION
 EXIST. EXISTING
 PROP. PROPOSED
 INV. INVERT
 R.C.P. REINFORCED CONCRETE PIPE
 APPROX. APPROXIMATE
 HYDRANT
 WATER GATE VALVE
 GARAGE FLOOR ELEV.
 SEWER MANHOLE
 DRAIN MANHOLE
 V.G.C. VERTICAL GRANITE CURB
 STORMWATER CATCH BASIN
 ETC. ELECTRICAL, TELEPHONE & CABLE
 OHW OVERHEAD WIRES
 CCBM CAPE COD BERM

NOTES:
 1) ALL ELEVATIONS REFER TO NGVD '29.
 2) ALL CATCH BASINS WILL BE CONSTRUCTED AS DEEP SUMP (4' BELOW INV.) W/ HOODS
 3) ALL DRAINAGE PIPES TO BE CLASS IV RCP, UNLESS OTHERWISE NOTED.
 4) LOCATION OF ALL UTILITIES SHALL BE DETERMINED IN THE FIELD, BY THE RESPECTIVE UTILITY COMPANIES (ELECTRIC, CABLE, & TELECOM). THE APPLICANT, "LARGO BUILDERS", SHALL BE RESPONSIBLE TO ACCURATELY LOCATE THE UTILITIES DURING CONSTRUCTION, PRIOR TO BACKFILL, SUCH THAT THE ACTUAL LOCATION CAN BE ACCURATELY REPRESENTED ON THE AS-BUILT DRAWINGS.
 5) ALL SIGNS, INCLUDING STREET SIGNS, MUST CONFORM TO TOWN OF MEDWAY STANDARDS.
 6) LOW END OF EACH RUN OF SUBDRAIN MUST BE TERMINATED AT A DRAINAGE STRUCTURE TO ENSURE COMPLETE REMOVAL OF ALL WATER COLLECTED IN THE SYSTEM.
 7) VERTICAL GRANITE CURB AT P.C. TO P.T. AT CORNER ROUNDINGS.
 8) CAPE COD BERM TO REMAIN CONTINUOUS. (NO DRIVEWAY CUTS SEE DETAIL)

PLAN REFERENCE:
 1) EXISTING CONDITIONS, PROPERTY BOUNDARY AND TOPOGRAPHY, AND WETLAND FLAG LOCATIONS ARE BASED ON A PLAN BY ODRISCOLL LAND SURVEYING CO., 46 COTTAGE STREET, MEDWAY, MA DATED AUGUST 31, 2009.
 2) TOWN OF MEDWAY, MASSACHUSETTS-- MEDWAY INDUSTRIAL PARK SEWER EXTENSION, WEST STREET STA. 10+400 TO 11+000 STREET 12, REV. DATE 5-02-08, PREPARED BY TATA & HOWARD, INCORPORATED.

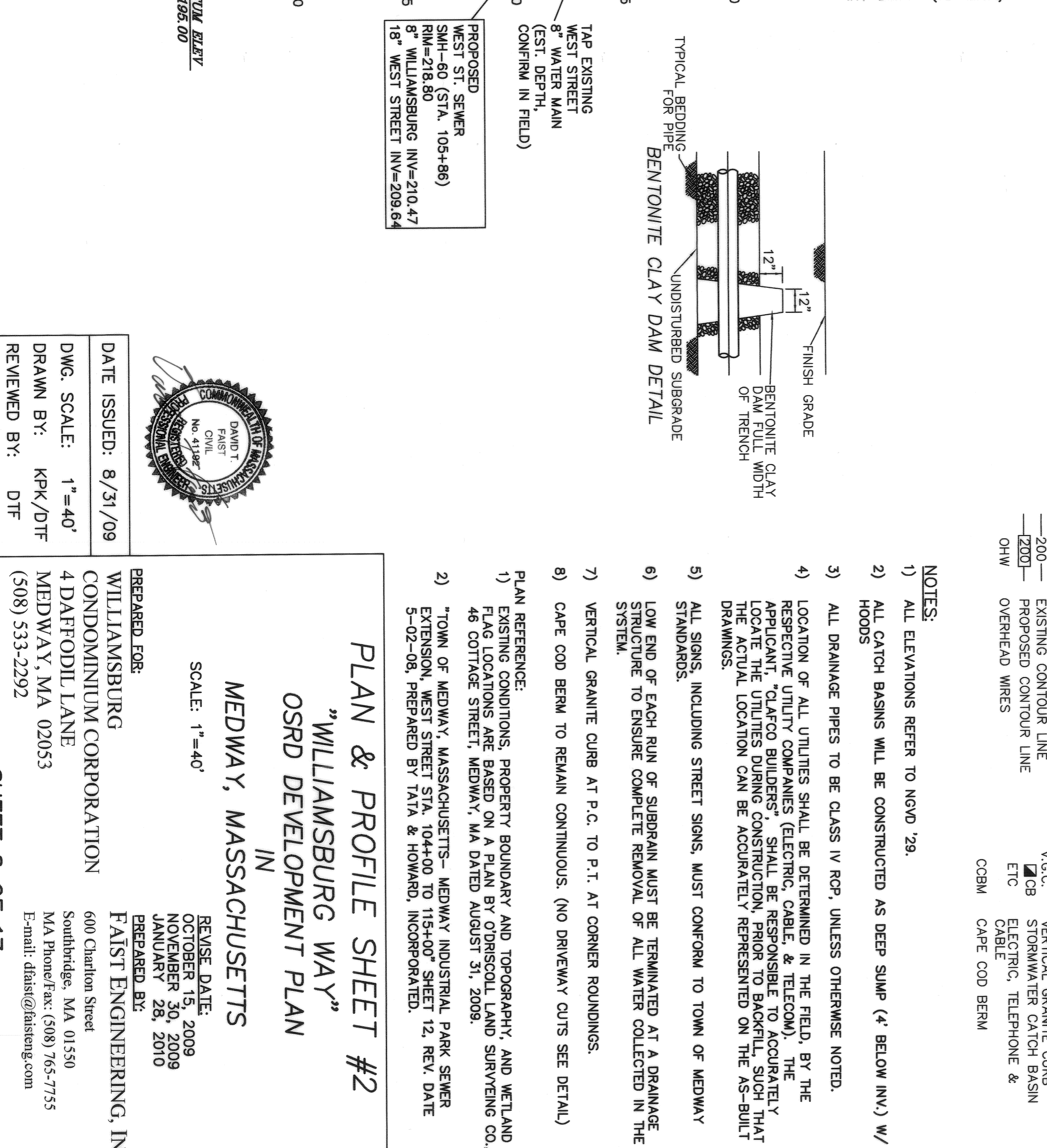
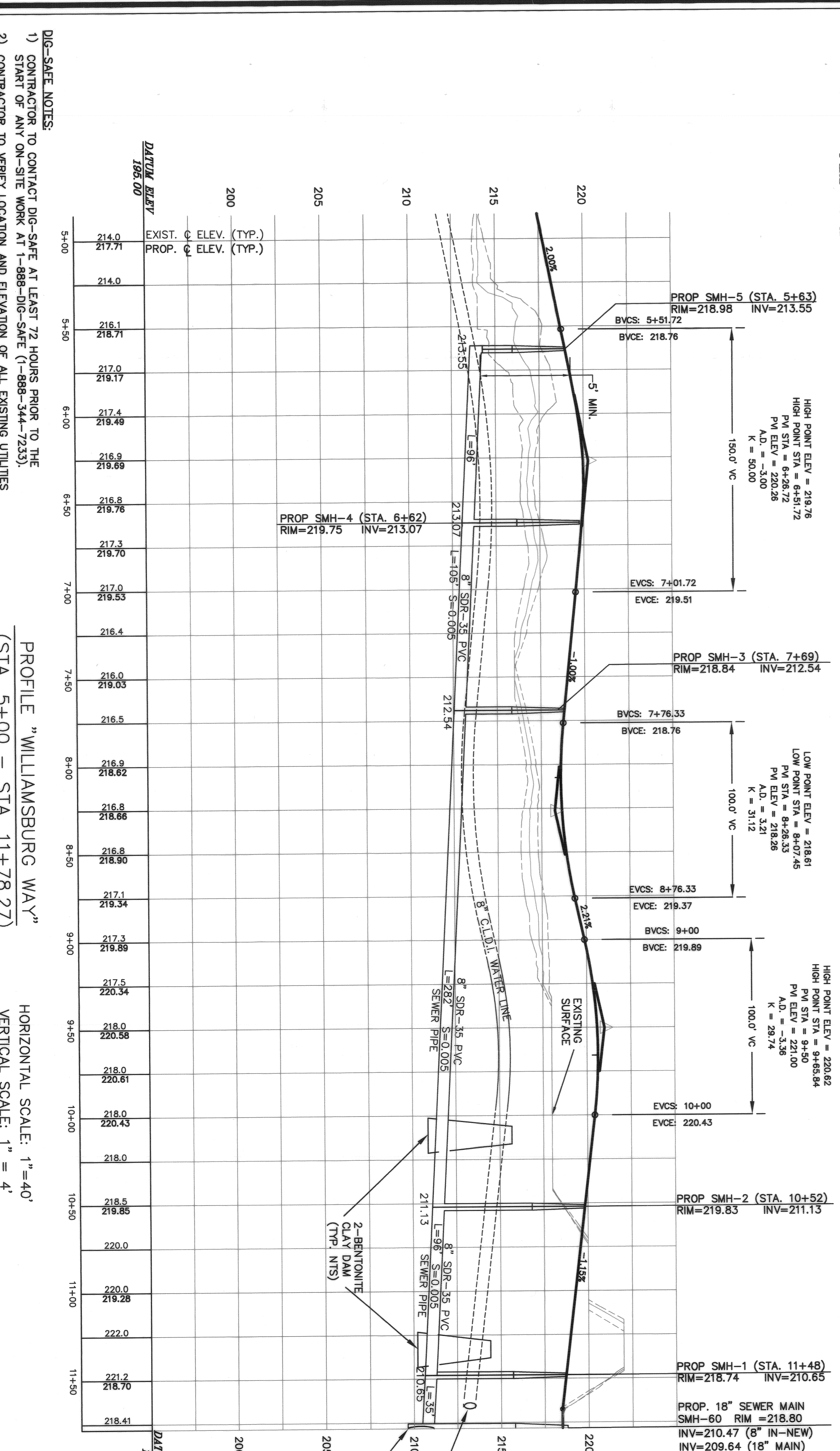
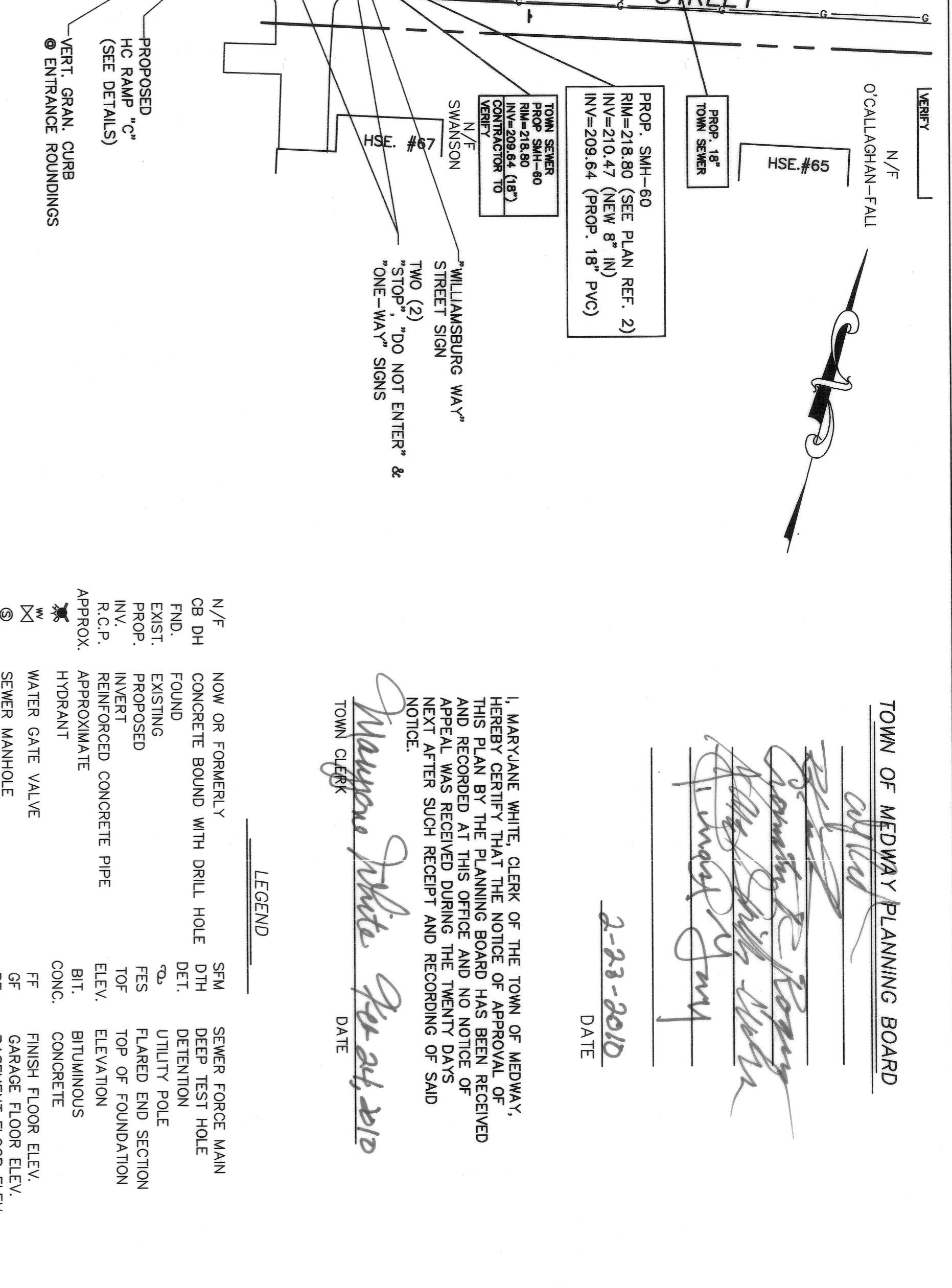
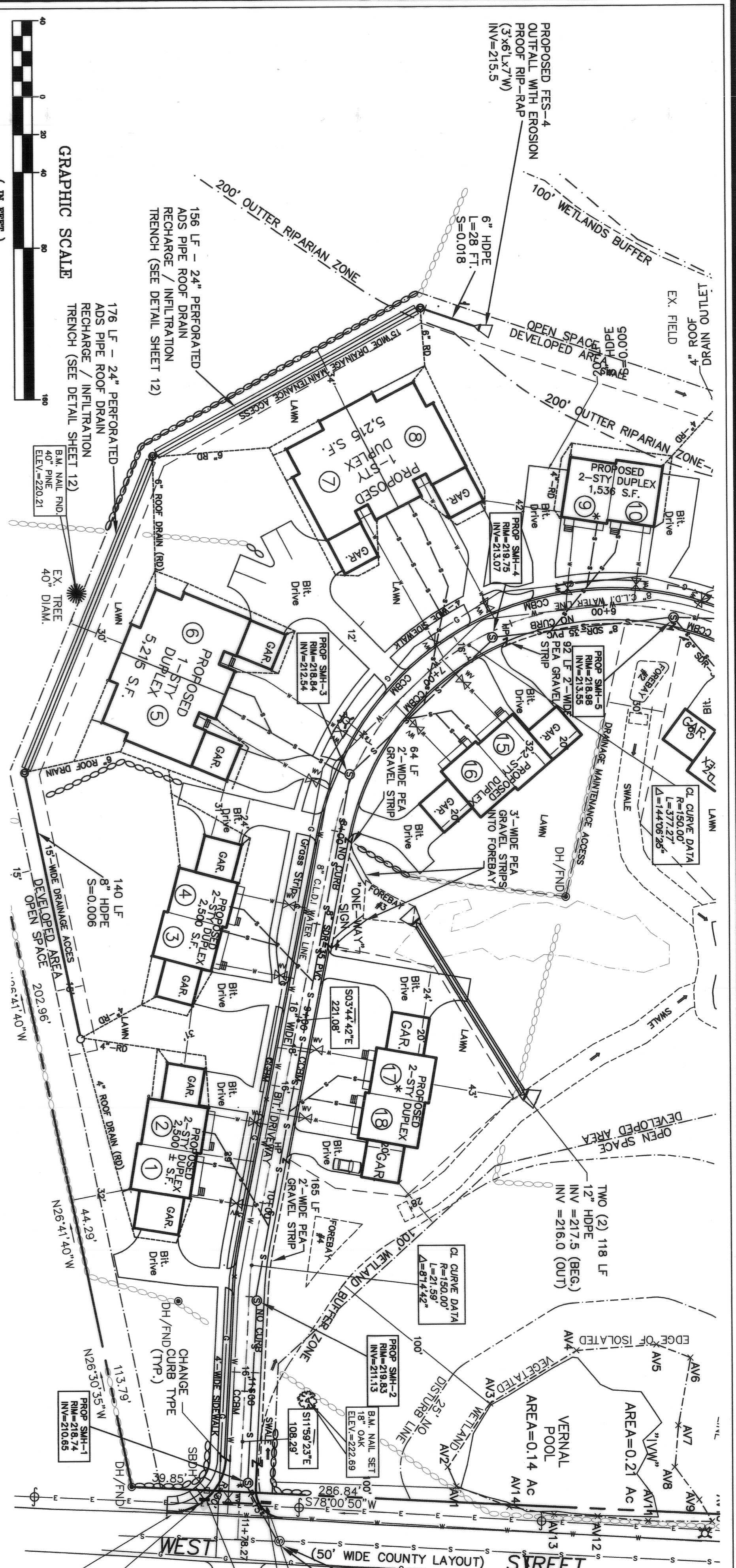


DATE ISSUED: 8/31/09
 DWG. SCALE: 1" = 40'
 DRAWN BY: KPK/DTF
 REVIEWED BY: DTF
 PROJECT NO: WIL-2340

PREPARED FOR:
 WILLIAMSBURG
 CONDOMINIUM CORPORATION
 4 DAFODIL LANE
 MEDWAY, MA 02053
 (508) 533-2292

REUSE DATE:
 OCTOBER 15, 2009
 NOVEMBER 10, 2009
 JANUARY 28, 2010
 PREPARED BY:
 FAIST ENGINEERING, INC.
 600 Charlton Street
 Southbridge, MA 01550
 MA Phone/Fax: (508) 765-7755
 E-mail: dfaist@faisteng.com

PLAN & PROFILE SHEET #1
 "WILLIAMSBURG WAY"
 OSRD DEVELOPMENT PLAN
 IN
 MEDWAY, MASSACHUSETTS



DIG-SAFE NOTES:
 1) CONTRACTOR TO CONTACT DIG-SAFE AT LEAST 72 HOURS PRIOR TO THE START OF ANY ON-SITE WORK AT 1-888-DIG-SAFE (1-888-344-7233).
 2) CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES FOUND IN THE FIELD.

