

VILLAGE ESTATES

DEFINITIVE SUBDIVISION

PERMANENT PRIVATE WAY

GENERAL NOTES

- 1.) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASS DOT HANDICAP REQUIREMENTS AND THE CURRENT ADA/AAB REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
- 2.) VERTICAL GRANITE CURBING SHALL BE INSTALLED AT THE THE STREET INTERSECTION ROUNDINGS.
- 3.) THE PROPOSED LOCATIONS FOR THE ELECTRIC, TELEPHONE AND CABLE CONDUIT'S SHALL BE DETERMINED BY THE UTILITIES SERVICE PROVIDER.
- 4.) REPAIRS MAKE TO EXISTING SIDEWALK ALONG VILLAGE STREET SHALL COMPLY WITH THE DPW CONDITIONS FOR THEIR ROAD OPENING PERMIT.

SUBDIVISION AREA CHART

TOTAL AREA OF EXIST. LAND = 88,271 SQ. FT.
 TOTAL NUMBER OF LOTS & PARCELS = 3
 TOTAL AREA OF LOTS & PARCELS = 88,271 SQ. FT.
 TOTAL AREA DEDICATED TO STREET PURPOSES = 17,847 SQ. FT.
 TOTAL AREA DEDICATED TO EASEMENTS = 0
 TOTAL AREA DEDICATED TO OPEN SPACE = 0
 TOTAL SUM OF ABOVE 194,392 = TO 88,271 SQ. FT.

ABUTTING STREET INFORMATION

VILLAGE STREET	50 FT COUNTY LAYOUT	27 FT WIDE PAVEMENT (SCENIC ROAD)
SAMOSSET CIRCLE	40 FT PUBLIC WAY	23.5 FT WIDE PAVEMENT
BROOKSIDE ROAD	33 FT PRIVATE WAY	19 FT. WIDE PAVEMENT
FOREST ROAD	45 FT PUBLIC WAY	24 FT. WIDE PAVEMENT

WAIVER REQUEST LIST

7.6.2 B) WATER FACILITIES INSTALLATION
 REQUEST WAIVER FROM INSTALLATION OF WATER MAIN, HYDRANT AND VALVES AND OTHER FITTINGS REQUIRE FOR WATER MAIN TIE IN.

7.7.2 P) STORM WATER
 REQUEST WAIVER FROM REQUIRED 30 FT SETBACK FROM PROPERTY LINES

7.9.1 D) STREET AND ROADWAY LOCATION
 REQUEST WAIVER FOR 2 FT. RESERVE STRIP OF LAND ALONG ROAD LAYOUT.

7.9.2 ALIGNMENT
 REQUEST WAIVER FROM REQUIRED CURB RADIUS OF 40 FT TO 24 FT @ ROAD WAY ENTRANCE LOCATED ON NORTH WEST SIDE OF ROAD.

7.9.7 (H) ROADWAY CONSTRUCTION
 REQUEST WAIVER FROM REQUIRED INSTALLATION OF HOT MIX ASPHALT ROAD PAVEMENT.

7.10.2 CURBS AND BERMS
 REQUEST WAIVER FROM REQUIRED INSTALLATION OF HOT MIX ASPHALT CAPE COD BERM.

7.17.1 FIRE PREVENTION
 REQUEST WAIVER FROM REQUIRED INSTALLATION OF FIRE ALARM SYSTEM.

7.21 STREET LIGHTS
 REQUEST WAIVER FROM REQUIRED INSTALLATION OF STREET LIGHTS.

NOTE:

THE SUBJECT PROPERTY IS NOT CLASSIFIED AS CHAPTER 61A OR 61B.
 THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE FLOOD PLAIN.
 VILLAGE STREET IS AN SCENIC ROAD
 HOUSE # 272 IS PRE-EXISTING AND NON CONFORMING.

LEGAL REFERENCE

DEED BK 25456 PG 529
 PL. BK. 339 PL # 886
 PL. BK. 377 PL # 58
 NORFOLK COUNTY LAYOUT 1922

MEDWAY ZONE AR - II

MIN. FRONTAGE	150 FT.
FRONT SETBACK	35 FT.
SIDE SETBACK	15 FT.
REAR SETBACK	15 FT.
MIN. LOT AREA	22,500 SQ. FT.



REVISED DATE: JULY 25, 2011
 PER COMMENTS PLANNING BOARD CONSULTANT'S
 DATED: JUNE 23, 2011

REVISED DATE: SEPTEMBER 12, 2011
 MOVE ROAD LAYOUT 2 FT.

REVISED DATE: OCTOBER 6, 2011
 ADD WAIVER REQUESTS & REPLACE WATER MAIN
 WITH TWO WATER SERVICE LINES

REVISED DATE: OCTOBER 21, 2011
 DRAINAGE SWALE

REVISED DATE: NOVEMBER 16, 2011
 RIP-RAP SWALE & ROAD SHOULDER

REVISED DATE: JUNE 10, 2015
 DECISION REQUIREMENTS

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: 6/16/15

DATE APPROVED: 11/29/2011

MEDWAY PLANNING BOARD

DATE ENDORSED 6/23/2015

APPROVED 11/29/2011. SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY RUSSELL S. & DOROTHY P. SANTORO DATED 6/23/2015, AND TO BE RECORDED HEREWITH.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE: 6/17/15
 TOWN CLERK

VILLAGE ESTATES DEFINITIVE SUBDIVISION PERMANENT PRIVATE WAY

PLAN OF LAND
 IN
 MEDWAY, MA

MAP 1C PARCEL 114

ZONING AR II DISTRICT

OWNER: RUSSELL S. & DOROTHY P. SANTORO
 372 VILLAGE STREET
 MEDWAY, MA 02053

DATE: MAY 19, 2011
 SCALE 1" = 200'

COLONIAL ENGINEERING, INC.
 11 AWL STREET
 MEDWAY, MA 02053
 508-533-1644

MERRIKIN ENGINEERING LLP
 730 MAIN STREET (SUITE 2)
 MILLIS, MA 02054
 508-376-8883



COVER SHEET
 SHEET 1 OF 8

NOTE: PRESENT AND FUTURE OWNERS ARE SUBJECT TO DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE VILLAGE ESTATES SUBDIVISION.



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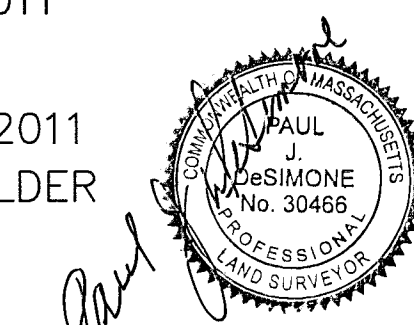
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DRAINAGE SWALE

REVISED DATE: NOVEMBER 16, 2011
RIP-RAP SWALE & ROAD SHOULDER

REVISED DATE: JUNE 1

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Paul J. Santoro
DATE: 6/26/15

DATE APPROVED: 11/29/2011
Adapted
R.P. Parker
Paul J. Santoro
Thomas J. Ryan
MEDWAY PLANNING BOARD
DATE ENDORSED 6/23/2015

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DATED _____, AND TO BE RECORDED HEREWITH.

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DATE: 6/17/15
Maryanne White
TOWN CLERK

VILLAGE ESTATES
DEFINITIVE SUBDIVISION
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MAP 1C PARCEL 114

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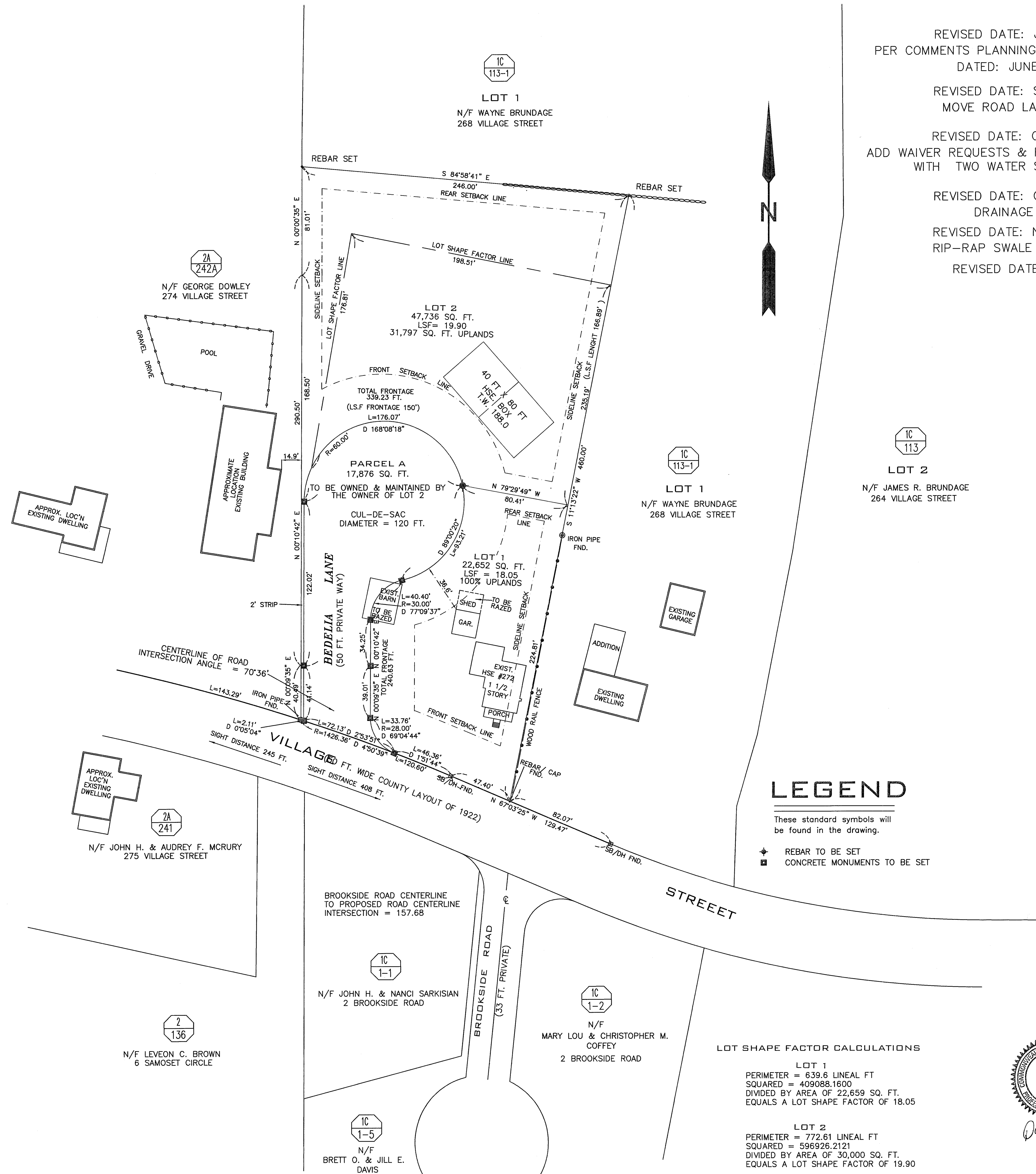
DATE: MAY 19, 2011
SCALE 1" = 40'

COLONIAL ENGINEERING, INC.
11 AWL STREET
MEDWAY, MA 02053
508-533-1644

MERRIKIN ENGINEERING LLP
730 MAIN STREET (SUITE 2)
MILLIS, MA 02054
508-376-8883



LEGAL SHEET
SHEET 2 OF 8



MEDWAY ZONE AR - II

MIN. FRONTAGE	150 FT.
FRONT SETBACK	35 FT.
SIDE SETBACK	15 FT.
REAR SETBACK	15 FT.
MIN. LOT AREA	22,500 SQ. FT.

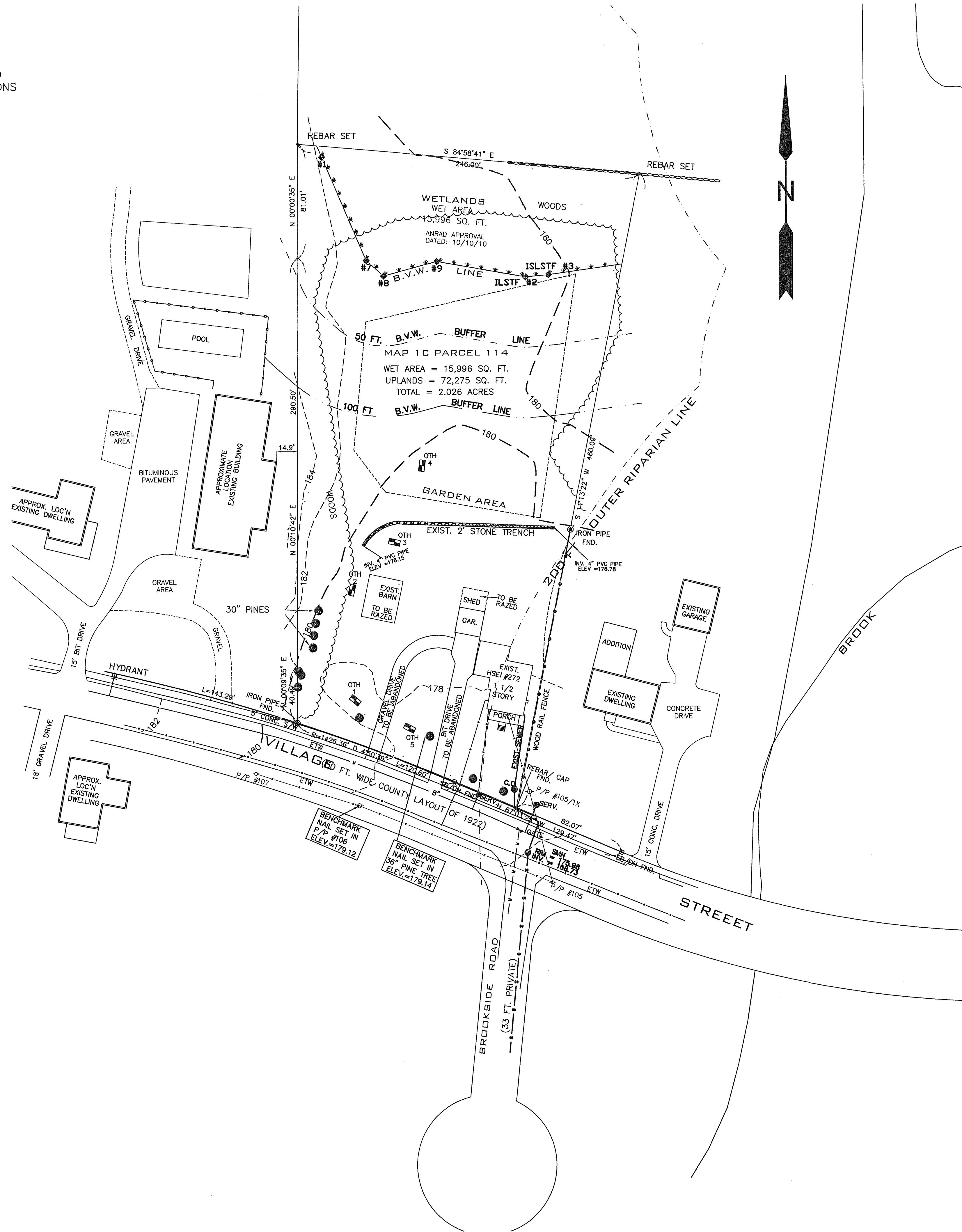
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Paul J. Ashmore
 DATE: 6/16/15

DATE APPROVED: 11/23/2011

[Signatures]

MEDWAY PLANNING BOARD

DATE ENDORSED: 6/23/2015

APPROVED 11/23/2011, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY

RUSSELL & DOROTHY SANTORO
 DATED 1/23/2016, AND TO BE RECORDED HEREWITH.

