

MURPHY INSURANCE AGENCY MODIFICATION OF APPROVED SITE PLAN

PROJECT ADDRESS:
131 & 133 MILFORD STREET
MEDWAY, MA

ASSESSOR'S REFERENCE:
MAP 78, 99-131 (131 MILFORD ST.)
MAP 78, 43-085 (133 MILFORD ST.)

ZONING DISTRICT:
INDUSTRIAL III

SHEET INDEX:

- SHEET 1 - COVER SHEET
- SHEET 2 - EXISTING CONDITIONS PLAN
- SHEET 3 - SITE PLAN
- SHEET 4 - CONSTRUCTION DETAILS
- SHEET 5 - EROSION & SEDIMENTATION CONTROL PLAN

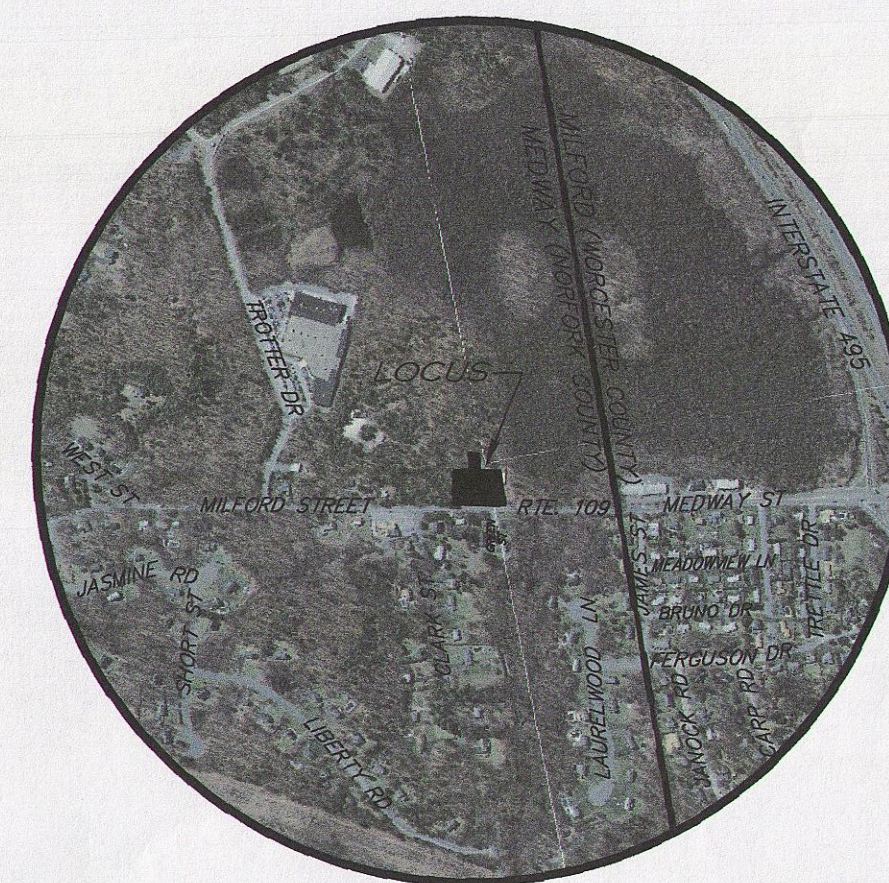
OWNER (131 MILFORD STREET):
MUSTAFA DEMIR &
REYNE CHAREST-DEMIR
131 MILFORD STREET
MEDWAY, MA 01747

OWNER/APPLICANT (133 MILFORD STREET):
DENNIS MURPHY, JR.
50 MAIN STREET
HUDSON, MA 01749

SURVEYOR/ENGINEER:
DAVID E. ROSS ASSOCIATES, INC.
111 FITCHBURG ROAD
P.O. BOX 368
AYER, MA 01432



LOCUS MAP
SCALE: 1" = 300'

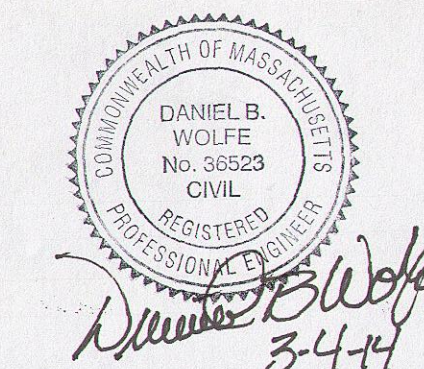


LOCUS MAP
SCALE: 1" = 1000'

NOTE:
MAJOR SITE PLAN APPROVAL WAS GRANTED TO THE APPLICANT FOR THE EXISTING INSURANCE BUILDING AT 133 MILFORD STREET BY THE MEDWAY PLANNING BOARD ON JULY 15, 2008. REFERENCE IS MADE TO THE FOLLOWING:
1. SITE PLANS DATED AUGUST 15, 2008, PREPARED BY DAVID E. ROSS ASSOCIATES, INC. ENTITLED "MURPHY INSURANCE AGENCY SITE PLAN", APPROVED ON JULY 15, 2008 AND ENDORSED ON AUGUST 26, 2008 BY THE TOWN OF MEDWAY PLANNING BOARD.
2. "SITE PLAN DECISION - MURPHY INSURANCE AGENCY SITE PLAN 133 MILFORD STREET", GRANTED BY THE TOWN OF MEDWAY PLANNING BOARD DATED JULY 15, 2008.
3. "CERTIFICATE OF SITE PLAN COMPLETION - MURPHY INSURANCE AGENCY SITE PLAN 133 MILFORD STREET", GRANTED BY THE TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD DATED AUGUST 4, 2009

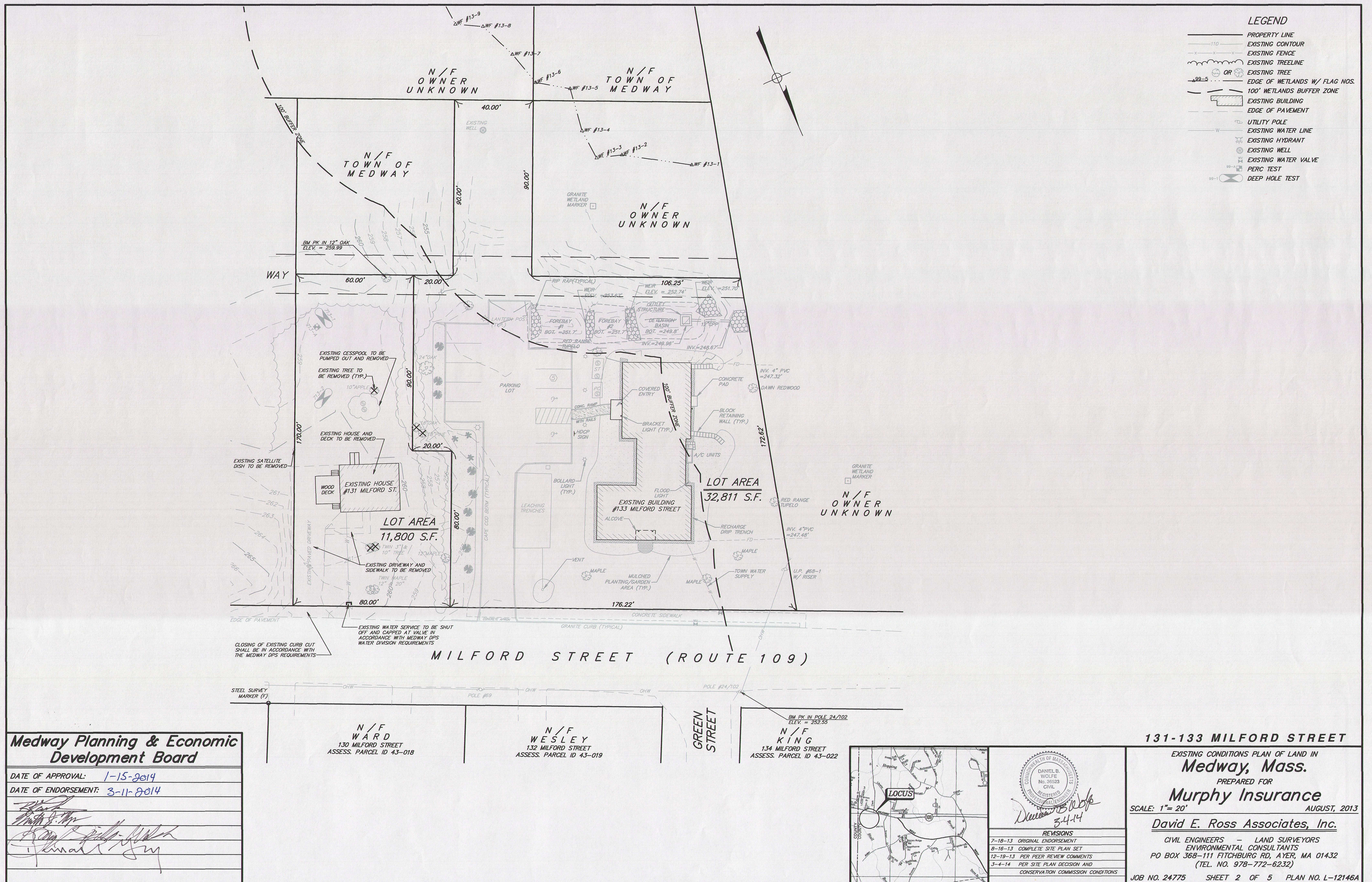
Medway Planning & Economic Development Board	
DATE OF APPROVAL:	1-15-2014
DATE OF ENDORSEMENT:	3-11-2014

REVISIONS	
7-18-13	ORIGINAL ENDORSEMENT
8-16-13	COMPLETE SITE PLAN SET
12-19-13	PER PEER REVIEW COMMENTS
3-4-14	PER SITE PLAN DECISION AND CONSERVATION COMMISSION CONDITIONS



FINAL PLAN REVISION: MARCH 4, 2014

COVER SHEET	
Medway, Mass.	
PREPARED FOR	
Murphy Insurance	
SCALE: 1" = 20'	AUGUST, 2013
David E. Ross Associates, Inc.	
CIVIL ENGINEERS - LAND SURVEYORS ENVIRONMENTAL CONSULTANTS	
PO BOX 368-111 FITCHBURG RD, AYER, MA 01432 (TEL. NO. 978-772-6232)	
JOB NO. 24775	SHEET 1 OF 5 PLAN NO. L-12146A



Medway Planning & Economic Development Board

DATE OF APPROVAL: 1-15-2014

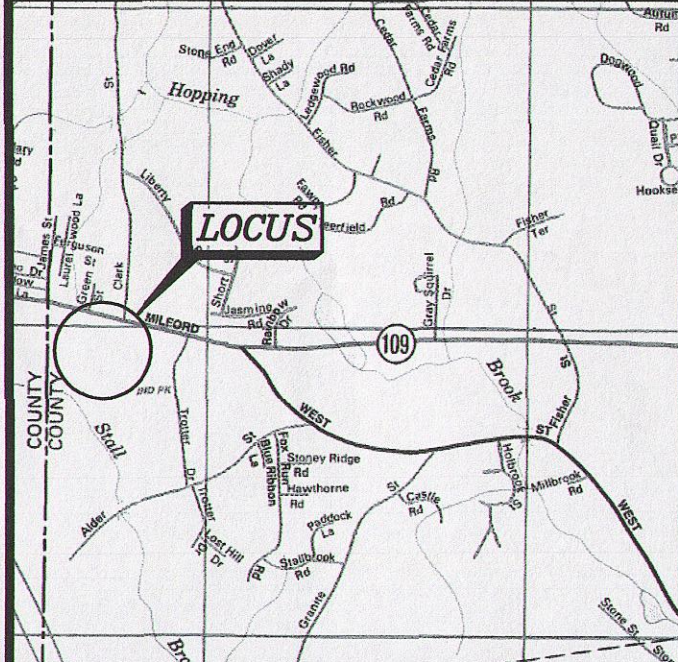
DATE OF ENDORSEMENT: 3-11-2014

[Signatures]

N/F WARD
130 MILFORD STREET
ASSESS. PARCEL ID 43-018

N/F WESLEY
132 MILFORD STREET
ASSESS. PARCEL ID 43-019

N/F KING
134 MILFORD STREET
ASSESS. PARCEL ID 43-022



SEAL: DANIEL B. WOLFE, No. 90283, CIVIL ENGINEER, REGISTERED PROFESSIONAL ENGINEER

[Signature]
3.4.14

REVISIONS

7-16-13	ORIGINAL ENDORSEMENT
8-16-13	COMPLETE SITE PLAN SET
12-19-13	PER PEER REVIEW COMMENTS
3-4-14	PER SITE PLAN DECISION AND CONSERVATION COMMISSION CONDITIONS

131-133 MILFORD STREET

EXISTING CONDITIONS PLAN OF LAND IN
Medway, Mass.

PREPARED FOR
Murphy Insurance

SCALE: 1" = 20' AUGUST, 2013

David E. Ross Associates, Inc.