PROFILE "WILLIAMSBURG WAY"
 (STA. 5+00 - STA. 11+78.27)
 HORIZONTAL SCALE: 1" = 40'
 VERTICAL SCALE: 1" = 4'

LEGEND
 N/F NOW OR FORMERLY
 CB DH CONCRETE BOUND WITH DRILL HOLE
 FND FOUND
 EXIST EXISTING
 PROP PROPOSED
 INV INVERT
 R.C.P. REINFORCED CONCRETE PIPE
 APPROX APPROXIMATE
 HYDRANT
 WATER GATE VALVE
 SPENR MANHOLE
 DEAN MANHOLE
 V.G.C. VERTICAL GRANITE CURB
 STORMWATER CATCH BASIN
 ETC ETC
 CABLE
 OHW OVERHEAD WIRES
 CCBM CAPE COD BERM

NOTES:
 1) ALL ELEVATIONS REFER TO NGVD 29.
 2) ALL CATCH BASINS WILL BE CONSTRUCTED AS DEEP SLUMP (4' BELOW INV.) W/ HOODS
 3) ALL DRAINAGE PIPES TO BE CLASS IV RCP, UNLESS OTHERWISE NOTED.
 4) LOCATION OF ALL UTILITIES SHALL BE DETERMINED IN THE FIELD, BY THE RESPECTIVE UTILITY COMPANIES (ELECTRIC, CABLE, & TELECOM). THE APPLICANT, "CLAFCO BUILDERS", SHALL BE RESPONSIBLE TO ACCURATELY LOCATE THE UTILITIES DURING CONSTRUCTION, PRIOR TO BACKFILL, SUCH THAT THE ACTUAL LOCATION CAN BE ACCURATELY REPRESENTED ON THE AS-BUILT DRAWINGS.
 5) ALL SIGNS, INCLUDING STREET SIGNS, MUST CONFORM TO TOWN OF MEDWAY STANDARDS.
 6) LOW END OF EACH RUN OF SUBPRAIN MUST BE TERMINATED AT A DRAINAGE STRUCTURE TO ENSURE COMPLETE REMOVAL OF ALL WATER COLLECTED IN THE SYSTEM.
 7) VERTICAL GRANITE CURB AT P.C. TO P.T. AT CORNER ROUNDINGS.
 8) CAPE COD BERM TO REMAIN CONTINUOUS. (NO DRIVEWAY CUTS SEE DETAIL)
 9) FINISH GRADE

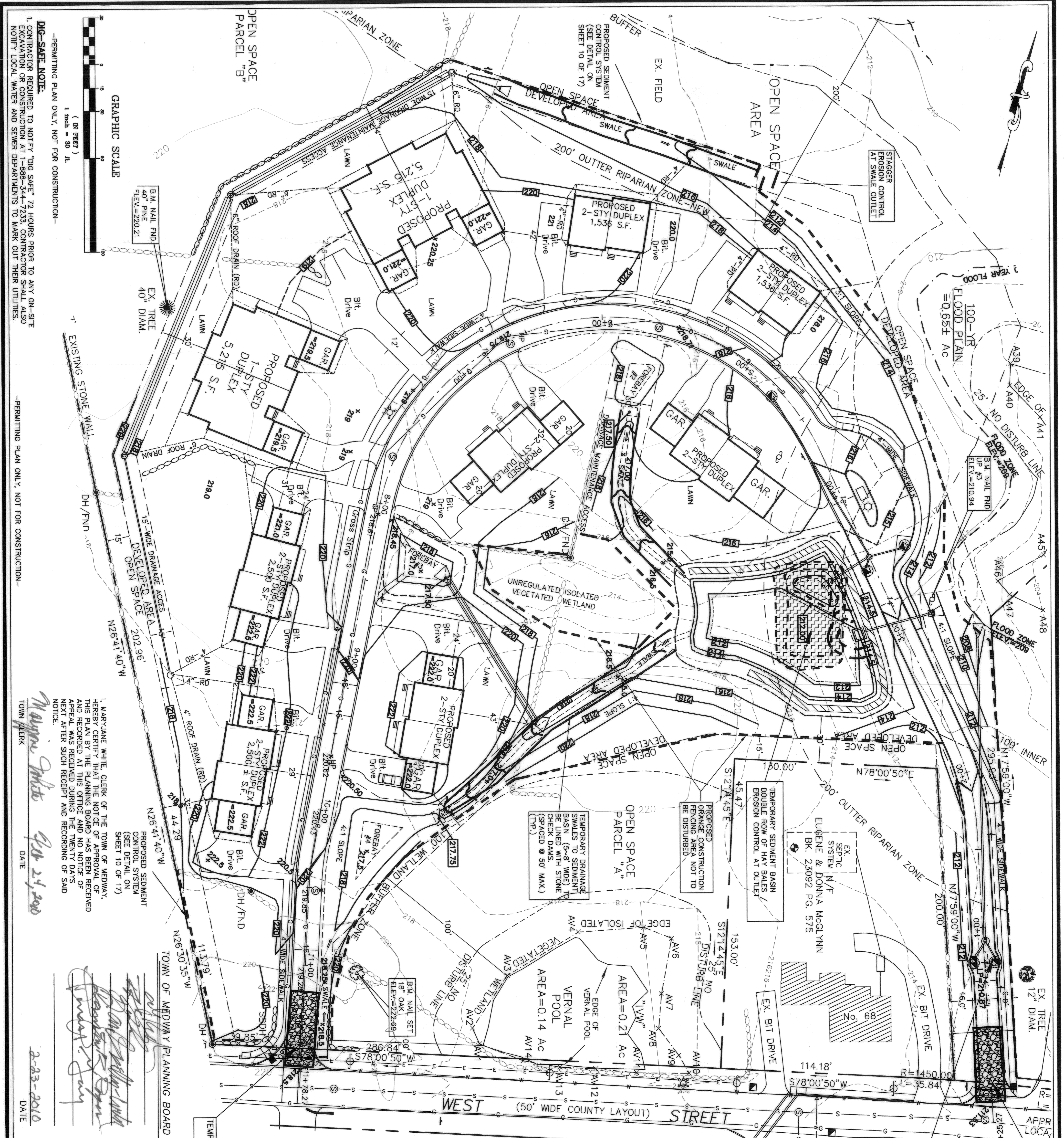
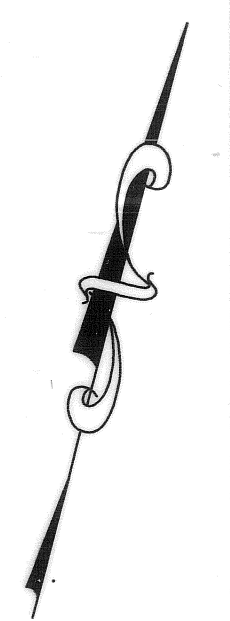
PLAN REFERENCE:
 1) EXISTING CONDITIONS, PROPERTY BOUNDARY AND TOPOGRAPHY, AND WETLAND FLAG LOCATIONS ARE BASED ON A PLAN BY ODRISCOLL LAND SURVEYING CO., 46 COTTAGE STREET, MEDWAY, MA DATED AUGUST 31, 2009.
 2) "TOWN OF MEDWAY, MASSACHUSETTS - MEDWAY INDUSTRIAL PARK SEWER EXTENSION, WEST STREET STA. 10+4+00 TO 11+5+00" SHEET 12, REV. DATE 5-02-08, PREPARED BY TAYLOR & HOWARD, INCORPORATED.
 3) TOWN OF MEDWAY, MASSACHUSETTS - WEST STREET (STA. 105+196) TO WEST STREET (STA. 105+47) 18" WEST STREET INV=210.47
 4) TOWN OF MEDWAY, MASSACHUSETTS - WEST STREET (STA. 105+47) TO WEST STREET (STA. 105+64) 18" WEST STREET INV=209.64

PLAN & PROFILE SHEET #2
"WILLIAMSBURG WAY"
OSRD DEVELOPMENT PLAN
IN
MEDWAY, MASSACHUSETTS

REVISIONS:
 REVISE DATE: OCTOBER 15, 2009
 OCTOBER 15, 2009
 NOVEMBER 20, 2009
 JANUARY 20, 2010
 PREPARED BY: FAIST ENGINEERING, INC.
 600 Charlton Street
 Southbridge, MA 01550
 MA Phone/Fax: (508) 765-7755
 E-mail: dfaist@faisteng.com

DATE ISSUED: 8/31/09
DWG. SCALE: 1" = 40'
DRAWN BY: KPK/DTF
REVIEWED BY: DTF
PROJECT NO.: WL-2340

TOWN OF MEDWAY PLANNING BOARD
 DATE: 2-23-2010
 SCALE: 1" = 40'
 SHEET 8 OF 17



TEMPORARY CONSTRUCTION ENTRANCE/EXIT

1. Erosion control measures are damaged by construction vehicles, acts of vandalism, or severe weather conditions, the contractor shall immediately remove sediment in the vicinity of the erosion control measures and repair these measures to a functional condition.
2. If, during or after construction, it becomes apparent that existing erosion control measures are incapable of controlling erosion, the engineer or the owner may require additional erosion control measures, such as silt fences, sediment basins, silt curtains, or enhanced dewatering filtration.
3. No construction shall proceed until a written proposal of methods to prevent construction debris, silt, sand, bent materials, or other materials from entering a storm sewer, the wetland, or other water body has been approved by the owner. These materials shall be collected and disposed of in an environmentally safe manner in accordance with all applicable Federal and State laws and regulations. The owner may order the contractor to cease activities until such time as the contractor has provided a written proposal to the owner to prevent erosion control materials from entering a waterway.
4. All temporary fill shall be stabilized during use to prevent erosion and shall be actively contoured to prevent erosion. Temporary fill shall be restored to their original contours or as directed by the owner and revegetated. The area extent of temporary fill or excavation shall be confined to that area necessary to perform the work, as approved by the owner.
5. Dumping of oil, chemicals or other deleterious materials on the ground is prohibited. The contractor shall provide a means of catching, retaining, and properly disposing of drained oil, removed oil, grease, or other deleterious materials. The contractor shall be responsible for the disposal of such materials to appropriate State and State Agencies.
6. All reeling of construction equipment is to take place outside of 100-foot wetlands buffer zone.
7. See NPDES Stormwater Pollution Prevention Plan (SWPPP) for Construction Activities.

GRAVEL & MESH CATCH BASIN PROTECTION (Typ.)

1. Sediment Control System (Sediment Filter): Install sediment filter system at wetland locations as shown on the plans and details. Enclose the silt fence into the sediment control system. The sediment filter shall be constructed of 1/4" of the effective fence-height. Repair and/or replace silt fence immediately if damaged or deteriorated.
2. Scheduling or Storage of Excavated Materials: Completely surround temporary material stockpiles with silt fence to prevent transportation of sediment.
3. Dust Control: Dust prevention is to prevent dust from becoming a nuisance to adjoining property owners. Brown off paved areas and other unpaved areas on a daily basis. Cover and/or keep moist all earth stockpiles at all times. Use calcium chloride to control dust over certain areas of the site, as directed by the engineer or owner. The contractor shall monitor and inspect, on a daily basis, the adequacy of dust control measures and correct any deficiencies immediately.
4. Temporary Stabilization: Top soil stockpiles and disturbed portions of the site where construction activity ceases for at least 21 days shall be stabilized with temporary seed and mulch procedures and specifications as shown on the landscape plan. The contractor shall be responsible for the temporary stabilization of all disturbed areas until permanent stabilization is achieved. The contractor shall be responsible for all landscaped areas. If topsoil, seed, and/or mulch is washed away by rainfall, the contractor shall restore the area.

TEMPORARY STABILIZATION MEASURES (SEE LANDSCAPE PLAN)

Disturbed portions of the site where construction activities permanently cease shall be stabilized with permanent seed no later than 14 days after the last construction activity. The permanent seed and mulch specifications and procedure shall be in accordance with the landscape architect's recommendations.

The contractor shall be responsible for all landscaped areas. If topsoil, seed, and/or mulch is washed away by rainfall, the contractor shall restore the area.

TEMPORARY STRUCTURAL MEASURES

Catch Basin Protection, Stone Filter: Install a 3/8" high stone on storm on the plans and details. The barrier shall be 12 inches high and 4 to 5 feet wide. Cover and/or keep moist all earth stockpiles at all times. Use calcium chloride to control dust over certain areas of the site, as directed by the engineer or owner. The contractor shall monitor and inspect, on a daily basis, the adequacy of dust control measures and correct any deficiencies immediately.

RESPONSIBILITIES OF OWNER/PERMITEE

The Owner/Permittee shall:

- A. Provide the contractor with copies of land-use permits that owner has acquired.
- B. Inform all parties involved with the proposed site work of this plan's objectives and requirements.

RESPONSIBILITIES OF CONTRACTOR

The contractor is responsible for preventing erosion of the site and for protecting adjacent storm sewers and waterways from sedimentation.

The contractor shall:

- A. Install, monitor, and maintain of the soil erosion and sediment control measures as shown on this plan.
- B. Comply with all permit requirements.

RECONSTRUCTION CONFERENCE - Prior to Construction, Following Installation of Erosion Control

The Permittee, Owner-of-record, Contractor, Engineer, and Town Representatives (Planning Board) shall hold a "pre-construction" conference at the site to review the proposed soil erosion and sediment control measures.

GENERAL CONTROLS

General of Stormwater Structures: General of stormwater structures, including, but not limited to pipes, swales, subsurface retention basins, sediment traps and riprap aprons of sediment upon completion of the project.

Construction Entrance: Place clean washed stone at the site entrances to the length, width and depth indicated on the plans and details. The stone shall be 12 inches high and 4 to 5 feet wide. Cover and/or keep moist all earth stockpiles at all times. Use calcium chloride to control dust over certain areas of the site, as directed by the engineer or owner. The contractor shall monitor and inspect, on a daily basis, the adequacy of dust control measures and correct any deficiencies immediately.

Waste Disposal: The contractor shall provide an adequate number of covered waste containers to ensure that no litter, debris, building materials, or similar materials are discharged to wetlands or watercourses. The contractor shall be responsible for the disposal of such materials to appropriate State and State Agencies.

EROSION & SEDIMENT CONTROL PLAN

"WILLIAMSBURG WAY"
OSRD DEFINITIVE PLAN
IN
MEDWAY, MASSACHUSETTS

PREPARED FOR: WILLIAMSBURG CONDOMINIUM CORPORATION
4 DAFODIL LANE
MEDWAY, MA 02053
(508) 533-2292

PREPARED BY: FAIST ENGINEERING, INC.
600 Charlton Street
Southbridge, MA 01550
MA Phone/Fax: (508) 765-7755
E-mail: dfaist@faisteng.com