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DATE: 6/17/15

Mary White
 TOWN CLERK

VILLAGE ESTATES
 DEFINITIVE SUBDIVISION
 PERMANENT PRIVATE WAY
 PLAN OF LAND
 IN
 MEDWAY, MA
 MAP 1C PARCEL 114

ZONING AR II DISTRICT

OWNER: RUSSELL S. & DOROTHY P. SANTORO
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 MEDWAY, MA 02053

DATE: MAY 19, 2011
 SCALE 1" = 40'

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 508-533-1644

MERRIKIN ENGINEERING LLP
 730 MAIN STREET (SUITE 2)
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EXISTING CONDITIONS
 SHEET 3 OF 8

EXISTING CONDITIONS NOTES:

- EXISTING UTILITY INFORMATION IS BASED ON AVAILABLE INFORMATION AND IS NOT WARRANTY TO BE ACCURATE WHERE FEATURES ARE BURIED. CONTRACTOR CONTACT DIGSAFE PRIOR TO ANY EXCAVATION ACTIVITY AND SHALL CONFIRM ALL UTILITY LOCATIONS WITH APPLICABLE UTILITY COMPANIES.
- EXISTING CONDITIONS INFORMATION FOR OFF-SITE PROPERTIES ARE NOT BASED ON FIELD SURVEY AND ARE TAKEN FROM MASSGIS AERIAL PHOTOGRAPHY.

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[Signature]
 2015 06-11

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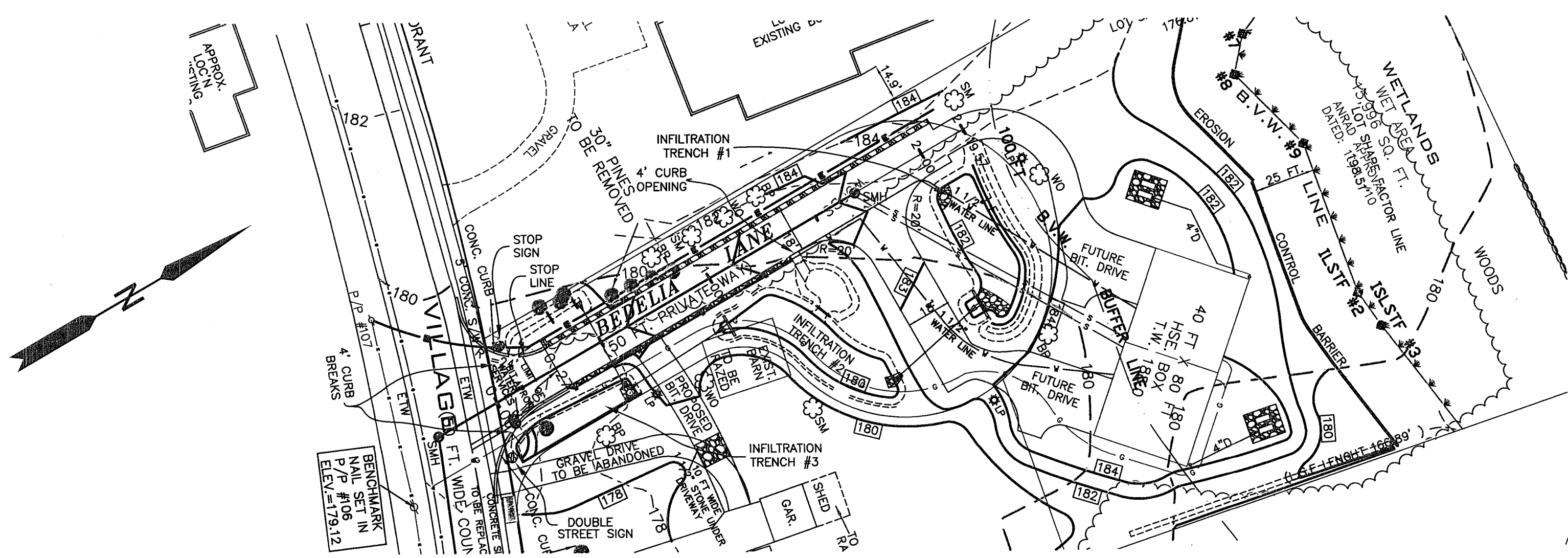
I CERTIFY THAT THIS PLAN HAS BEEN
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 REGISTERS OF DEEDS OF THE
 COMMONWEALTH OF MASSACHUSETTS
 Paul J. Johnson
 DATE: 6/14/15

DATE APPROVED: 11/29/2011
 [Signature]
 MEDWAY PLANNING BOARD

DATE ENDORSED: 6/23/2015

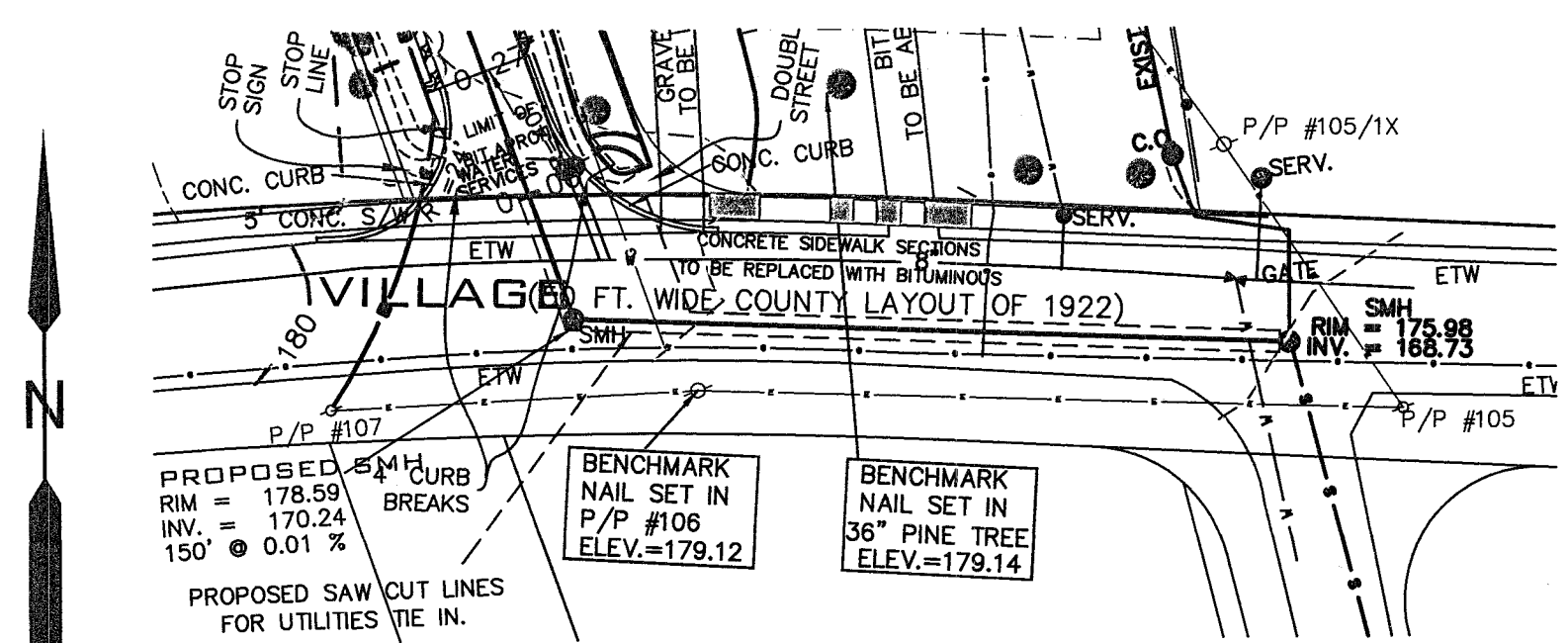
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 DATE: 6/17/15
 [Signature]
 TOWN CLERK



PLAN VIEW - BEDELIA LANE

SCALE: 1"=40'

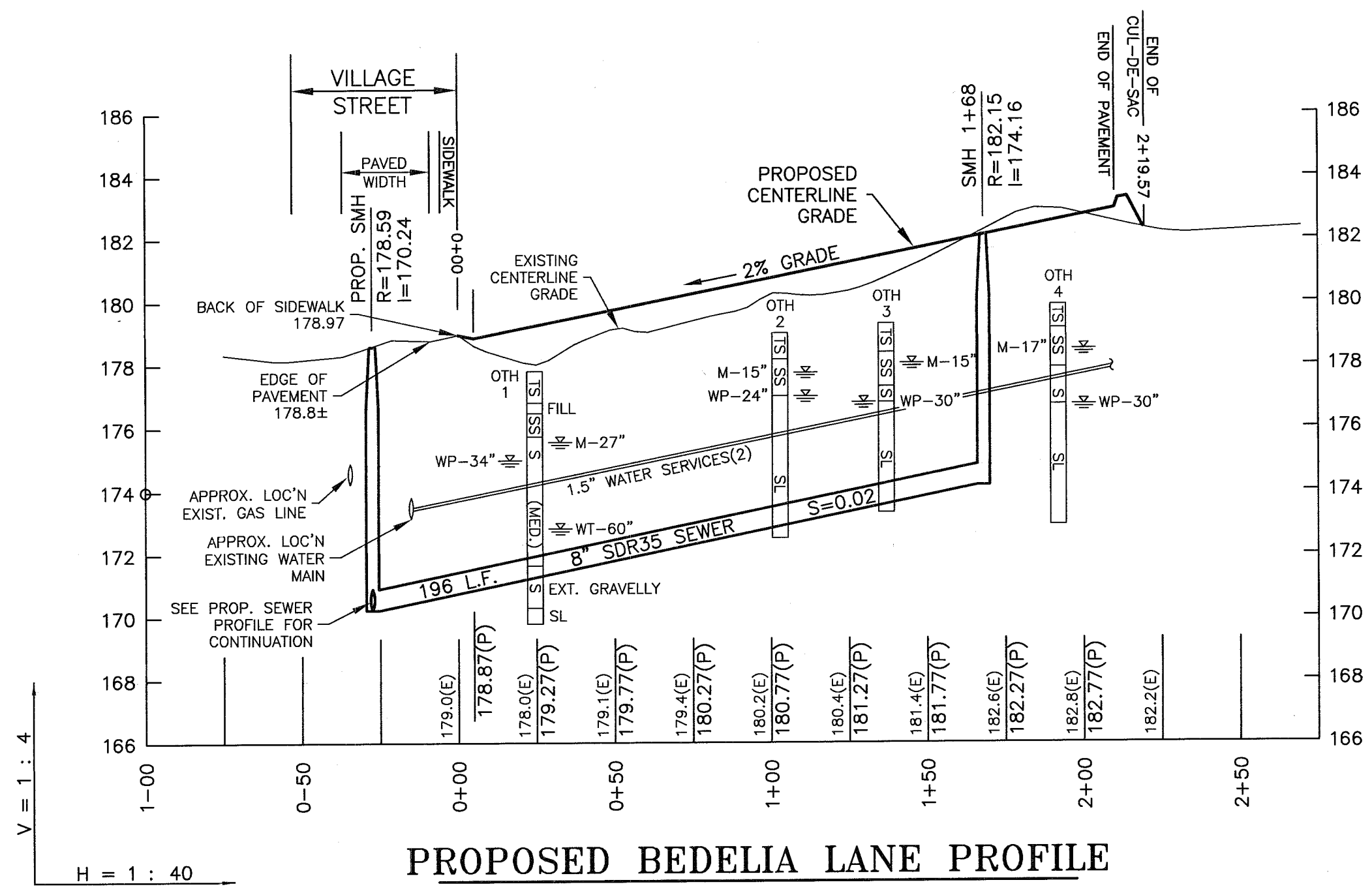


PLAN VIEW - VILLAGE STREET

SCALE: 1"=40'

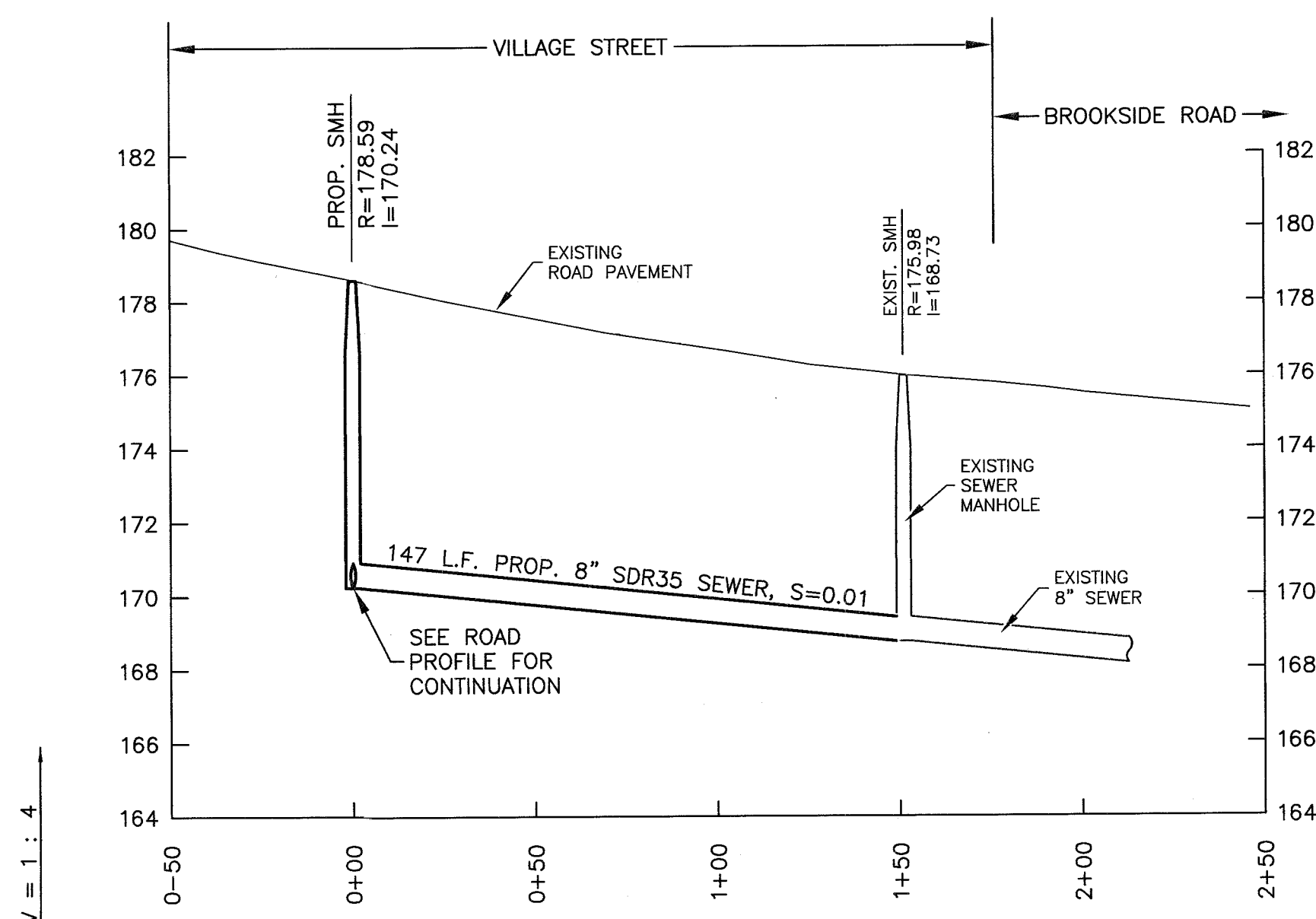
PROFILE LEGEND

ABBREVIATION	DESCRIPTION
M-XX"	MOTTLES AT XX-INCHES
WT-XX"	STANDING WATER AT XX-INCHES
WP-XX"	WEeping WATER AT XX-INCHES
NW-XX"	NO GROUNDWATER INDICATORS
B-XX"	ESTIMATED SEASONAL-HIGH GROUNDWATER FROM GROUNDWATER MONITORING PROGRAM IN WALPOLE PARK SOUTH
R-XX"	REFUSAL AT XX-INCHES
TS	TOPSOIL
SS	SUBSOIL
S	SAND
LS	LOAMY SAND
SL	SANDY LOAM



PROPOSED BEDELIA LANE PROFILE

SCALE: 1"=40' HORIZONTAL
 1"=4' VERTICAL



PROPOSED SEWER PROFILE

SCALE: 1"=40' HORIZONTAL
 1"=4' VERTICAL

VILLAGE ESTATES

DEFINITIVE SUBDIVISION
 PERMANENT PRIVATE WAY

PLAN OF LAND
 IN
 MEDWAY, MA

MAP 1C PARCEL 114

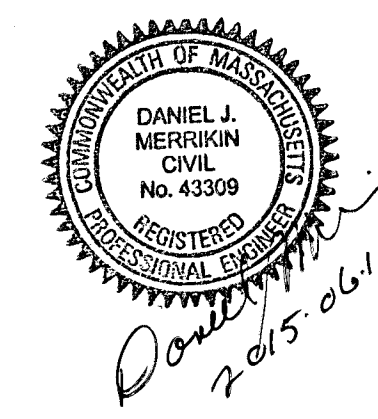
ZONING AR II DISTRICT

OWNER: RUSSELL S. & DOROTHY P. SANTORO
 372 VILLAGE STREET
 MEDWAY, MA 02053

DATE: MAY 19, 2011
 SCALE AS NOTED

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 11 AWL STREET
 MEDWAY, MA 02053
 508-533-1644

MERRIKIN ENGINEERING LLP
 730 MAIN STREET (SUITE 2)
 MILLIS, MA 02054
 508-376-8883



PLAN & PROFILE
 SHEET 4 OF 8

NOTE: PRESENT AND FUTURE OWNERS ARE SUBJECT TO
 DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS
 AND PRIVATE ROADWAY AGREEMENT GOVERNING THE
 VILLAGE ESTATES SUBDIVISION.