CIVIL ENGINEERS - LAND SURVEYORS
ENVIRONMENTAL CONSULTANTS
PO BOX 368-111 FITCHBURG RD, AYER, MA 01432
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JOB NO. 24775 SHEET 2 OF 5 PLAN NO. L-12146A

ZONING COMPLIANCE CHART		
ZONING DISTRICT: INDUSTRIAL III		
ZONING CRITERIA	REQUIRED	PROPOSED [1]
LOT AREA	40,000 SQ.FT.	44,611 SQ.FT.
MAX. LOT COVERAGE	40%	7.4%
MIN. LOT WIDTH / FRONTAGE	100 FT.	256.22 FT.
MIN. FRONT / REAR	30 FT.	35 FT. / 43 FT.
YARD SETBACKS		
MIN. SIDE SETBACK	20 FT.	32 FT.
MAX. BUILDING HEIGHT	60 FT.	26 FT.
OFF-STREET PARKING	8 EMPLOYEES=4 SPACES 3,309 S.F. = 4 SPACES 8 SPACES REQUIRED	19 SPACES PROVIDED

[1] PROPOSED CONDITIONS INCLUDES THE PROPERTIES AT 131 AND 133 MILFORD STREET CONSOLIDATED INTO ONE PARCEL.

OBSERVATION TEST HOLE DATA
 SOIL EVALUATOR: ROBERT E. OLIVA, D.E.R.A.
 7/3/13

TH 713-1, ELEV. = 258.2'
 A 0" - 6" 101R 2/3 FSL
 Bw 6" - 34" 101R 4/6 FSL
 B/C 34" - 50" 101R 5/6 FSL
 C 50" - 108" 101R 4/4 COARSE SAND & GRAVEL

MOTTLING @ 42" 7.51R 5/8
 GROUNDWATER @ 108"
 NO REFUSAL
 E.S.H.W.T. AT 42" (255.7')

TH 713-2, ELEV. = 258.7'
 A 0" - 8" 101R 3/3 FSL
 Bw 8" - 24" 101R 5/6 FSL
 B/C 24" - 45" 101R 6/3 FSL
 C 45" - 114" 101R 4/4 COARSE SAND & GRAVEL

MOTTLING @ 40" 7.51R 5/8
 NO GROUNDWATER OBSERVED
 E.S.H.W.T. AT 40" (256.4')

Medway Planning & Economic Development Board

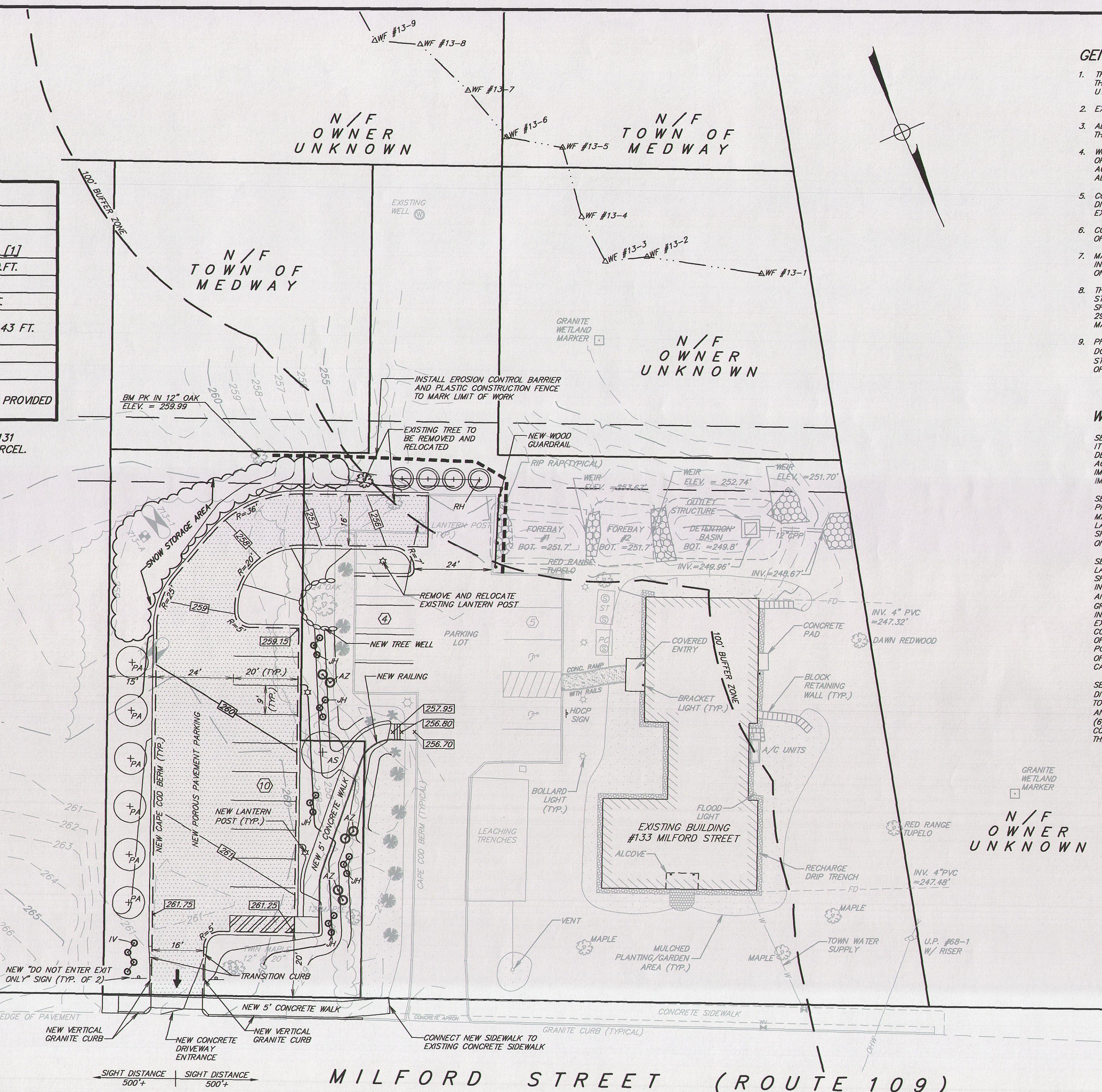
DATE OF APPROVAL: 1-15-2014
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[Signatures]

PLANTING SCHEDULE

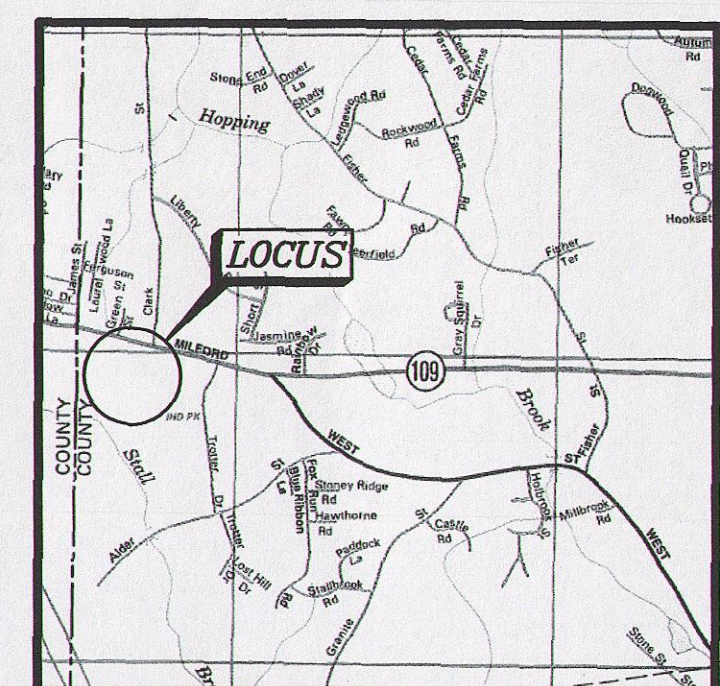
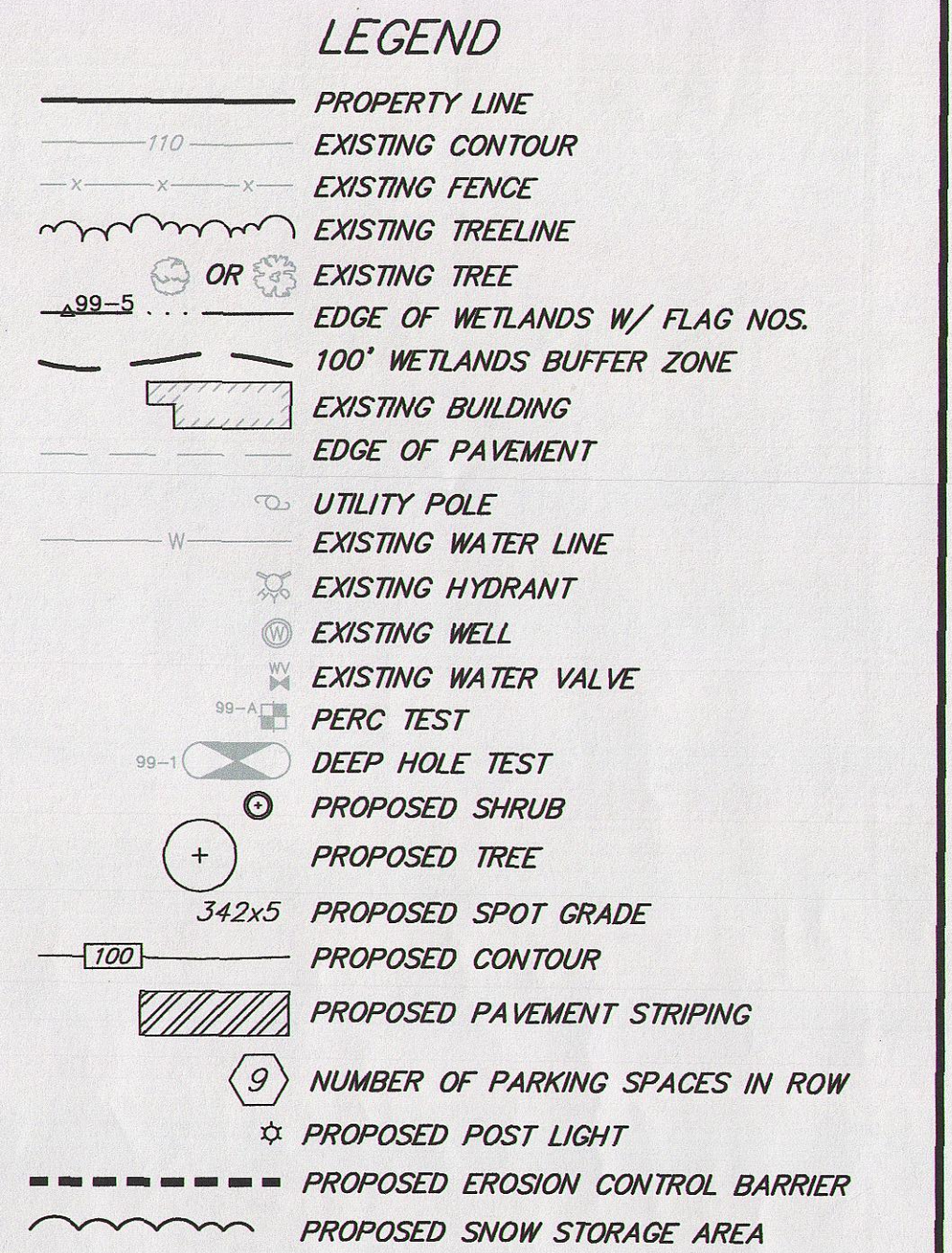
TREES	BOTANICAL NAME	SYMBOL	COMMENTS/SPECIFICATIONS	QUANTITY
Horsey Spruce	Picea abies	PA	8 FL. SINGLE STEM / SPECIMEN, BAB, 15' O.C.	6
Sugar Maple	Acer saccharum	AS	2 1/2" IN. (CAL.)/10' MIN. HT., SINGLE STEM / SPECIMEN, BAB, 8	1

SHRUBS	BOTANICAL NAME	SYMBOL	COMMENTS/SPECIFICATIONS	QUANTITY
Azalea	Azalea	AZ	#3 Pot, 5' O.C.	6
Creeching Juniper	Juniperus horizontalis	JH	#3 Pot, 3' O.C.	15
Virginia Sweet Spire	Itea virginica	IV	3-4 FL. SINGLE STEM / SPECIMEN, BAB	3
Rhododendron	Rhododendron maximum	RH	#3 Pot, 8' O.C.	4



- GENERAL NOTES:**
- THE PLANS DEPICT ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF TOPOGRAPHY AND THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. IS NOT INTENDED OR IMPLIED.
 - EXISTING AND PROPOSED ELEVATIONS SHOWN HEREON REFER TO NAVD83.
 - ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MEDWAY DEPARTMENT OF PUBLIC SERVICES.
 - WORK ASSOCIATED WITH REMOVAL OF THE EXISTING CURB CUT, NEW DRIVEWAY OPENING AND SIDEWALK INSTALLATION WITHIN THE RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE MEDWAY DEPT STREET OPENING PROCESS INCLUDING ADDITIONAL REQUIREMENTS ASSOCIATED WITH A NEWLY PAVED ROADWAY.
 - CONTRACTOR SHALL CALL 1-888-DIG-SAFE (1-888-344-7233) AND OBTAIN A DIG SAFE NUMBER A MINIMUM OF 72 HOURS IN ADVANCE OF SUBSURFACE EXPLORATION OR INITIATION OF CONSTRUCTION AS REQUIRED BY LAW.
 - CONSTRUCTION ACTIVITIES SHALL NOT RESULT IN ANY PROLONGED INTERRUPTION OF UTILITIES OR ACCESS TO ADJACENT SITES.
 - MAJOR SITE PLAN APPROVAL WAS GRANTED TO THE APPLICANT FOR THE EXISTING INDUSTRIAL BUILDING AT 133 MILFORD STREET BY THE MEDWAY PLANNING BOARD ON JULY 15, 2008.
 - THE APPLICANT IS PROPOSING TO COMBINE THE PROPERTY AT 131 MILFORD STREET WITH THE PROPERTY AT 133 MILFORD STREET FOR THE PROPOSED USE SHOWN HEREON. PER THE MEDWAY BUILDING COMMISSIONERS LETTER DATED JULY 28, 2014, THE PROPOSED PROJECT REQUIRES MODIFICATION OF AN APPROVED MAJOR SITE PLAN.
 - PRIOR TO CONSTRUCTION, THE APPLICANT SHALL PROVIDE THE TOWN OF MEDWAY DOCUMENTS NECESSARY TO SHOW THAT THE TWO PARCELS (131 AND 133 MILFORD STREET) HAVE BEEN CONSOLIDATED INTO ONE PARCEL UNDER COMMON OWNERSHIP OF THE APPLICANT.