DATE ISSUED: 8/31/09
DWG. SCALE: 1"=30'
DRAWN BY: KPK/DTF
REVIEWED BY: DTF
PROJECT NO.: WL-2340



REVISIONS:
REVISION DATE: OCTOBER 15, 2009
OCTOBER 30, 2009
JANUARY 28, 2010

DIG-SAFE NOTE:
1. CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

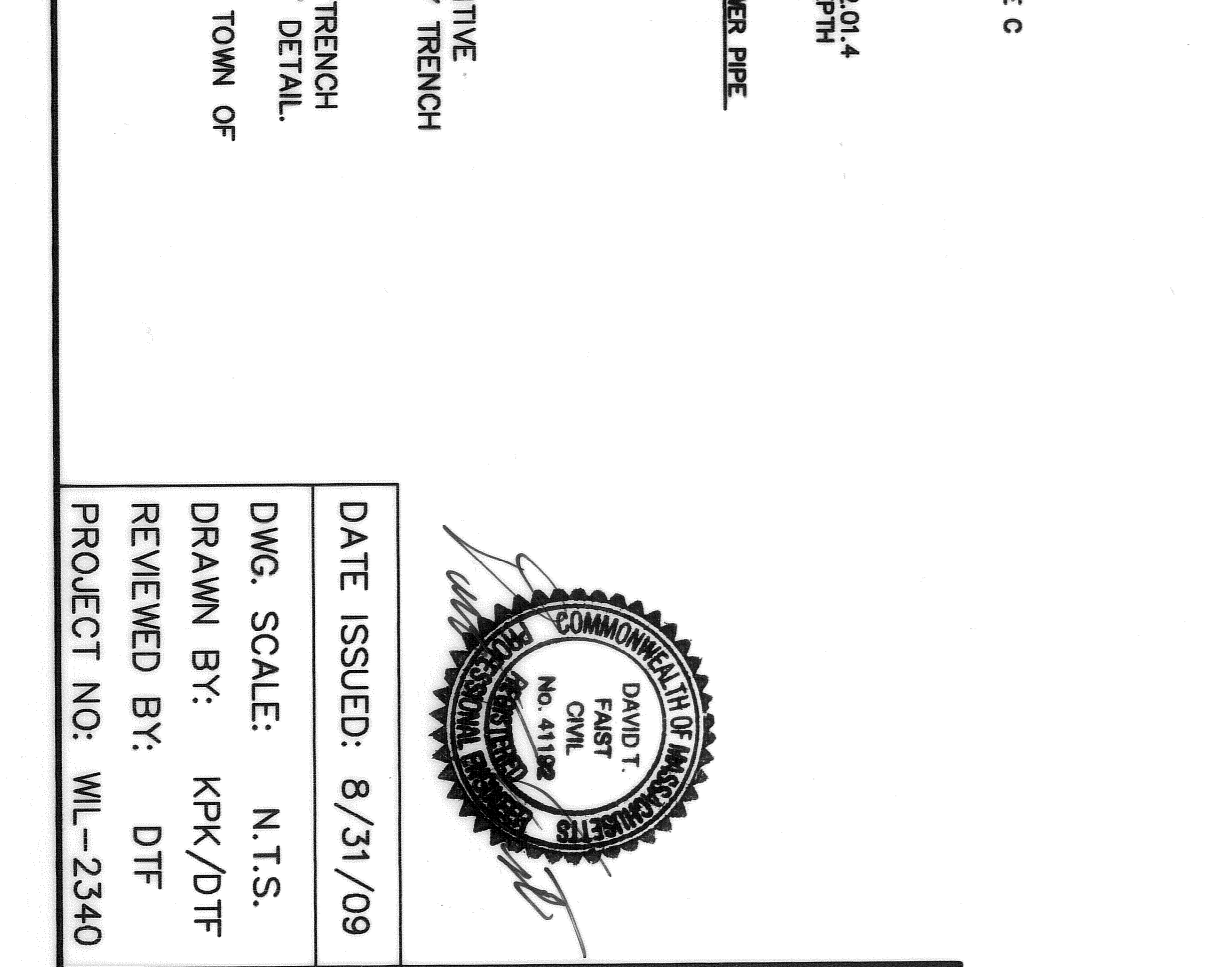
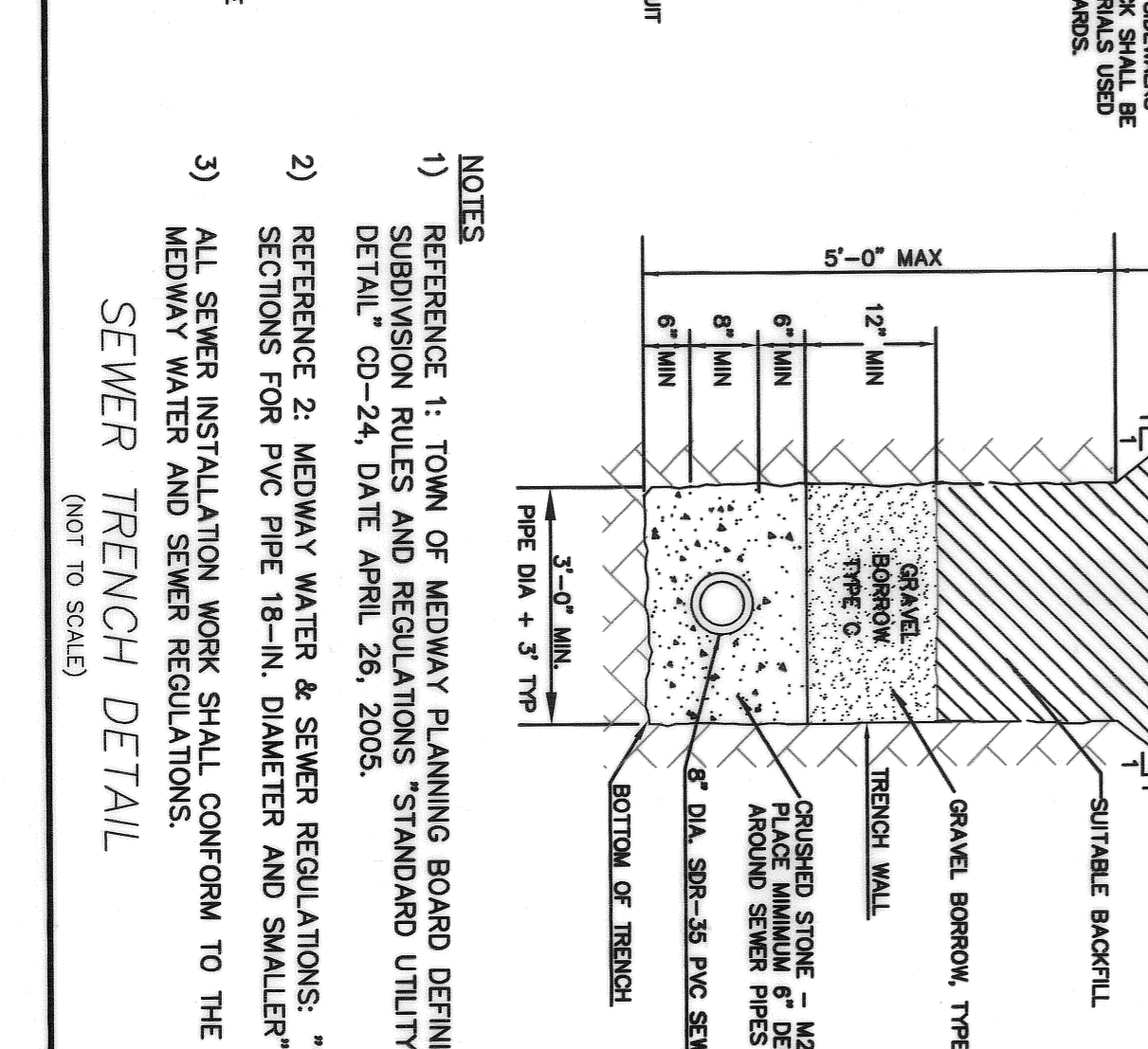
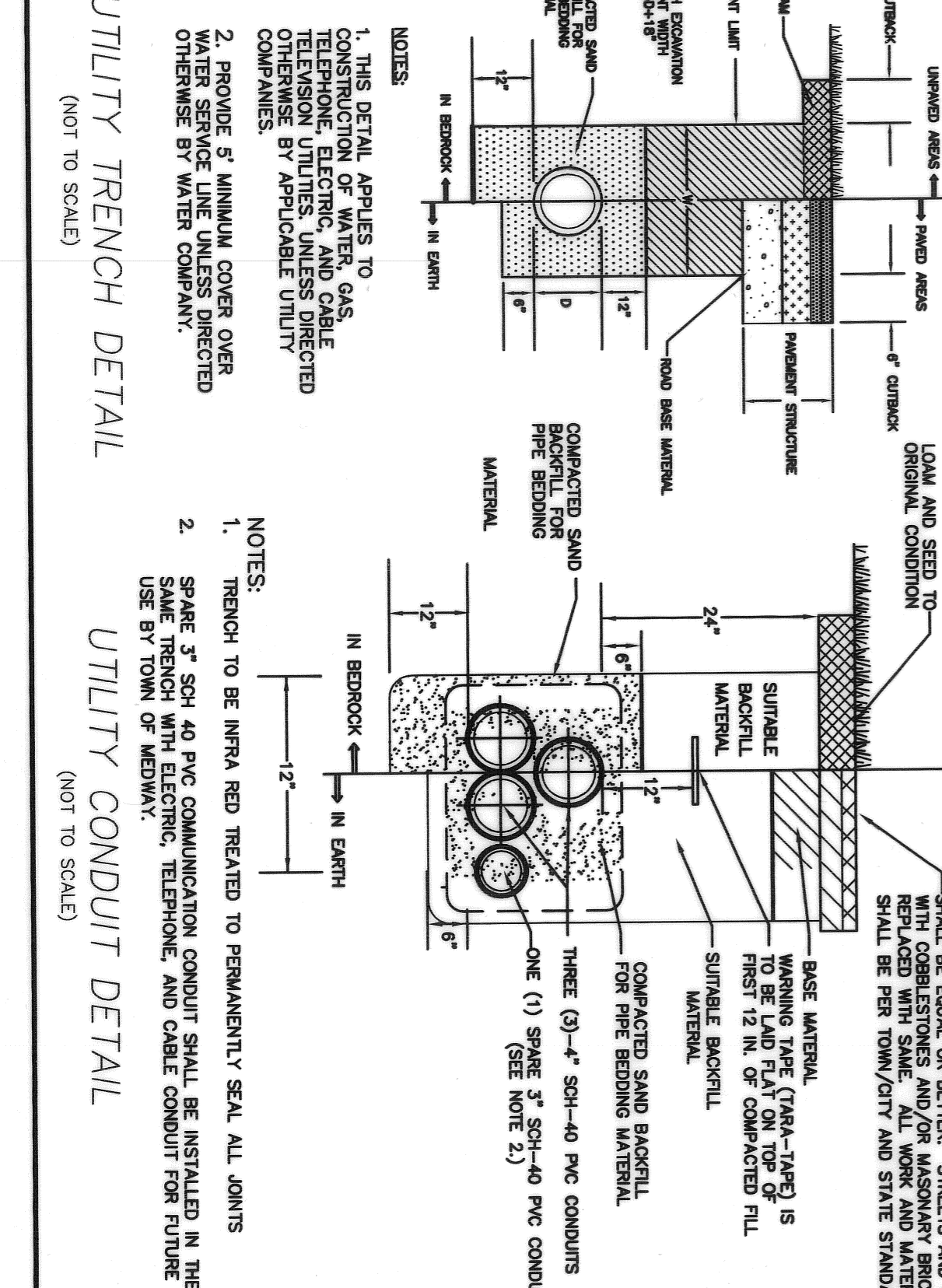
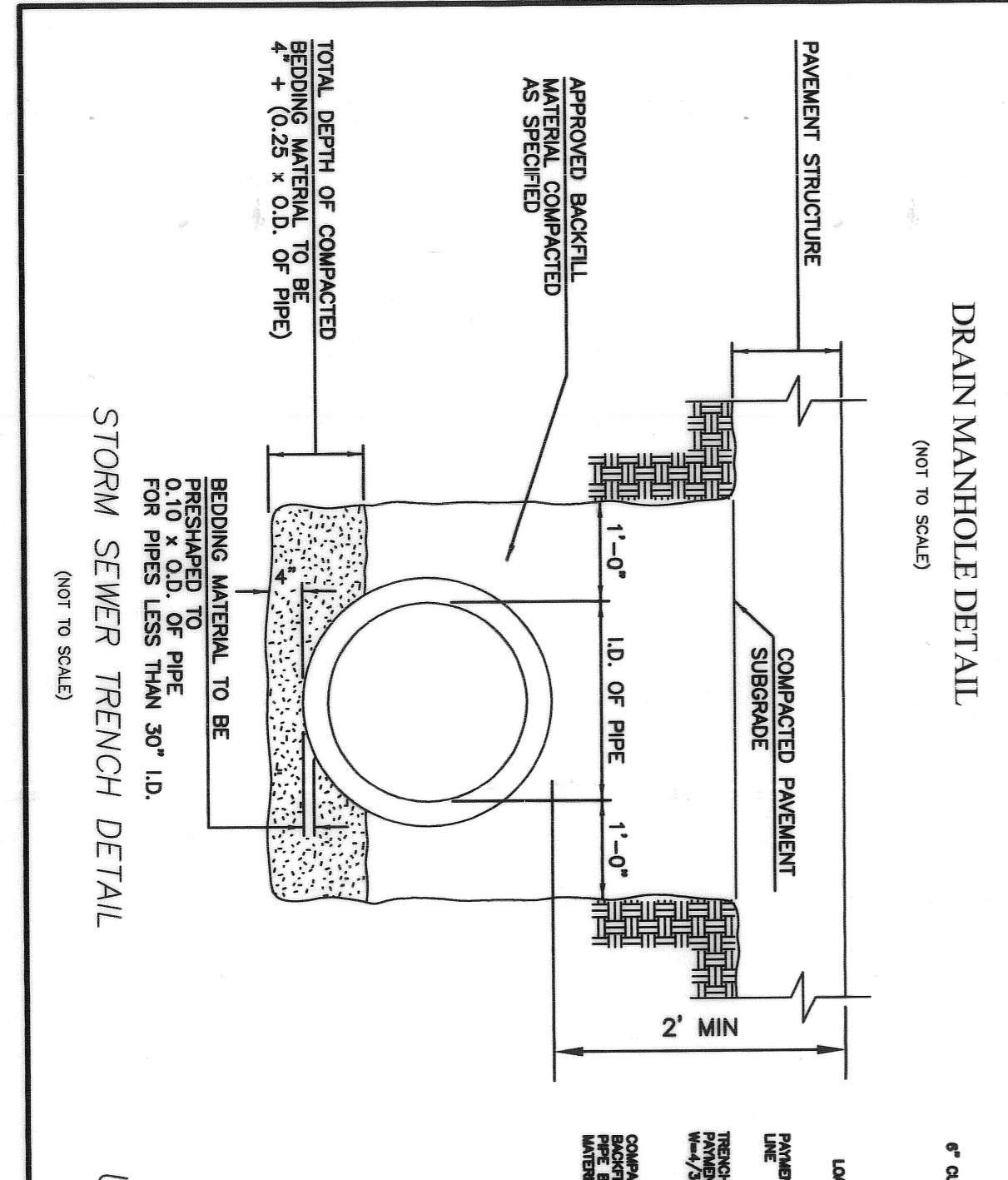
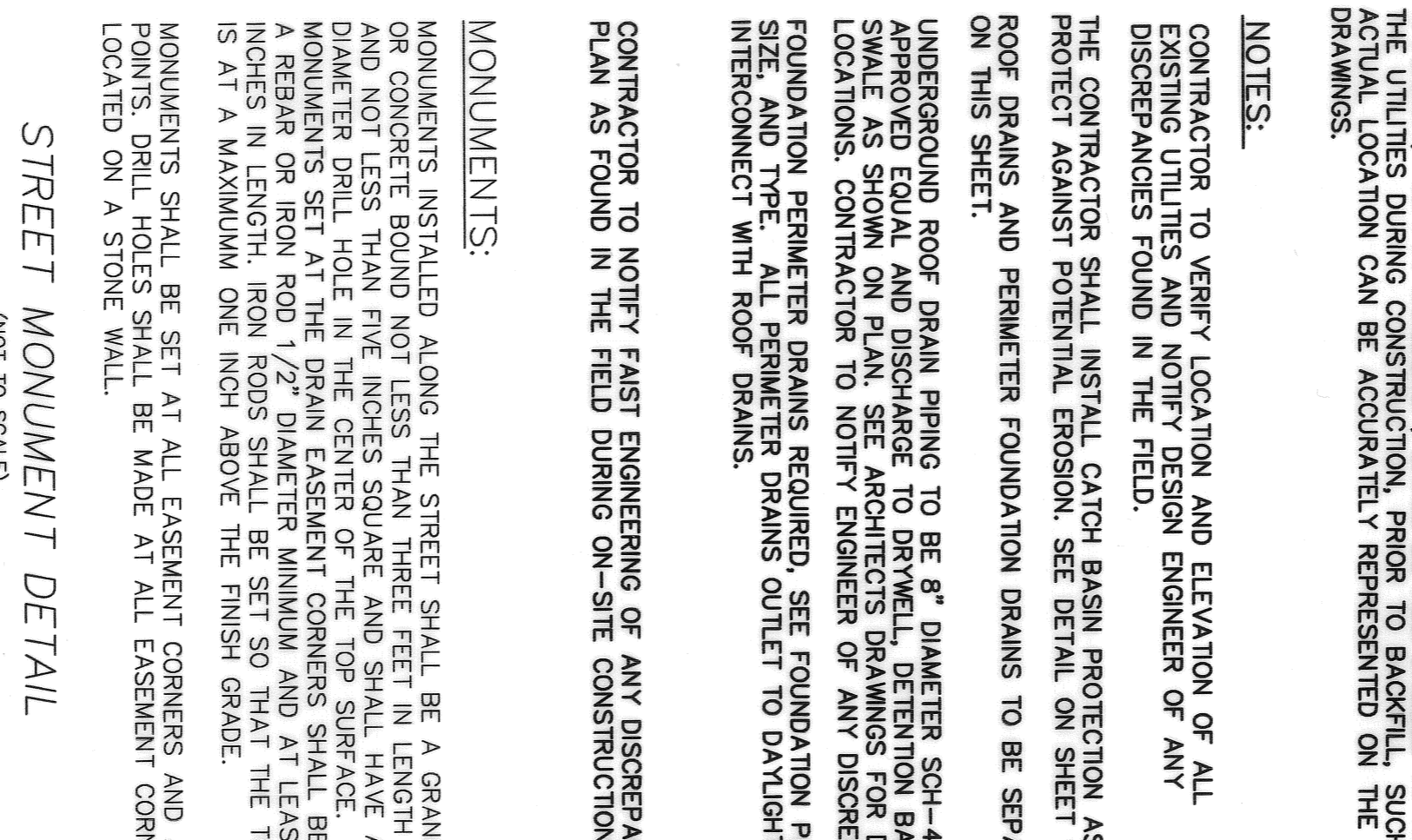
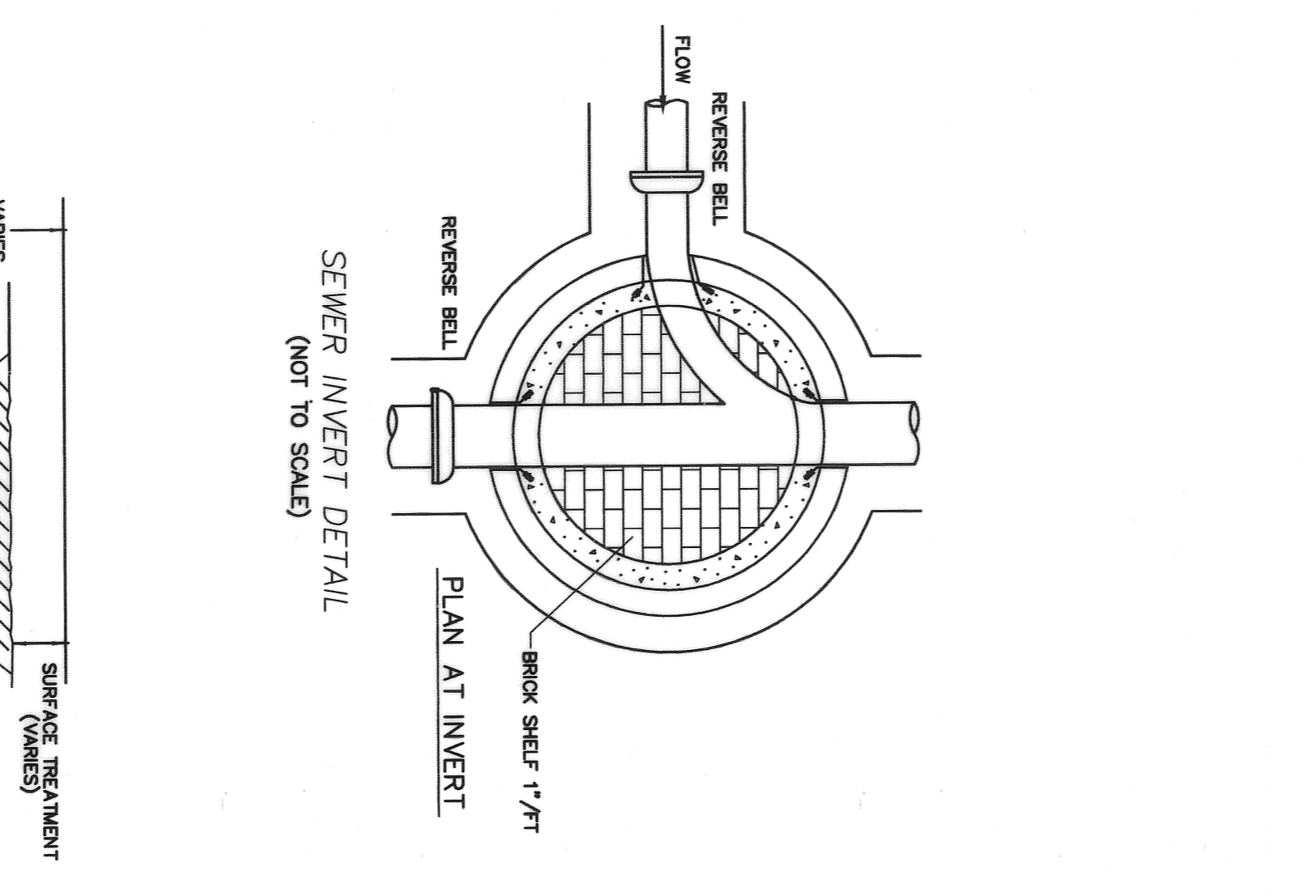
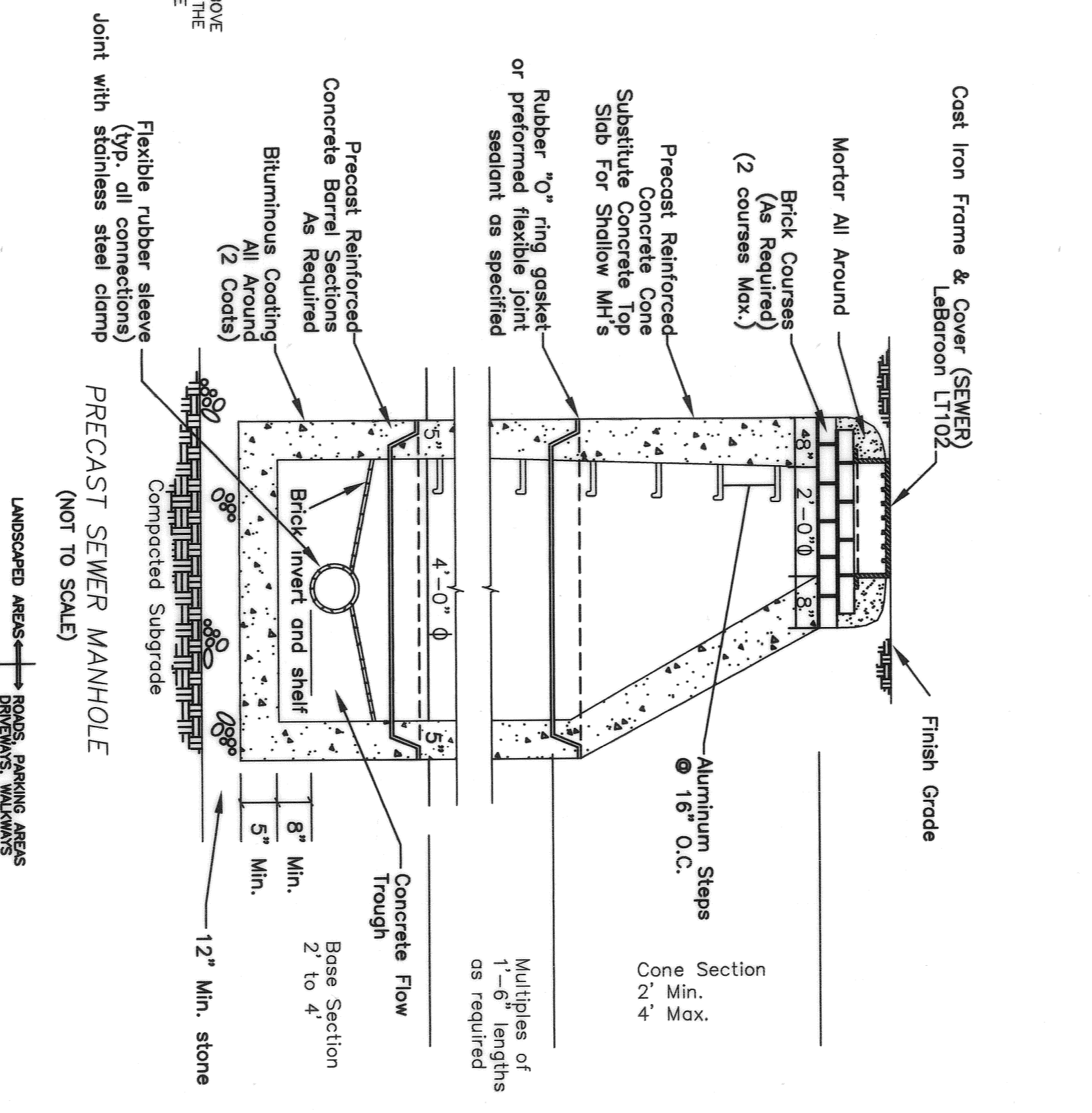
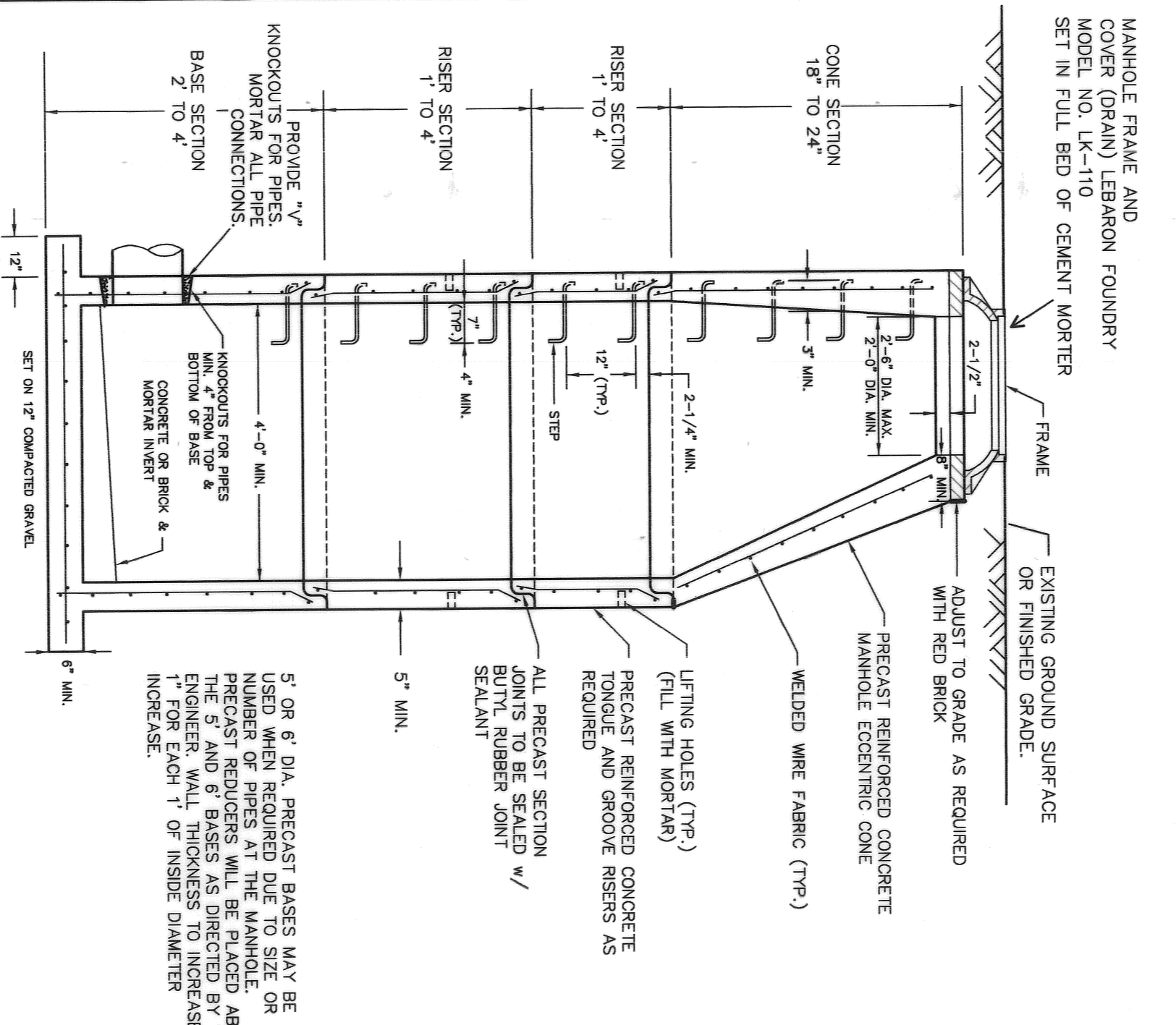
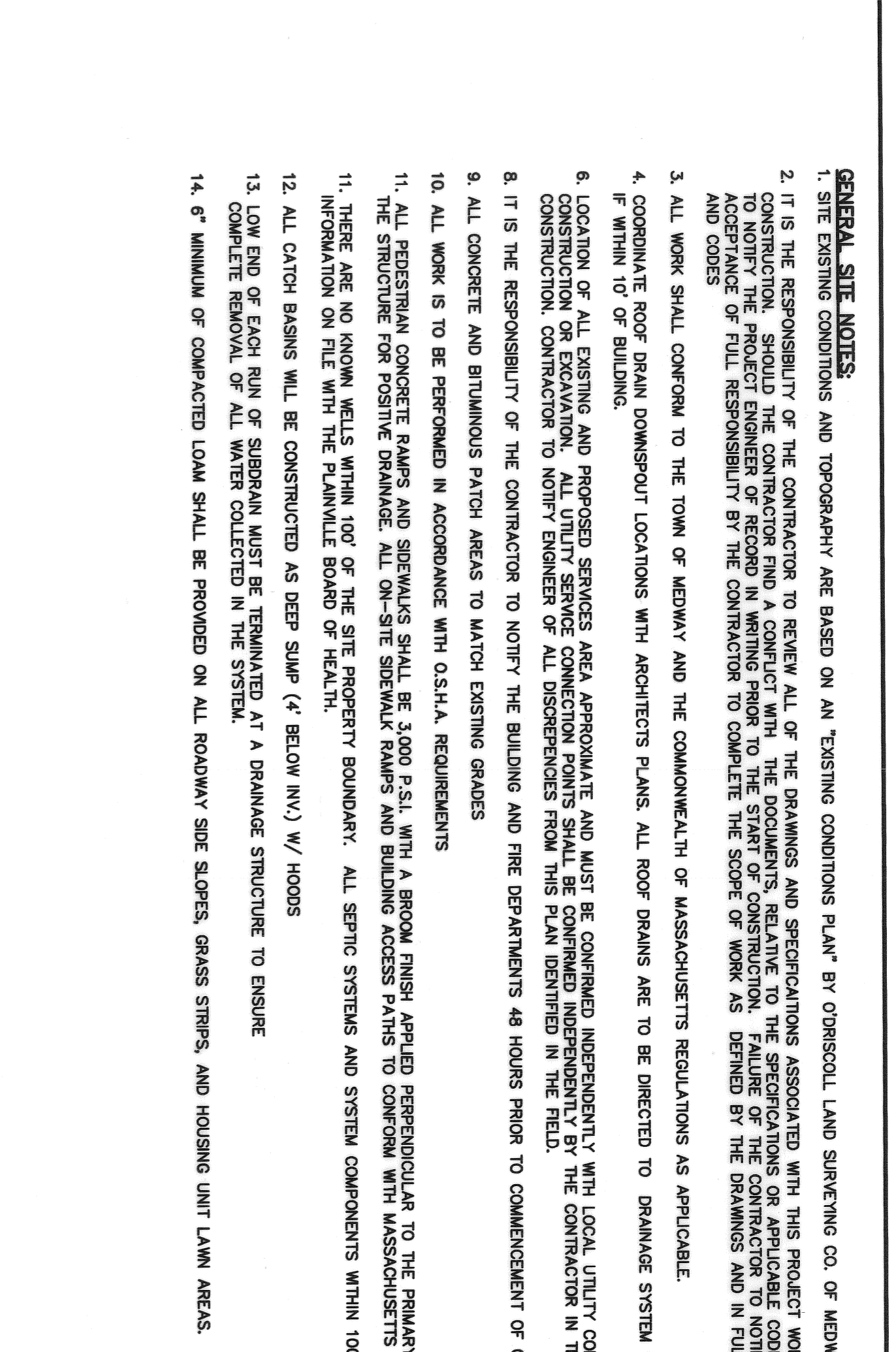
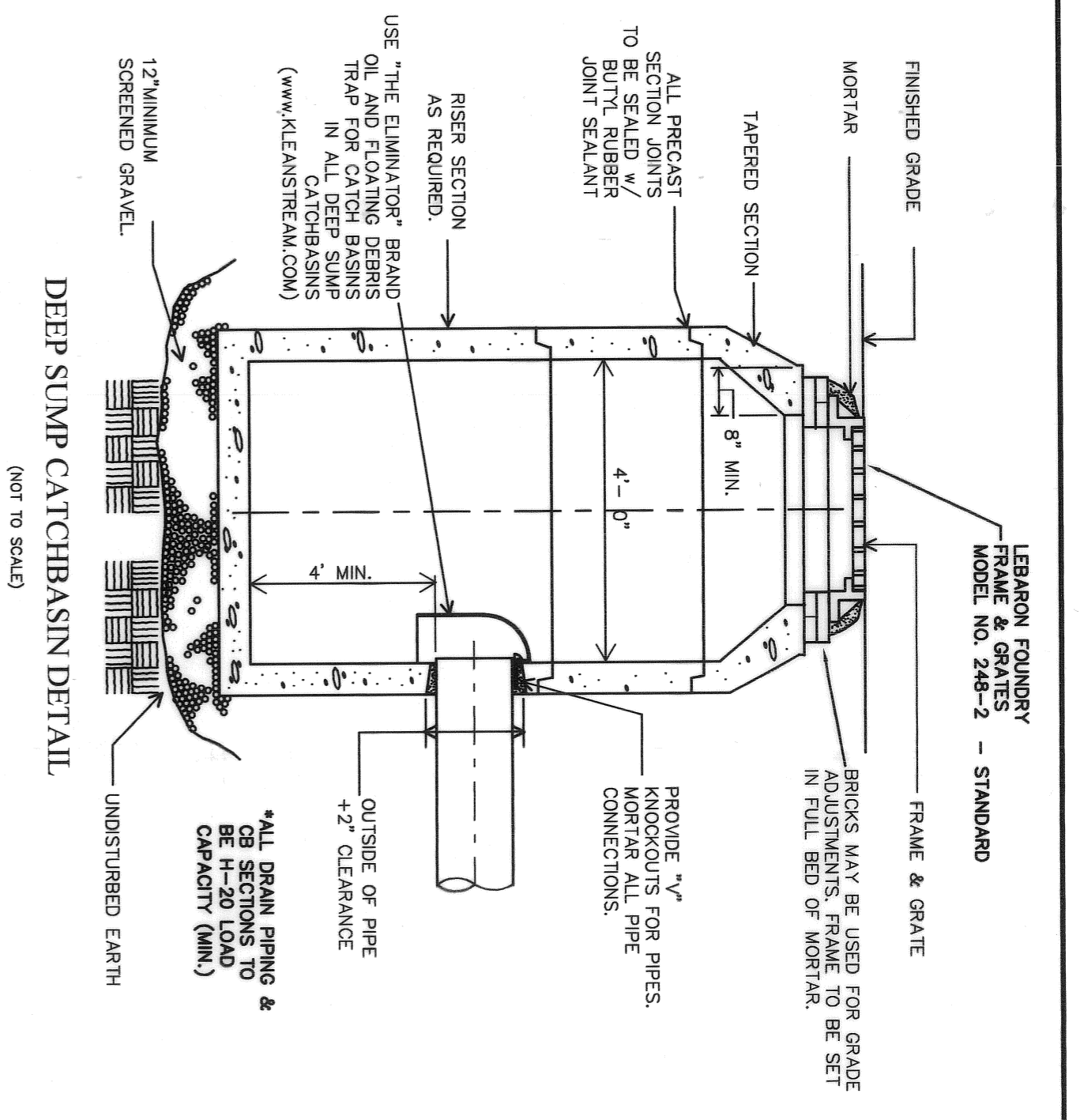
PERMITTING PLAN ONLY, NOT FOR CONSTRUCTION-