NAVD 1988 DATUM

NOTE: ROAD INTERSECTION SIGNS TO BE PLACED
 250 FT IN BOTH DIRECTIONS FROM ROAD ENTRANCE.

NOTE:

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIG SAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIG SAFE 1-888-DIG-SAFE

NOTES:

1. THE PROPOSED DWELLING, DRIVEWAYS, ROOF RUNOFF LEACHING FIELDS, AND ASSOCIATED GRADING, ARE NOT PART OF THE INFRASTRUCTURE CONSTRUCTION AND WOULD ONLY BE PROVIDED IF AND WHEN THE LOT IS DEVELOPED.
2. ROOF RUNOFF LEACHING FIELDS SHALL BE PROVIDED AS SHOWN TO CAPTURE RUNOFF FROM THE REAR PORTION OF THE PROPOSED DWELLING.
3. INFILTRATION TRENCHES #1, #2 & #3 SHALL BE CONSTRUCTED AS PART OF THE SUBDIVISION INFRASTRUCTURE.
4. ALL PROPOSED DRAIN PIPING FOR THE ROADWAY SYSTEMS SHALL BE CLASS IV RCP.

STORMWATER PLANTING LEGEND

- ⊕ JAPANESE HOLLY (ILEX CR. COMPACTA) 18"-24"
- ⊕ PJM RHODODENDRON, 18"-24"
- ⊕ LITTLE PRINCESS SPIREA, 18"-24"
- ⊕ GREY OWL JUNIPER, 18"-24"
- ⊕ BLUE MAID HOLLY (ILEX M. BLUE MAID) 2.5-3.5'
- ⊕ MAIDEN GRASS (MISCANTHUS SINESIS) 1-2 GAL.
- ⊕ HYBRID DAYLILLIES (HEMEROCALLIS HYBRID) 1 GAL.

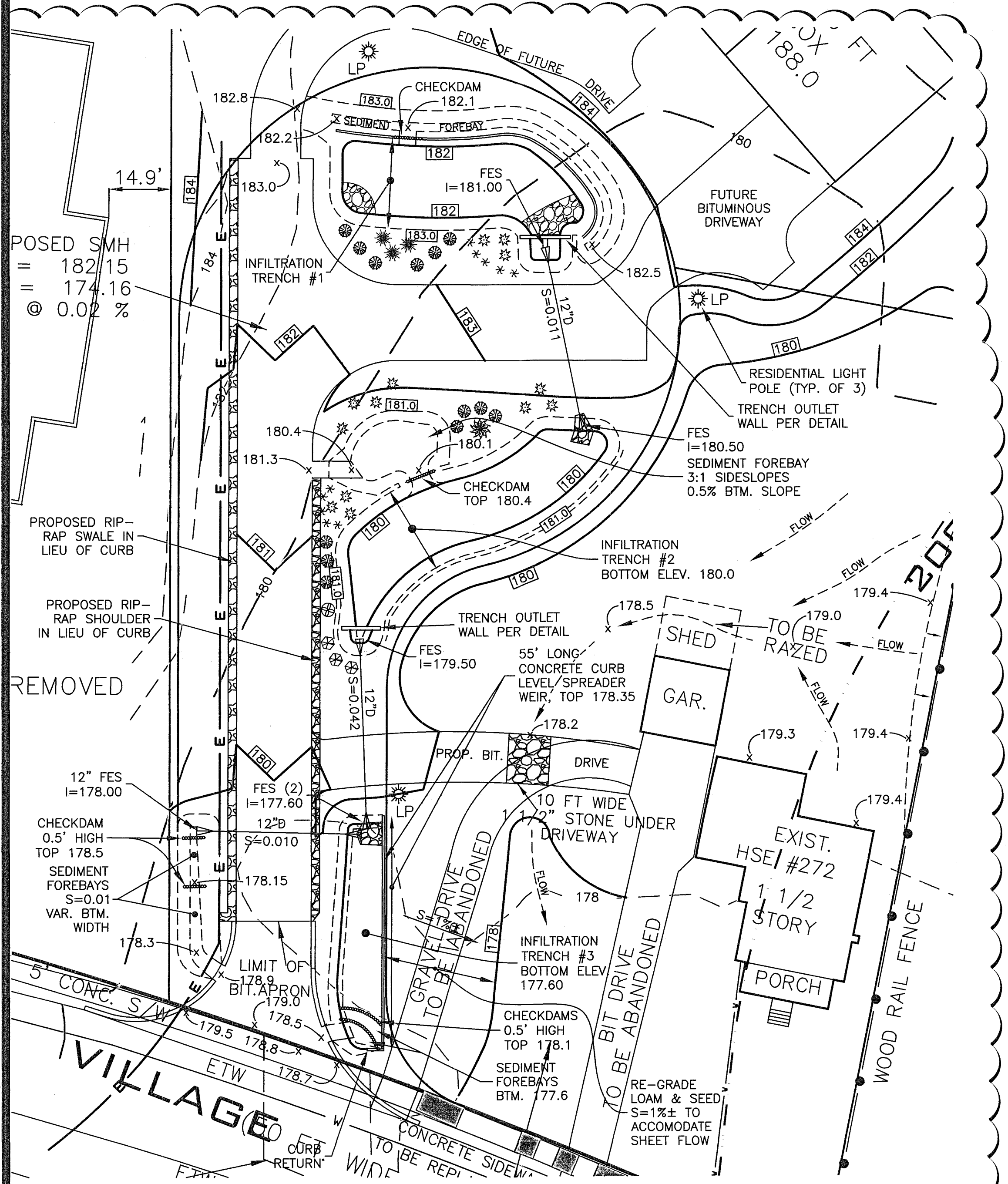
PLANTING NOTES:

1. SHRUBS SHALL BE INSTALLED IN AT LEAST THE SAME QUANTITIES AS SHOWN. SHRUB SPECIES SUBSTITUTION IS ALLOWED, DEPENDING ON NURSERY AVAILABILITY.

LEGEND

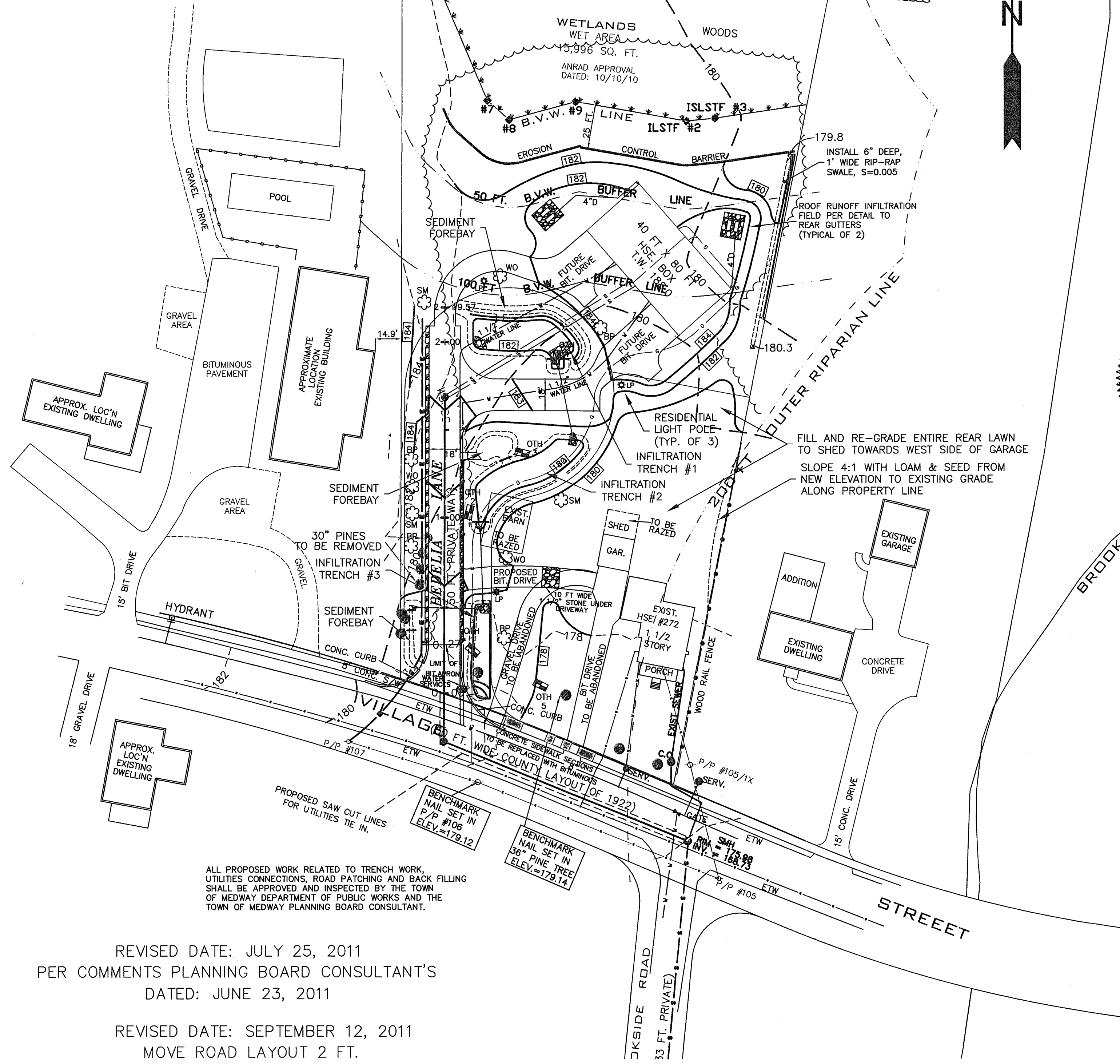
These standard symbols will be found in the drawing.

- W — PROPOSED EROSION CONTROL BARRIER
- G — PROPOSED WATER SERVICE LINE
- S — PROPOSED GAS SERVICE LINE
- S — PROPOSED SEWER SERVICE LINE
- ☀ PROPOSED TREE PLANTING
- ☀ LP PROPOSED LIGHT POST
- ☀ EXISTING TREE
- ⊕ V.G.C. VERTICAL GRANITE CURBING



ENLARGED STORMWATER PLAN

SCALE: 1" = 20'

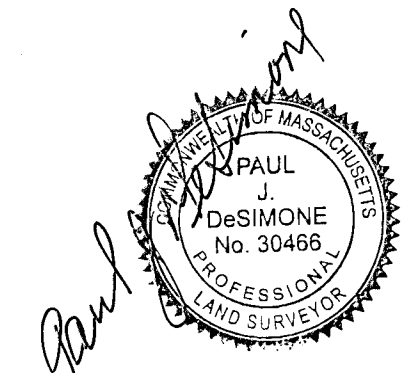


ALL PROPOSED WORK RELATED TO TRENCH WORK, UTILITIES CONNECTIONS, ROAD PATCHING AND BACK FILLING SHALL BE APPROVED AND INSPECTED BY THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS AND THE TOWN OF MEDWAY PLANNING BOARD CONSULTANT.

- REVISED DATE: JULY 25, 2011
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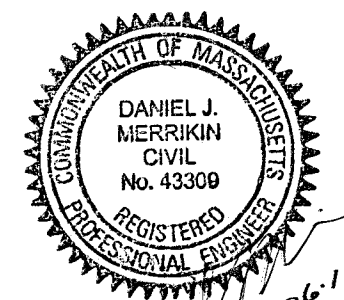


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DATE: 6/14/15

DATE APPROVED: 11/29/2011
APPROVED BY: [Signatures]

MEDWAY PLANNING BOARD
DATE ENDORSED: 6/23/2015



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DATE: 6/11/15
Maryanne [Signature]
TOWN CLERK

