

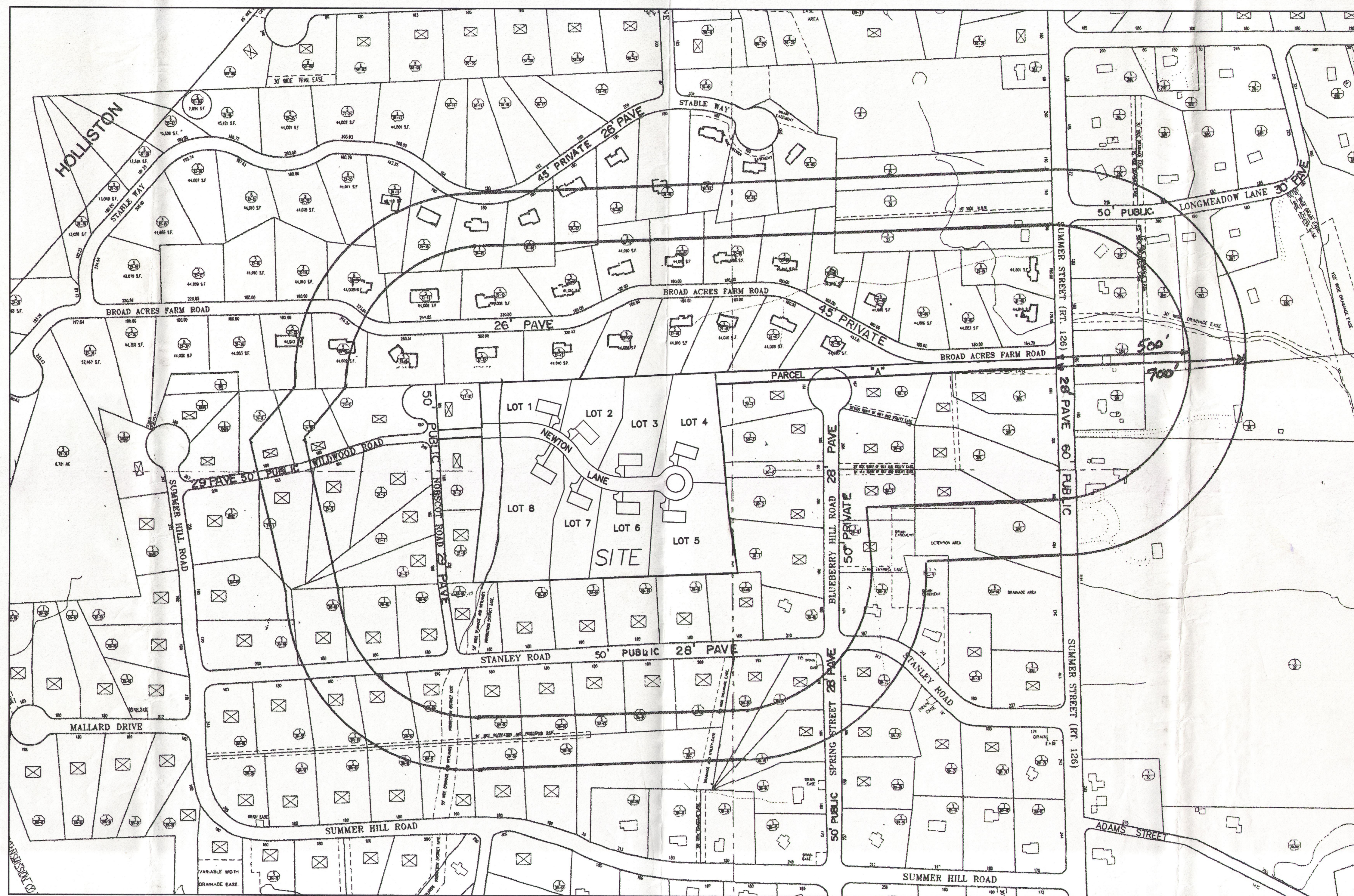
Hartney Acres II
 Endorsed 2-8-05

ZONING INFORMATION TABLE

ZONING REQUIREMENTS FOR AR 1 ZONING DISTRICT
 LOT AREA=44,000 S.F. (MIN.)
 LOT FRONTAGE=180.00' (MIN.)
 FRONT YARD SETBACK=35.00' (MIN.)
 SIDE YARD SETBACK=15.00' (MIN.)
 REAR YARD SETBACK=15.00' (MIN.)
 LOT SHAPE FACTOR RATIO:
 LESS THAN OR EQUAL TO 22
 50 % UPLANDS

NUMBER OF LOTS:
 8 BUILDING LOTS
 1 OPEN SPACE PARCEL "A"
 TO BE DEEDED TO TOWN OF MEDWAY
 TOTAL AREA OF LOTS =12.02 ACRES
 AREA OF ROADS = 1.26 ACRES
 PARCEL "A" AREA = 1.73 ACRES
 TOTAL AREA=15.01 ACRES
 TOTAL WETLAND AREA =2.02 ACRES

WAIVER REQUESTS FROM THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS:
 SEC. 4.2.5.1 WAIVER REQUEST TO ALLOW A DEAD END STREET TO BE LONGER THAN 600 FEET.



LOCUS MAP
 SCALE: 1"=200'

"HARTNEY ACRES II"
 SUMMER STREET MEDWAY, MASSACHUSETTS

- GENERAL NOTES:
- ALL ROADWAY CONSTRUCTION SHALL CONFORM TO THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS CHAPTER 100 SECTION 4.2.6.
 - ALL SEWER MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE TOWN OF MEDWAY WATER AND SEWER DEPARTMENT REGULATIONS.
 - CONTRACTOR TO CONTACT DIG-SAFE BEFORE PRIOR TO ANY CONSTRUCTION. (1-888-DIG-SAFE)
 - PLANS SUBJECT TO AN ORDER OF CONDITIONS DATED MAY 17, 2004 ISSUED BY THE MEDWAY CONSERVATION COMMISSION, D.E.P. FILE NO. 216-645.
 - ALL SIGNS, INCLUDING STREET SIGNS, MUST CONFORM TO THE TOWN OF MEDWAY STANDARDS.
 - LOCATION OF ALL UTILITIES SHALL BE DETERMINED IN THE FIELD, BY THE RESPECTIVE UTILITY COMPANIES (ELECTRIC, CABLE, & TELECOM). THE APPLICANT, "CLAFCO BUILDERS", SHALL BE RESPONSIBLE TO ACCURATELY LOCATE THE UTILITIES DURING CONSTRUCTION, PRIOR TO BACKFILL, SUCH THAT THE ACTUAL LOCATION CAN BE ACCURATELY REPRESENTED ON THE AS-BUILT DRAWINGS.
 - ALL STORMWATER DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS SECTION 4.4.5.
 - PLAN ENDORSEMENT IS SUBJECT TO THE CONDITIONS SET FORTH IN THE MEDWAY PLANNING BOARD CERTIFICATE OF APPROVAL DATED 12-17-04
 - SUBJECT TO A COVENANT TO BE RECORDED WITH THE PLAN.