- WAIVERS REQUESTED:**
- SECTION 204-3(A)(7) - A WRITTEN DEVELOPMENT IMPACT STATEMENT SHALL BE PREPARED. IT SHALL DESCRIBE THE POTENTIAL AND ANTICIPATED IMPACTS OF THE PROPOSED DEVELOPMENT, IDENTIFY ALL POSITIVE AND ADVERSE IMPACTS, AND PROPOSE AN ACCEPTABLE PROGRAM TO PREVENT OR MITIGATE ADVERSE IMPACTS. THE DEVELOPMENT IMPACT STATEMENT SHALL ADDRESS TRAFFIC, ENVIRONMENTAL, COMMUNITY AND PARKING IMPACTS.
- SECTION 204-5(C)(3) - AN EXISTING LANDSCAPE INVENTORY SHALL BE PREPARED BY A PROFESSIONAL LANDSCAPE ARCHITECT LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS. THIS INVENTORY SHALL INCLUDE A MAPPED OVERVIEW OF EXISTING LANDSCAPE FEATURES AND STRUCTURES AND A GENERAL INVENTORY OF MAJOR PLANT SPECIES INCLUDING THE SPECIFIC IDENTIFICATION OF EXISTING TREES WITH A DIAMETER OF ONE (1) FOOT OR GREATER AT FOUR (4) FEET ABOVE GRADE.
- SECTION 204-5(D)(7) - A LANDSCAPE ARCHITECTURAL PLAN SHALL BE PREPARED BY A PROFESSIONAL LANDSCAPE ARCHITECT LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS. THIS PLAN SHALL BE PREPARED AS AN OVERLAY OF THE EXISTING CONDITIONS SHEETS AND SHALL INCORPORATE, WHEREVER POSSIBLE, THE SIGNIFICANT FEATURES OF THE EXISTING SITE AND TOPOGRAPHY, PARTICULARLY EXISTING TREES WITH A DIAMETER OF ONE (1) FOOT OR GREATER AT FOUR (4) FEET ABOVE GRADE. THE LANDSCAPE ARCHITECTURAL PLAN SHALL INDICATE THE AREAS SITED FOR COCAINATION, ANY WOODLANDS, TREES OR OTHER EXISTING SITE FEATURES OR STRUCTURES TO BE RETAINED. ALL NEW PLANTINGS BY COMMON AND LATIN NAME INCLUDING THEIR PROPOSED LOCATIONS AND SIZES AT THE TIME OF INSTALLATION. PLAN GRAPHICS FOR TREE CANOPIES SHALL REFLECT, AS CLOSELY AS POSSIBLE, THE ACTUAL CANOPY DIMENSIONS OF PROPOSED TREE PLANTINGS AT THE TIME OF INSTALLATION WITH A "LESSER" INTENSITY GRAPHIC USED TO REPRESENT POTENTIAL CANOPY AT MATURITY.
- SECTION 205-9(C) - LANDSCAPING/PARKING AREAS - INTERNAL LANDSCAPE PLANTED DIVISIONS (ISLANDS AND PENINSULAS) SHALL BE CONSTRUCTED WITHIN ALL PARKING LOTS TO PROVIDE SHADING AND BUFFERING. AT LEAST ONE DECIDUOUS TREE OF A MINIMUM TWO AND ONE HALF (2 1/2) INCHES CALIPER IN DIAMETER SHALL BE PROVIDED FOR EVERY SIX (6) PARKING SPACES. ONLY TREES PROVIDING SHADE TO THE PARKING AREA SHALL BE LOCATED AS MEETING THIS REQUIREMENT. THIS REQUIREMENT MAY BE WAIVED IN LIEU OF THE PRESERVATION OF EXISTING TREES SUBJECT TO APPROVAL BY THE PLANNING BOARD.



REVISIONS

NO.	DATE	DESCRIPTION
7-18-13		ORIGINAL DEVELOPMENT
8-16-13		COMPLETE SITE PLAN SET
12-19-13		PER TREE REVIEW COMMENTS
3-4-14		PER SITE PLAN DECISION AND CONSERVATION COMMISSION CONDITIONS

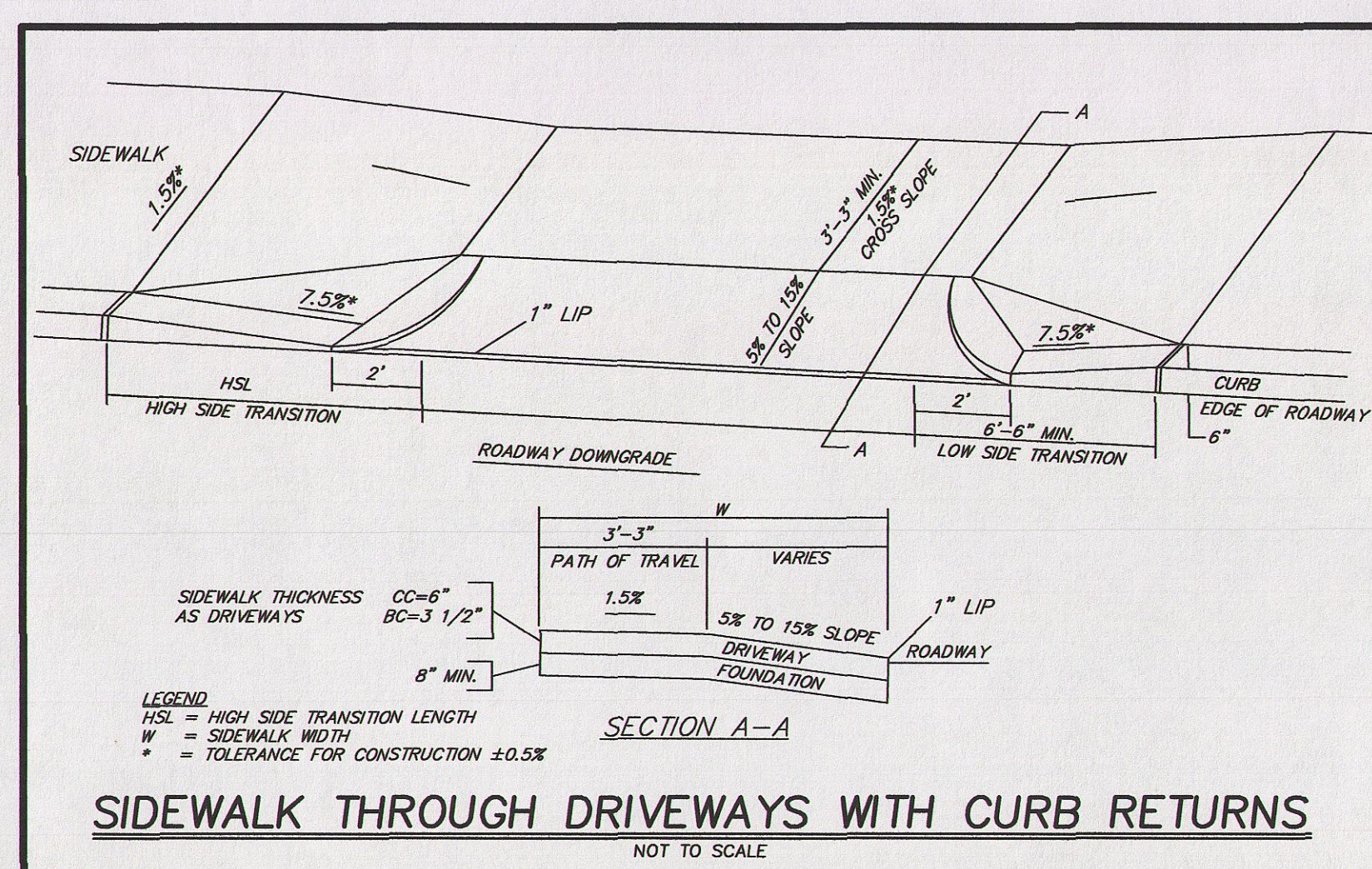
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 5-4-14

131-133 MILFORD STREET

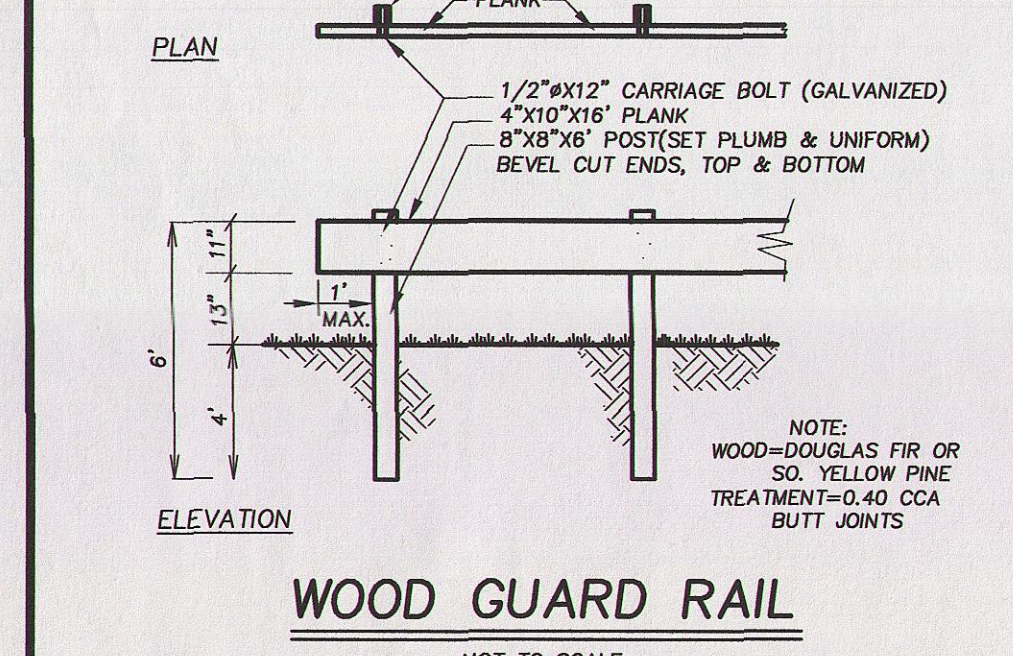
SITE PLAN OF LAND IN
Medway, Mass.
 PREPARED FOR
Murphy Insurance
 SCALE: 1" = 20' AUGUST, 2013

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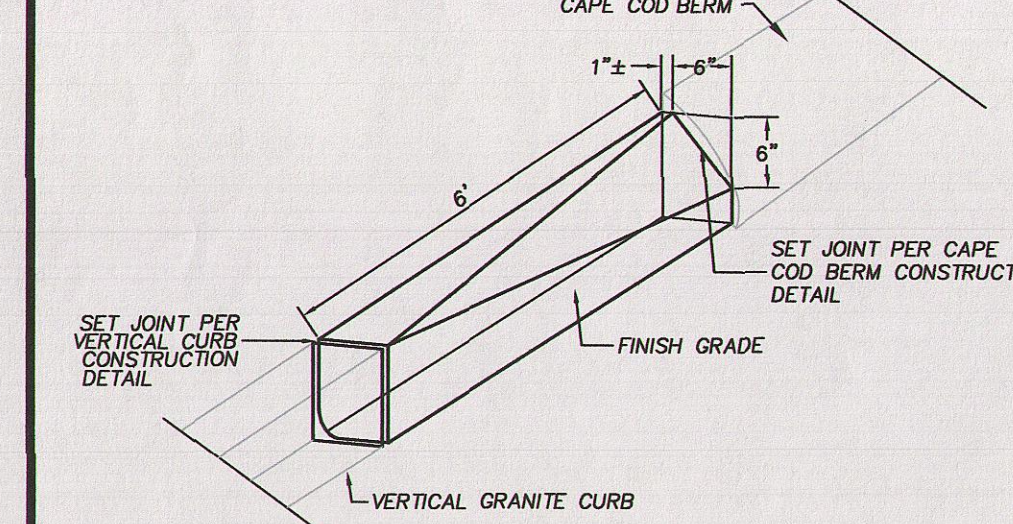
JOB NO. 24775 SHEET 3 OF 5 PLAN NO. L-12146A