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PERMANENT PRIVATE WAY

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IN
MEDWAY, MA
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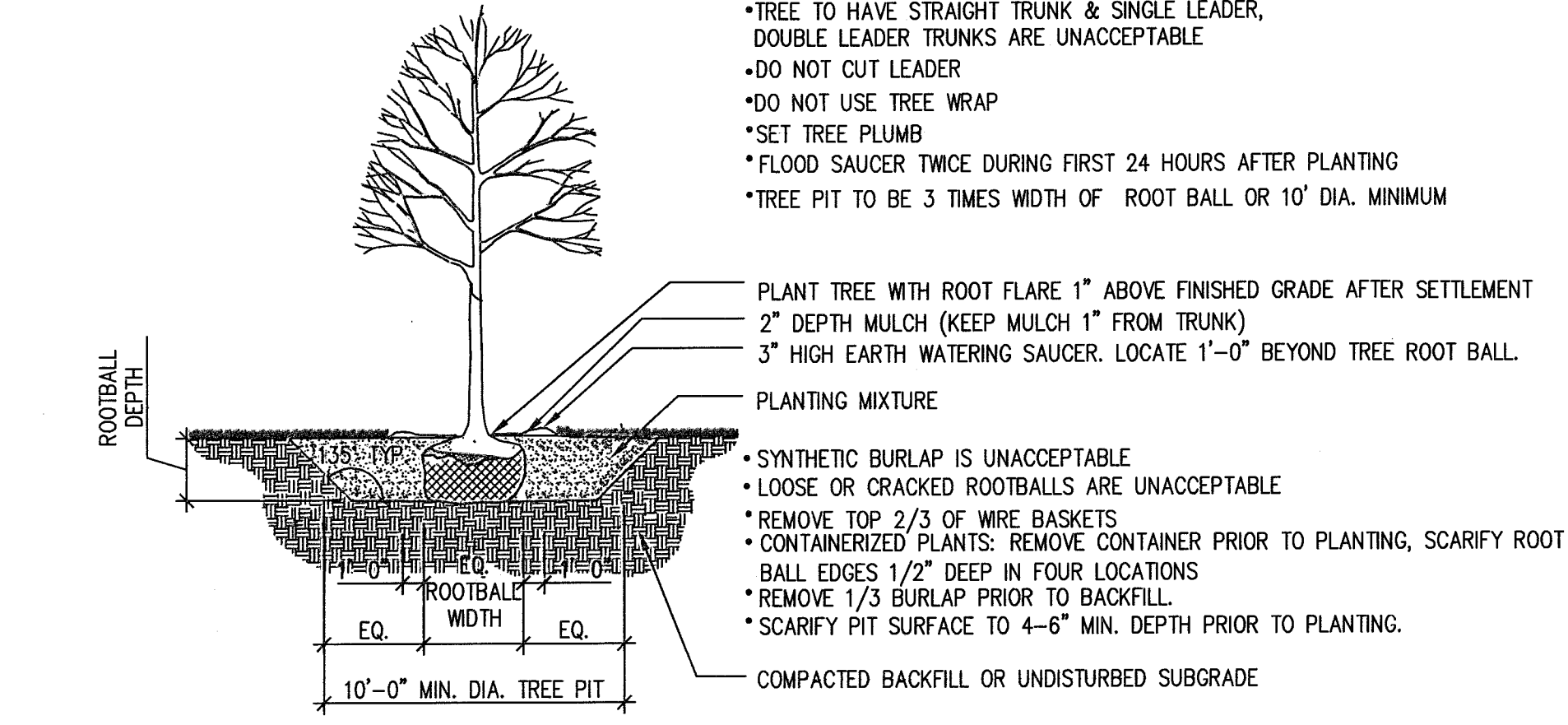
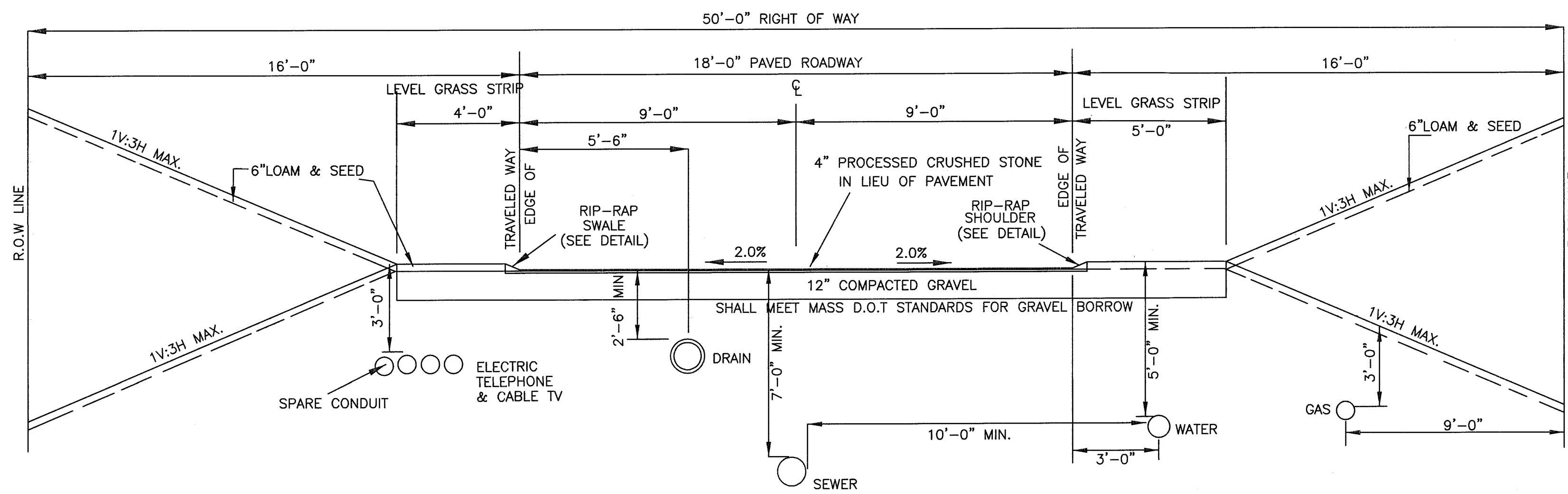
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PROPOSED GRADING
SHEET 5 OF 8



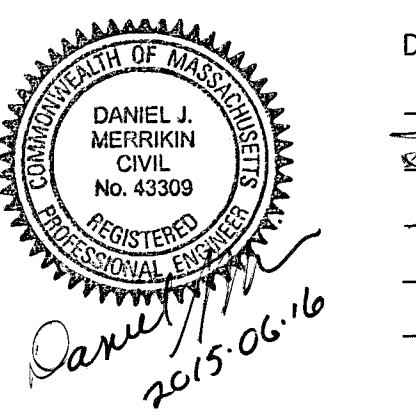
DECIDUOUS TREE PLANTING
 Scale: NOT TO SCALE

- TREE'S TO BE PLANTED**
- SEE PLANNING BOARD RULES AND REGULATIONS SECT 7.19-7.19.9
- 4) WO = WHITE OAK TREE
 - 3) BP = BRADFORD PEAR TREE
 - 3) SM = SUGAR MAPLE TREE
- 10 TOTAL TREES TO BE PLANTED

LOCATION OF TREE PLANTING AS SHOWN ON PLAN & PROFILE ALSO PROPOSED GRADING SHEETS



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 Paul Desimone
 DATE: 6/16/15



DATE APPROVED: 11/29/2011
 Daniel J. Merrikin
 MEDWAY PLANNING BOARD
 DATE ENDORSED: 6/23/2015

PERMANENT PRIVATE ROADWAY TYPICAL SECTION

NOT TO SCALE

NOTE: BEDELIA LANE SHALL BE CONSTRUCTED OF DENSE-GRADED CRUSHED STONE, CONFORMING TO MASS DOT SPECIFICATIONS, TO A DEPTH OF AT LEAST 4".

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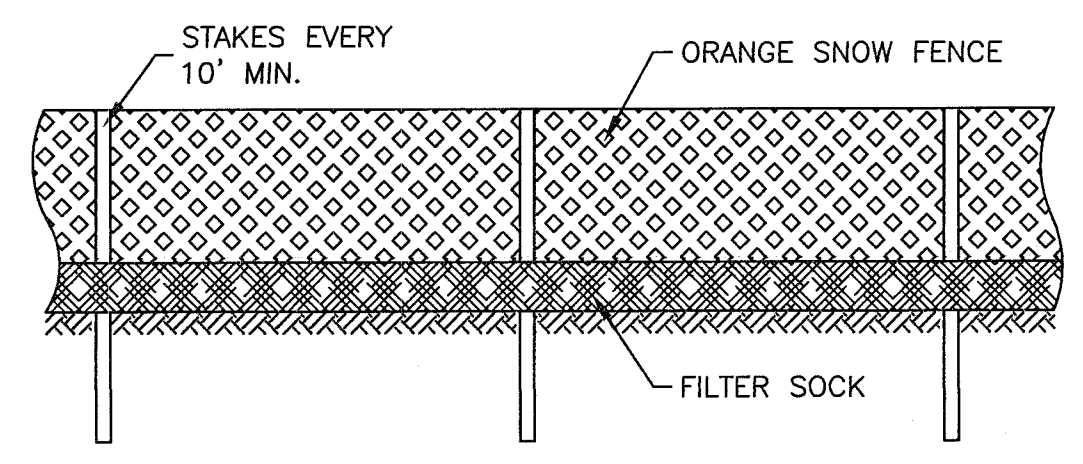
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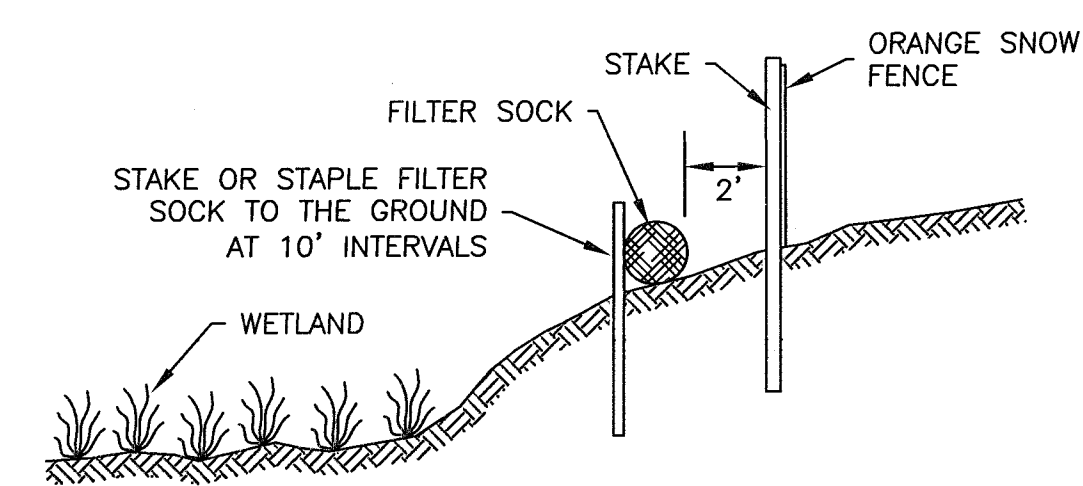
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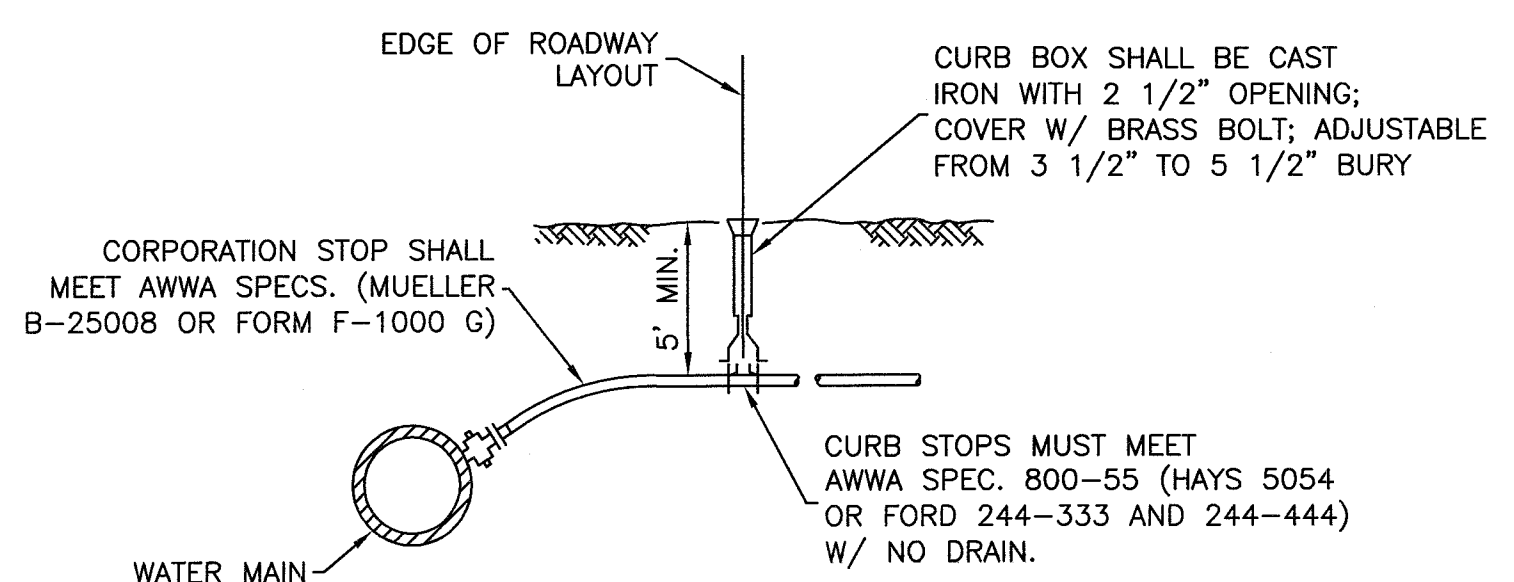
FRONT VIEW



SIDE VIEW

NOTE: FILTER SOCK TO BE CONSTRUCTED OF A NON-BIODEGRADABLE SOCK SHELL FILLED WITH FILTER MEDIA (BIODEGRADABLE OR OTHERWISE). FILTER SOCKS CAN BE FILLED ON-SITE OR PRE-FILLED. IF PRE-FILLED, JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET.

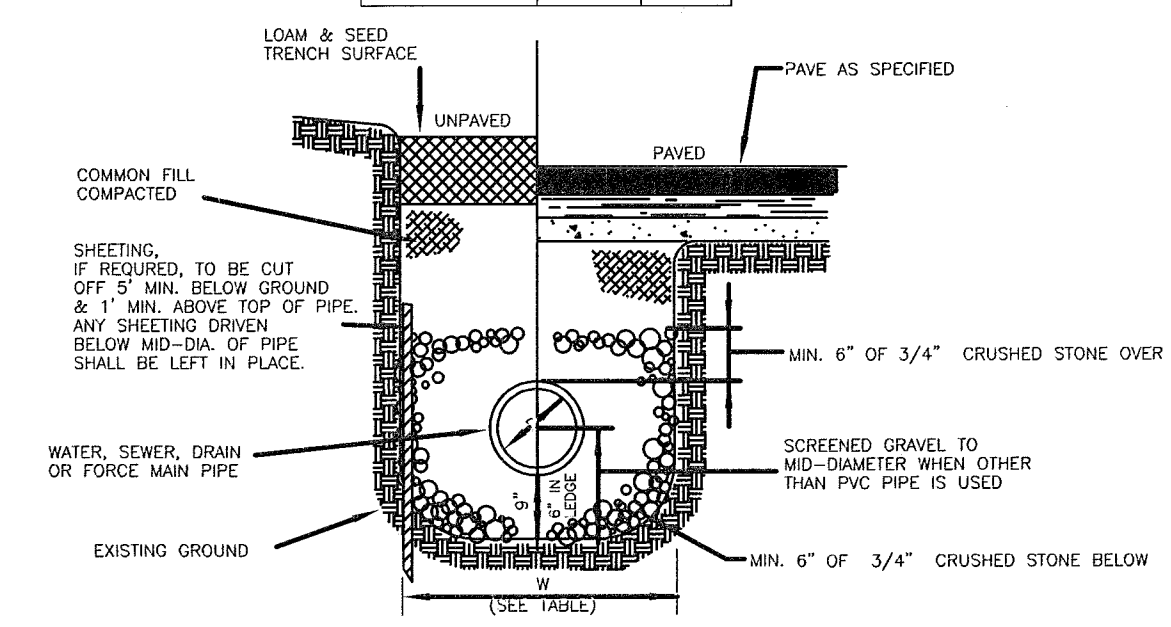
FILTER SOCK WITH SNOW FENCE DETAIL
NOT TO SCALE



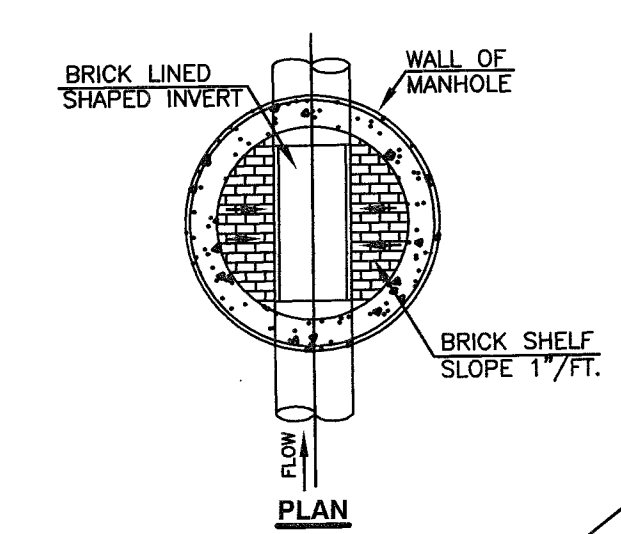
NOTES:
 COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.
 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