- PARCEL A TO BE DEEDED TO THE TOWN OF MEDWAY OR THE TOWN OF MEDWAY CONSERVATION COMMISSION PRIOR TO THE ACCEPTANCE OF THE ROADS BY THE TOWN OF MEDWAY.
- THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT FOR A GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND THAT THEY ARE RESPONSIBLE FOR PREPARING AND IMPLEMENTING A STORMWATER POLLUTION PREVENTION PLAN IN FULL COMPLIANCE WITH THE EPA'S NPDES STORMWATER REGULATIONS (40 CFR PARTS 122, 123 & 124).
- OWNER/CONTRACTOR SHALL MINIMIZE THE DESTRUCTION OF MATURE TREES ON-SITE.

RESERVED FOR REGISTRY USE
 TOWN OF MEDWAY PLANNING BOARD
[Signature]
 DATE

12/17/04
 APPROVAL DATE
 2/8/05
 ENDORSEMENT DATE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

Patricia A. Sampson 2-9-05
 TOWN CLERK DATE

NOTE:
 FUTURE OWNERS ARE SUBJECT TO THE "DECLARATION OF PROTECTIVE COVENANTS GOVERNING HARTNEY ACRES II" TO BE RECORDED WITH THE DEFINITIVE SUBDIVISION PLAN.

PLAN INDEX

- SHEET 1: COVER SHEET
- SHEET 2: DEFINITIVE SUBDIVISION PLAN
- SHEET 3: DEFINITIVE SUBDIVISION PLAN - PARCEL "A"
- SHEET 4: GRADING PLAN
- SHEET 5: GRADING PLAN - PARCEL "A"
- SHEET 6: PLAN & PROFILE "NEWTON LANE"
- SHEET 7: PLAN & PROFILE "PARCEL A - SEWER"
- SHEET 8: DETAIL SHEET 1
- SHEET 9: DETAIL SHEET 2
- SHEET 10: DETAIL SHEET 3
- SHEET 11: DETAIL SHEET 4 - ENTRANCE DETAIL
- SHEET 12: RETAINING WALL PLAN AND SECTION

ASSESSORS REFERENCE: MAP 5-8 PARCEL 5/401
 APPLICANT: CLAFCO BUILDERS
 P.O. BOX 1
 MEDWAY, MASS. 02053
 RECORD OWNER: HARTNEY REALTY TRUST
 P.O. BOX 1
 MEDWAY, MA 02053