PERMITTING PLAN ONLY, NOT FOR CONSTRUCTION-

TOWN OF MEDWAY PLANNING BOARD

DATE: 2-23-2010

DATE: 2-23-2010



- GENERAL SITE NOTES:**
1. SITE EXISTING CONDITIONS AND TOPOGRAPHY ARE BASED ON AN "EXISTING CONDITIONS PLAN" BY CONRSOLL LAND SURVEYING CO. OF MEDWAY, MA.
 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION. FAILURE OF THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DENIED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
 3. ALL WORK SHALL CONFORM TO THE TOWN OF MEDWAY AND THE COMMONWEALTH OF MASSACHUSETTS REGULATIONS AS APPLICABLE.
 4. COORDINATE ROOF DRAIN DOWNSPOUT LOCATIONS WITH ARCHITECT'S PLANS. ALL ROOF DRAINS ARE TO BE DIRECTED TO DRAINAGE SYSTEM WITH 6"-DIA. 1/4-20 ADS PIPE OR CAST IRON IF WITHIN 10' OF BUILDING.
 5. LOCATION OF ALL EXISTING AND PROPOSED SERVICES AREA APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ALL DISCREPANCIES FROM THIS PLAN IDENTIFIED IN THE FIELD.
 6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE BUILDING AND FIRE DEPARTMENTS 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 7. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
 8. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH O.S.H.A. REQUIREMENTS.
 9. ALL PEDESTRIAN CONCRETE RAMPS AND SIDEWALKS SHALL BE 3,000 P.S.I. WITH A BROOM FINISH APPLIED PERPENDICULAR TO THE PRIMARY DIRECTION OF TRAVEL, PITCH AWAY FROM THE STRUCTURE FOR POSITIVE DRAINAGE. ALL ON-SITE SIDEWALK RAMPS AND BUILDING ACCESS PLAYS TO CONFORM WITH MASSACHUSETTS ACCESS BOARD STANDARDS.
 10. THERE ARE NO KNOWN WELLS WITHIN 100' OF THE SITE PROPERTY BOUNDARY. ALL SEPTIC SYSTEMS AND SYSTEM COMPONENTS WITHIN 100' OF THE SITE ARE SHOWN BASED ON INFORMATION ON FILE WITH THE PLANNING BOARD OF HEALTH.
 11. ALL CATCH BASINS WILL BE CONSTRUCTED AS DEEP SUMP (4' BELOW INV.) W/ HOODS.
 12. ALL CATCH BASINS WILL BE CONSTRUCTED AS DEEP SUMP (4' BELOW INV.) W/ HOODS.
 13. LOW END OF EACH RUN OF SEWERAGE MUST BE TERMINATED AT A DRAINAGE STRUCTURE TO ENSURE COMPLETE REMOVAL OF ALL WATER COLLECTED IN THE SYSTEM.
 14. 6" MINIMUM OF COMPACTED LOAM SHALL BE PROVIDED ON ALL ROADWAY SIDE SLOPES, GRASS STRIPS, AND HOUSING UNIT LAWN AREAS.

- DRAINAGE NOTES:**
- 1) ALL CATCH BASINS WILL BE CONSTRUCTED AS DEEP SUMP (4' BELOW INV.) W/ HOODS (SEE DETAIL).
 - 2) DRAINAGE FACILITIES SHALL BE PROVIDED AS INDICATED ON THE PLANS AND IN CONFORMANCE WITH THE REQUIREMENTS OF SECTION 200, 220, AND 230 OF THE TOWN OF MEDWAY STANDARD SPECIFICATIONS (P & Z SECTION 4.4.5).
 - 3) MANHOLES SHALL BE CONSTRUCTED TO THE REQUIRED DEPTH AT EACH JUNCTION POINT AND AS SHOWN ON THE PLAN. PIPE CULVERT AND PIPE DRAINS SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE TOWN OF MEDWAY STANDARD SPECIFICATIONS SECTION 230 FOR INSTALLATION OF PIPES.
 - 4) ALL DRAIN PIPES (EXCEPT SUB-DRAINS) SHALL BE CLASS IV REINFORCED CONCRETE PIPE (LATEST REQUIREMENTS OF ASTM-C76 OR AASHTO-M170) AND SHALL BE INSTALLED ACCORDING TO THE SIZE SHOWN ON THE PLANS.
 - 5) NO BACKFILLING OF PIPES SHALL BE DONE UNTIL THE INSTALLATION HAS BEEN INSPECTED BY THE PLANNING BOARD'S AGENT.
 - 6) ALL DRAINAGE TRENCHES SHALL BE PROVIDED WITH CRUSHED STONE PIPE BEDDING AND FILLED WITH CLEAN GRAVEL BORROWS IN ACCORDANCE WITH SECTION 150.
 - 7) WHERE SUB-DRAINS ARE REQUIRED, THEY SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 260 OF THE STANDARD SPECIFICATIONS, SUCH SUB-DRAINS MAY BE REQUIRED BY THE BOARD OR THE BOARD'S AGENT FOLLOWING CLEANING AND GRUBBING OPERATIONS.
 - 8) NO DRAINAGE PIPES FROM ROOF DRAINS, BASEMENT DRAINS, DRIVEWAY DRAINS OR OTHER ON-LOT SOURCES SHALL BE CONNECTED TO THE STREET DRAINAGE SYSTEM.
 - 9) CAST IRON MANHOLE COVERS AND CATCH BASIN GRATES SHALL BE AS MANUFACTURED BY OR EQUIVALENT, AS DETERMINED BY THE BOARD OR BOARD'S AGENT, TO E.L. LEBARON FOUNDRY MODEL NO. S.LK-110 FOR MANHOLES, L.F. 248-2 FOR CATCH BASINS. FOR CATCH BASINS AT THE END OR ON 5% OR GREATER GRADIENT ROADS NO. LK-120 A (CASCADE GRATE) SHALL BE USED.
 - 10) LOCATION OF ALL UTILITIES SHALL BE DETERMINED IN THE FIELD, BY THE RESPECTIVE UTILITY COMPANIES (ELECTRIC, CABLE, & TELECOM). THE APPLICABLE UTILITY COMPANIES SHALL BE RESPONSIBLE TO ACCURATELY LOCATE ALL UTILITIES DURING CONSTRUCTION, PRIOR TO BACKFILL, SUCH THAT THE ACTUAL LOCATION CAN BE ACCURATELY REPRESENTED ON THE AS-BUILT DRAWINGS.

TOWN OF MEDWAY PLANNING BOARD

DATE: 2-23-2010

1. MARGARET WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFIES THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