WATER SERVICE CONNECTION
NOT TO SCALE

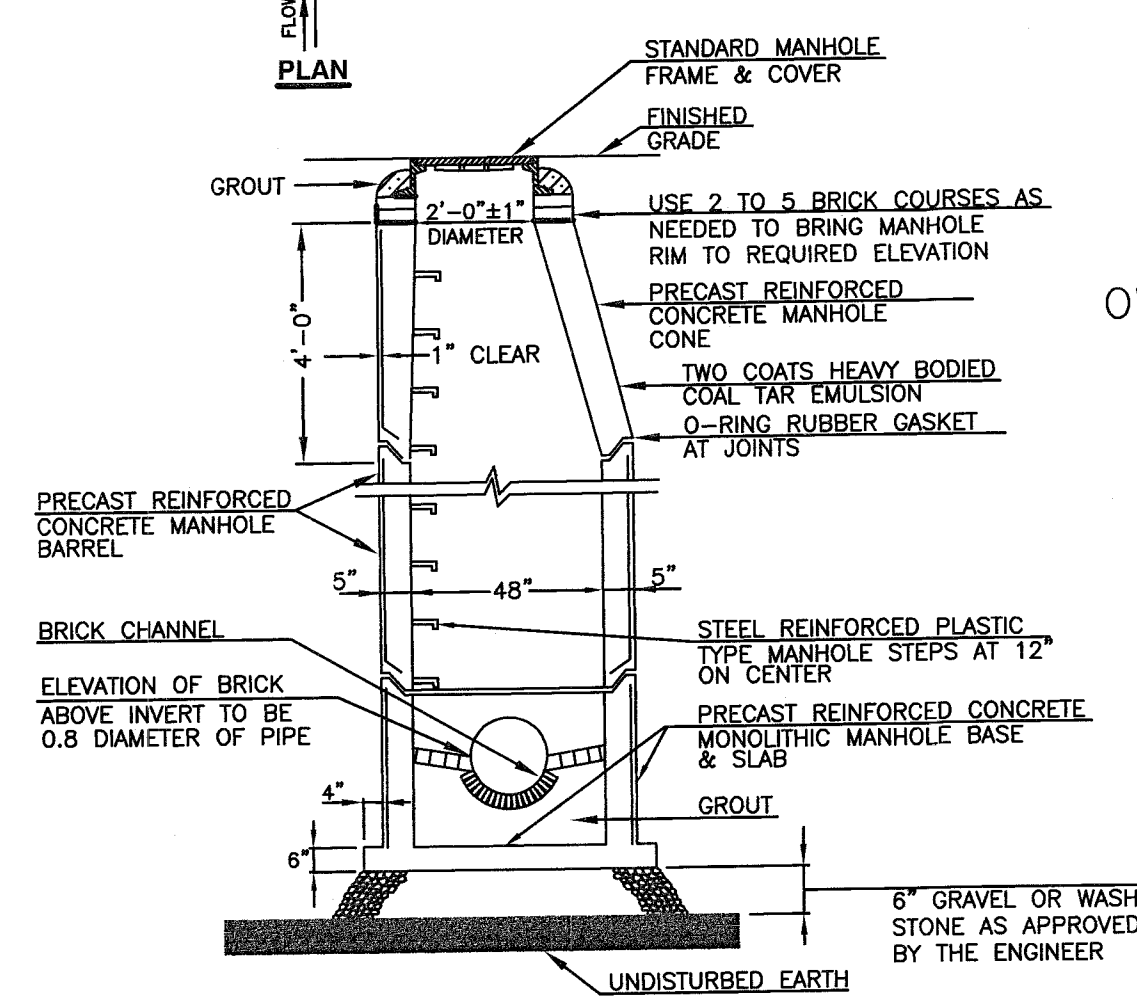
TRENCH WIDTH, W	D	UNSHEETED	W	W
TO 12"	3"	4"	4"	4"
14" TO 24"	4"	5"	5"	5"
30" TO 50"	5"	6"	6"	6"



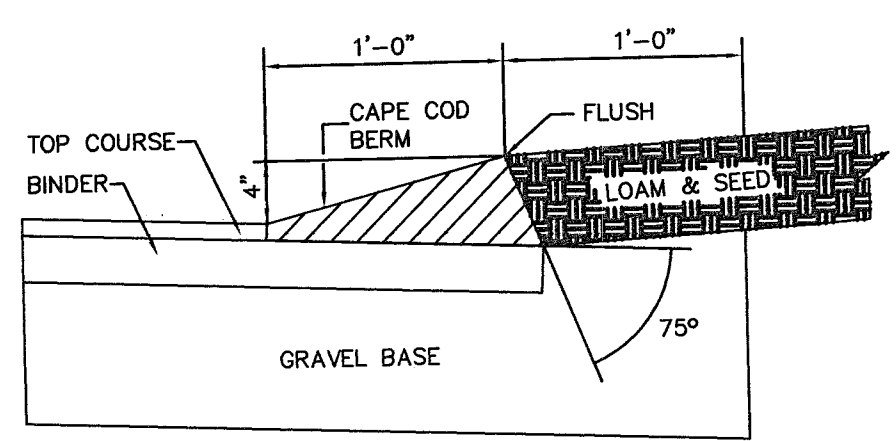
TYPICAL TRENCH SECTION
NOT TO SCALE



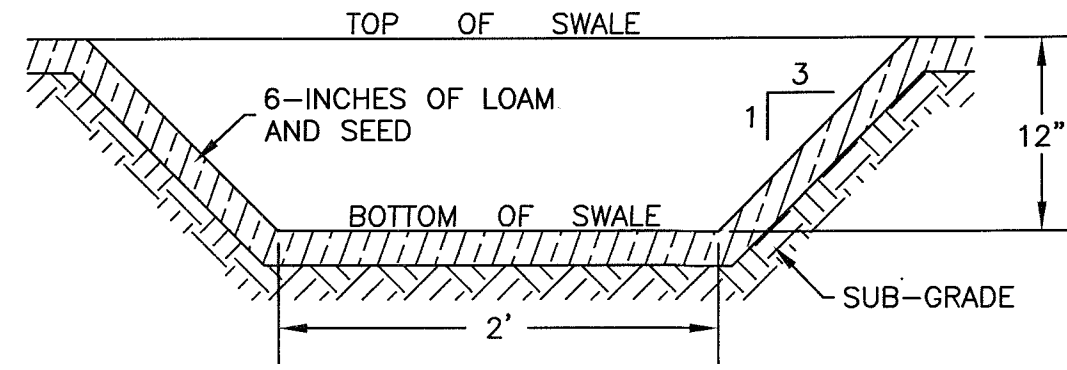
GENERAL NOTES:
 1. REINFORCED STEEL CONFORMS TO LATEST ASTM SPEC. 0.12 SQ. IN./ LINEAR FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 2. CONCRETE COMPRESSIVE STRENGTH-4000 PSI MIN.
 3. MANHOLE DESIGN SPECS CONFORM TO LATEST ASTM C-478 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.



SECTION
TYPICAL SEWER MANHOLE
NOT TO SCALE



CAPE COD BERM
NOT TO SCALE



SWALE DETAIL
NOT TO SCALE

VILLAGE ESTATES DEFINITIVE SUBDIVISION PERMANENT PRIVATE WAY

PLAN OF LAND
 IN
 MEDWAY, MA

MAP 1C PARCEL 114

ZONING AR II DISTRICT

OWNER: RUSSELL S. & DOROTHY P. SANTORO
 372 VILLAGE STREET
 MEDWAY, MA 02053

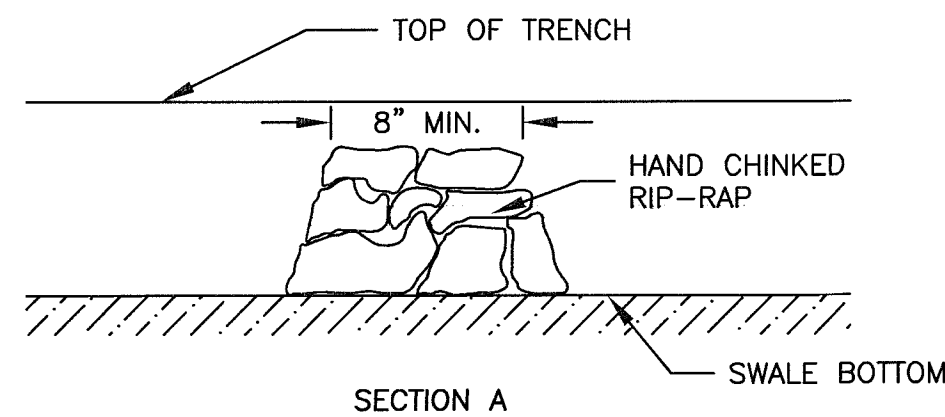
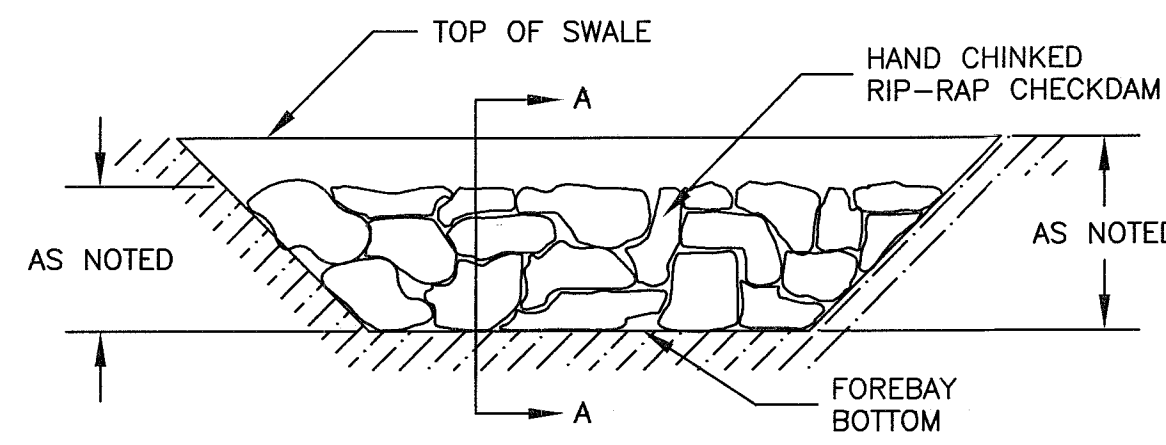
DATE: MAY 19, 2011

COLONIAL ENGINEERING, INC.
 11 AWL STREET
 MEDWAY, MA 02053
 508-533-1644

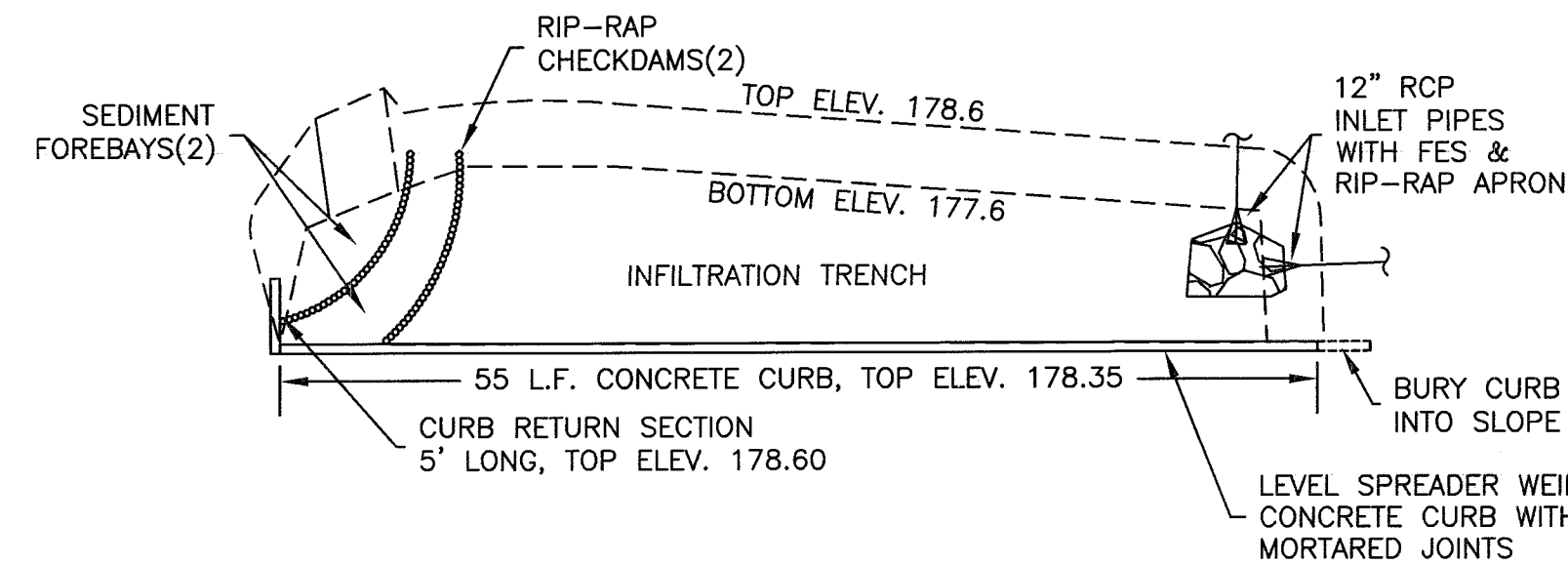
MERRIKIN ENGINEERING LLP
 730 MAIN STREET (SUITE 2)
 MILLIS, MA 02054
 508-376-8883

SCALE AS NOTED
 DETAIL SHEET
 SHEET 6 OF 8

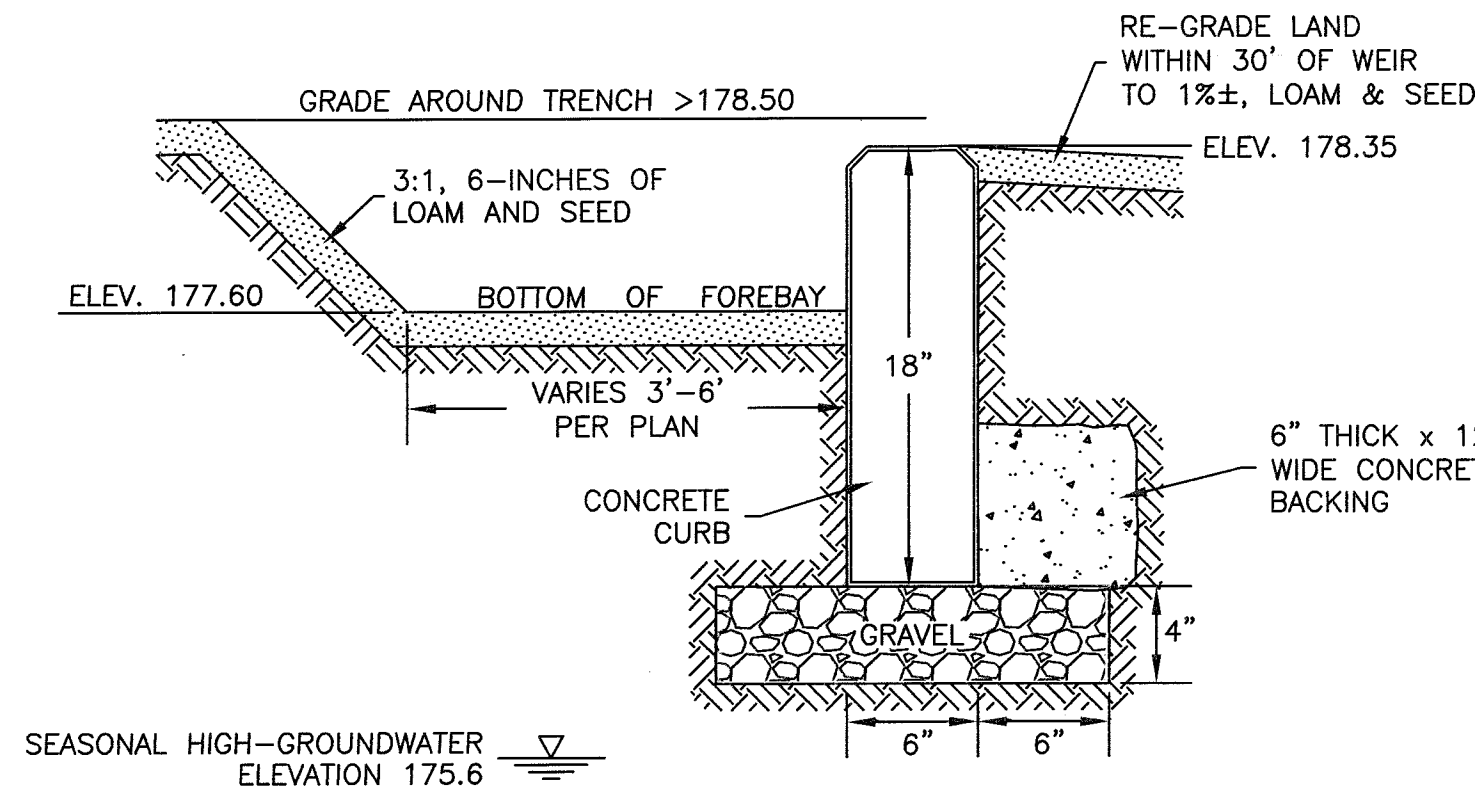
NOTE: PRESENT AND FUTURE OWNERS ARE SUBJECT TO DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE VILLAGE ESTATES SUBDIVISION.