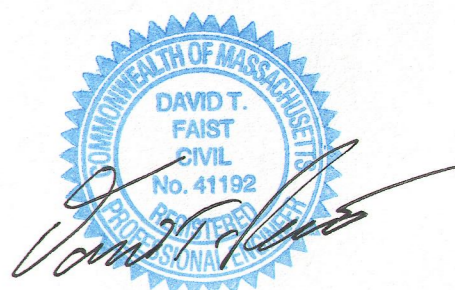
"HARTNEY ACRES II"
 DEFINITIVE SUBDIVISION PLAN
 IN
 MEDWAY, MASSACHUSETTS

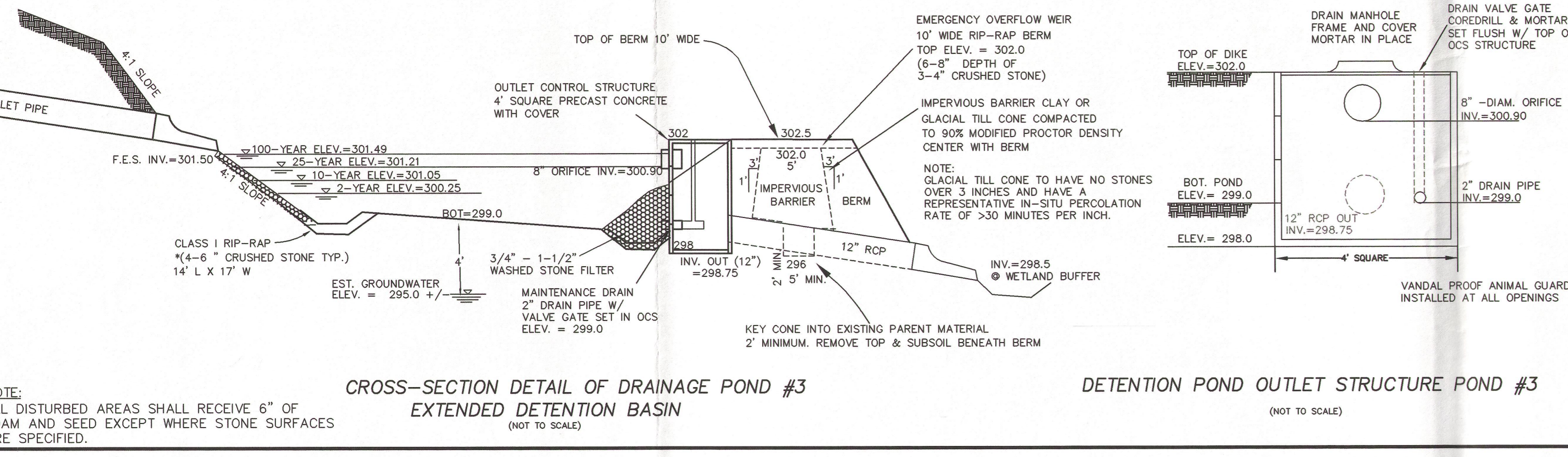
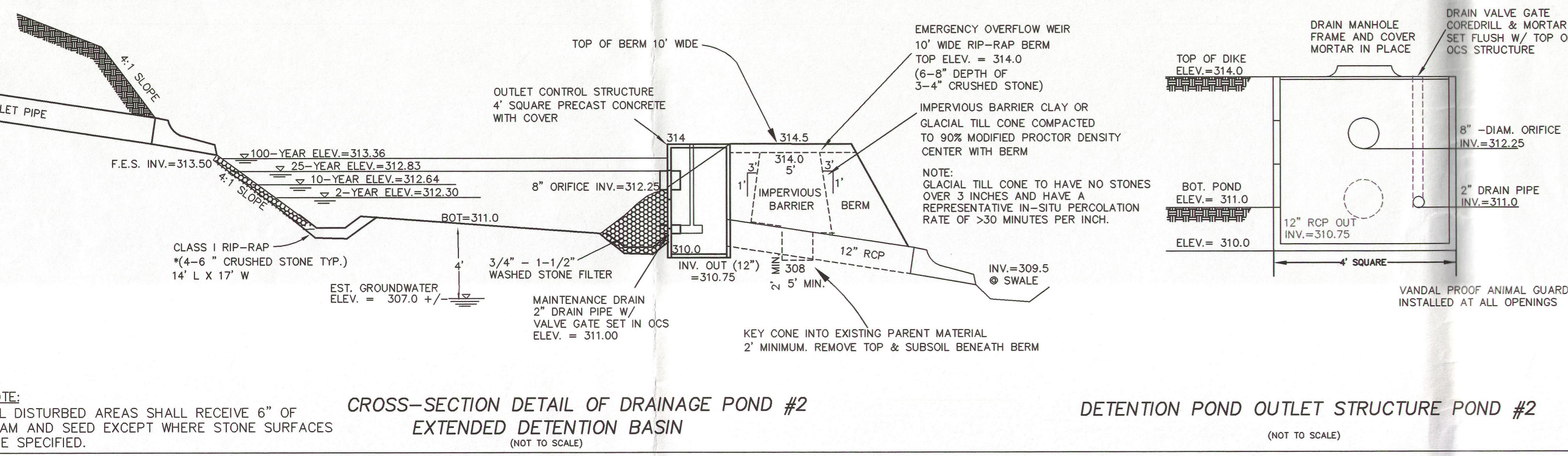
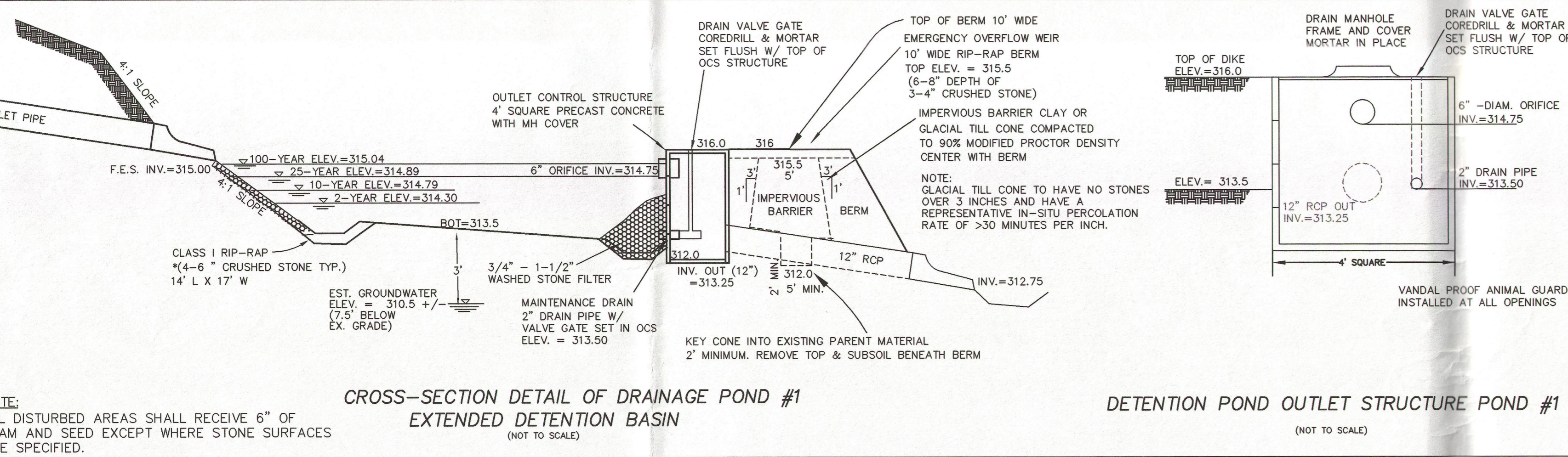
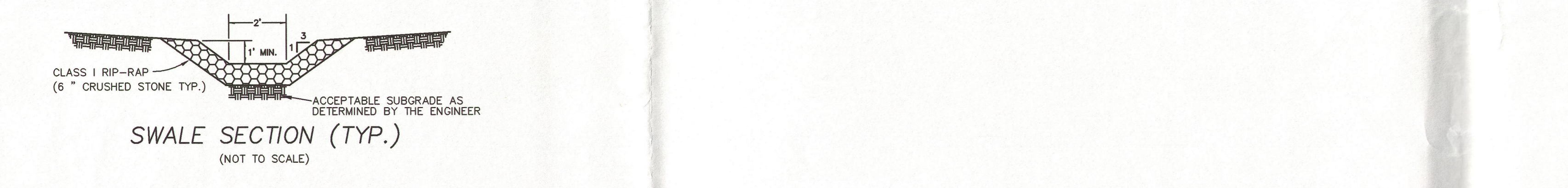
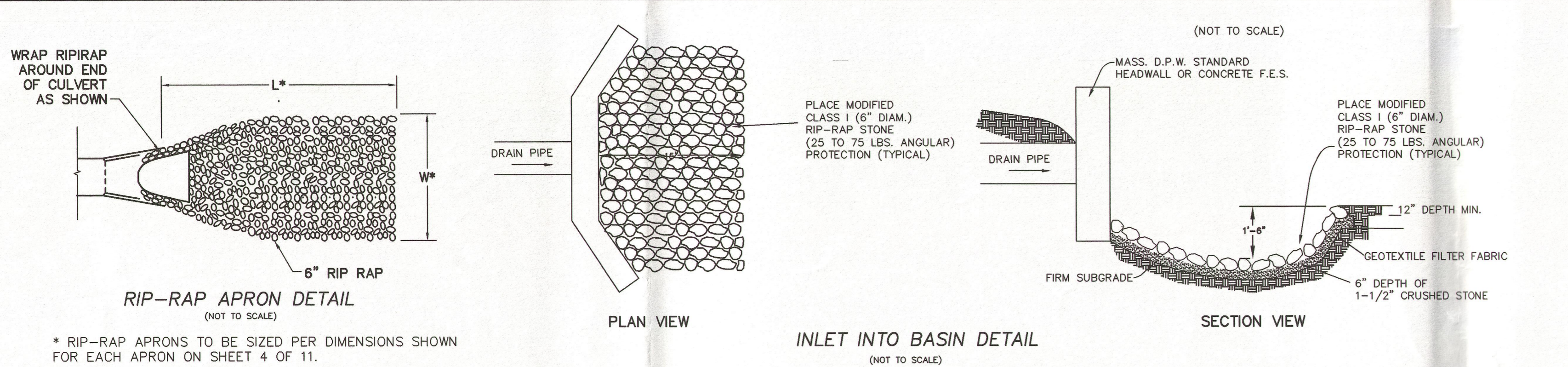
DATE: NOVEMBER 29, 2004