Margaret White
TOWN CLERK
DATE: Feb 24 2010

DETAIL SHEET #2
"WILLIAMSBURG WAY"
OSRD DEFINITIVE PLAN
 IN
MEDWAY, MASSACHUSETTS

REVISOR: DAVID T. FAIST
 REVISION NO. 15
 DATE: OCTOBER 15, 2009

REVISOR: DAVID T. FAIST
 REVISION NO. 16
 DATE: NOVEMBER 30, 2009

REVISOR: DAVID T. FAIST
 REVISION NO. 17
 DATE: JANUARY 28, 2010

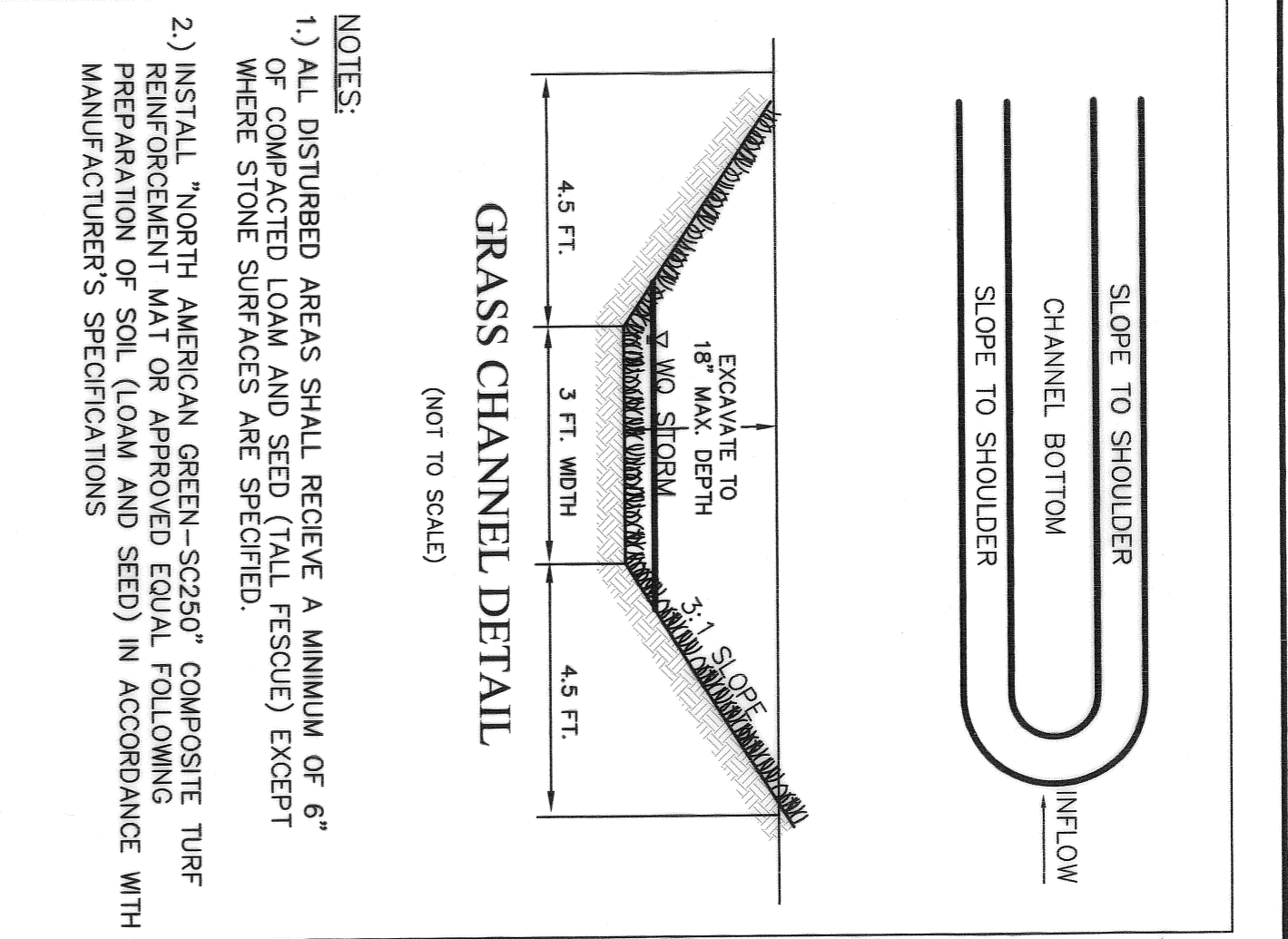
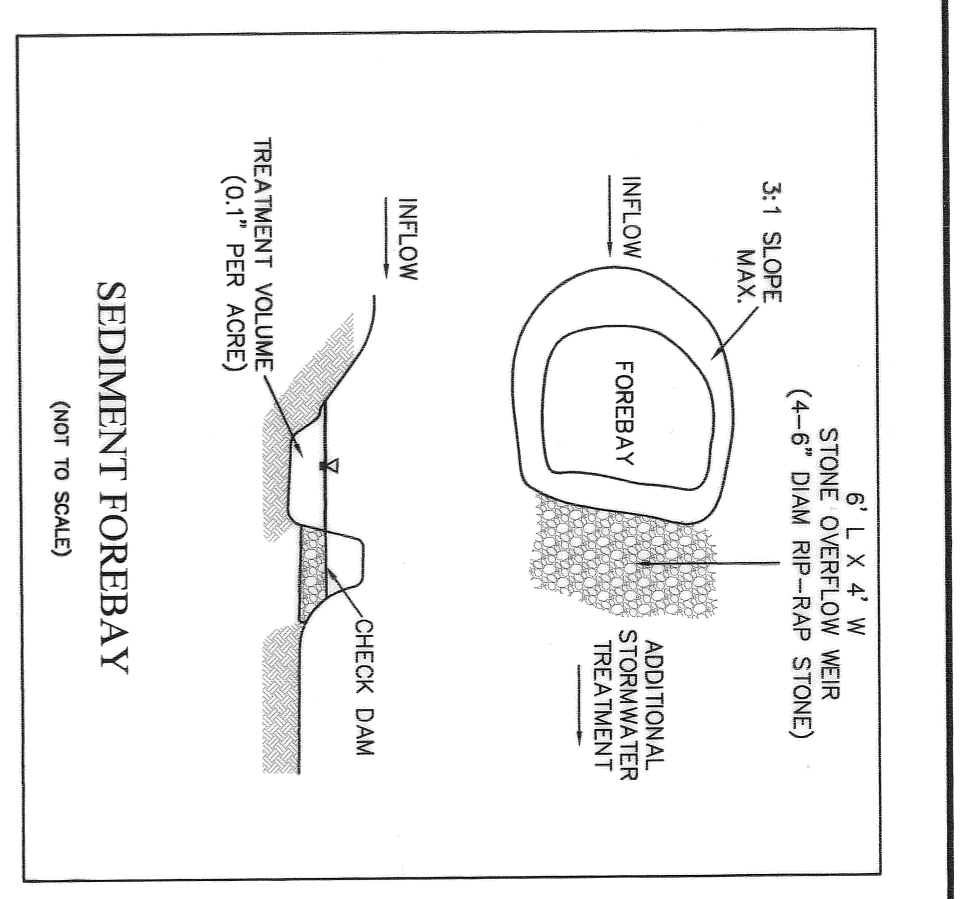
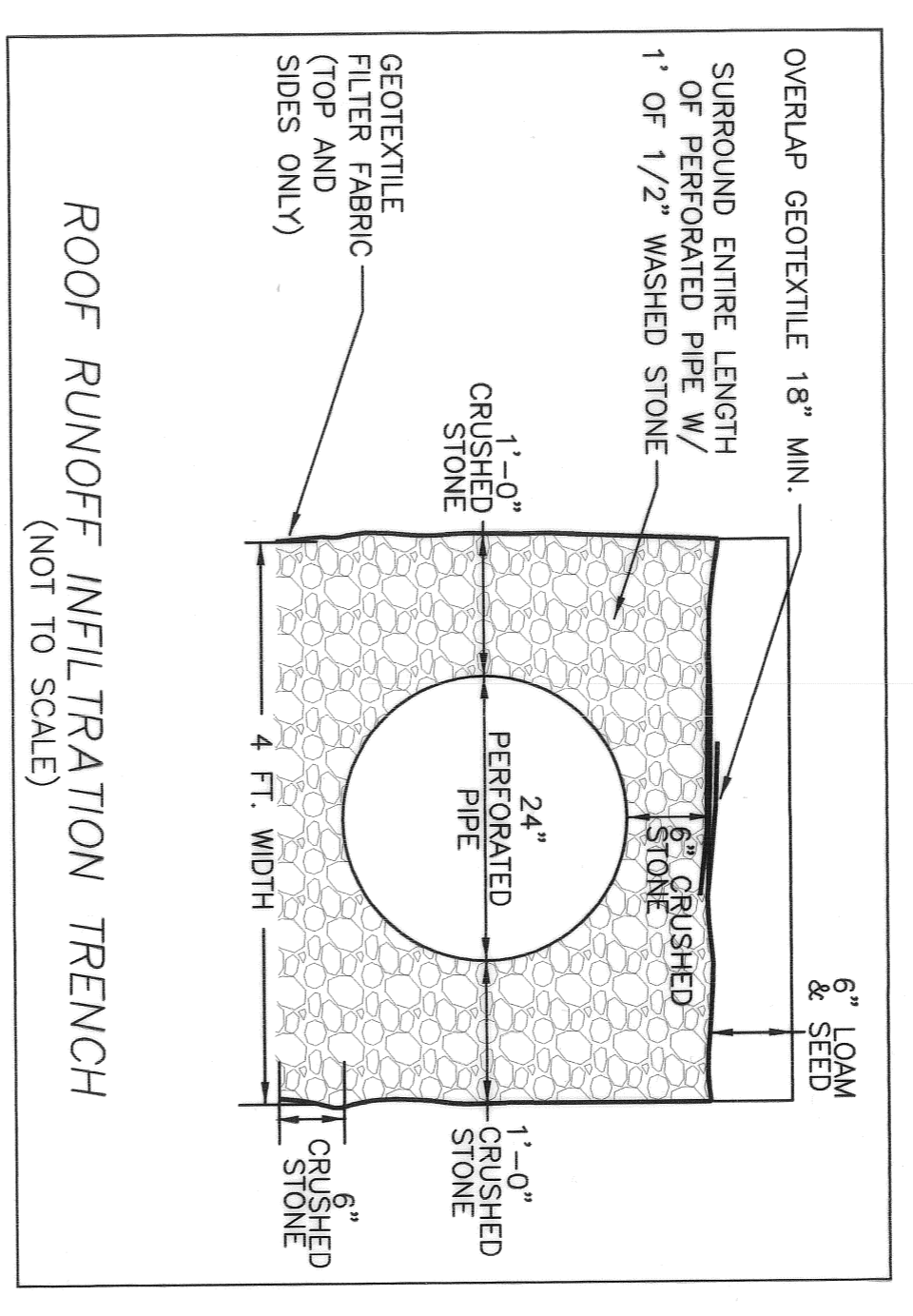
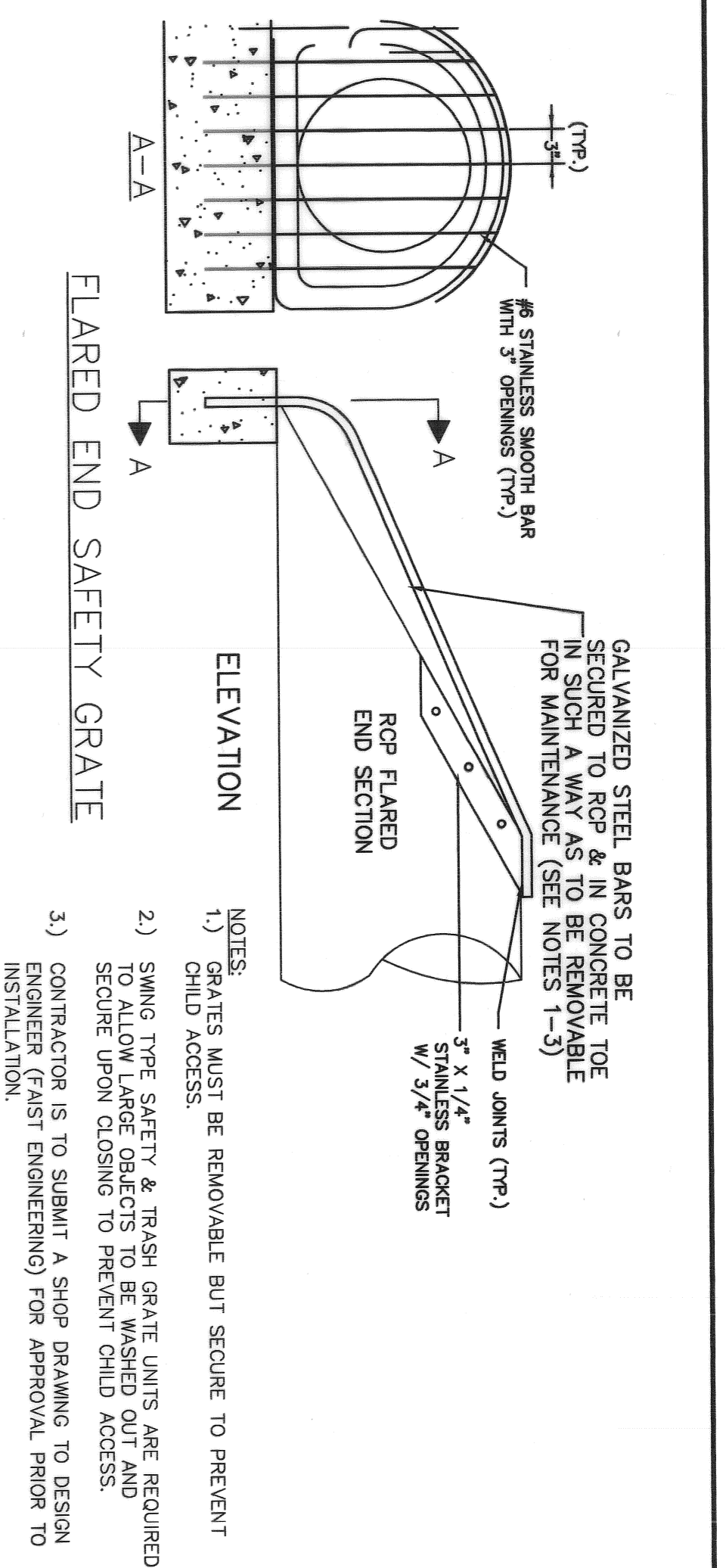
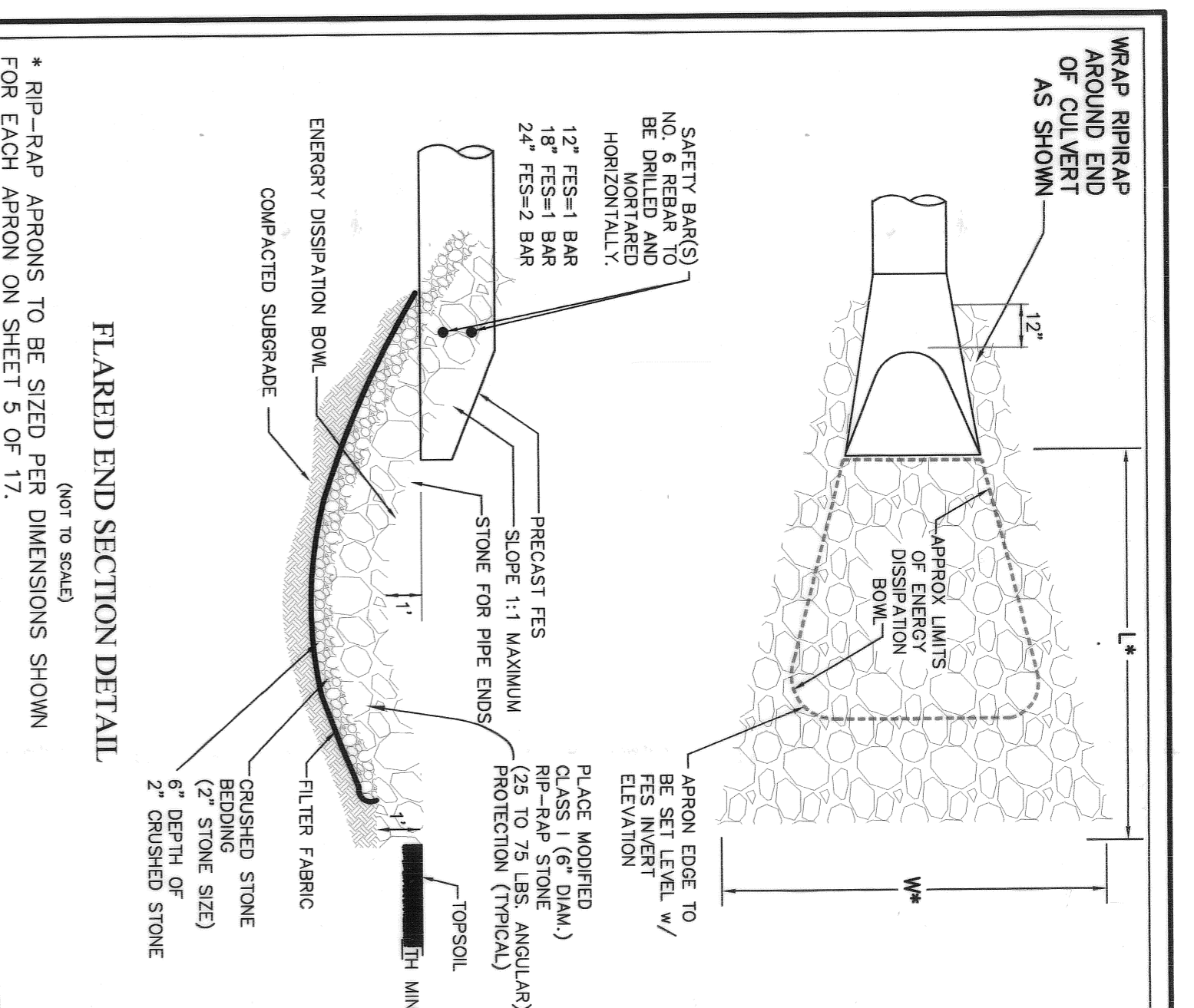
PREPARED BY: DAVID T. FAIST
 ENGINEERING, INC.

PREPARED FOR:
 WILLIAMSBURG
 CONDOMINIUM CORPORATION
 4 DAFODIL LANE
 MEDWAY, MA 02053
 (508) 533-2292

DATE ISSUED: 8/31/09
 DWG. SCALE: N.T.S.
 DRAWN BY: KPK/DTF
 REVIEWED BY: DTF
 PROJECT NO.: WL-2340

600 Chatham Street
 Southbridge, MA 01550
 MA Phone/Fac: (508) 765-7755
 E-mail: dfaist@dfasteng.com

SHEET 11 OF 17



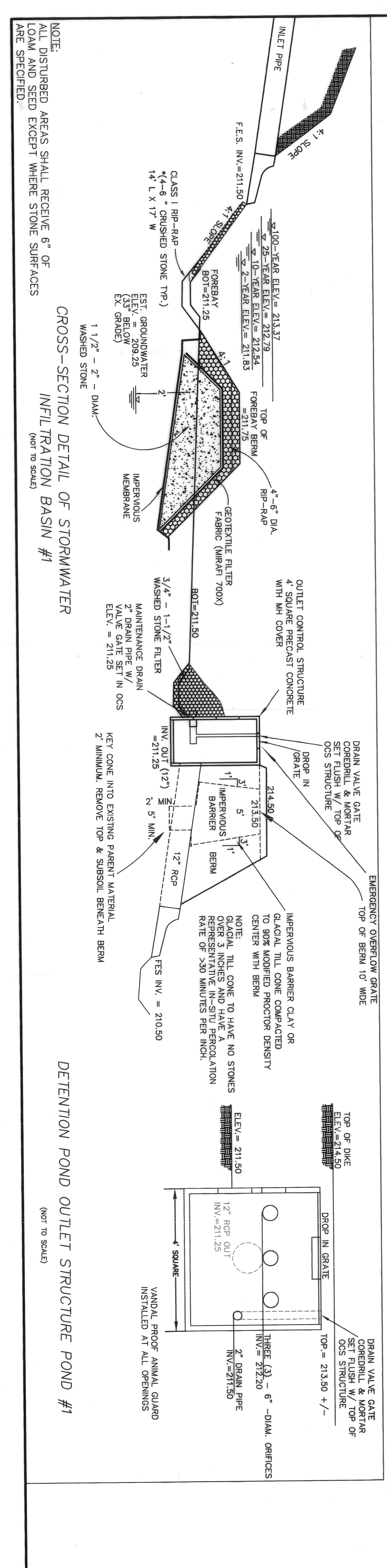
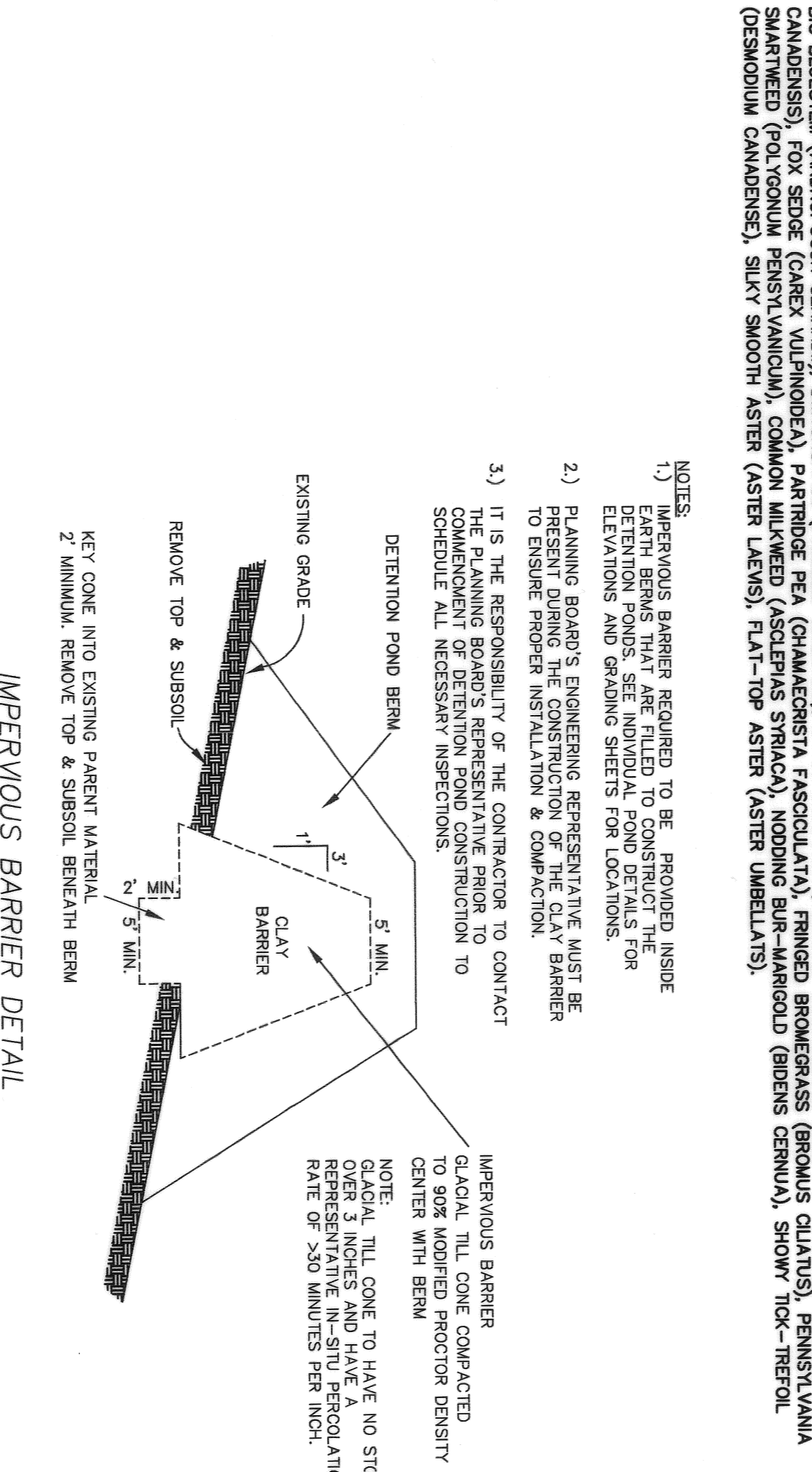
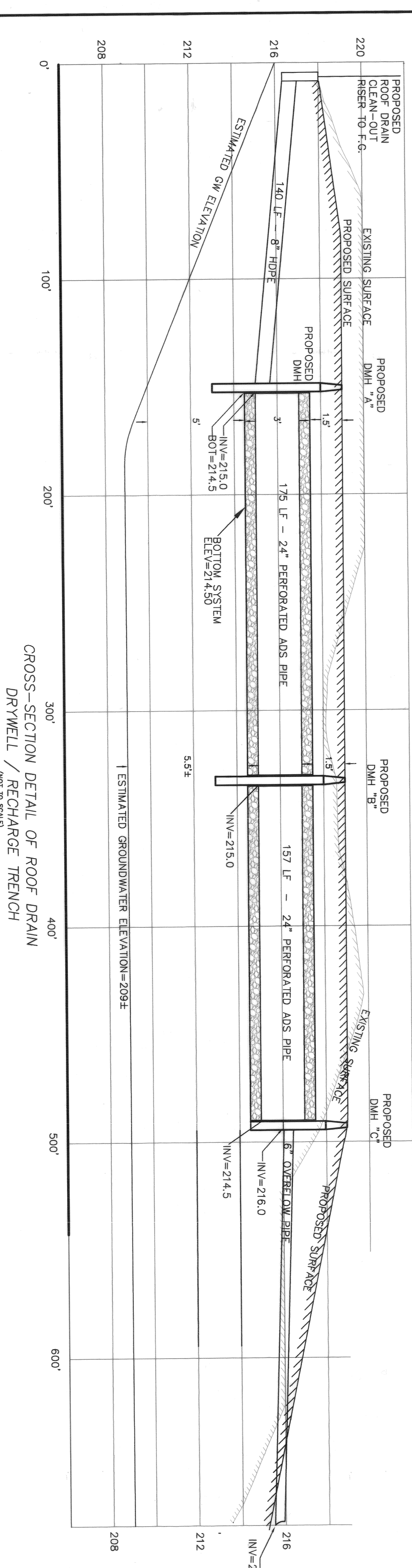
TOWN OF MEDWAY PLANNING BOARD

DATE: 2-23-2010

TOWN CLERK: Mary Jane White

DATE: 2/23/2010

1, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE PERIOD OF SAID NOTICE. NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.



DETAIL SHEET #3
"WILLIAMSBURG WAY"
OSRD DEFINITIVE PLAN
IN
MEDWAY, MASSACHUSETTS

REVERSE DATE: OCTOBER 15, 2009
NOVEMBER 30, 2009
DECEMBER 15, 2009
JANUARY 28, 2010

PREPARED BY: FAIST ENGINEERING, INC.
600 Charlton Street
Southbridge, MA 01550
MA Phone/Fax: (508) 765-7755
E-mail: dfaist@faisteng.com

DATE ISSUED: 8/31/09
DWG. SCALE: N.T.S.
DRAWN BY: KPK/DTF
REVIEWED BY: DTF
PROJECT NO.: WIL-2340

ALL DISTURBED AREAS SHALL RECEIVE 6" OF LOAM AND SEED EXCEPT WHERE STONE SURFACES ARE SPECIFIED.

NOTE: ALL DISTURBED AREAS SHALL RECEIVE 6" OF LOAM AND SEED EXCEPT WHERE STONE SURFACES ARE SPECIFIED.

ALL DETENTION PONDS AND DISTURBED SLOPES SHALL BE TREATED WITH GROUNDCAPES EXPRESS INC. (GSE) NEW ENGLAND CONSERVATION / WILDFIRE MIX. THE NEW ENGLAND CONSERVATION / WILDFIRE MIX PROVIDES A PERMANENT COVER OF GRASSES, WILDFLOWERS, LEGUMES, AND GRASSES TO PROVIDE BOTH EROSION CONTROL AND WILDFIRE HABITAT. THIS MIX IS DESIGNED TO PRODUCE A LOW MAINTENANCE COVER, AND IS AN APPROPRIATE APPLICATION FOR GUT AND FILL SLOPES, DETENTION BASINS, AND DISTURBED AREAS ADJACENT TO COMMERCIAL AND RESIDENTIAL PROPERTIES.

APPLICATION RATE: 25 lbs./acre 1743 sq. ft. / lb.

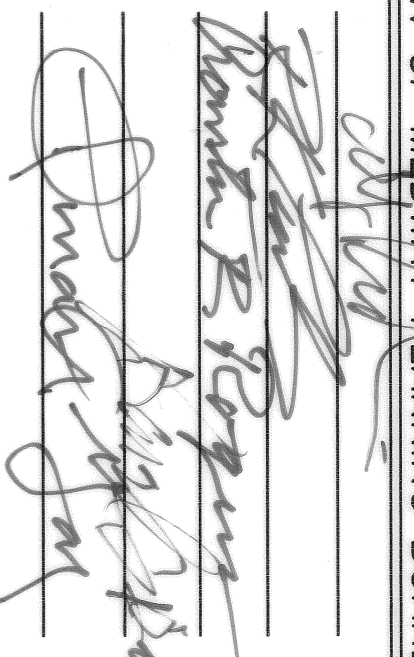
SPECIES:
BIG BLUESTEM (LAMPPOGON GERARDI), SWITCHGRASS (PANICUM VIRGATUM), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), CANADA WILD RYE (ELYMUS CANADENSIS), FOX SEDGE (CAREX VULPINOEA), PARTRIDGE PEA (CAHALIAEASTRIA FASCICULARIS), FRINGED BROMGRASS (BROMUS CLIVATUS), PENNSYLVANIA SMARTWEED (POLYGONUM PENSYLVANICUM), COMMON MILWEED (ASOPHEIAS SYRIACA), NODDING BUR-MARIGOLD (BREMIS CERNUA), SHOWY TICK-TRETOIL (DESMODIUM CANADENSE), SILY SMOOTH ASTER (ASTER LAEVIS), FLAT-TOP ASTER (ASTER UMBELLATUS).