RIP-RAP CHECK DAM DETAIL
NOT TO SCALE

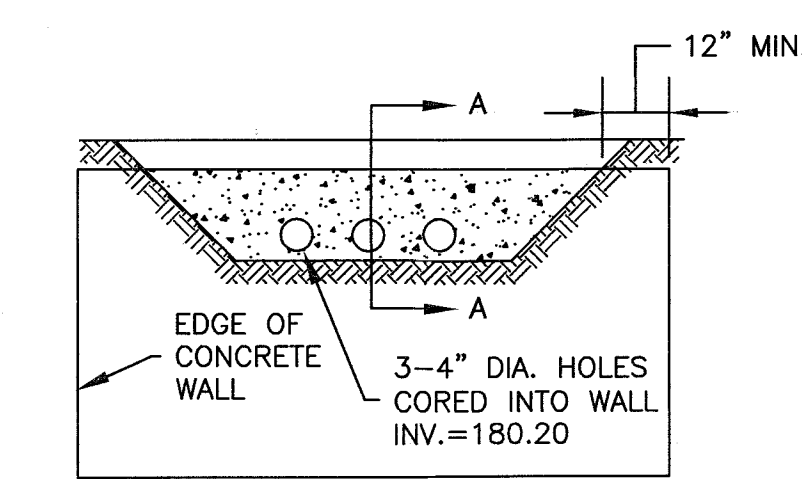


PLAN VIEW

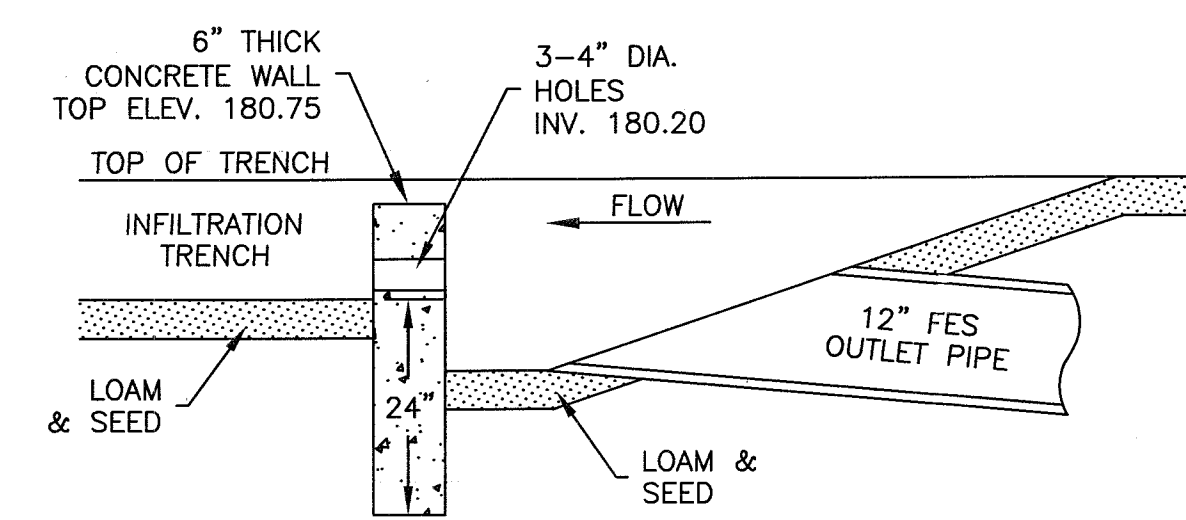


TRENCH CROSS-SECTION

INFILTRATION TRENCH #3 DETAIL
NOT TO SCALE

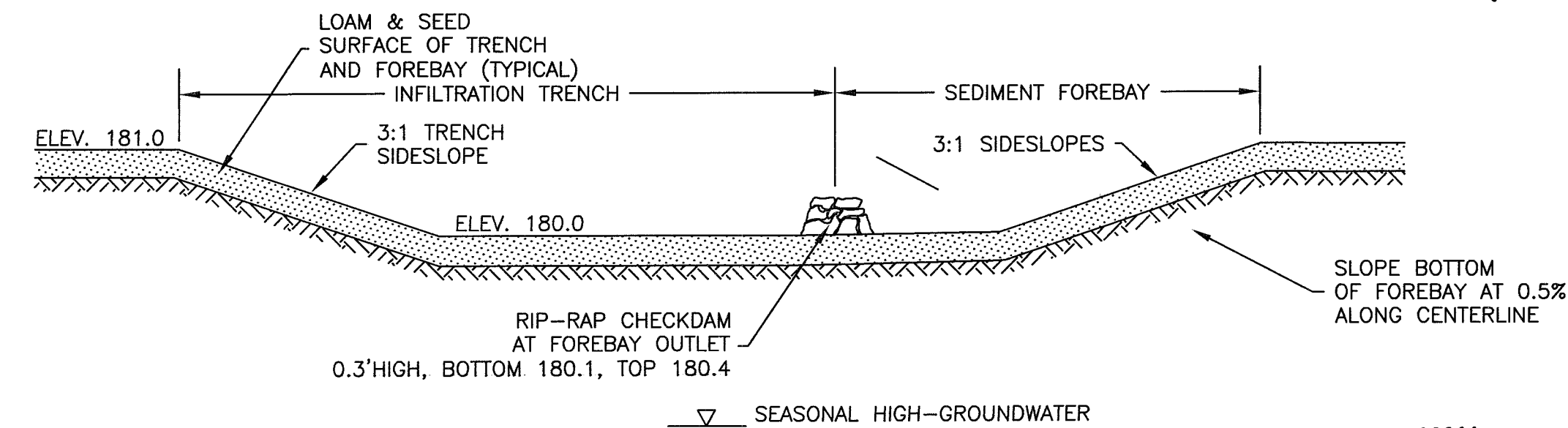


CROSS-SECTION THROUGH TRENCH



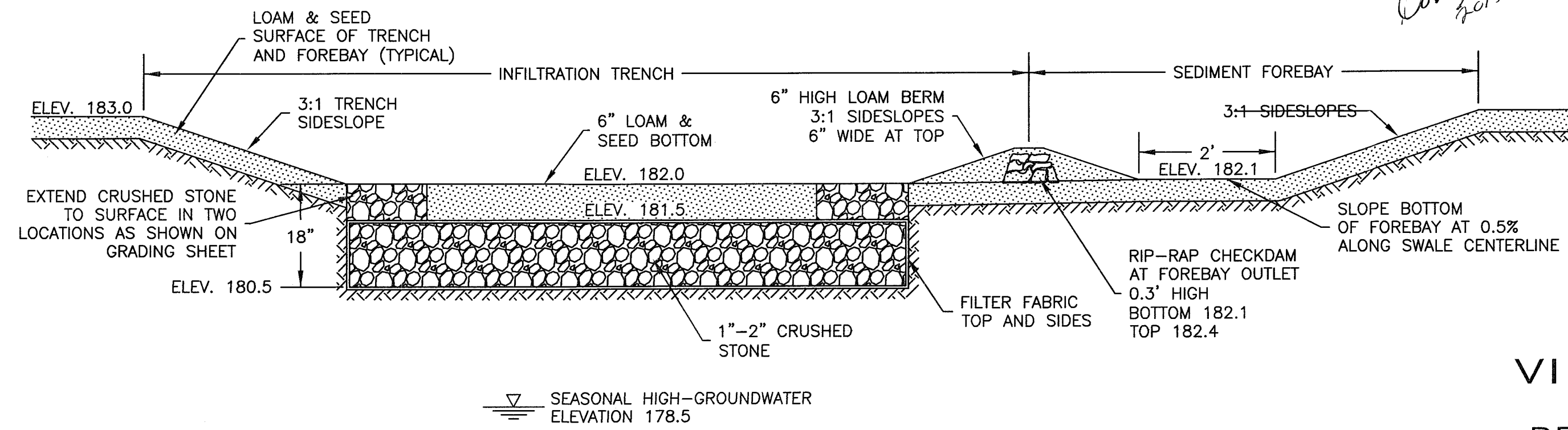
SECTION A - THROUGH OUTLET WALL

OUTLET HEADWALL



TRENCH CROSS-SECTION

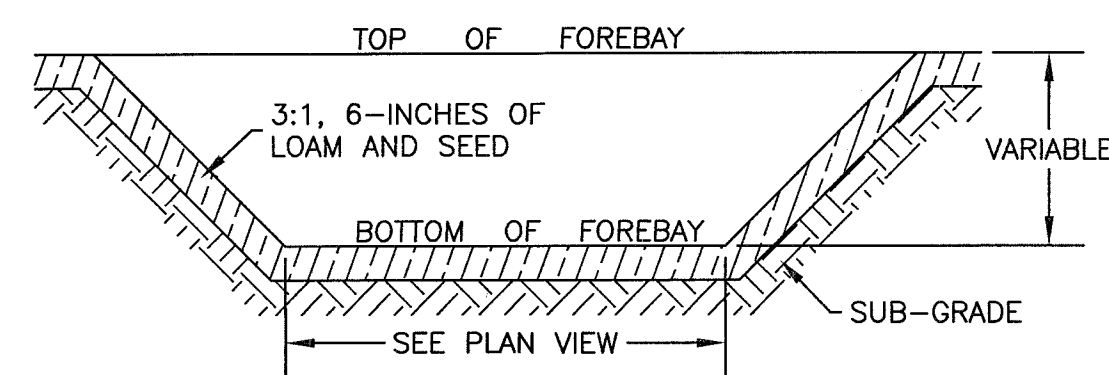
INFILTRATION TRENCH #2 DETAIL
NOT TO SCALE



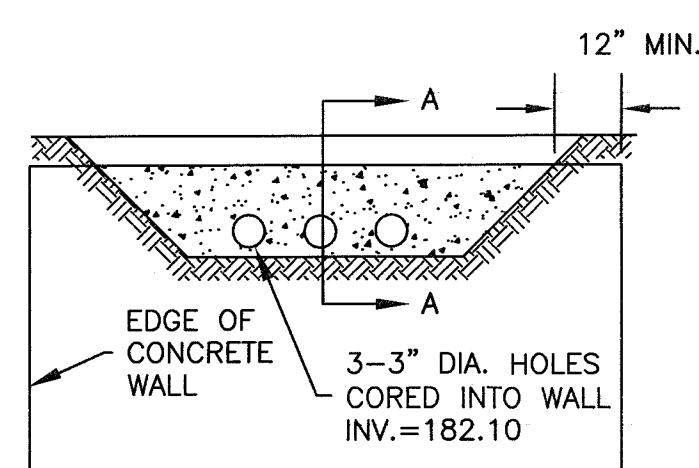
TRENCH CROSS-SECTION

INFILTRATION TRENCH #1 DETAIL
NOT TO SCALE

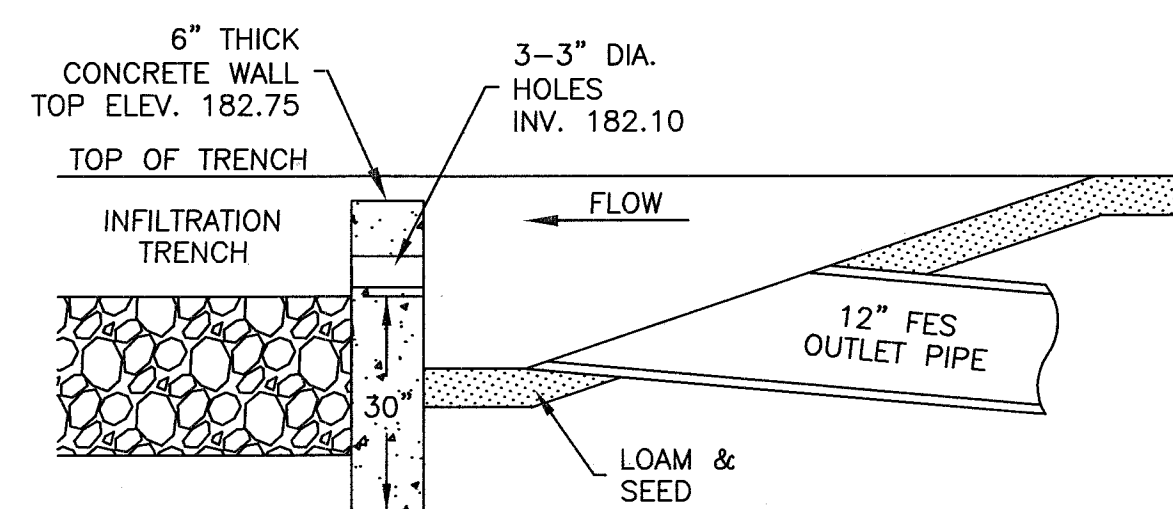
NOTE: PRESENT AND FUTURE OWNERS ARE SUBJECT TO DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE VILLAGE ESTATES SUBDIVISION.