REVISE DATE:
 DECEMBER 13, 2004
 DECEMBER 17, 2004
 JANUARY 7, 2005

O'DRISCOLL
 LAND SURVEYING Co.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

FAÏST ENGINEERING
 600 Charlton Street
 Southbridge, MA 01550
 MA Phone/Fax: (508) 765-7755





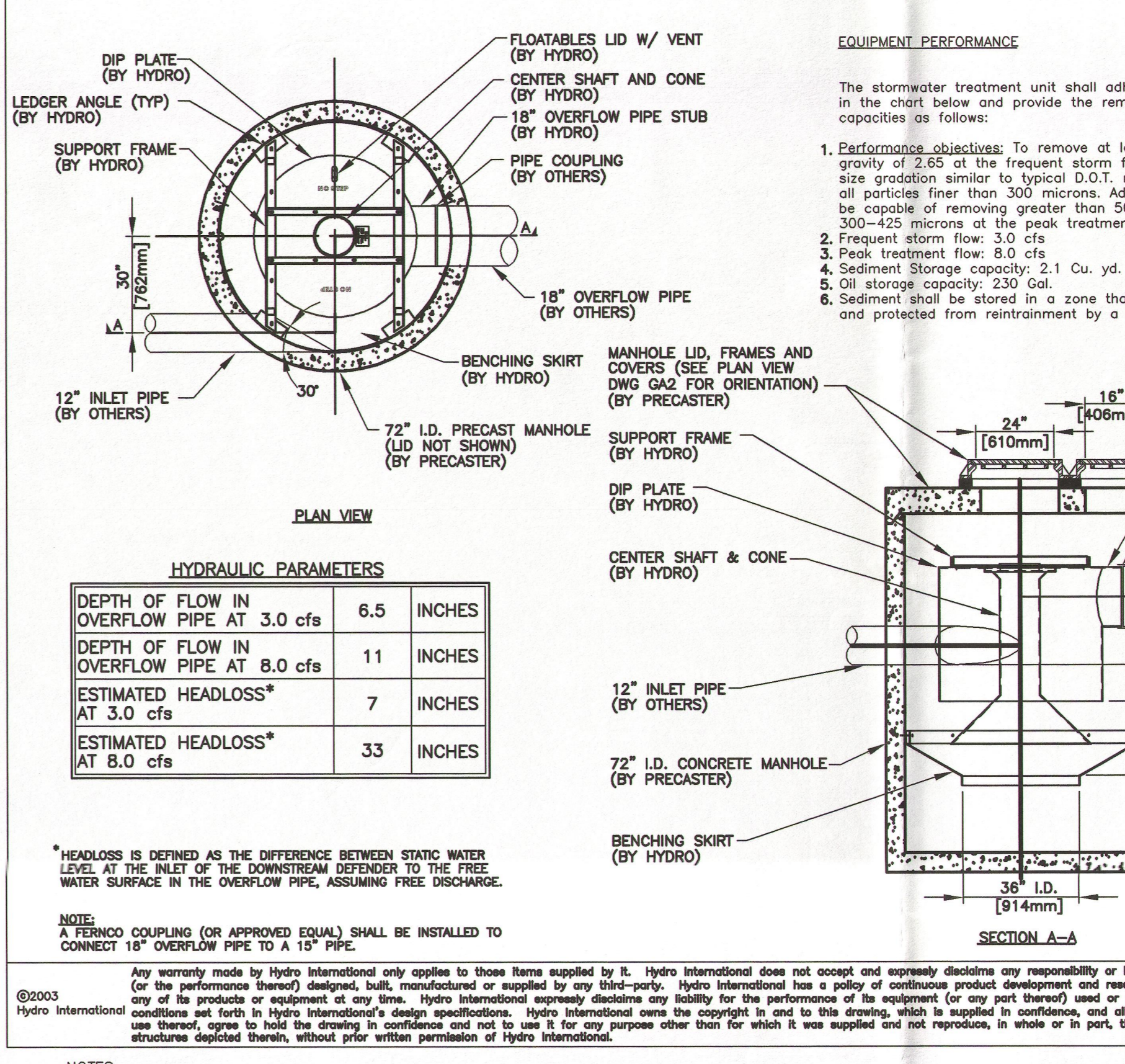
**STORMWATER SYSTEM
INSPECTION AND MAINTENANCE SCHEDULE**

BEST MANAGEMENT PRACTICE (BMP)	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY
DEEP SUMP CATCHBASIN CLEANING	BI-ANNUAL (MARCH/APRIL & OCTOBER/NOVEMBER)	BI-ANNUAL EARLY SPRING & FALL
THREE (3) WATER QUALITY TREATMENT UNITS MANUFACTURER: HYDRO INTERNATIONAL "DOWNSTREAM DEFENDER"	MONTHLY (FIRST YEAR) SEASONALLY (FOLLOWING YEARS)	ANNUAL OR WHEN THE SEDIMENT VOLUME IN THE UNIT REACHES A DEPTH OF: 4-FT UNIT = 18" 6-FT UNIT = 24"
LANDSCAPING & WETLAND BUFFER ZONE	ANNUAL	ANNUAL
STREET SWEEPING	BI-ANNUAL (MARCH/APRIL & OCTOBER/NOVEMBER)	BI-ANNUAL (MARCH/APRIL & OCTOBER/NOVEMBER)