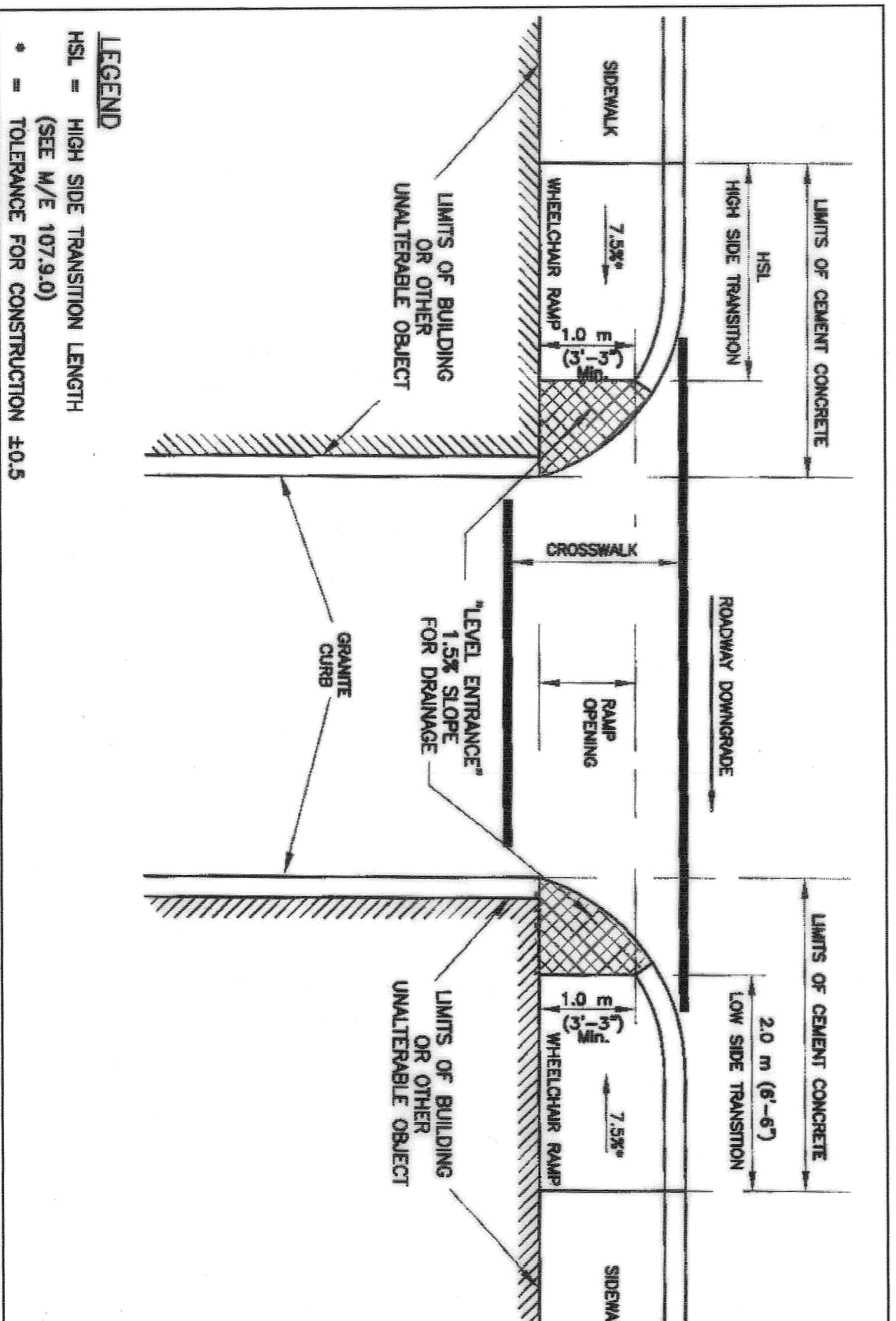
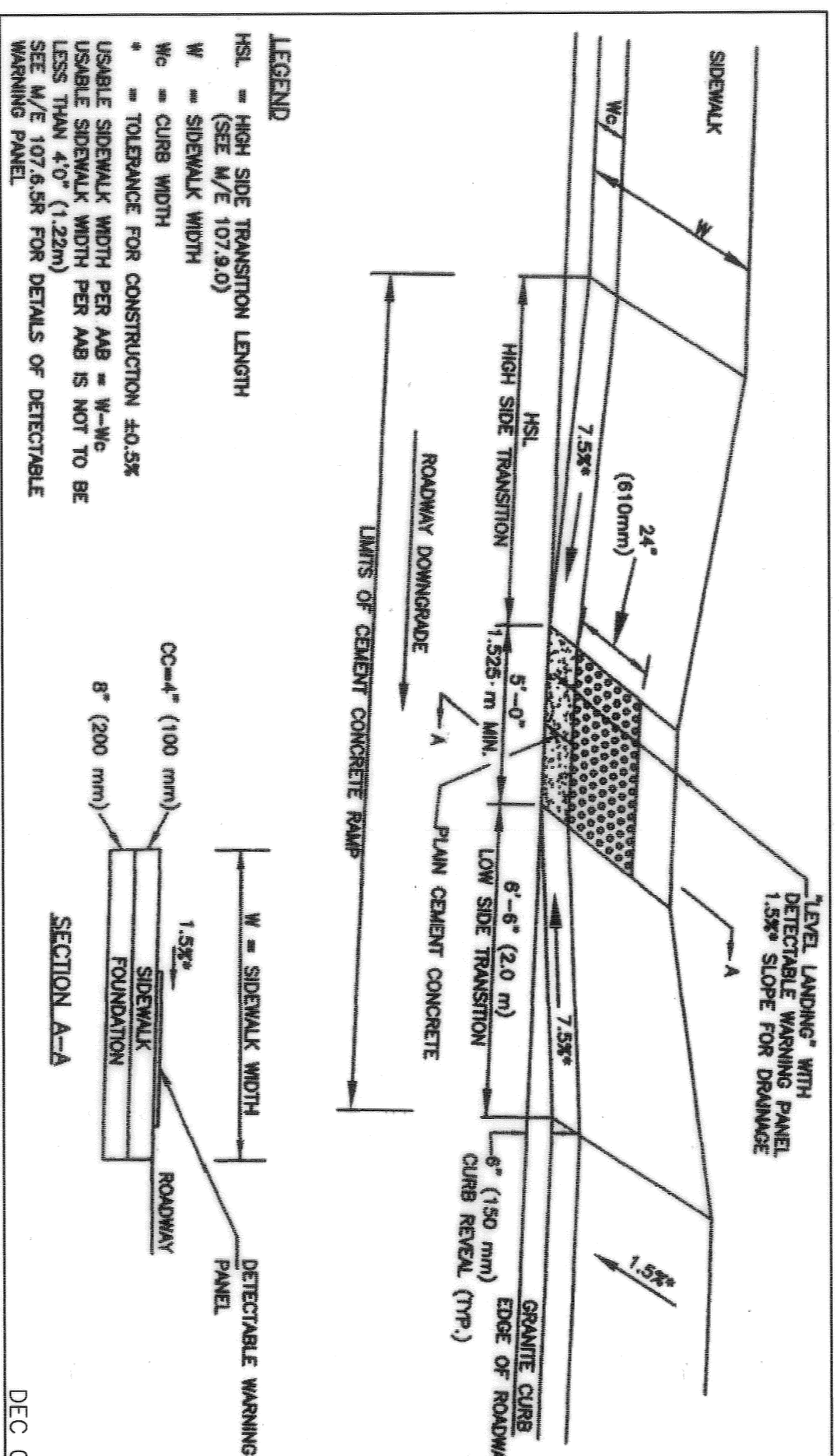
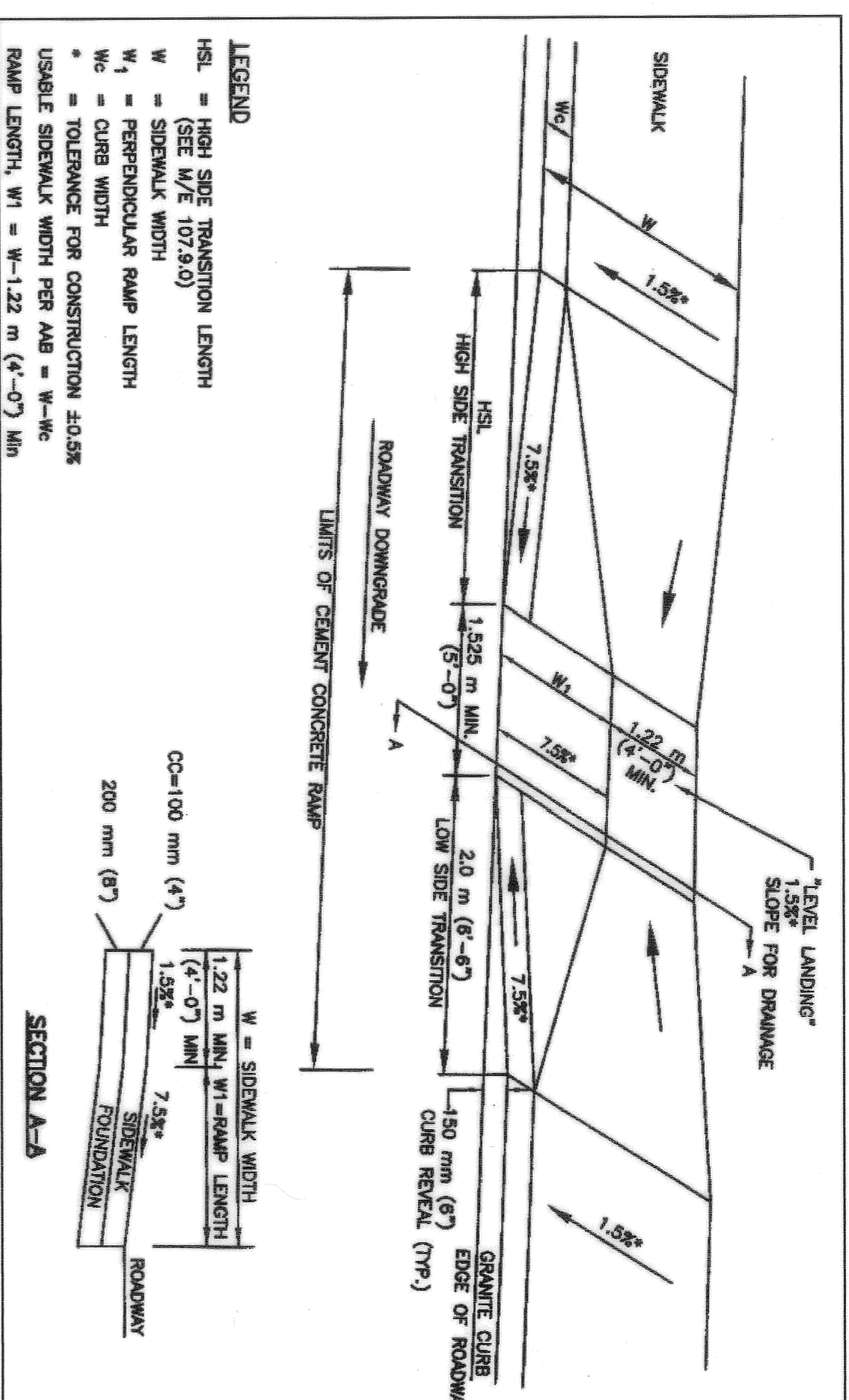
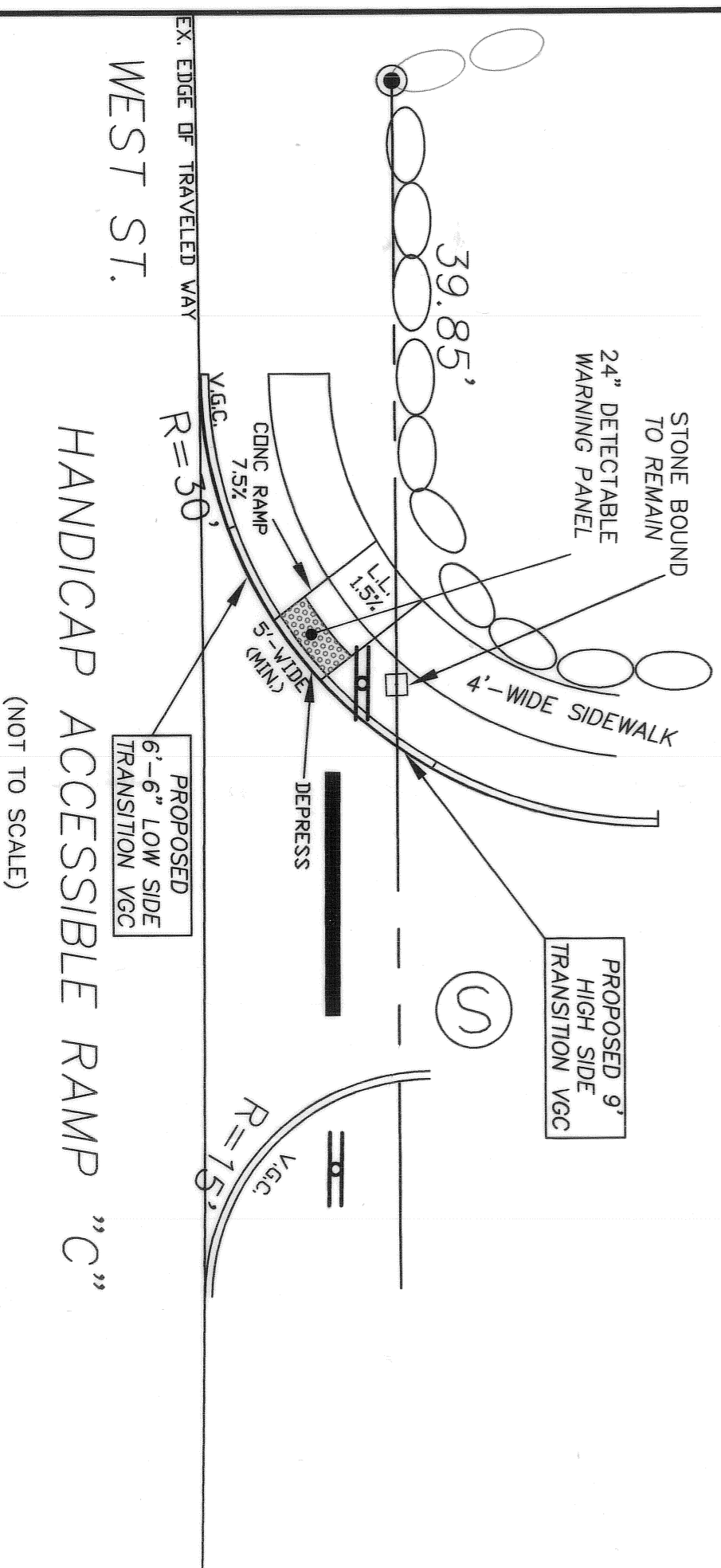
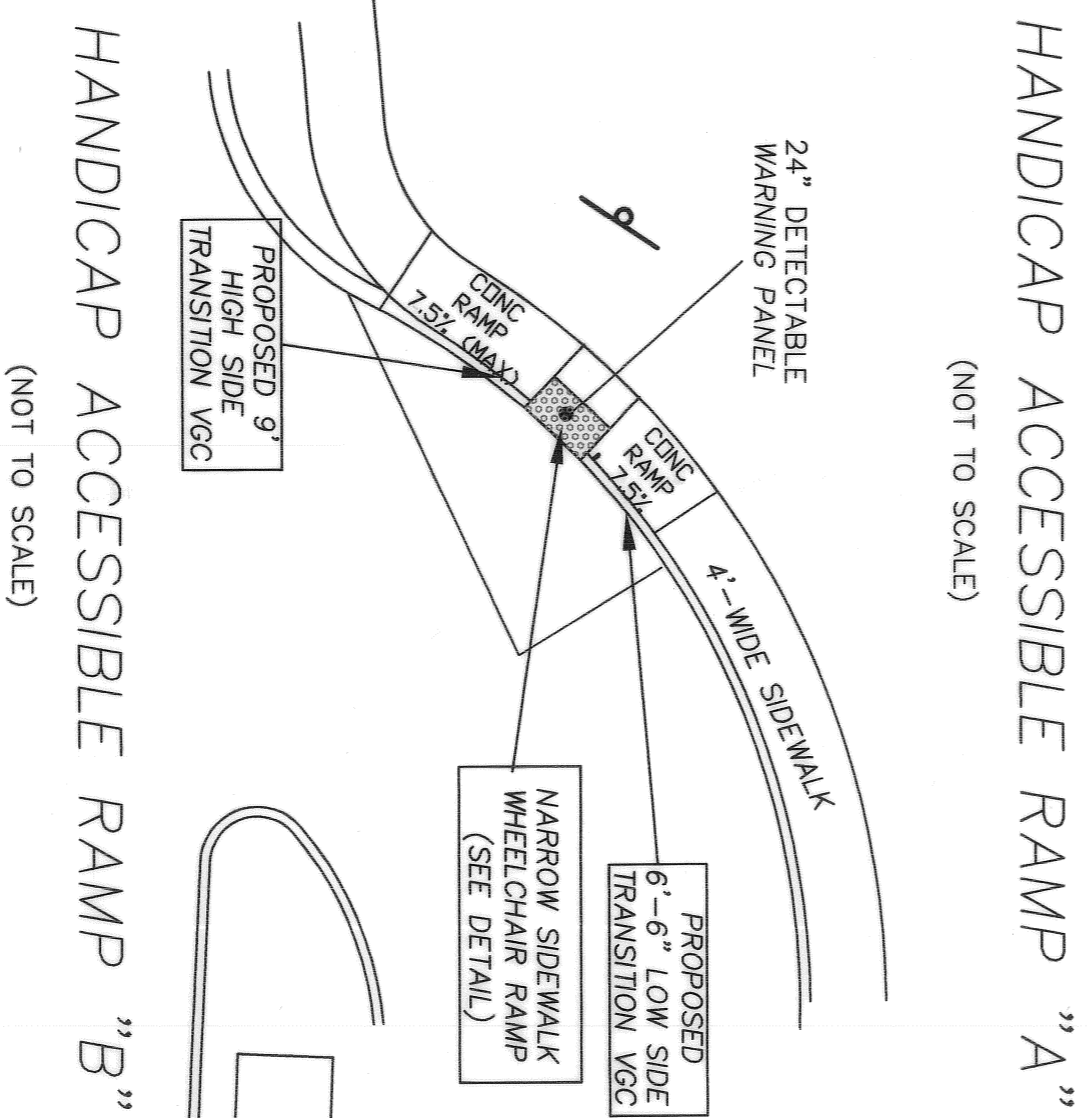
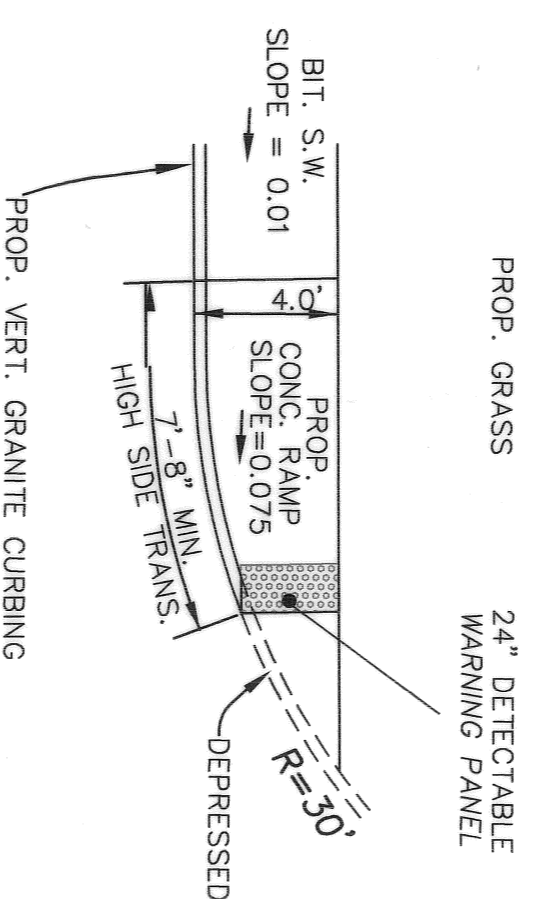
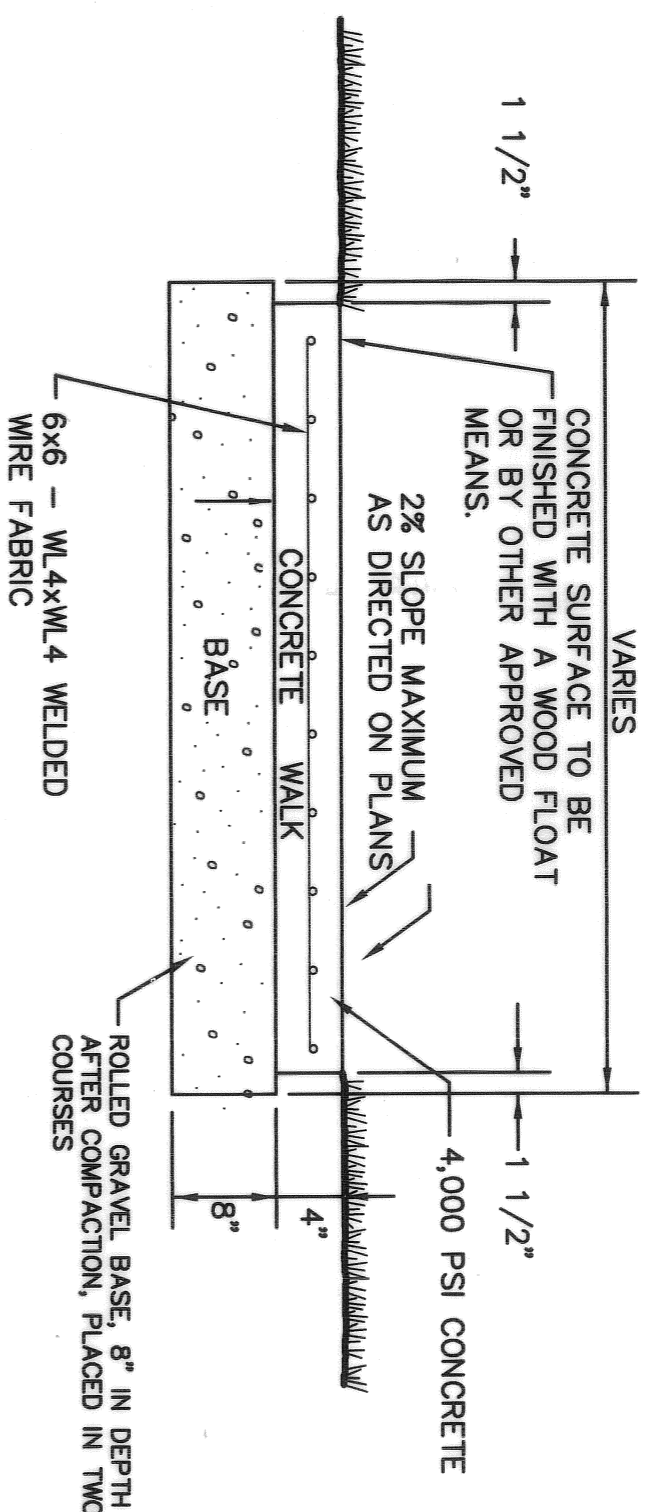
NOTES:
1) IMPERVIOUS BARRIER REQUIRED TO BE PROVIDED INSIDE EARTH BERMS THAT ARE FILLED TO CONSTRUCT THE DETENTION PONDS. SEE INDIVIDUAL FOND DETAILS FOR ELEVATIONS AND GRADING SHEETS FOR LOCATIONS.
2) PLANNING BOARD'S ENGINEERING REPRESENTATIVE MUST BE PRESENT DURING THE CONSTRUCTION OF THE CLAY BARRIER TO ENSURE PROPER INSTALLATION & COMPACTION.
3) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE PLANNING BOARD'S REPRESENTATIVE PRIOR TO SCHEDULE ALL NECESSARY INSPECTIONS.