SEDIMENT FOREBAY SECTION
NOT TO SCALE



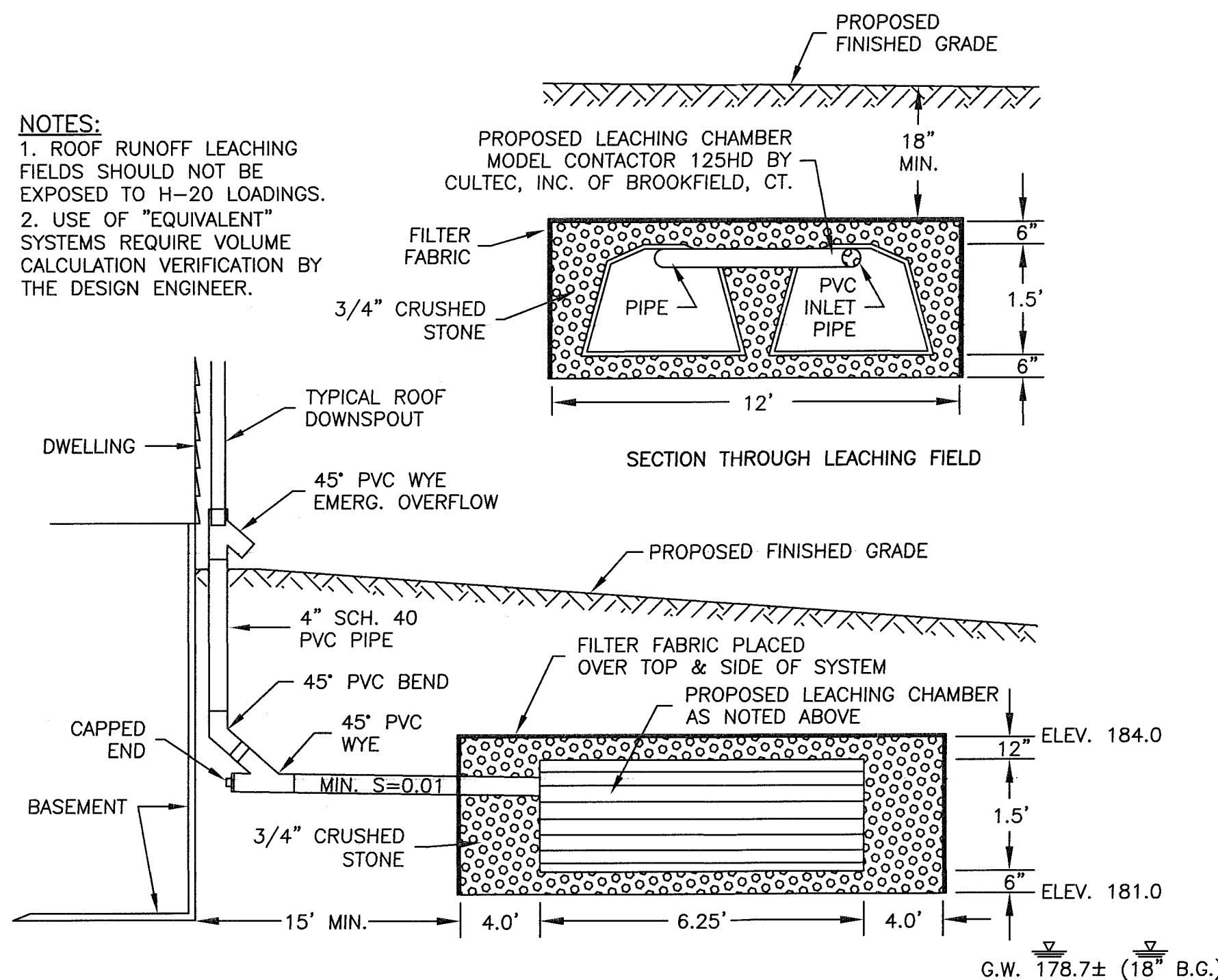
CROSS-SECTION THROUGH TRENCH



SECTION A - THROUGH OUTLET WALL

OUTLET HEADWALL

- NOTES:**
1. ROOF RUNOFF LEACHING FIELDS SHOULD NOT BE EXPOSED TO H-20 LOADINGS.
 2. USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.



SECTION THROUGH LEACHING FIELD

- DESIGN NOTES:**
1. ALL TOPSOIL AND SUBSOIL BELOW THE BOTTOM OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SAND.
 2. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE REAR ROOF AREA OF THE PROPOSED DWELLING, WITH THE FLOWS TO EACH APPROXIMATELY BALANCED.
 3. THIS FIELD IS NOT PART OF THE SUBDIVISION INFRASTRUCTURE BUT SHALL BE CONSTRUCTED WITH THE NEW DWELLING.
 4. PROVIDE TWO INSPECTION PORTS PER FIELD TO THE SURFACE AND COVER WITH AN IRRIGATION BOX.

ROOF RUNOFF INFILTRATION FIELD
NOT TO SCALE



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: 6/16/15

DATE APPROVED: 11/29/2011

APPROVED BY: [Signatures]

MEDWAY PLANNING BOARD

DATE ENDORSED: 6/23/2015



APPROVED 11/29/2011, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY

RUSSELL & DOROTHY SANTORO
DATED 6/23/2015, AND TO BE RECORDED HEREWITH.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE: 6/17/15
TOWN CLERK

VILLAGE ESTATES
DEFINITIVE SUBDIVISION
PERMANENT PRIVATE WAY

PLAN OF LAND
IN
MEDWAY, MA

MAP 1C PARCEL 114

ZONING AR II DISTRICT

OWNER: RUSSELL S. & DOROTHY P. SANTORO
372 VILLAGE STREET
MEDWAY, MA 02053

DATE: MAY 19, 2011

COLONIAL ENGINEERING, INC.
11 AWL STREET
MEDWAY, MA 02053
508-533-1644

MERRIKIN ENGINEERING LLP
730 MAIN STREET (SUITE 2)
MILLIS, MA 02054
508-376-8883

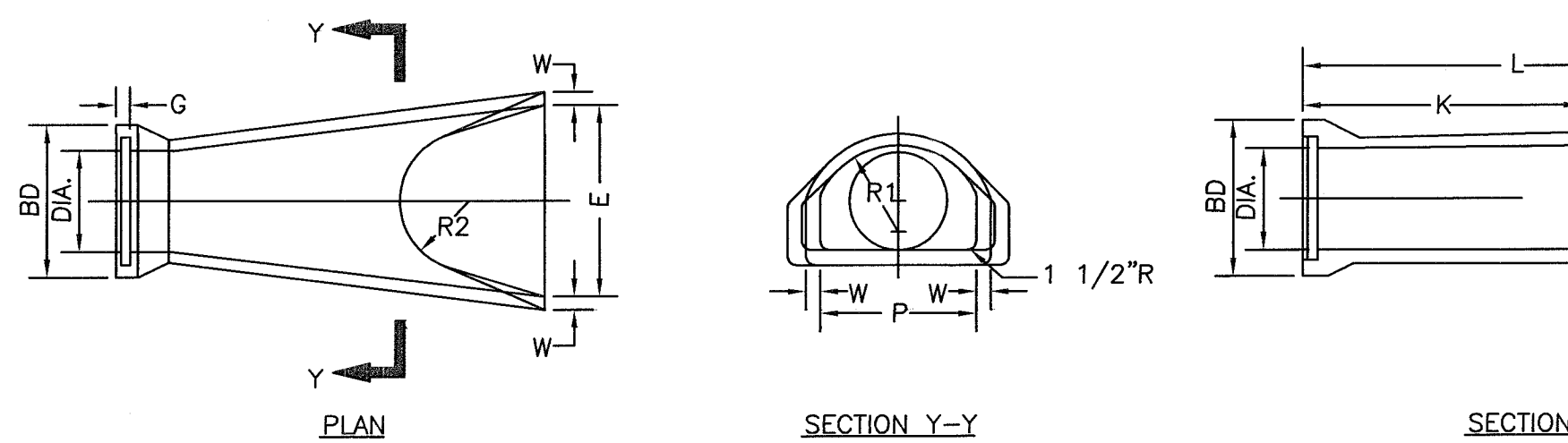
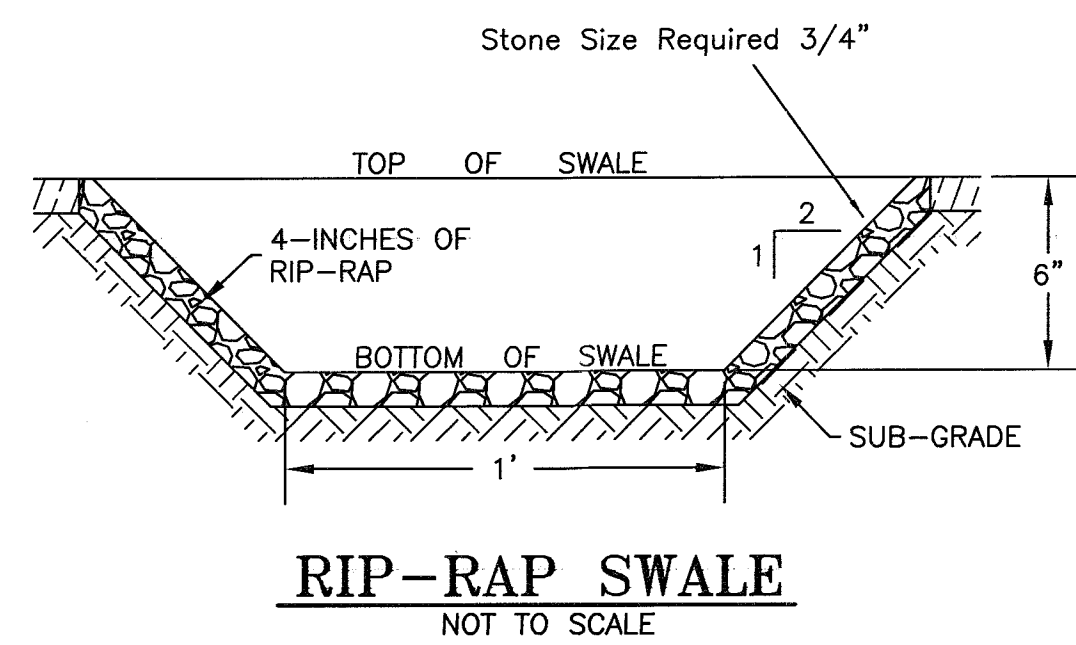
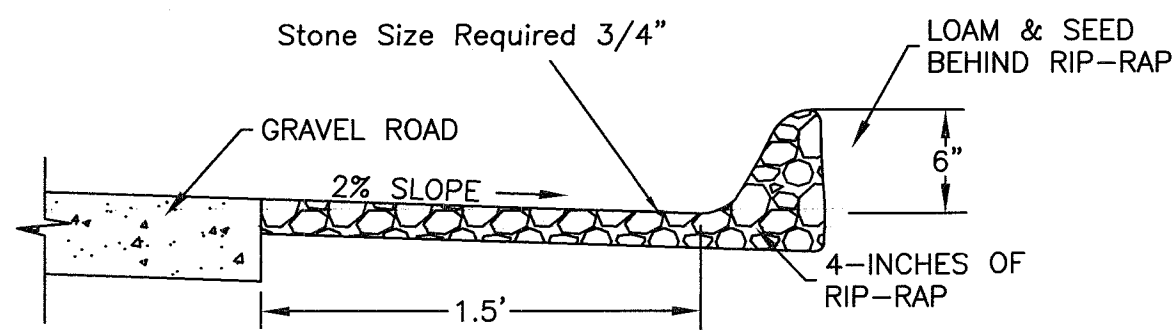
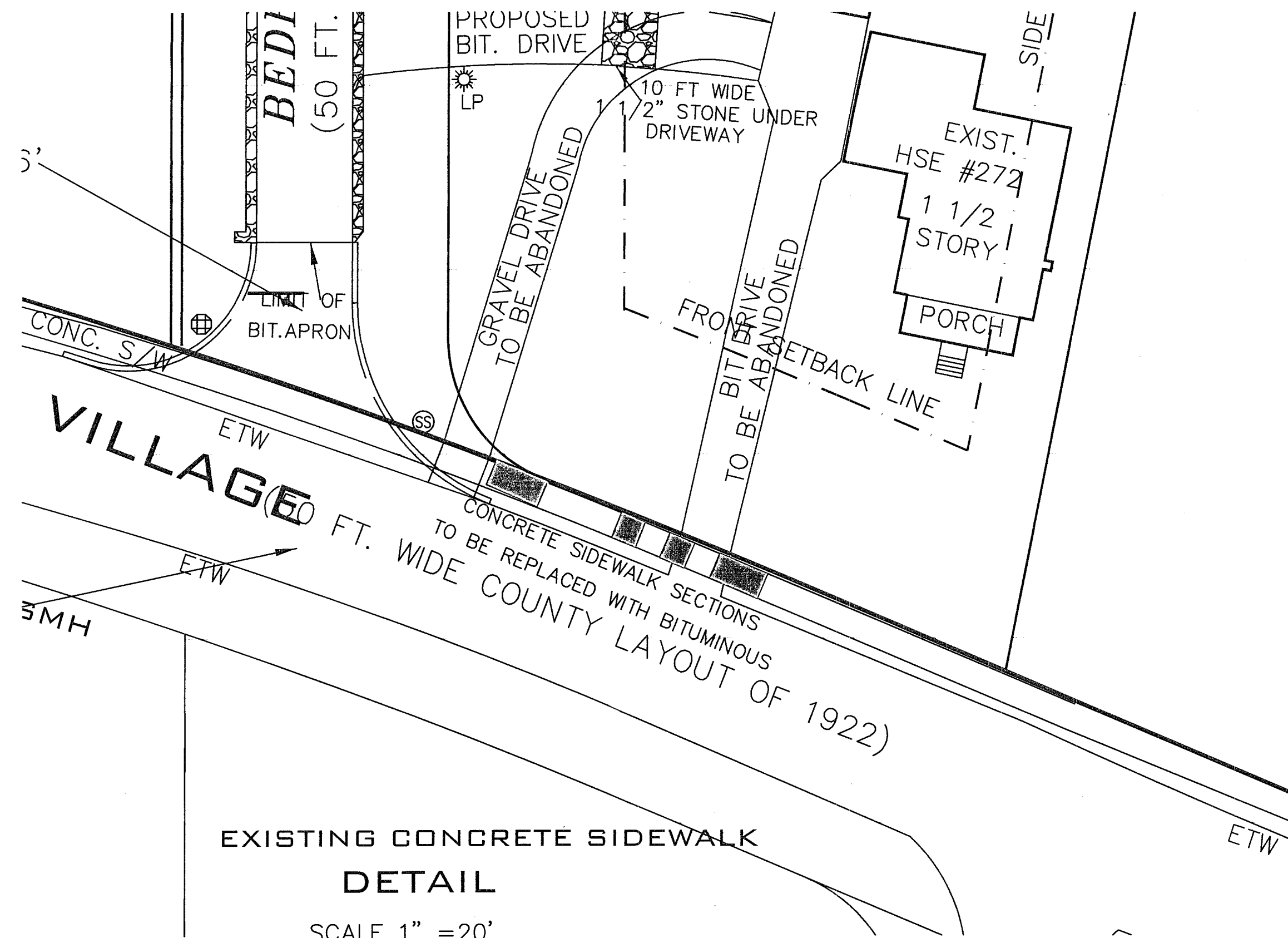
SCALE AS NOTED