TYPICAL MAINTENANCE ACTIVITIES FOR EXTENDED DETENTION BASINS

ACTIVITY	SCHEDULE
CONDUCT VISUAL INSPECTION OF EACH DETENTION BASIN REMOVE DEBRIS FROM BASIN SURFACE TO MINIMIZE OUTLET LOGGING AND IMPROVE AESTHETICS.	ANNUALLY AND FOLLOWING SIGNIFICANT STORM EVENTS
REMOVE SEDIMENT BUILDUP. REPAIR AND REVEGETATE ERODED AREAS. PERFORM STRUCTURAL REPAIRS TO INLET AND OUTLETS.	AS NEEDED BASED ON INSPECTION
MOW TO LIMIT UNWANTED VEGETATION.	SEASONAL (MONTHLY : MAY - OCTOBER)

STORMWATER OPERATION & MAINTENANCE - RESPONSIBLE PARTY:
PROJECT APPLICANT (CLAFCO BUILDERS) IS RESPONSIBLE FOR MANAGEMENT AND MAINTENANCE OF BMP'S DURING CONSTRUCTION AND UPON COMPLETION OF PROJECT, UNTIL SUCH TIME ROADWAY & DRAINAGE SYSTEM ARE ACCEPTED BY THE TOWN.



TOWN OF MEDWAY PLANNING BOARD

Mary Jane White
TOWN CLERK

2/8/05
DATE

1.) PLAN ENDORSEMENT IS SUBJECT TO THE CONDITIONS SET FORTH IN THE MEDWAY PLANNING BOARD CERTIFICATE OF ACTION DATED 12-17-04