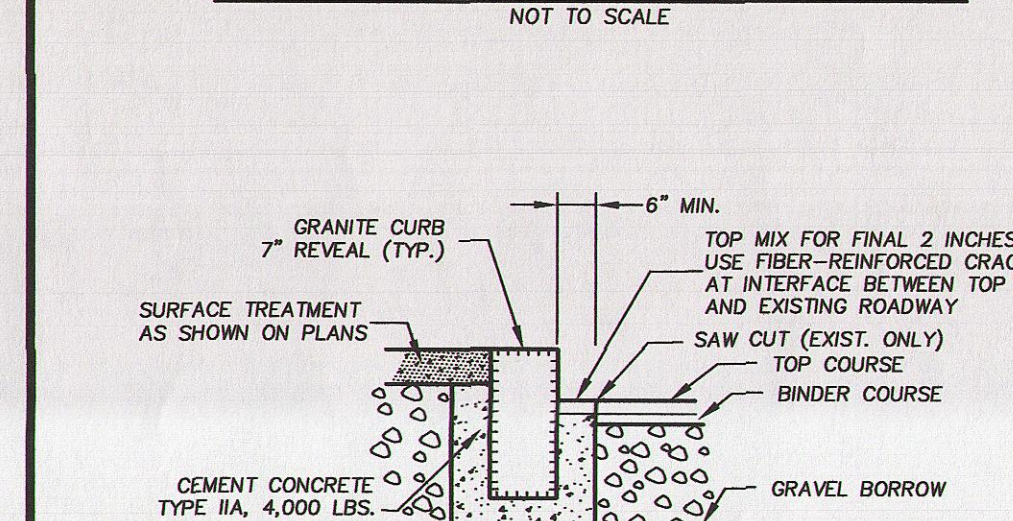
SIDEWALK THROUGH DRIVEWAYS WITH CURB RETURNS
NOT TO SCALE



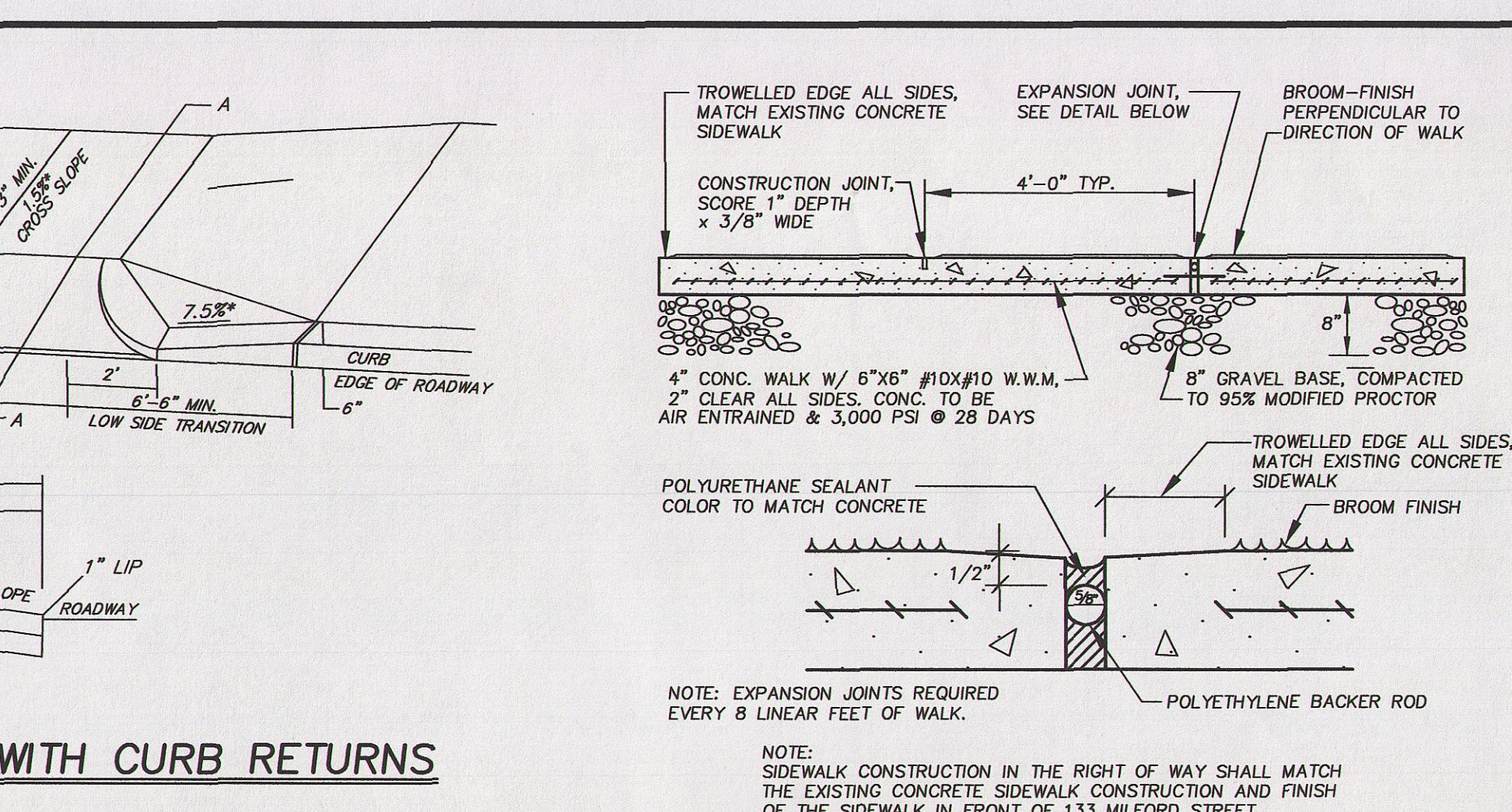
WOOD GUARD RAIL
NOT TO SCALE



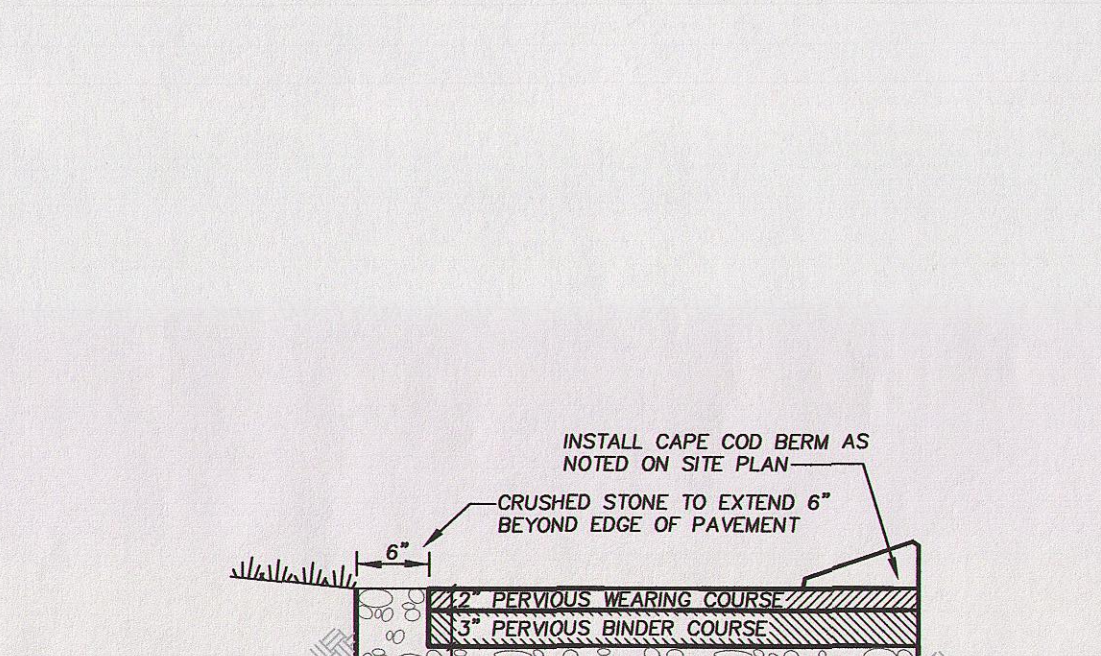
VERTICAL TRANSITION CURB
NOT TO SCALE



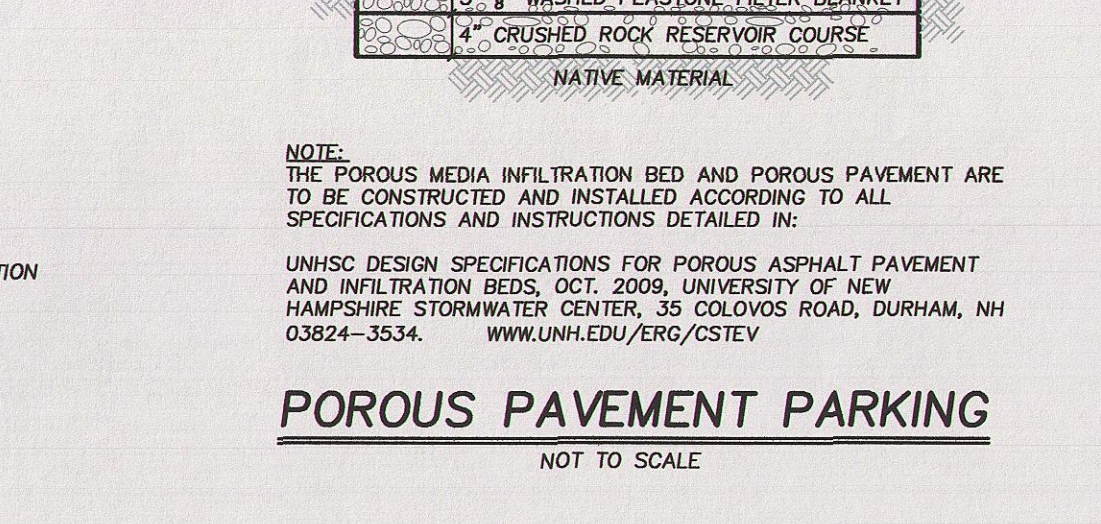
VERTICAL GRANITE CURB
NOT TO SCALE



CONCRETE WALKWAY DETAIL
NOT TO SCALE



POROUS PAVEMENT PARKING
NOT TO SCALE



MODIFIED CAPE COD BERM
NOT TO SCALE

Medway Planning & Economic Development Board

DATE OF APPROVAL: 1-15-2014

DATE OF ENDORSEMENT: 3-11-2014

[Signatures]

TYPICAL SITE SIGN
NOT TO SCALE

1. ALL SURFACES TO BE PRIMED & PAINTED MEETING MASS. HIGHWAY DEPT. STANDARDS

2. SIGN CONSTRUCTION & MATERIALS TO CONFORM TO MHD SSB, SECTION 84.0, AND M.E.15.3

3. SIGN TYPES REQUIRED: DO NOT ENTER - EXT ONLY

4. TWO PIECE RIVET 13/16\"/>

5. SIGN TYPE AS REQUIRED UNLESS SYMBOLS REQUIRED WITH TEXT

6. 1/2\"/>

7. 2\"/>

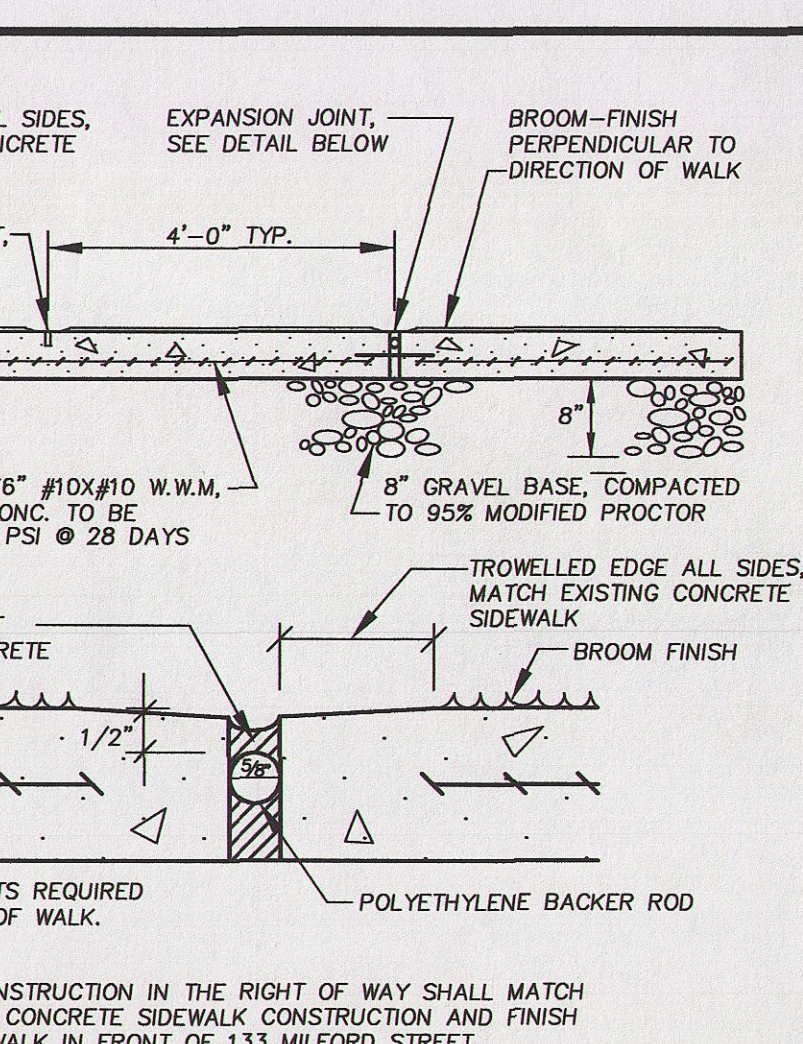
8. 3,000 PSI CONC. UNREINFORCED. FOUNDATION SET ON UNDISTURBED SUBGRADE.