DETAIL SHEET

SHEET 7 OF 8

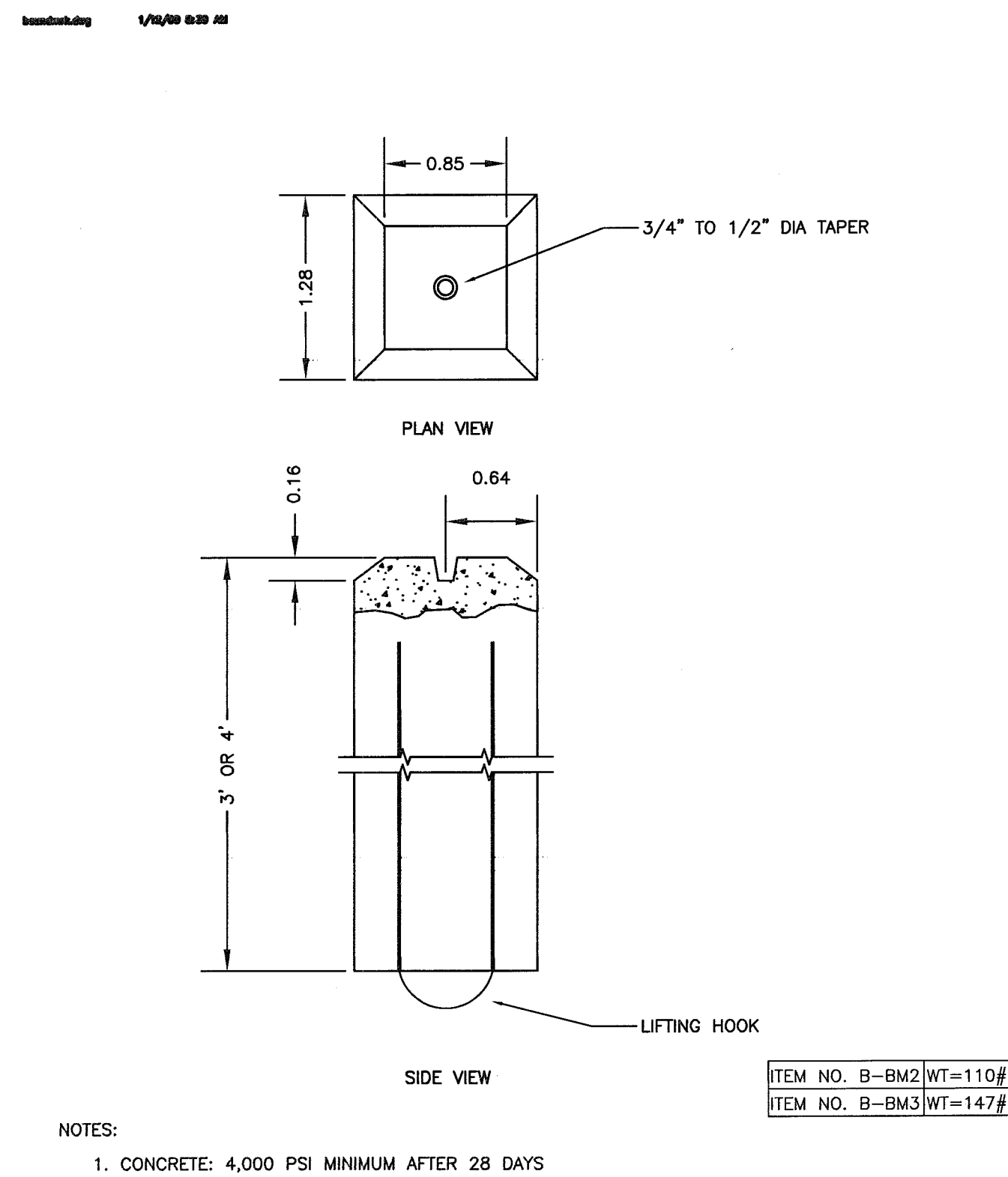
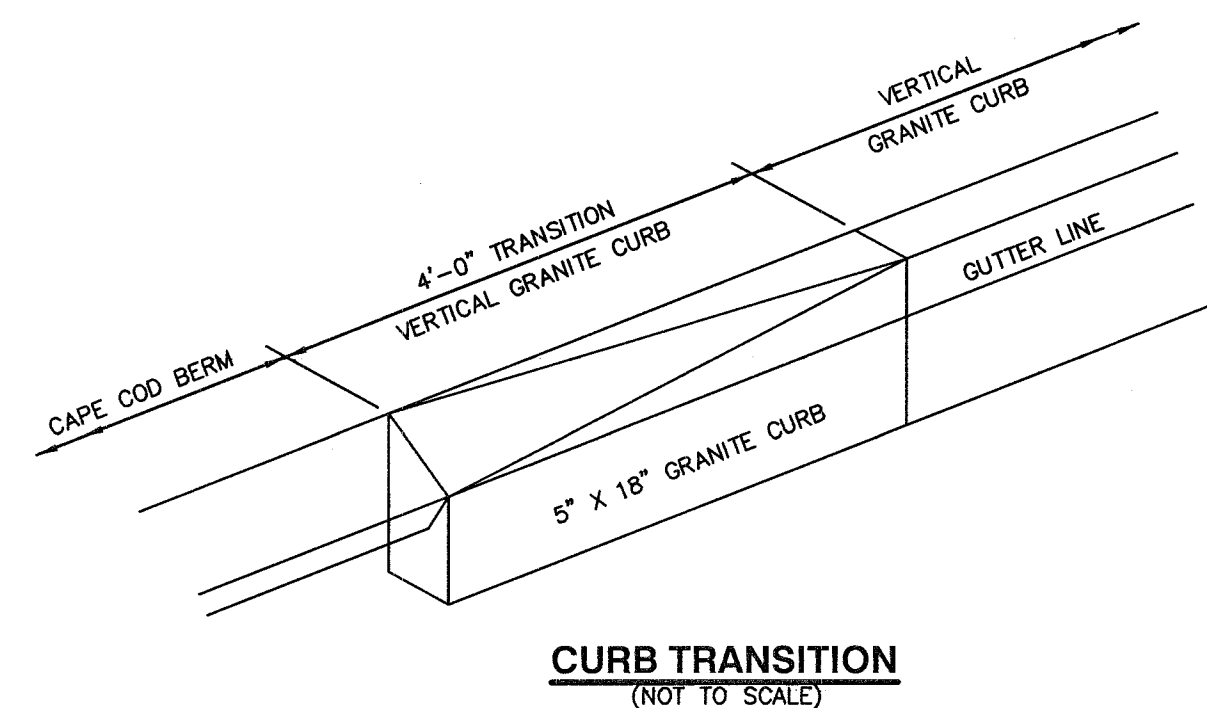
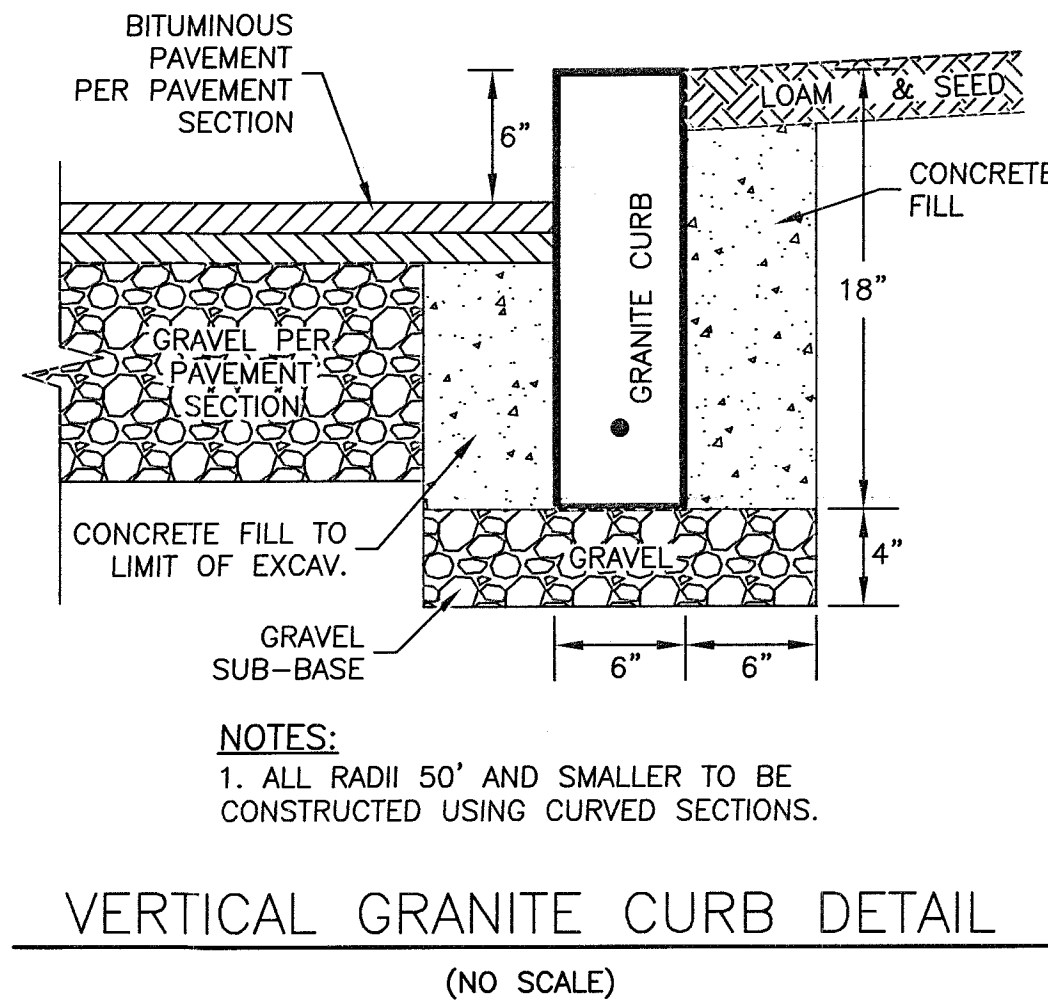
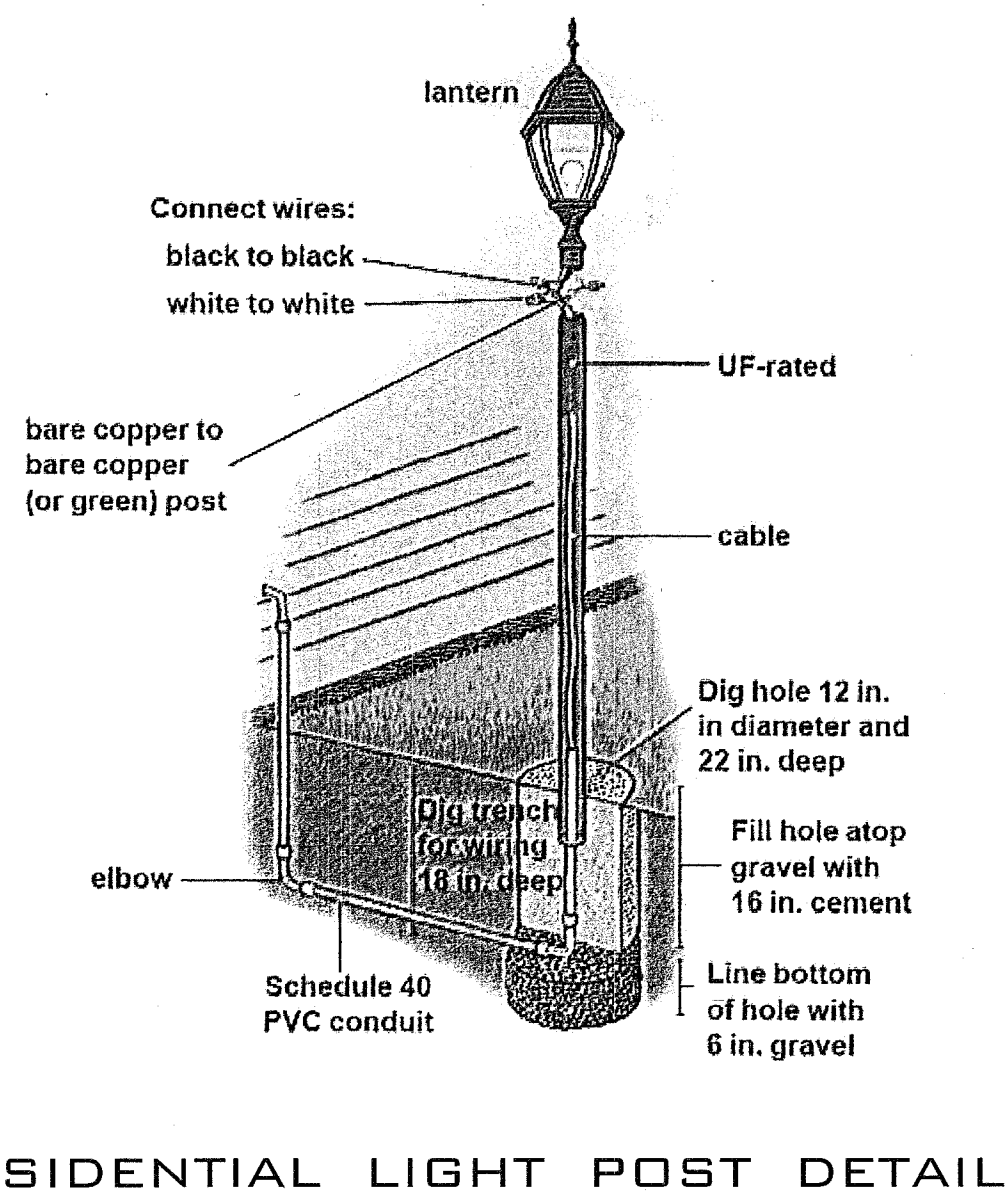
- REVISED DATE: JULY 25, 2011
PER COMMENTS PLANNING BOARD CONSULTANT'S
DATED: JUNE 23, 2011
- REVISED DATE: SEPTEMBER 12, 2011
MOVE ROAD LAYOUT 2 FT.
- REVISED DATE: OCTOBER 6, 2011
ADD WAIVER REQUESTS & REPLACE WATER MAIN
WITH TWO WATER SERVICE LINES
- REVISED DATE: OCTOBER 21, 2011
DRAINAGE SWALE
- REVISED DATE: NOVEMBER 16, 2011
RIP-RAP SWALE & ROAD SHOULDER
- REVISED DATE: JUNE 10, 2015
DECISION REQUIREMENTS

NOTE: PRESENT AND FUTURE OWNERS ARE SUBJECT TO DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE VILLAGE ESTATES SUBDIVISION.

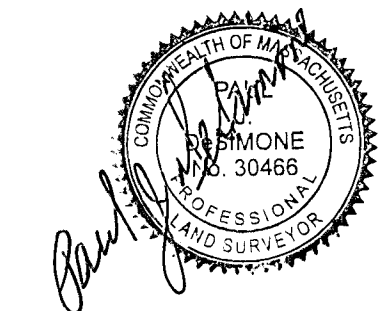


DIA.	W	A	B	C	D	E	BD	K	L	P	DIA. +1	R1	R2	S	G	Slope	
12"	2"	4"	2'-0"	4'-0"	7'-8"	6'-1 3/8"	2'-0"	20"	4'-8 1/8"	6'-4 1/8"	18 15/16"	13"	10 1/8"	9"	4"	2 1/2"	3:1
15"	2 1/4"	6"	2'-3"	3'-10"	6'-1 1/2"	2'-8"	24"	4'-3 11/16"	6'-4 11/16"	24 5/16"	16"	12 1/2"	11"	4"	2 1/2"	3:1	
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	28"	4'-3 7/8"	6'-4 7/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1	
21"	2 3/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	32"	5'-4 5/8"	6'-7 3/8"	31 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1	
24"	3"	9 1/2"	3'-1 1/2"	2'-6"	6'-1"	4'-0"	36"	5'-4 1/2"	6'-8"	33 3/8"	25"	16 13/16"	14"	4"	3"	3:1	

NOTES:
ALTERNATE DETAIL IS AN HDPE PIPE CUT AT 4:1 SLOPE ACTING AS A FLARED END SECTION.



NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: 6/16/15

DATE APPROVED: 11/29/2011
MEDWAY PLANNING BOARD
DATE ENDORSED: 6/23/2015

APPROVED 11/29/2011, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY RUSSELL & DOROTHY SANTORO DATED 6/23/2015, AND TO BE RECORDED HEREWITH.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE: 7/16/15
TOWN CLERK

VILLAGE ESTATES
DEFINITIVE SUBDIVISION
PERMANENT PRIVATE WAY

PLAN OF LAND
IN
MEDWAY, MA

MAP 10 PARCEL 114

ZONING AR II DISTRICT

OWNER: RUSSELL S. & DOROTHY P. SANTORO
372 VILLAGE STREET
MEDWAY, MA 02053

DATE: MAY 19, 2011

COLONIAL ENGINEERING, INC.
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SCALE AS NOTED

DETAIL SHEET

SHEET 8 OF 8

REVISED DATE: JULY 25, 2011
PER COMMENTS PLANNING BOARD CONSULTANT'S
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