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

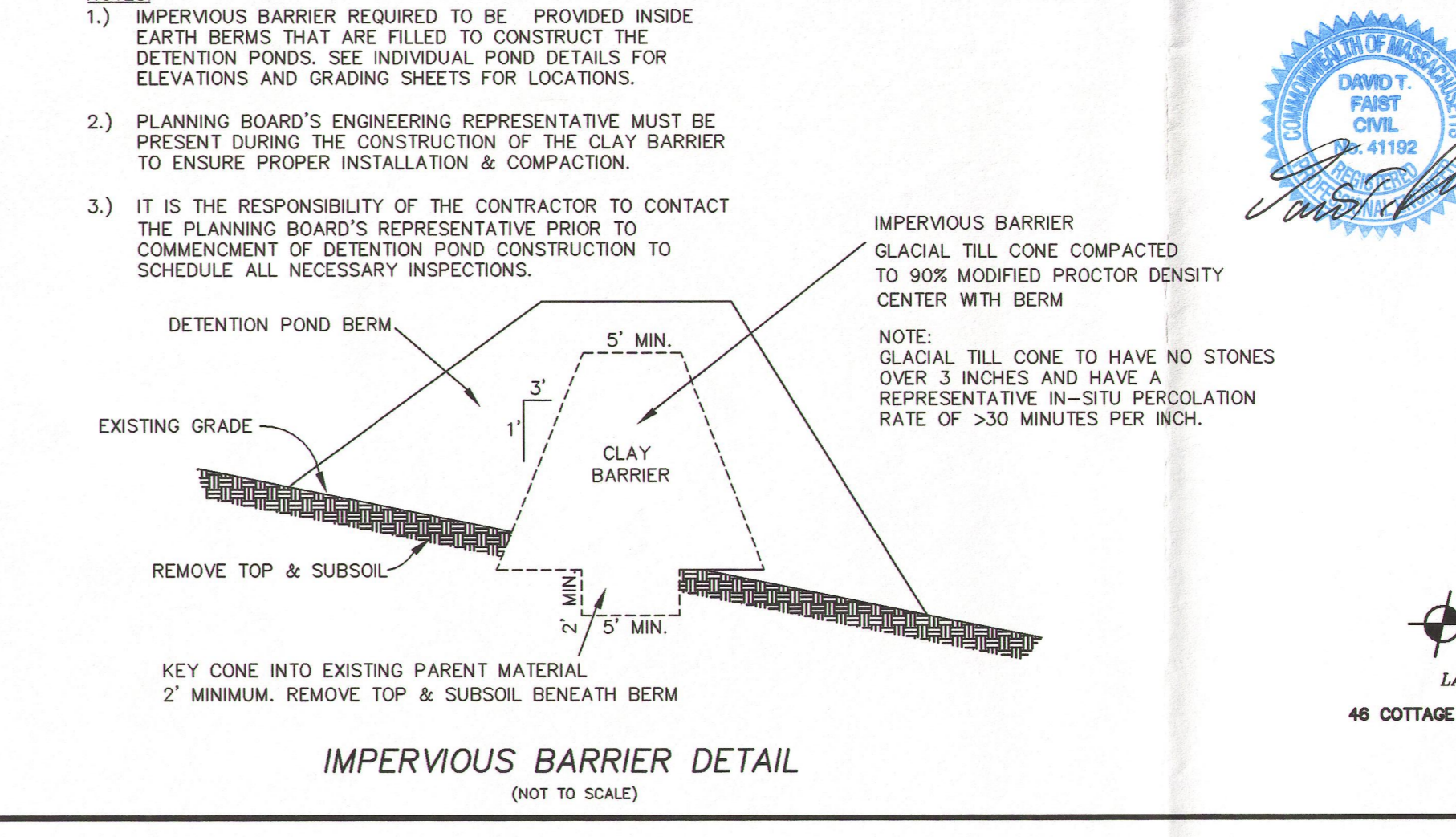
Patricia Simpson
TOWN CLERK

2-9-05
DATE

Hydro International

94 Hutchins Drive
Portland, Maine 04102
tel: (207) 756-6200
fax: (207) 756-6212
email: hiltch@hii-tech.com

CAD Ref: 6ga1f
Project No: 6GA1
Drawing No: 6GA1 Rev. F



DRAINAGE DETAIL SHEET
"HARTNEY ACRES II"
(DEFINITIVE SUBDIVISION PLAN)
IN
MEDWAY, MASSACHUSETTS

APPLICANT:
CLAFCO BUILDERS
P.O. BOX 1
MEDWAY, MA 02053

OWNER:
HARTNEY REALTY TRUST
P.O. BOX 1
MEDWAY, MA 02053

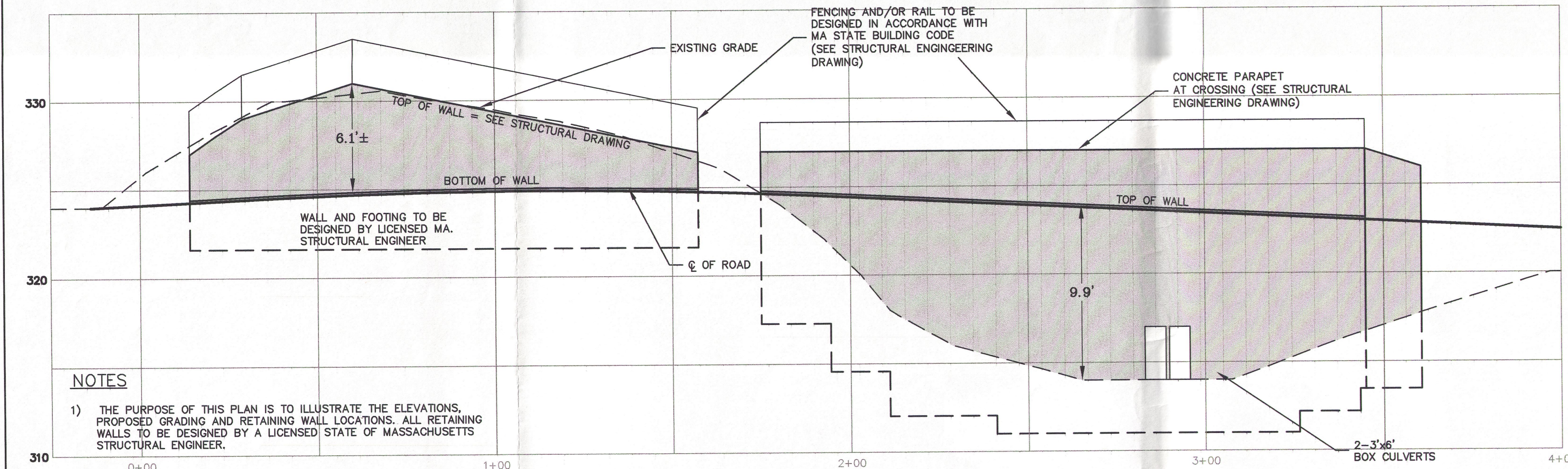
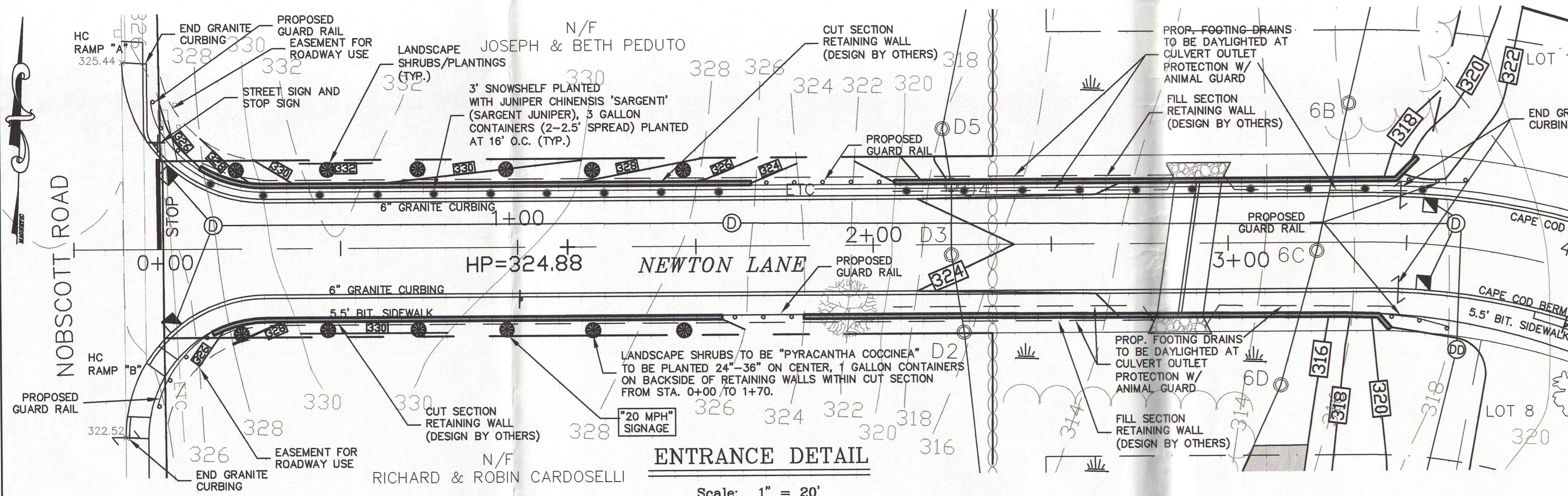
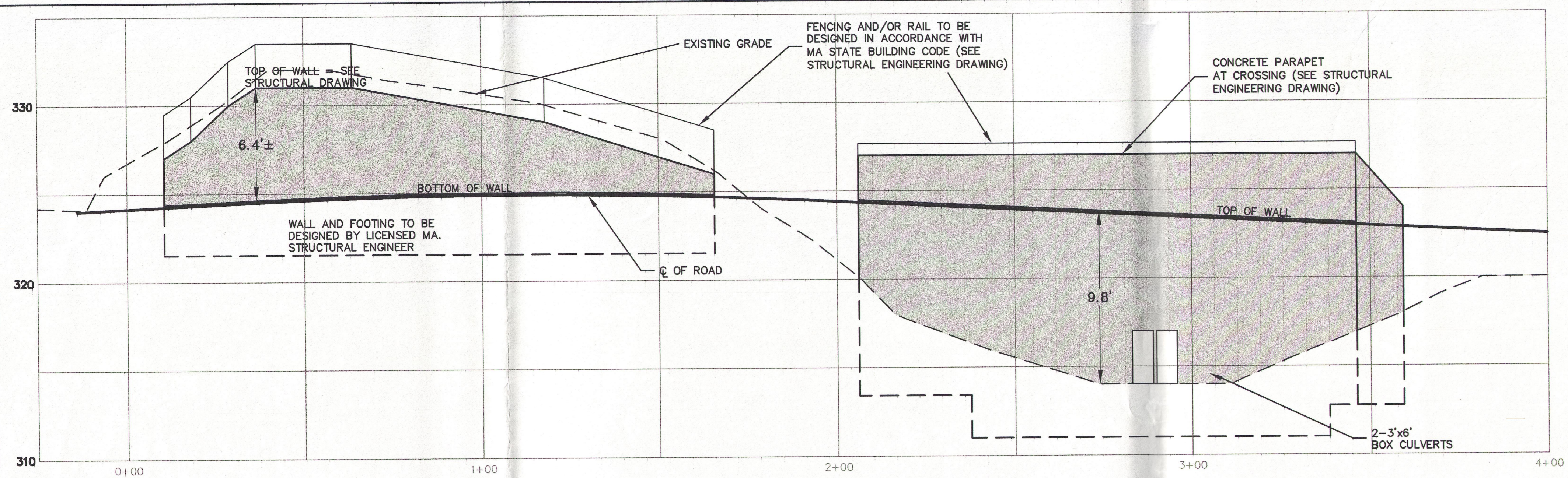
SCALE: AS SHOWN