9. ATTACH (2) 1/2\"/>

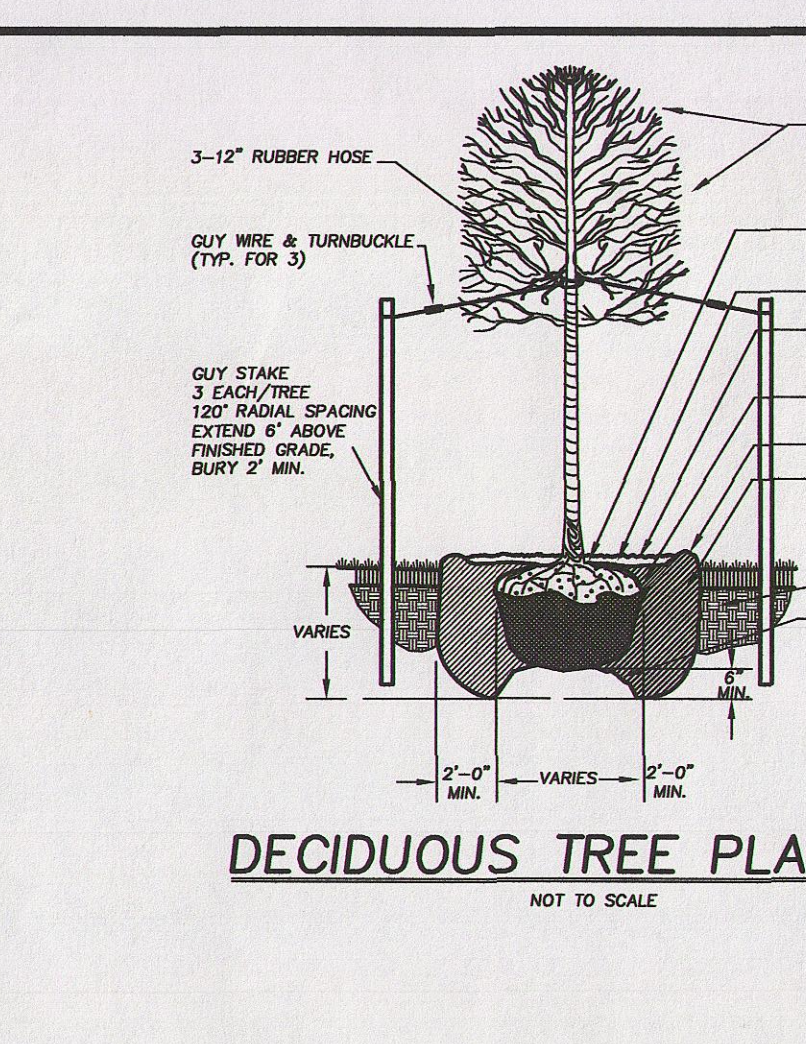
10. BREAK-AWAY BASE TOP 4\"/>

11. SURFACE TREATMENT AS REQUIRED

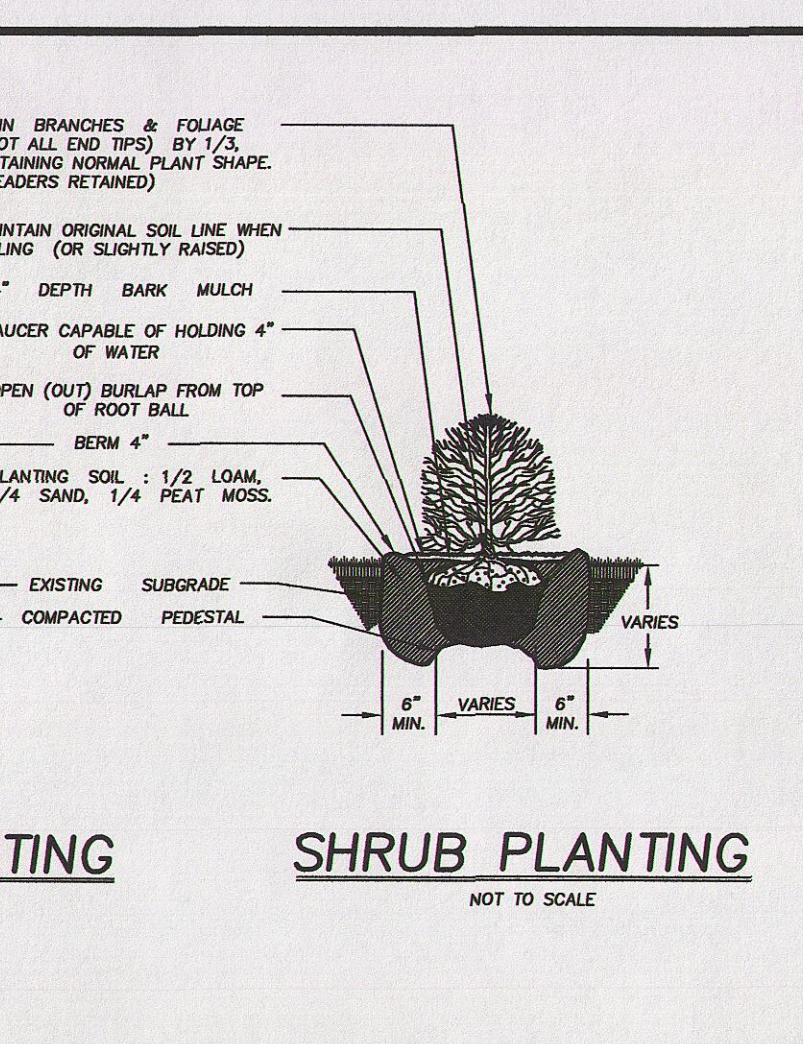
12. 6\"/>



DECIDUOUS TREE PLANTING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



Granville Mini

Architectural Outdoor

LEAF HOUSING

MAXIMUM WEIGHT: Leaf Housing 22 lbs. Simple Housing 11 lbs. Maximum Effective Projected Area - All sq. ft.

INSTALLATION: The leaf housing manual provided with each luminaire as to the specific method of wiring and mounting the luminaire.

FINISH: The luminaire is finished with polyester powder paint applied after a seven stage pretreatment process to ensure maximum durability.

WARRANTY: The luminaire is warranted for one year for a maximum of 10,000 hours of use.

HAMILTON Series
10\"/>

Cast Aluminum Posts extruded shafts

ORDERING GUIDE: HAMILTON Series - Cast Aluminum Posts

SHAFT OPTIONS: 4\"/>

ANCHORAGE GUIDE: 5\"/>

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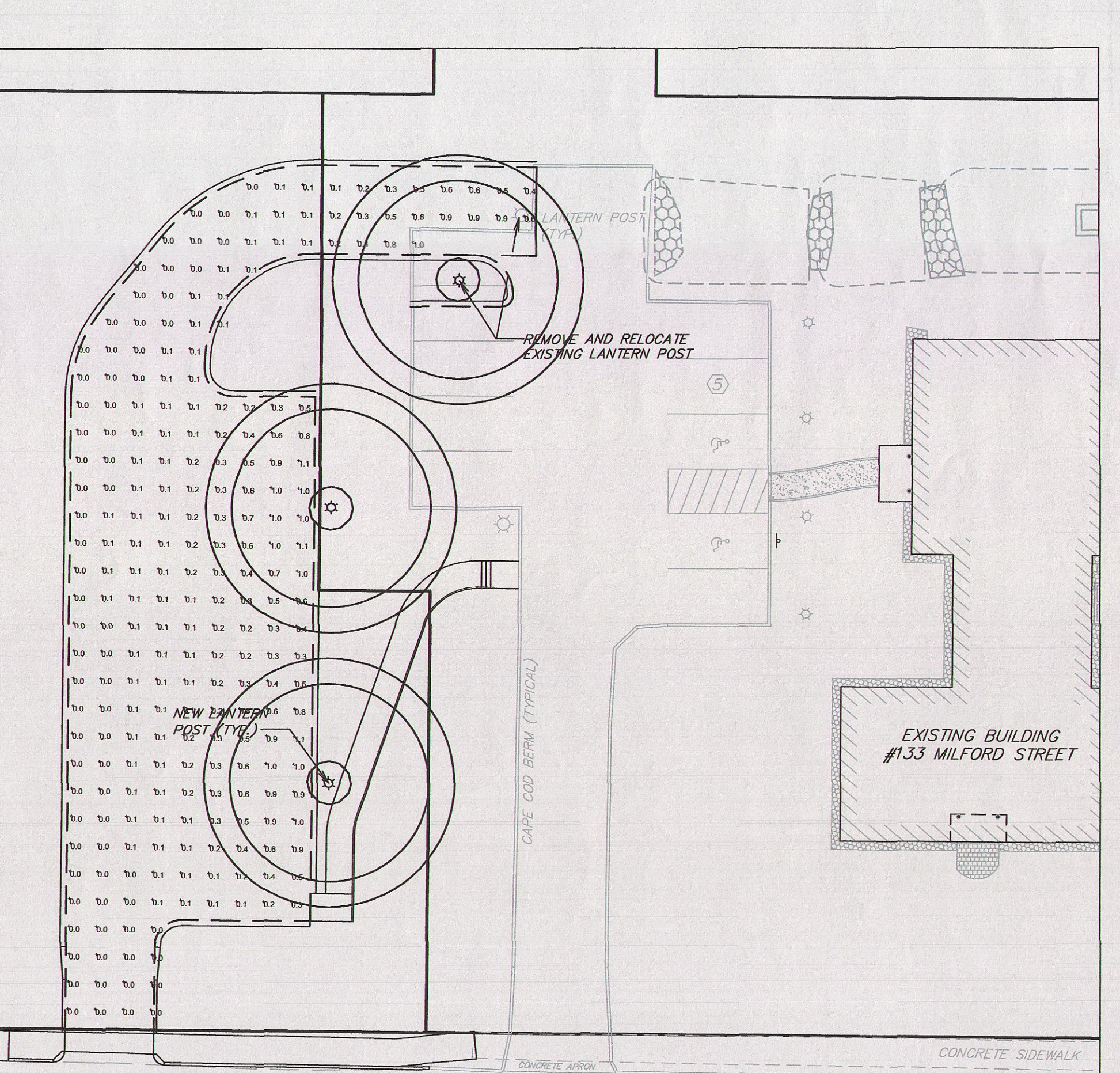
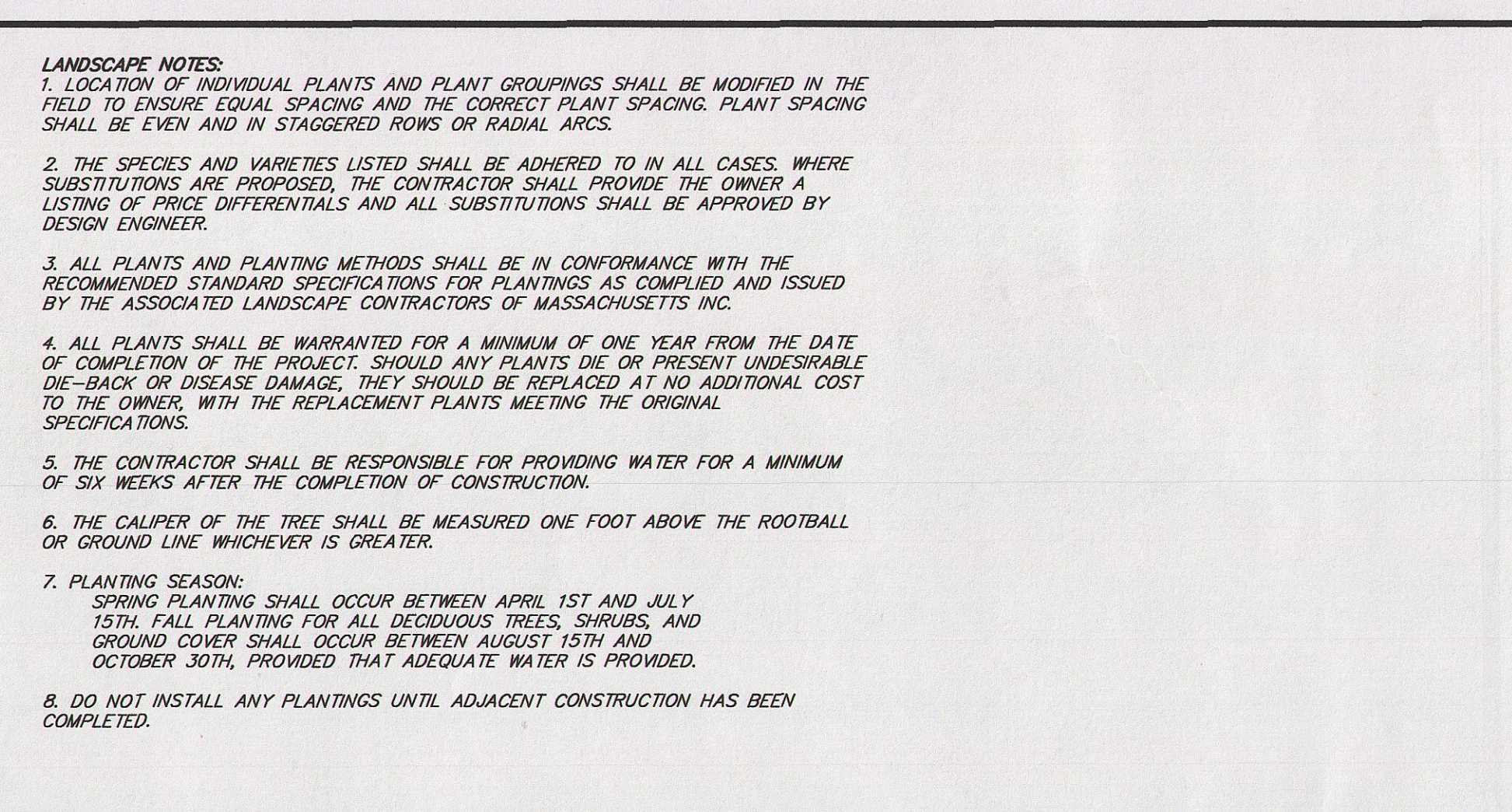
HAMILTON Series
10\"/>

Cast Aluminum Posts

ORDERING GUIDE: HAMILTON Series - Cast Aluminum Posts

SHAFT OPTIONS: 4\"/>

ANCHORAGE GUIDE: 5\"/>



131-133 MILFORD STREET

CONSTRUCTION DETAILS

Medway, Mass.