IMPERVIOUS BARRIER TO BE PROVIDED INSIDE GLOVAL TILL CONE COMPACTED TO 90% MODIFIED PROCTOR DENSITY CENTER WITH BERM.

NOTE: GLOVAL TILL CONE TO HAVE NO STONES OVER 3 INCHES AND HAVE A REPRESENTATIVE IN-SITU PERCOLATION RATE OF >20 MINUTES PER INCH.

1. MARYLANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

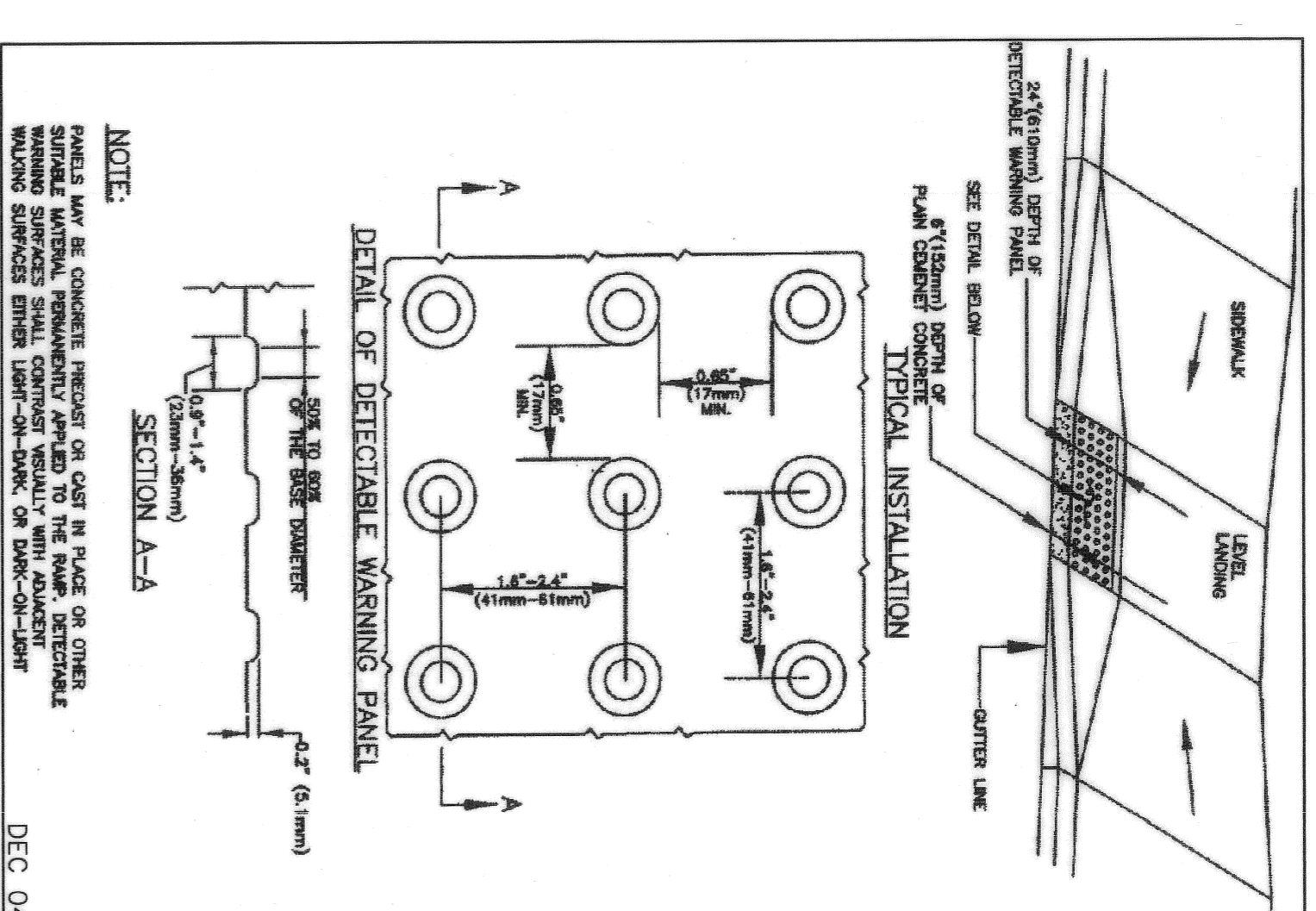

 TOWN CLERK
 DATE: 2-23-2010



| ROADWAY PROFILE GRADE | HIGH SIDE TRANSITION LENGTH |
|-----------------------|-----------------------------|
| % | METRIC UNITS |
| 0 | 2.0 m |
| >0-1 | 2.3 m |
| >1-2 | 2.7 m |
| >2-3 | 3.3 m |
| >3-4 | 4.3 m |
| >4 | 4.8 m Max |
| | ENGLISH UNITS |
| | 6'-6" |
| | 7'-8" |
| | 9'-0" |
| | 11'-0" |
| | 14'-0" |
| | 15'-0" Max |

NOTE:
*BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 150 mm (6").

CURB TRANSITION LENGTHS MASSHIGHWAY DETAIL 107.9.0
(NOT TO SCALE)



DETECTABLE WARNING PANEL MASSHIGHWAY DETAIL 107.6.5R
(NOT TO SCALE)

- WHEELCHAIR RAMP NOTES:
- ROADWAY SIDEWALK CROSS SLOPE FOR BRICK, CONCRETE, AND BITUMINOUS CONCRETE, AS INDICATED IN THE DRAWINGS, SHALL BE 1.5%.
 - CONCRETE SHALL BE 4097 IS ACCEPTABLE ON ROADWAY SIDEWALKS. SIDEWALKS ON BRIDGES WILL BE CONSTRUCTED TO A CROSS SLOPE OF 10% IN ACCORDANCE WITH SECTION 7002. THE WHEELCHAIR RAMP ENTRANCE IS TO BE CENTERED IN THE CROSSWALK WHENEVER POSSIBLE. THE RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD (AAB), THE SIDEWALK CROSS SLOPE CANNOT EXCEED 2.0%.
 - AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 100 m (3'-3") SHALL BE MAINTAINED PAST ALL OBSTRUCTIONS (UTILITY POLES, SIGNS, SIGNAL FOUNDATIONS AND MASTS, MAILBOXES, ALONG DRIVE OPENINGS, ETC.).
 - THE WHEELCHAIR RAMP SLOPES AND SIDE SLOPES (TRANSITIONS) WILL BE 7.5% WITH A CONSTRUCTION TOLERANCE OF ±0.5%. HOWEVER, THESE SLOPES MAY BE FLATTER WHEN WARRANTED BY SURROUNDING CONDITIONS.
 - WHERE THE ROAD PROFILE EXCEEDS 4%, THE HIGH SIDE TRANSITION LENGTH UNDER ANY CONDITIONS NEED NOT EXCEED 4.57 m (15 FEET).
 - IN NO CASE WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED ON THE TRAFFIC APPROACH SIDE OF THAT STOP LINE.
 - FIXED OBJECTS (IE. UTILITY POLES, HYDRANTS, SIGNS, SIGNAL FOUNDATIONS, ETC) MUST NOT ENROACH ON ANY PART OF THE WHEELCHAIR RAMP INCLUDING TRANSITION SLOPES.
 - AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE THE CROSSWALK. THE WHEELCHAIR RAMP ENTRANCE IS TO BE CENTERED IN THE CROSSWALK WHENEVER POSSIBLE.
 - CATCH BASINS WHICH ARE TO BE LOCATED IN THE VICINITY OF A WHEELCHAIR RAMP SHALL BE LOCATED UPGRABE OF THE RAMP ENTRANCE.
 - THE ENTRANCE OF A WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
 - TESTING SURFACE: WHEN TESTING WITH A STRAIGHTEDGE PLACED PARALLEL TO THE LINE OF THE SLOPE THERE SHALL BE NO DEVIATION FROM A TRUE SURFACE IN EXCESS OF 6 mm (1/4").
 - WHEELCHAIR RAMP ON BRIDGES SHOULD BE AVOIDED. IF A WHEELCHAIR RAMP IS REQUIRED TO BE PLACED ON A BRIDGE, PRIOR WRITTEN APPROVAL OF THE BRIDGE ENGINEER IS REQUIRED. SPECIAL DETAILING OF THE BRIDGE REINFORCEMENT AND CURB REVEAL WILL BE REQUIRED TO MAINTAIN THE PERFORMANCE OF THE RAILING/BARRIER SYSTEM.



DATE ISSUED: 8/31/09
DWG. SCALE: N.T.S.
DRAWN BY: KRP/DTF
REVIEWED BY: DTF
PROJECT NO. WL-2340

DETAIL SHEET #4
"WILLIAMSBURG WAY"
OSRD DEFINITIVE PLAN
IN
MEDWAY, MASSACHUSETTS

PREPARED FOR:
WILLIAMSBURG
CONDOMINIUM CORPORATION
4 DAFODIL LANE
MEDWAY, MA 02053
(508) 533-2292

PREPARED BY:
FAIST ENGINEERING, INC.
600 Chatham Street
Southbridge, MA 01550
MA Phone/Fax: (508) 765-7755
E-mail: dfaist@faisteng.com

DATE: 2-23-2010

TOWN CLERK: [Signature]

1. MARYLANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFIES THAT THE NOTICE OF BOARD RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

4. TEAK BENCH
L-15
LOCATION OF BENCH AND INFORMAL PATH



STORMWATER BASIN SEED MIX

NEW ENGLAND WETLAND PLANTS, INC. 11-413-548-8000
NEW ENGLAND WETLAND APPLIED AT A RATE OF 1 LB/2500 SQ. FEET

SEEDING

FERTILIZE ACCORDING TO SOIL TEST OR AT THE RATE OF 100 LB. PER ACRE. FERTILIZER TO BE APPLIED AT THE RATE OF 100 LB. PER ACRE. SEEDING LINE TO A PH. OF 6.5 AT A RATE OF 100 LBS. PER 1000 SQ. FT.

WEEDS: 10% PERENNIAL RYEGRASS
35% KENTUCKY BLUEGRASS
35% CREEPING RED FESCUE
20% FESTA 3 PERENNIAL RYEGRASS
10% EXPRESS PERENNIAL RYEGRASS

ALL PLANTING BEDS SHALL BE A CONTINUOUS PIT AS FOLLOWS:
A. PERENNIALS - 12" DEPTH
B. SHRUBS - 18" DEPTH



PLANTING PLAN
"WILLIAMSBURG WAY"
OSRD DEFINITIVE PLAN
IN
MEDWAY, MASSACHUSETTS

PREPARED FOR:
WILLIAMSBURG CONDOMINIUM CORPORATION
600 Chanton Street
Southbridge, MA 01550

PREPARED BY:
FAIST ENGINEERING, INC.
600 Chanton Street
Southbridge, MA 01550
MA Phone/Fax: (508) 765-7755
E-mail: dfaist@faisteng.com

DATE ISSUED: 10/15/09
DWG. SCALE: 1"=30'
DRAWN BY: JTL
REVIEWED BY: WPB
PROJECT NO: 5327-1

PLANT SCHEDULE

| Sym. | No. | Botanical Name | Common Name | Size | Cond. |
|-----------------|-----|------------------------|----------------------------|----------------|-------|
| AS | 10 | Acer saccharum | Green Mountain Sugar Maple | 3'-3 1/2' Cal. | B & B |
| CF | 6 | Cornus sericea | Spice Swallow | 6'-7' H. | B & B |
| OP | 6 | Quercus palustris | Chinquapin | 3'-3 1/2' Cal. | B & B |
| QR | 11 | Quercus laevis | Northern Red Oak | 3'-3 1/2' Cal. | B & B |
| Evergreen Trees | | | | | |
| AB | 34 | Abies balsamea | Balsam Fir | 8'-10' | B & B |
| PS | 34 | Pinus strobus | White Pine | 8'-10' | B & B |
| Shrubs | | | | | |
| TU | 9 | Thuja occidentalis | Eastern Hemlock | 7'-8' | B & B |
| CT | 8 | Chamaecyparis thyoides | Atlantic White Cedar | 8'-10' H. | B & B |

PLANTING NOTES

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE CONTRACTOR SHALL FURNISH THE LARGER QUANTITY.
- ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT, AND WHICH ARE SUBSEQUENTLY NOT APPROVED BY THE LANDSCAPE ARCHITECT, AND WHICH ARE SUBSEQUENTLY NOT APPROVED BY THE LANDSCAPE ARCHITECT, SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- ALL SHRUBS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 2 INCHES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPAIR OR REPLACE ANY DAMAGE, AT HIS OWN EXPENSE.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 18" DEPTH, FOR LOCATING ALL UTILITIES, IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- PLANTINGS INSTALLED IN THE PREVIOUS MONTHS AND OR LATER SHALL BE RECHECKED BY THE LANDSCAPE ARCHITECT. ALL PLANTS WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNERS.
- PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
- CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
- WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS SHALL BE THE LARGER SIZE, AT LEAST 50% SHALL BE THE SMALLER SIZE.
- AFTER DATE OF FINAL ACCEPTANCE.
- CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 90 DAYS AFTER TOPSOIL AND SEED ALL AREAS DISBURSED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.



ORIGINAL INK ONLY
PREPARED BY
TO DESIGN

70 DESIGN INC.
Landscape Architecture / Civil Engineering
New Britain, CT 06051
Phone: 860-252-1700
Fax: 860-252-1700
www.70designinc.com

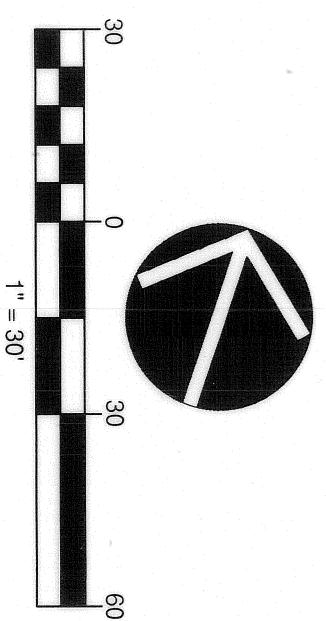
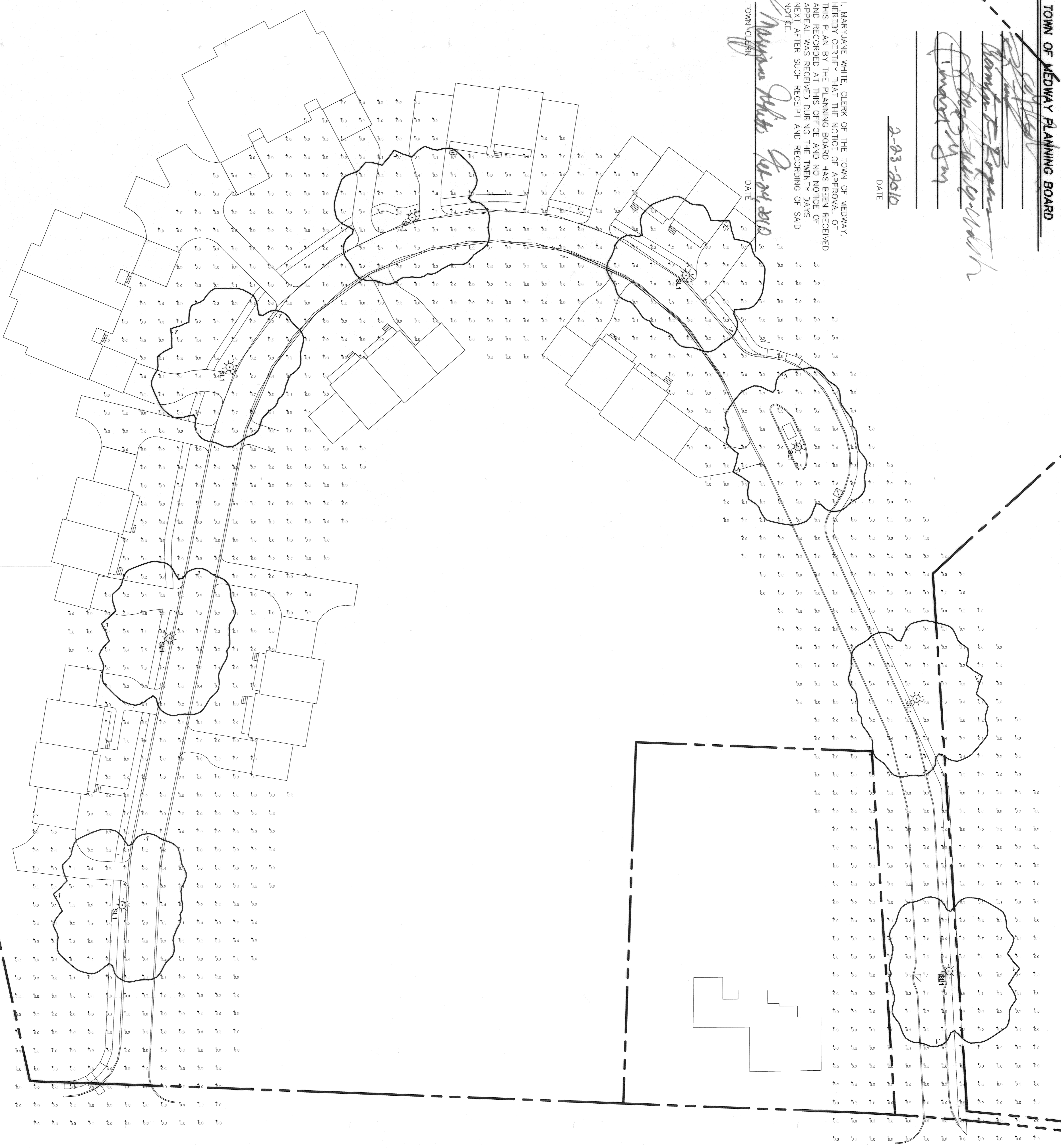
-PERMITTING PLAN ONLY, NOT FOR CONSTRUCTION-

[Handwritten signatures]

2-23-2010
DATE

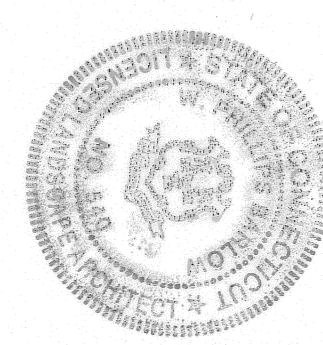
I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL HAS BEEN FILED WITHIN THE PERIOD OF 30 DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

MaryJane White
TOWN CLERK DATE 02/24/2010



APEX
LIGHTING SOLUTIONS
448 SOUTH STREET
MIDDLETOWN, CT 06457
TEL: 860-332-7700
FAX: 860-332-7808
WWW.APEXCS.COM

70
DESIGN LLC
Landscape Architecture /
Civil Engineering
600 Charlton Street
Southbridge, MA 01550
TEL: 508-753-7700
FAX: 508-753-7700
WWW.70DESIGN.COM



| Calculation Summary | | | | | |
|---------------------|-----------|-------|-----|-----|------|
| Label | Calc Type | Units | Avg | Max | Min |
| CalcType | Fe | 0.21 | 3.9 | 0.0 | N.A. |
| Illuminance | Fe | 0.58 | 3.9 | 0.0 | N.A. |
| ROADWAY | Fe | 0.57 | 3.9 | 0.0 | N.A. |
| Roadway & Walkway | Fe | 0.57 | 3.9 | 0.0 | N.A. |

| Luminaire Schedule | | | |
|--------------------|-------|-------------|-------------------------------------|
| Qty | Label | Arrangement | Description |
| 8 | SL1 | SINGLE | AMP LF1541DS-TYPE 5-100MM/10FT POLE |