DATE: NOVEMBER 29, 2004
REVISED DATE:
DECEMBER 13, 2004
DECEMBER 17, 2004
JANUARY 07, 2005

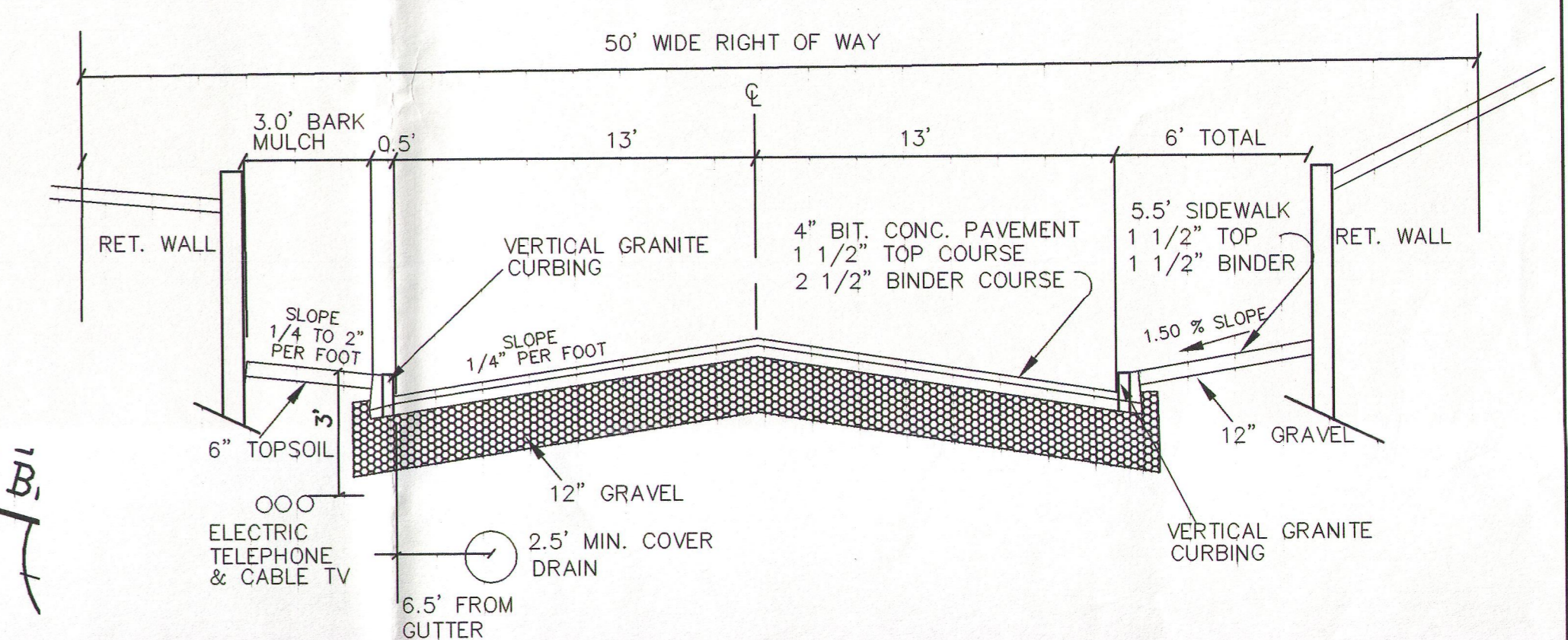
O'DRISCOLL
LAND SURVEYING Co.
LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

FAIST ENGINEERING
600 Charlton Street
Southbridge, MA 01550
Phone/Fax: (508) 765-7755

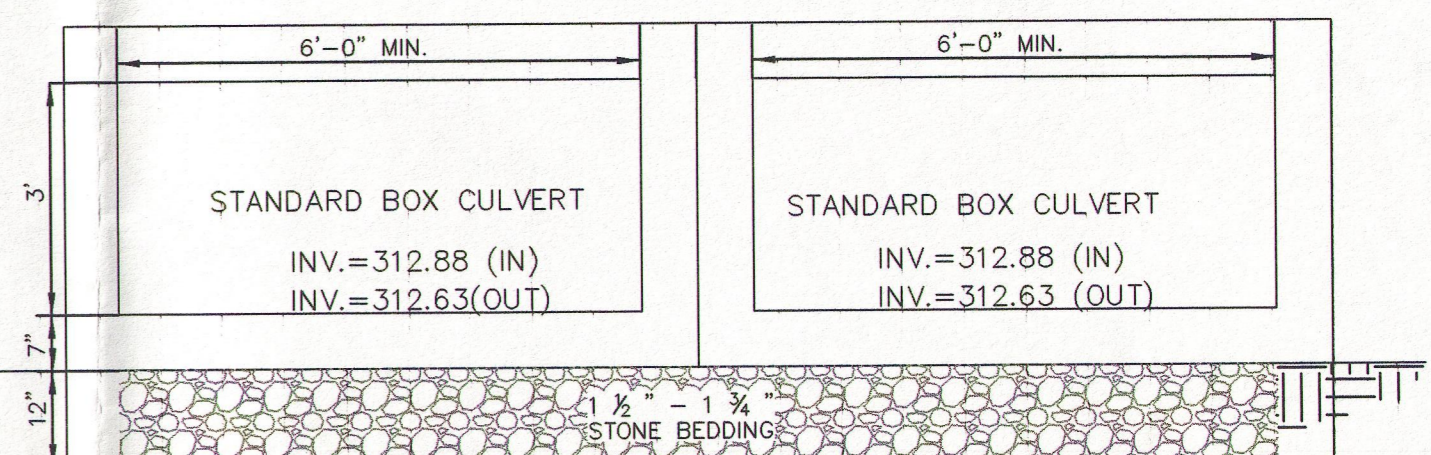
SHEET 10 OF 12



TOWN OF MEDWAY PLANNING BOARD
 1.) PLAN ENDORSEMENT IS SUBJECT TO THE CONDITIONS SET FORTH IN THE MEDWAY PLANNING BOARD CERTIFICATE OF ACTION DATED 12-17-04
 I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.
 DATE 2/9/05 TOWN CLERK DATE 2-9-05