PREPARED FOR

Murphy Insurance

SCALE: 1"=20'

AUGUST, 2013

David E. Ross Associates, Inc.

CIVIL ENGINEERS - LAND SURVEYORS
ENVIRONMENTAL CONSULTANTS
PO BOX 368-111 FITCHBURG RD, AYER, MA 01432
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JOB NO. 24775 SHEET 4 OF 5 PLAN NO. L-12146A

STORM WATER POLLUTION PREVENTION AND EROSION & SEDIMENTATION CONTROL PLAN

EROSION CONTROL MEASURES:

1. THE CONTRACTOR AND PROPERTY OWNER SHALL BE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS, ANY ORDERS OF CONDITIONS ISSUED BY THE MEDWAY CONSERVATION COMMISSION AND ANY SPECIAL CONDITIONS ISSUED BY THE MEDWAY PLANNING BOARD.
2. THE MOST IMPORTANT ASPECTS OF CONTROLLING EROSION AND SEDIMENTATION ARE LIMITING THE EXTENT OF DISTURBANCE AND STABILIZING SURFACES AS SOON AS POSSIBLE. OF SECONDARY IMPORTANCE IN EROSION CONTROL IS LIMITING THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA TO THE WORK SITE AND DRAINAGE STRUCTURES. THESE FUNDAMENTAL PRINCIPLES SHALL BE THE KEY FACTORS IN THE CONTRACTOR'S CONTROL OF EROSION ON THE SITE.
 3. ALL DISTURBED SURFACES SHALL BE STABILIZED A MINIMUM OF 14 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE HAS CEASED OR IS TEMPORARILY HALTED UNLESS ADDITIONAL CONSTRUCTION IS INTENDED TO BE INITIATED WITHIN 21 DAYS.
 4. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL DEVICES ON-SITE. ALL EROSION CONTROL DEVICES SHALL BE REGULARLY INSPECTED. ANY SEDIMENTS REMOVED FROM THE CONTROL DEVICES SHALL BE DEPOSITED ON THE UPLAND SIDE OF THE EROSION CONTROL LINE.
 5. AT NO TIME SHALL SILT-LOADED WATER BE ALLOWED TO ENTER SENSITIVE AREAS (BUFFER ZONE, WETLANDS, OFF-SITE AREAS AND DRAINAGE SYSTEMS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREA.

GENERAL CONSTRUCTION REQUIREMENTS:

1. ANY WORK PERFORMED IN THE PUBLIC RIGHT-OF-WAY, WHICH INCLUDES NON-PAVED AREAS, REQUIRES A STREET OPENING & ROADWAY ACCESS PERMIT ISSUED BY THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC SERVICES.
2. ANY REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT BE CONDUCTED IN PROXIMITY TO DRAINAGE SYSTEM COMPONENTS OR INSIDE OF ANY 100 FOOT BUFFER ZONE TO ANY WETLAND.
3. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING BUILDING MATERIALS IS ALLOWED ON THE SITE.
4. NO MATERIALS SHALL BE DEPOSITED OF INTO ANY WETLAND BUFFER ZONE, WETLANDS OR EXISTING OR PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS INCLUDING CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO THE BUFFER ZONE OR WETLANDS.
5. NO EQUIPMENT OR MATERIAL STORAGE, OR STOCKPILING OF MATERIALS SHALL TAKE PLACE WITHIN THE 100' BUFFER ZONE TO THE WETLANDS.
6. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL WHICH SHALL INCLUDE STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, AS NEEDED.
7. ALL SITE WORK SHALL BE STABILIZED AT THE END OF THE WORK DAY OR PRIOR TO ANTICIPATED CONDITIONS WHICH COULD CAUSE EROSION OR AIRBORNE SEDIMENT PROBLEMS (I.E., RAIN, HIGH WINDS, EXPOSED SURFACES OR STEEP SLOPES).
8. SITE OPERATIONS IN THE AREA OF DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER TO MAINTAIN OR CREATE GRADES AND SURFACES WHICH SLOPE AWAY FROM ADJACENT PROPERTIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THAT MILFORD STREET IS KEPT CLEAR OF CONSTRUCTION RELATED DEBRIS. ALL MATERIALS TRACKED ONTO MILFORD STREET SHALL BE PROMPTLY REMOVED.
10. CONSTRUCTION MATERIALS SHALL BE PILED IN SUCH A MANNER AS NOT TO CONCENTRATE RUNOFF.
11. SIDE SLOPES SHALL NOT EXCEED A SLOPE OF TWO-FOOT HORIZONTAL TO ONE-FOOT VERTICAL IN CUT OR THREE-FOOT HORIZONTAL TO ONE-FOOT VERTICAL IN FILL.
12. CONSTRUCTION ACTIVITIES SHALL NOT RESULT IN ANY PROLONGED INTERRUPTION OF UTILITIES OR ACCESS TO ADJACENT SITES.
13. PRIOR TO THE START OF CONSTRUCTION, THE EXISTING OFF-SITE AREAS AND MILFORD STREET CONDITIONS (DRAINAGE, PAVEMENT, VEGETATION) SHOULD BE INSPECTED AND THEIR CONDITIONS NOTED AND/OR PHOTOGRAPHED.
14. PRIOR TO INITIATING ANY CONSTRUCTION OR SITE DISTURBANCE WITHIN ANY 100 FT. WETLANDS BUFFER ZONE, A NOTICE OF INTENT OR A REQUEST FOR DETERMINATION MUST BE FILED WITH THE MEDWAY CONSERVATION COMMISSION. THE COMMISSION MUST ISSUE AN ORDER OF CONDITIONS OR A DETERMINATION PRIOR TO THE START OF CONSTRUCTION.
15. FIVE DAYS PRIOR TO INITIATING ANY WORK WITHIN THE MILFORD STREET RIGHT-OF-WAY OR ANY WORK THAT COULD IMPACT TRAFFIC FLOW AND PUBLIC SAFETY, THE MEDWAY POLICE DEPARTMENT SHALL BE NOTIFIED TO EMERGE. SPEEDING VIOLATIONS SHALL BE PROVIDED AS REQUIRED BY THE POLICE DEPARTMENT AT THE EXPENSE OF THE DEVELOPER.
16. AN EROSION AND SEDIMENTATION CONTROL PLAN IS INCLUDED AS PART OF THIS CONSTRUCTION DOCUMENT. THIS PLAN DESCRIBES THE MINIMUM METHODS TO BE USED DURING ALL SITE CONSTRUCTION TO AVOID DAMAGE OR ALTERATIONS TO SENSITIVE (WETLAND TRIBUTARY OR OFF-SITE) AREAS.
17. THE MEDWAY FIRE CHIEF SHALL BE NOTIFIED OF ALL PROPOSED BLASTING, IF REQUIRED. ALL BLASTING SHALL BE PERFORMED BY A LICENSED BLASTER IN ACCORDANCE WITH COMMONWEALTH OF MASSACHUSETTS AND TOWN OF MEDWAY REGULATIONS.
18. OWNER ACCEPTS RESPONSIBILITY FOR WORK AND MATERIALS WITHIN THE SCOPE OF THIS PLAN.
19. UNLESS OTHERWISE SHOWN OR SPECIFIED, ALL WORK, MATERIALS AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS HIGHWAY DEPARTMENT'S STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION, TOWN OF MEDWAY REQUIREMENTS, AND INDIVIDUAL UTILITY COMPANY REQUIREMENTS.
20. ALL UTILITY WORK, MATERIALS AND APPURTENANCES SHALL ALSO BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
21. THE CONTRACTOR SHALL CALL 1-888-680-SAFE (1-888-344-7333) AND OBTAIN A DIG SAFE NUMBER AS REQUIRED BY LAW.
22. AT NO TIME SHALL HEAVY EQUIPMENT ENTER THE WETLAND RESOURCE AREA.

PRE-CONSTRUCTION:

1. PRIOR TO CONSTRUCTION, AN EROSION CONTROL BARRIER (STRAW BALES, SILT FENCE, AND PLASTIC CONSTRUCTION FENCE) SHALL BE INSTALLED TO LIMIT THE AREA OF DISTURBANCE. THESE BARRIERS SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. THE EROSION CONTROL BARRIERS AS SHOWN ON THE SITE PLAN ARE THE MINIMUM REQUIRED TO PROTECT THE WET AREAS.
2. A TEMPORARY STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED TO PREVENT TRACKING OF SILT, MUD, ETC. ONTO MILFORD STREET. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LOADED. THE CONSTRUCTION ENTRANCE SHALL BE LEFT IN PLACE UNTIL THE UNDER PAVEMENT SURFACE IS INSTALLED.
3. THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO SILT FENCE, MULCH TUBES AND CRUSHED STONE.
4. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED ON THE PLANS OR IN THE ORDERS OF CONDITIONS.

PRELIMINARY SITE WORK:

1. GRUBBING AND STRIPPING ON SLOPES LEADING TO ANY WETLANDS, EXISTING OR PROPOSED DRAINAGE SYSTEM SHALL NOT OCCUR DURING PERIODS OF HEAVY RAIN.
2. ROUGH GRADING OF THE SITE SHOULD BE CONDUCTED IN SUCH A MANNER AS TO MAINTAIN OR CREATE GRADES SLOPING AWAY FROM SENSITIVE AREAS AND INTO TEMPORARY SETTLING BASINS WHEREVER POSSIBLE.
3. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWNSLOPE SIDE OF THE PILLS IF THE PILLS ARE TO REMAIN MORE THAN THREE WEEKS.
4. STOCKPILES SHALL BE LOCATED AS NEEDED, WITHIN THE LIMITS OF DISTURBANCE, IN AREAS OF MINIMAL IMPACT. IF A STOCKPILE IS LOCATED ON A SLOPE, THE RUNOFF SHALL BE DIRECTED AWAY FROM THE PILE. STOCKPILES SHALL BE CONTAINED WITHIN EROSION CONTROL DEVICES.
5. NO SOIL OR LOAM SHALL LEAVE THE SITE EXCEPT IN ACCORDANCE WITH THE TOWN OF MEDWAY REGULATIONS.
6. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL SILT FENCES, MULCH TUBES OR ARMORED DRESKS SHALL BE UTILIZED. ADDITIONAL TEMPORARY SETTLING BASINS ARE REQUIRED, LOCATED WITHIN THE DISTURBED AREA, TO MINIMIZE THE TRIBUTARY AREAS.

DRAINAGE SYSTEM:

1. THE DRAINAGE SYSTEM SHALL BE INSTALLED FROM THE DOWNSTREAM END UP. SEDIMENT SILT, NOT BE ALLOWED TO ENTER THE SYSTEM.
2. RIP RAP SHALL BE INSTALLED AT THE PIPE INLETS AND OUTLETS IMMEDIATELY UPON PLACEMENT OF THE PIPE. SILT FENCES SHALL BE INSTALLED AT THE OUTFALLS OF THE INFILTRATION BASIN. THEY SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY AREAS ARE STABILIZED.
3. DRAINAGE SYSTEM PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE).
4. WATER SHALL NOT BE ALLOWED TO ENTER PIPES FROM UNSTABILIZED SURFACES.
5. THE DRAINAGE SYSTEM SHALL REMAIN CLOSED DURING SITE CONSTRUCTION. BASE MATERIAL SHOULD BE PLACED AS SOON AS POSSIBLE AND SHOULD NOT BE SETBACK TO THE TIME OF PAVING. CAREFUL CONSIDERATION SHOULD BE GIVEN TO RUNOFF PATTERNS DURING THIS PERIOD AND TEMPORARY CONTROL DEVICES SHOULD BE ERRECTED OR CONSTRUCTED AS REQUIRED.
6. IMMEDIATELY FOLLOWING PAVING, THE SHOULDERS SHALL BE GRADED, LOANED AND SEEDED AND MULCHED IF NECESSARY. ALL SURFACES SHOULD BE RAPIDLY AND THOROUGHLY STABILIZED TO THEIR FINAL CONDITION TO AVOID ENTRY OF SEDIMENTS INTO THE DRAINAGE SYSTEM.
7. AT THE COMPLETION OF WORK, THE DRAINAGE SYSTEM SHALL BE OPENED AND INSPECTED. ANY FOREIGN MATERIAL PRESENT SHALL BE REMOVED.