FOOT CANDLE LEVELS ARE MAINTAINED
VALUES MEASURED AT GRADE
BY: TRS
FIXTURE IS DARK SKY COMPLIANT CUT OFF
OR EQUIVALENT FIXTURE

ORIGINAL INK ONLY
PREPARED BY
TO DESIGN

DATE ISSUED: 10/15/09
DWG. SCALE: 1"=30'
DRAWN BY: JTL
REVIEWED BY: WPB
PROJECT NO: 5327-1

PREPARED FOR:
WILLIAMSBURG CONDOMINIUM CORPORATION
4 DAFODIL LANE
MEDWAY, MA 02053
(508) 533-2292

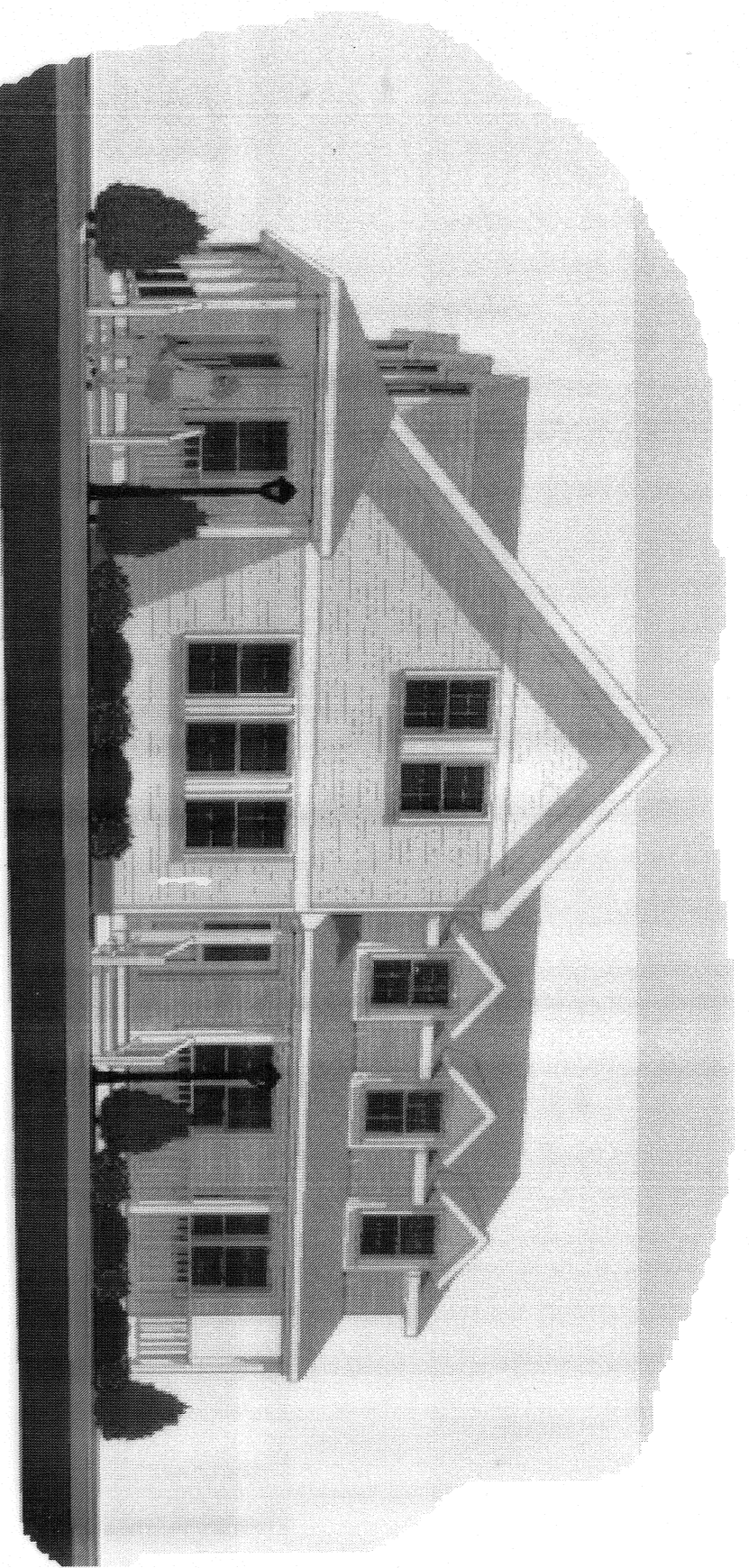
PREPARED BY:
FAIST ENGINEERING, INC.
600 Charlton Street
Southbridge, MA 01550
MA Phone/Fax: (508) 765-7755
E-mail: dfaist@faisteng.com

REUSE DATE:
REVISION NUMBER: 20, 2010

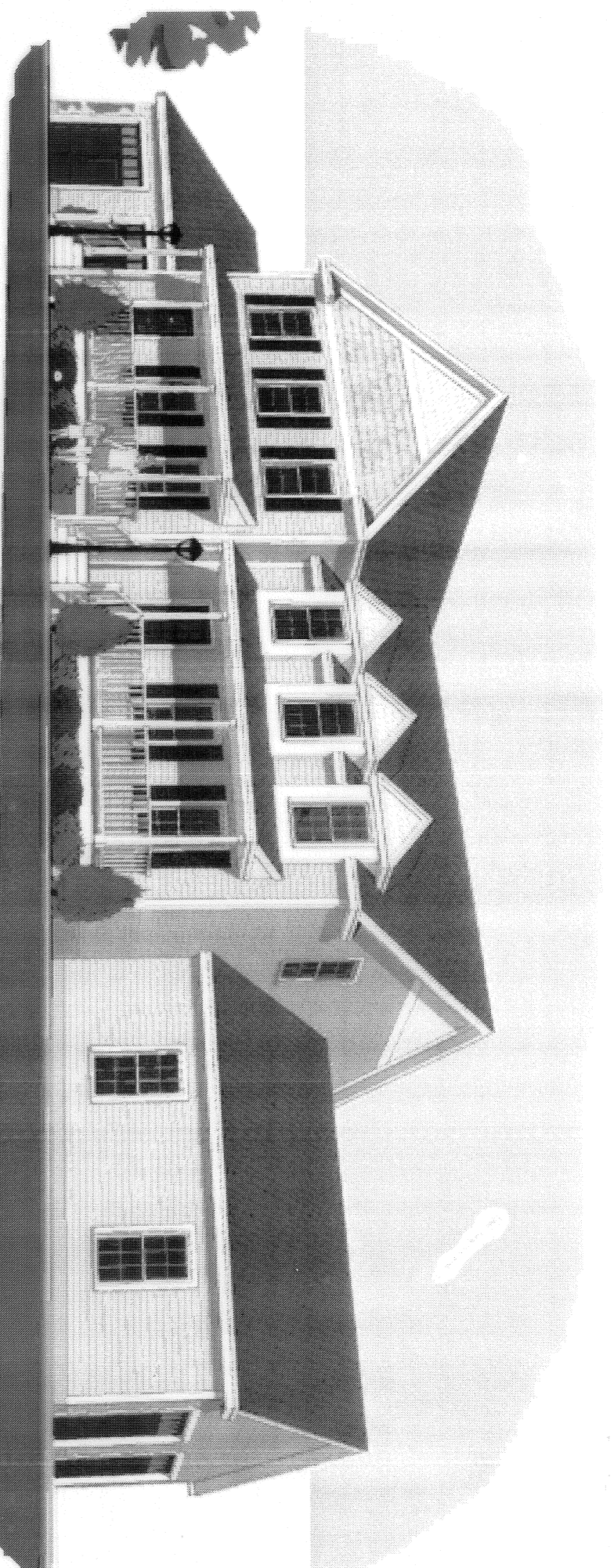
LIGHTING PLAN
"WILLIAMSBURG WAY"
OSRD DEFINITIVE PLAN
IN
MEDWAY, MASSACHUSETTS

SHEET 16 OF 17

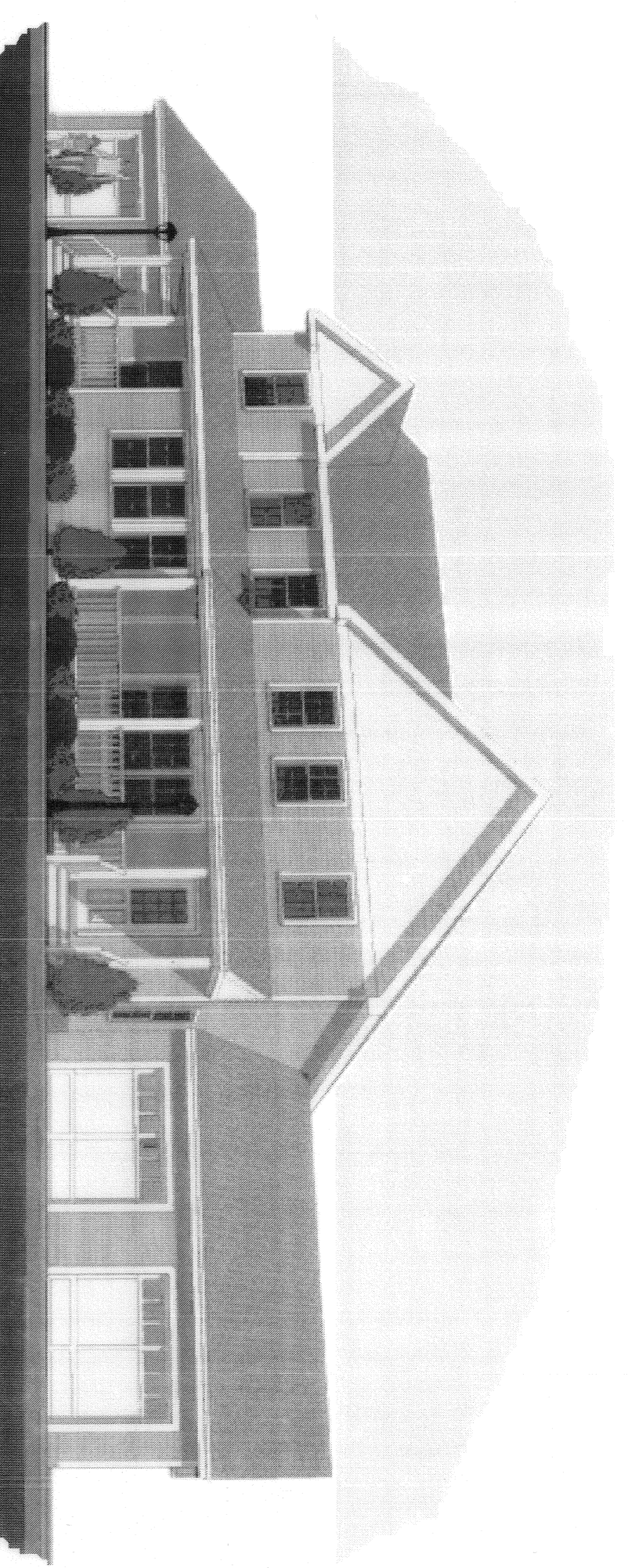
-PERMITTING PLAN ONLY, NOT FOR CONSTRUCTION-



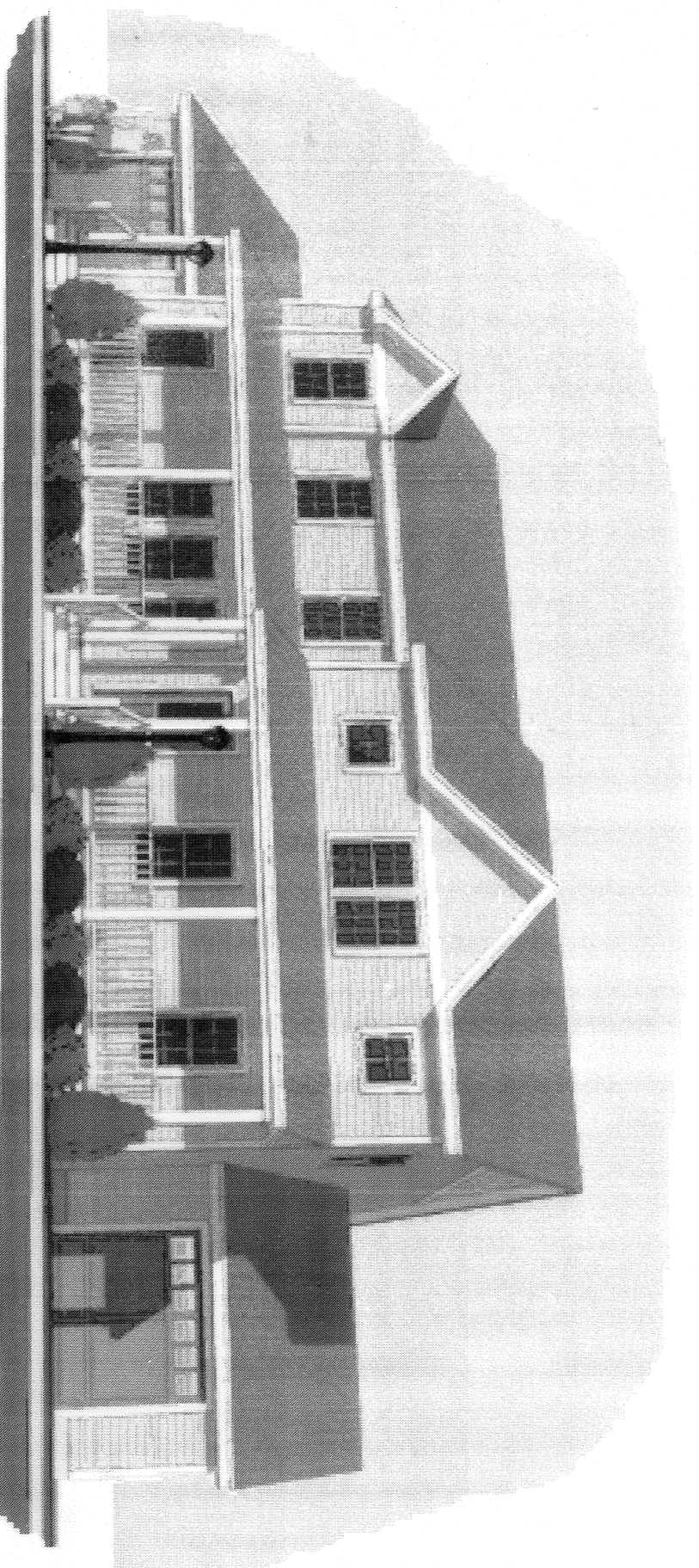
UNIT TYPE 'A'



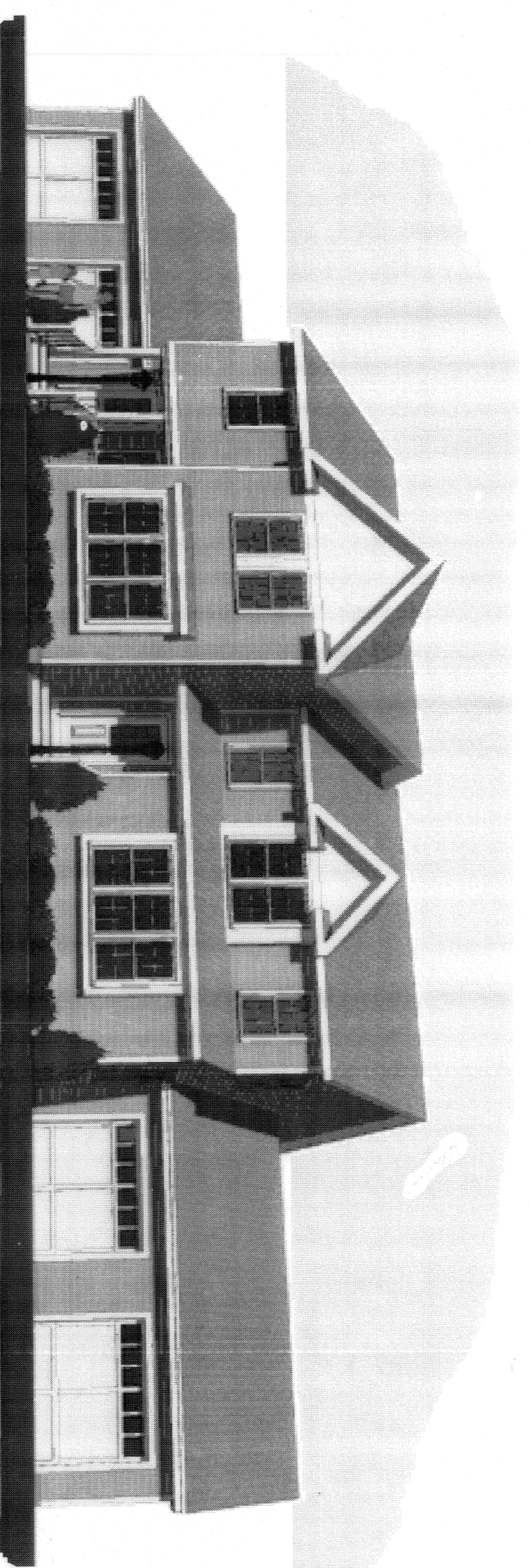
UNIT TYPE 'B'



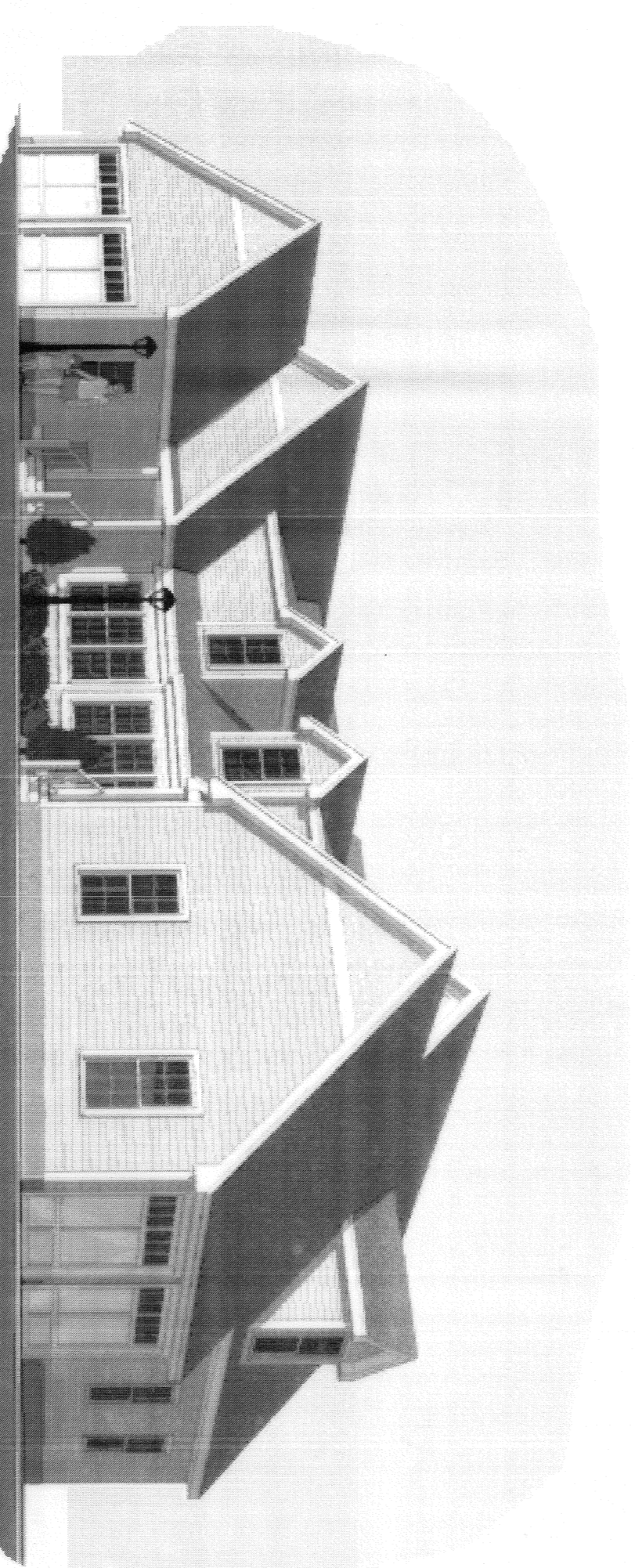
UNIT TYPE 'C'



UNIT TYPE 'D'

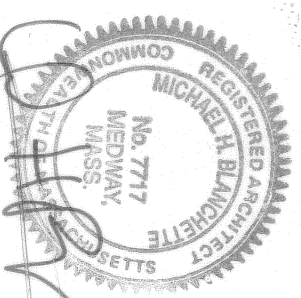


UNIT TYPE 'E'



UNIT TYPE 'F'

MICHAEL H. BLANCHETTE
ARCHITECT
49 MAIN STREET
MEDWAY, MASSACHUSETTS
508-321-0111



WILLIAMSBURG CONDOMINIUMS
WEST STREET
MEDWAY, MASSACHUSETTS

TOWN OF MEDWAY PLANNING BOARD

[Signature]
[Signature]
[Signature]
[Signature]

2-23-2010
DATE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY,
HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED
AND RECORDED AT THIS OFFICE ON THE TWENTY-NINTH DAY NEXT
AFTER SUCH RECEIPT AND RECORING OF SAID NOTICE.
[Signature] 01/24/2010
TOWN CLERK DATE

Exterior siding shall be
Georgia Pacific Forest Edge vinyl siding.
Colors shall be all standard and premium colors
noted except Pearl and Cream.
Varied color combinations shall be used for
siding, shutters and trim.

PREPARED FOR
Williamsburg Condominium Corp.
4 Darford Lane
Medway, Massachusetts 02053
January 28, 2010