UTILITIES:

1. CARE SHALL BE TAKEN TO ASSURE THAT THE UTILITY TRENCHES DO NOT CHANNELIZE RUNOFF TOWARDS SENSITIVE AREAS.
2. TRENCH EXCAVATIONS SHALL BE LIMITED TO THE MINIMUM LENGTH REQUIRED FOR DAILY UTILITY INSTALLATION. ALL TRENCHES SHALL BE BACKFILLED AS SOON AS POSSIBLE.
3. THE ABANDONMENT OF WATER LINES AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE MEDWAY DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
4. EXISTING SEWAGE DISPOSAL SYSTEMS TO BE PUMPED OUT AND BACKFILLED WITH CLEAN GRAVEL FILL PER TOWN OF MEDWAY BOARD OF HEALTH REGULATIONS.
5. UNDERGROUND UTILITIES SHALL HAVE A COLOR CODE IDENTIFICATION TAPE PLACED A MINIMUM OF 12" ABOVE THE PIPE OR CONDUIT AND NOT CLOSER THAN 12" FROM THE FINISHED GRADE. TAPE SHALL BE 6" WIDE, DURABLE, NON-Biodegradable PLASTIC. ALL BACKFILL MATERIAL AROUND PIPE OR CONDUIT SHALL HAVE NO STONES GREATER THAN 2".
6. THE PLANS DEPICT ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF TOPOGRAPHY AND THE ABSENCE OF SURFACE STRUCTURES, UTILITIES, ETC. IS NOT INTENDED OR IMPLIED. ANY UTILITIES AND/OR THE LOCATION OF UTILITIES SHALL PROMPTLY BE REPORTED BY THE CONTRACTOR TO THE DESIGN ENGINEER.

LANDSCAPING

1. LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
2. CONTRACTOR SHALL UTILIZE A VARIETY OF SLOPE STABILIZATION METHODS AND MATERIALS, WHICH SHALL BE ADJUSTED TO THE SITE CONDITIONS. EROSION CONTROL, BLANKETS OR MARI MIKAMAI (OR SIMILAR PRODUCTS) SHALL BE AVAILABLE ON SITE.
3. IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH HAY, TACKLED WOOD CHIPS OR OTHER METHODS SHALL BE PROVIDED.
4. SEED APPLICATIONS SHALL BE IN ACCORDANCE WITH THE GRASS AND SLOPE COVER SPECIFICATIONS.
5. TO ENSURE A DENSE, SUCCESSION GROWTH, SEED MIXTURE TYPE "C" IS REQUIRED ON ALL DISTURBED SURFACES, EXCEPT WHERE LAWN AREA IS PROPOSED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SUFFICIENT WATER AND/OR IRRIGATION FOR A MINIMUM OF TWO WEEKS FROM THE DATE OF PLANTING OF TREES AND AS REQUIRED TO OBTAIN THE MINIMUM STANDARDS FOR LAWN SURFACE STABILIZATION. SEE GRASS AND SLOPE COVER SPECIFICATIONS.

GRASS AND SLOPE COVER SPECIFICATIONS:

1. ALL DISTURBED AREAS INCLUDING SHALL BE GRADED AND STABILIZED BY PLANTING OR OTHER METHOD AS SHOWN OR SPECIFIED ON THE PLANS.
2. A MINIMUM OF 4" OF LOAM SHALL BE APPLIED TO ALL SURFACES TO BE SEEDED. LOAM SHALL BE UNIFORMLY APPLIED, SHAPED AND SMOOTHED.
3. LOAM ADDITIV SHALL BE CHECKED AND ADJUSTED TO A PH OF 6.5. APPLY LIME AT A MINIMUM RATE OF 50 LBS. PER 1,000 SQUARE FEET, IF NECESSARY (IF FORTIFIED BY THE ORDERS OF CONDITIONS ONLY).
4. ORGANIC-SLOW RELEASE FERTILIZER OF A TYPE 5-2-2 APPLIED AT A RATE OF 50 LBS. PER 500 SQUARE FEET (IF PERMITTED BY THE ORDERS OF CONDITIONS ONLY, IF APPLICABLE).
5. RAKE A SEED BED USING A YORK RAKE OR HAND RAKING TO A MINIMUM DEPTH OF 3" THOROUGHLY INCORPORATING LIME AND FERTILIZER.
6. SEEDING MAY BE PERFORMED BY HAND OR BY MECHANICAL OR TRACTOR MOUNTED SPREADER. HYDROSEEDING IS RECOMMENDED.
7. AREAS SEEDED BEFORE APRIL 15 OR AFTER NOVEMBER 1 SHALL BE REAPPLIED BETWEEN THE AFORESAID DATES IF A MINIMUM SEEDING OF 50% DETERMINED BY SURFACE AREA COVERAGE HAS NOT OCCURRED OR IF THE SURFACE AREA HAS ERODED OR BECOME UN-STABILIZED.

SEEDING:

1. HAND SEEDING:
 - A. SEED SHALL BE APPLIED BY HAND OR BY BROADCAST SPREADER, TO PROVIDE A UNIFORM DISTRIBUTION OF SEED.
 - B. SEED SHALL BE LIGHTLY RAKED INTO A DEPTH OF 1/2" - 1", WITH ALL RAKING TO BE PERPENDICULAR TO THE SLOPE.
 - C. SEED IS TO BE ROLLED WITH A WATER BALLAST ROLLER TO ENSURE CONTACT OF SEED WITH SOIL, DO NOT COMPACT SOIL.
 - D. AREA SHALL BE MULCHED USING SEED-FREE STRAW TO ADEQUATELY COVER THE AREA TO A DEPTH OF 1/2" - 1", ENSURING A UNIFORM COVER OF 75% OF THE SURFACE AREA.
 - E. MULCH SHALL BE SECURED BY MEANS OF SECURED LANDSCAPE FABRIC, EROSION CONTROL NETTING (3/4"-1" MESH), OR OTHER BIODEGRADABLE MATERIAL WHICH WILL ENSURE ADEQUATE COVER UNTIL THE SURFACE HAS GROWN TO BOND SEEDS OR ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
2. HYDROSEEDING:
 - A. HYDROSEEDING IS ENCOURAGED FOR ALL AREAS, ESPECIALLY FOR LARGE AREAS AND STEEP SLOPES.
 - B. HYDROSEEDING SHALL BE PERFORMED IN A SINGLE UNIFORM LAYER.
 - C. A TRUCK EQUIPPED MACHINE SHALL TRAVEL PERPENDICULAR TO ANY SLOPE TO PROVIDE COMPACTED SURFACE DEPRESSIONS FOR HYDROSEEDING TO CATCH. SUCH TRACKS SHALL BE A MINIMUM OF THREE (3) FEET ON CENTER FOR THE TOTAL LENGTH OF THE SLOPE.
 - D. APPLICATION RATES ON SLOPES GREATER THAN 3% (HORIZONTAL TO VERTICAL) SHALL HAVE A MINIMUM SEEDING RATE OF 4 LBS. / 1000 S.F.
 - E. A LATEX OR PNEUMATIC TIRE SHALL BE USED ON ALL AREAS AT THE RATES RECOMMENDED BY THE MANUFACTURER AND ON ALL SLOPES IDENTIFIED ABOVE (NO. 4). A MINIMUM RATE OF 50 LBS. OF "ADDER" PER 500 GALS. OF WATER SHALL BE USED.
 - F. FERTILIZER AND LIME MAY BE INCORPORATED INTO THE HYDROSEED MIXTURE IN THE QUANTITIES AND TYPE IDENTIFIED PREVIOUSLY (IF PERMITTED BY THE ORDERS OF CONDITIONS ONLY).
3. SEED MIXTURE:
 - A. SEED MIXTURE TYPE "C": SEED MIXTURES FOR SLOPED AREAS SHALL CONSIST OF A STANDARD CONSERVATION MIX CONFORMING TO THE RECOMMENDATIONS OF THE U.S. NATURAL RESOURCES SERVICES GUIDELINES (FORMERLY THE SOIL CONSERVATION SERVICE, SCS) AND SHALL CONFORM TO THE FOLLOWING STANDARDS:

MINIMUMS (BY TOTAL WEIGHT OF MIX):
20% ANNUAL RYE
10% RED TOP FESCUE
10% WHITE CLOVER
2% LAIMA CLOVER
2% CROWN VETCH
 - B. NO MORE THAN 40% OF THE TOTAL MIX, BY WEIGHT, SHALL CONSIST OF ANNUAL RYE OR OTHER ANNUAL SPECIES. APPLY AT A RATE OF 4 LBS. PER 1,000 SQUARE FEET.
 - C. ALL SEED SHALL BE OF THE PREVIOUS YEAR'S CROP AND SHALL HAVE A QUANTIFIED MIXTURE ANALYSIS ATTACHED, NO MORE THAN 10% OF TOTAL MIXTURE SHALL CONSIST OF WEED SEED SPECIES.

STORMWATER MANAGEMENT, OPERATIONS & MAINTENANCE SCHEDULE

STORM WATER COLLECTION SYSTEM:

IN ADDITION TO THE EXISTING SEDIMENT FOREBASIS AND INFILTRATION BASIN ON THE SITE, THE STORMWATER COLLECTION AND MANAGEMENT FOR THE PROPOSED ADDITIONAL PARKING AREA IS PERFORMED BY A POROUS PAVEMENT SYSTEM. RUNOFF PASSES THROUGH VOID SPACES IN THE PAVEMENT AND IS STORED IN A RESERVOIR OF CRUSHED ROCK, SLOWLY INFILTRATING INTO THE GROUND. STORMWATER TREATMENT OCCURS IN A FILTER COURSE OF POORLY GRADED SAND.

CONSTRUCTION:

1. TO PREVENT THE INFILTRATION SURFACE, RESERVOIR, AND PAVEMENT FROM BECOMING CLOGGED WITH SOIL, THE PARKING AREA IS TO BE CONSTRUCTED AFTER SUBSTANTIAL GRADING AND LANDSCAPING OF THE SITE IS COMPLETED.
2. THE INSTALLATION OF A POROUS PAVEMENT SYSTEM REQUIRES THE USE OF SKILLS AND TECHNIQUES DOES NOT HAVE EXPERIENCE WORKING WITH POROUS PAVEMENT SYSTEMS, REVIEWING AVAILABLE INFORMATION AND OBTAINING TRAINING IS MANDATED.
3. THE UNIVERSITY OF NEW HAMPSHIRE HAS PUBLISHED SPECIFICATION AND GUIDANCE FOR THE INSTALLATION OF POROUS PAVEMENT SYSTEMS. THESE STANDARDS, REFERENCED BELOW, ARE INCORPORATED AS A PART OF THIS PLAN:
 - UNH/HC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS, UNIVERSITY OF NEW HAMPSHIRE STORMWATER CENTER, GREGG HALL, 35 COLLEYS ROAD, DURHAM NEW HAMPSHIRE 03824-3034. WWW.UNH.EDU/PER/CS/VEV.

MONITORING AND OPERATION:

1. THE DRAINAGE SYSTEMS ARE REQUIRED TO BE MONITORED BY THE OWNER, WHO SHALL DIRECT AN INDIVIDUAL DUTY TO ACT AS THE PROJECT SITE MANAGER. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER MANAGEMENT REGULATIONS, MONITORING AND OPERATION DURING CONSTRUCTION AS WELL AS THROUGHOUT THE LIFE OF THE SYSTEM SHALL CONSIST OF THE FOLLOWING:
 1. ALL EROSION CONTROL DEVICES, STOCKPILE AREAS, AND STAGING AREAS SHALL BE INSPECTED AND MAINTAINED IN GOOD WORKING CONDITION THROUGHOUT THE ENTIRE PROJECT.
 2. ALL OUTLETS FROM EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS TO SEE THAT NO EROSION IS OCCURRING. ALL OUTLETS MUST BE FREE FLOWING AND REGULAR INSPECTIONS SHALL BE CONDUCTED TO DETERMINE THAT NO DAMAGE HAS OCCURRED DURING CONSTRUCTION OR RELATED ACTIVITIES.
 3. PRIOR TO COMPLETION, THE PARKING AREA IS TO BE INSPECTED AND VACUUM SWEEP.
 4. ALL MATERIALS USED IN THE CONSTRUCTION OF THE SITE MUST BE STORED IN A NEAT AND ORDERLY MANNER IN STAGING AREAS LOCATED OUTSIDE OF ANY 100' BUFFER ZONES. SPILLS OF TOXIC OR HAZARDOUS MATERIAL MUST BE REPORTED TO THE APPROPRIATE STATE, LOCAL OR FEDERAL AGENCIES AS REQUIRED BY LAW.
 5. LUBRICATION AND REFUELING OF VEHICLES MAY NOT BE PERFORMED WITHIN THE 100' BUFFER ZONE, WITHIN THE ZONE 1 RADIUS OF A PUBLIC WATER SUPPLY WELL, OR IN AN AREA PAVED WITH POROUS PAVEMENT.
 6. THE CONSERVATION COMMISSION SHALL BE CONSULTED PRIOR TO THE INITIATION OF ANY REPAIRS INVOLVING THE USE OF HEAVY EQUIPMENT OR DISTURBANCE WITHIN THE 100 FT. WETLAND BUFFER ZONE. A REQUEST FOR DETERMINATION OF APPLICABILITY OR NOTICE OF INTENT MAY BE REQUIRED.
 7. UPON COMPLETION OF CONSTRUCTION THE STORMWATER DRAINAGE SYSTEM SHALL BE INSPECTED AND CLEANED OF ANY MATERIAL THAT MAY BE INHERENT FLOW OF THE STORMWATER.

OPERATIONS:

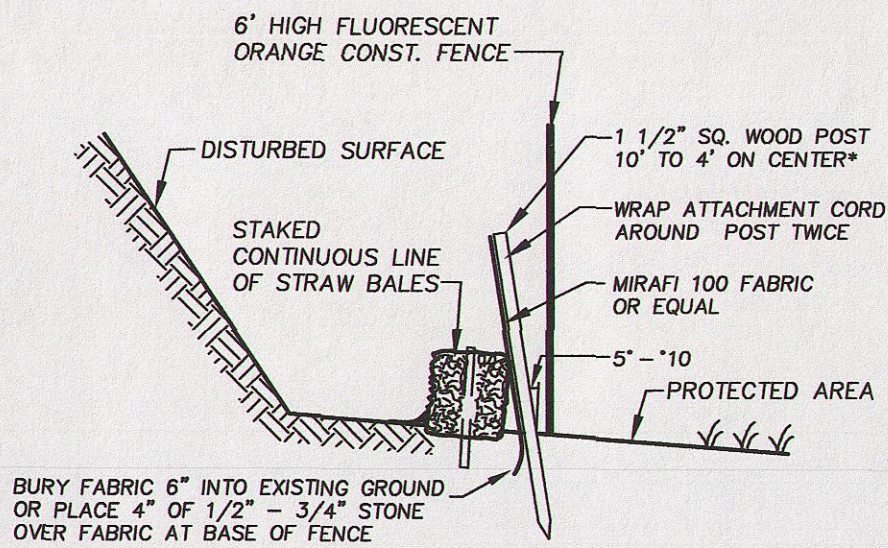
1. ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER.
2. PETROLEUM PRODUCTS:
 - A. ON-SITE VEHICLES AND STAGING AREAS SHALL BE REGULARLY MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO PREVENT LEAKAGE.
 - B. PETROLEUM PRODUCTS SHALL BE STORED UNDER COVER AND SHALL BE IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
3. FERTILIZERS:
 - A. FERTILIZERS SHALL ONLY BE USED IN THE MINIMUM AMOUNTS AS RECOMMENDED BY THE MANUFACTURER.
 - B. THE CONTENTS OF ANY UNUSED FERTILIZER SHALL BE TRANSFERRED TO A CLEARLY LABELED, SEALABLE PLASTIC BIN, TO AVOID SPILLAGE.
4. SPILLS OF TOXIC OR HAZARDOUS MATERIAL OR NATURE WILL BE REPORTED TO THE APPROPRIATE STATE, LOCAL OR FEDERAL AGENCY AS REQUIRED BY LAW.

MAINTENANCE:

1. POROUS PAVEMENT AREAS ARE TO BE INSPECTED REGULARLY AND TRASH AND DEBRIS REMOVED PROMPTLY.
2. GRASS CLIPPINGS, MULCH, LOAM, SAND, AND OTHER LOOSE MATERIALS MAY NOT BE STORED ON POROUS PAVEMENT UNLESS PLACED ON TOP OF A TARP.
3. ADJACENT LANDSCAPE AREAS ARE TO BE KEPT WELL MAINTAINED TO PREVENT SOIL FROM BEING TRANSPORTED ONTO THE POROUS PAVEMENT.
4. AT MINIMUM, PARKING AREA IS TO BE VACUUM SWEEP ONCE IN THE FALL AFTER THE LEAVES HAVE FALLEN AND ONCE IN THE SPRING AFTER THE LAST SNOW STORM. MORE FREQUENT VACUUM SWEEPING IS RECOMMENDED AS NECESSARY.
5. POROUS PAVEMENT SURFACE IS TO BE INSPECTED ANNUALLY FOR DETRIORATION OR SPALLING.
6. CONVENTIONAL ASPHALT MAY BE USED TO PATCH HOLES OR MAKE MINOR REPAIRS. POROUS PAVEMENT IS REQUIRED FOR MAJOR REPAIRS OR RESURFACING.
7. PARKING AREA MAY NOT BE SEALCOATED UNDER ANY CIRCUMSTANCES, AS THIS WILL PREVENT THE DRAINAGE SYSTEM FROM WORKING.

WINTER MAINTENANCE:

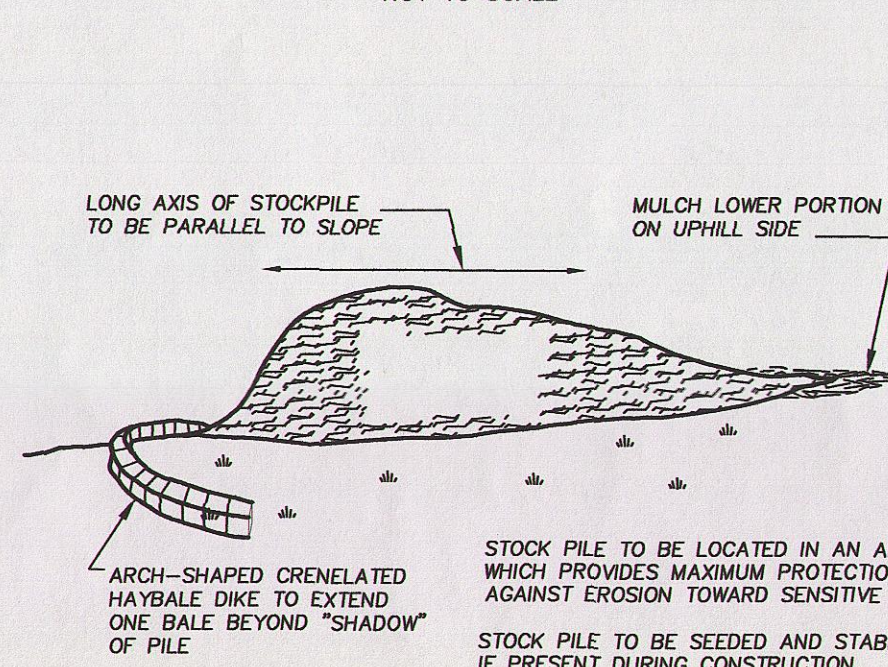
- RESEARCH AT THE UNIVERSITY OF NEW HAMPSHIRE INDICATES THAT POROUS PAVEMENT PERFORMS WELL IN WINTER CONDITIONS. RESIDUAL SNOW AND ICE ON POROUS PAVEMENT MELTS FASTER THAN ON CONVENTIONAL PAVEMENT AND BLACK ICE FORMATION IS LESS OF A PROBLEM. THEREFORE, THE AMOUNT OF SALT USED CAN TYPICALLY BE SIGNIFICANTLY REDUCED COMPARED TO CONVENTIONAL PAVEMENT. SNOW REMOVAL PERSONNEL WHO ARE NOT FAMILIAR WITH POROUS PAVEMENTS SHOULD EDUCATE THEMSELVES AND OBSERVE HOW THE PAVEMENT BEHAVES DURING STORMS AND ADJUST DEICING PROCEDURES AS NEEDED.
1. APPLY THE MINIMUM AMOUNT OF SALT NECESSARY TO ACCOMPLISH SAFETY OBJECTIVES.
 2. USE OF SAND IS NOT ALLOWED.
 3. ATTACH ROLLERS OR OTHER DEVICES TO THE BOTTOM OF SNOWPLOW TO LIFT BLADE SLIGHTLY OFF PAVEMENT.



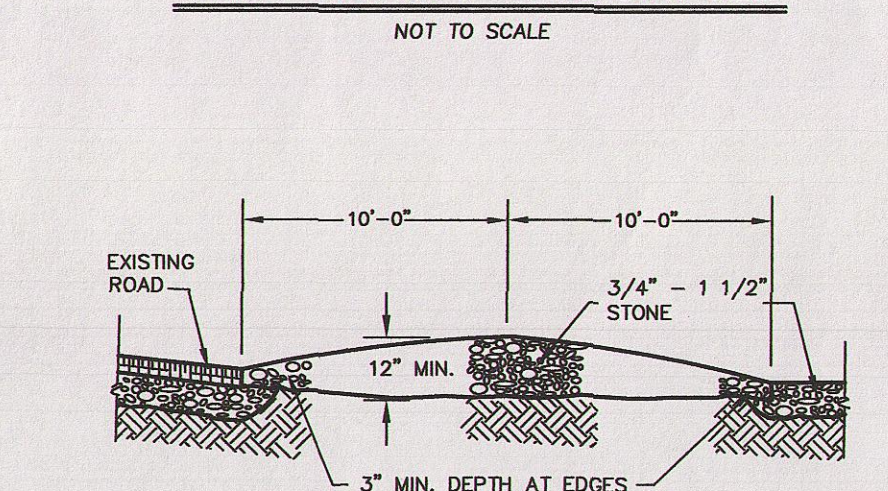
* STEEL POST MAY BE SUBSTITUTED. DISTANCE BETWEEN POSTS TO VARY AS REQUIRED BY TRIBUTARY AREA: 10' FOR 100 SF/LY FENCE 8' FOR 500 SF/LY FENCE

** DEPTH TO VARY WITH TRIBUTARY AREA. 2' FOR 100 SF ETC. IF POST IS TO BE SET IN PEAT OR UNSTABLE SOILS, THEN 3' OR DEPTH NECESSARY TO PROVIDE A STABLE POST FOR LOADED FENCE CONDITIONS

EROSION CONTROL BARRIER



TEMPORARY STOCKPILE



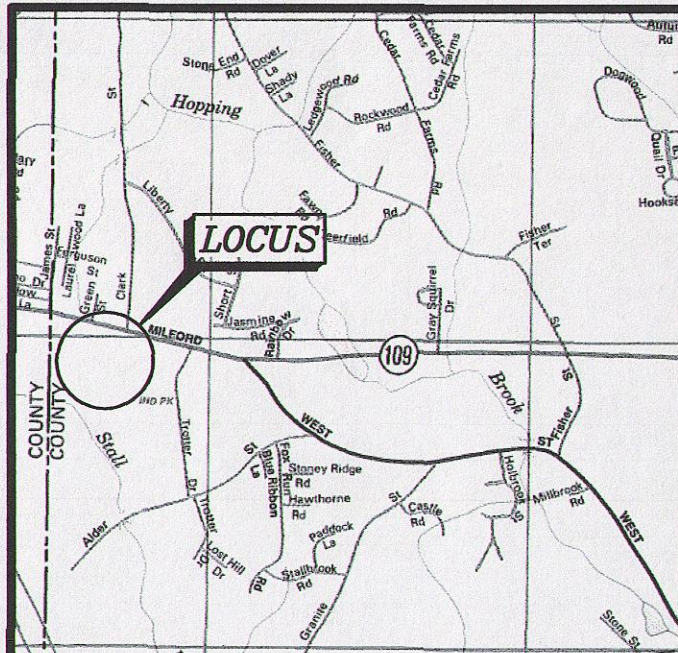
TEMPORARY CONSTRUCTION ENTRANCE

NOTES: PURPOSE IS TO REMOVE MUD FROM TIRES OF CONSTRUCTION VEHICLES. CONSTRUCTION ENTRANCE TO BE 20' LONG AND 16' WIDE. CONSTRUCTION ENTRANCES TO BE MAINTAINED AND SWEEP AS NECESSARY TO PREVENT MUD/DIRT DEPOSITS ON ROADWAY.

Medway Planning & Economic Development Board

DATE OF APPROVAL: 1-15-2014
 DATE OF ENDORSEMENT: 3-11-2014

[Signatures]



UNIVERSITY OF NEW HAMPSHIRE
 DANIEL B. WOLFE
 No. 3053
 CIVIL ENGINEER
 REGISTERED
 3-4-14

REVISIONS
 8-16-13 SHEET ADDED, COMPLETE SITE PLAN SET
 12-19-13 NO REVISIONS THIS SHEET
 3-4-14 PREP SITE PLAN DECISION AND CONSERVATION COMMISSION CONDITIONS

131-133 MILFORD STREET
 EROSION & SEDIMENTATION CONTROL PLAN
 Medway, Mass.
 PREPARED FOR
Murphy Insurance
 SCALE: 1"= 20'
 AUGUST, 2013
David E. Ross Associates, Inc.
 CIVIL ENGINEERS - LAND SURVEYORS
 ENVIRONMENTAL CONSULTANTS
 PO BOX 368-111 FITZBURG RD, AVER, MA 01432
 (TEL. NO. 978-772-6232)
 JOB NO. 24775 SHEET 5 OF 5 PLAN NO. L-12146A