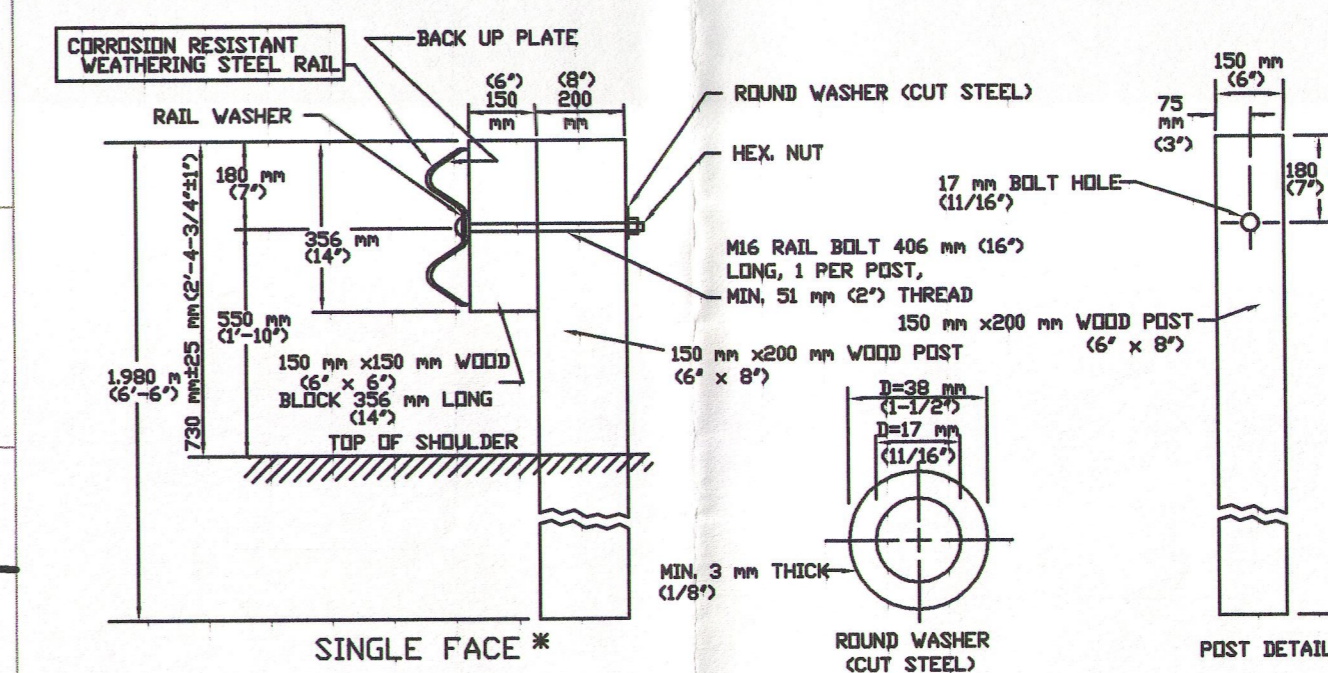


CROSS SECTION OF MINOR STREET FROM STA. 0+0 - STA. 3+40 (NOT TO SCALE)



BOX CULVERT CROSS-SECTION (NOT TO SCALE)

- NOTES:
 1) USE TWO (2) STANDARD BOX CULVERTS SPAN = 6 FT. & RISE=3 FT. SET SIDE BY SIDE, TOTAL LENGTH = 40.67'
 2) PRECAST REINFORCED CONCRETE BOX SECTIONS MANUFACTURED IN ACCORDANCE WITH A.S.T.M. C789.
 3) H-20 LOADING REQUIRED
 4) 6" RIP-RAP INLET/OUTLET PROTECTION TO EXTEND 5 FT. BEYOND BOX ENDS AND 3 FT. OUTSIDE BOX.



- NOTES:
 1. POST SPACING, APPROACH END & TRAILING ENDS ARE SIMILAR TO THOSE SHOWN FOR STEEL "H" POSTS.
 2. ALL NUTS, BELTS & WASHERS ARE TO BE GALVANIZED.
 3. ALL MATERIALS & DIMENSIONS OF FITTINGS NOT SHOWN ABOVE ARE TO BE SIMILAR TO THE CORRESPONDING ELEMENTS SHOWN FOR STEEL "H" POSTS.
 4. TERMINAL SECTIONS FOR DOUBLE FACE & SINGLE FACE GUARD RAIL ARE SHOWN ON DRAWINGS 401.6.0, 401.8.0
 5. ALL SPLICES ARE TO BE MADE AT POSTS.
 6. FOR THE TYPE OF WOOD & WOOD TREATMENT, OTHER MATERIALS & METHODS OF CONST., SEE STANDARD SPECIFICATIONS & SPECIAL PROVISIONS.
 7. FOR DETAILS OF SLOT IN BACK-UP PLATE SEE DRAWINGS 401.7.0 & 401.8.0
 8. BACK-UP PLATE IS PLACED BEHIND RAIL ELEMENTS AT INTERMEDIATE POSTS, I.e. NON SPLICE LOCATION.

STEEL GUARD RAIL ON WOOD POST (NOT TO SCALE)

"NEWTON LANE" ENTRANCE DETAIL
 "HARTNEY ACRES II" (DEFINITIVE SUBDIVISION PLAN) IN
 MEDWAY, MASSACHUSETTS
 APPLICANT: CLAFCO BUILDERS P.O. BOX 1 MEDWAY, MA 02053
 OWNER: HARTNEY REALTY TRUST P.O. BOX 1 MEDWAY, MA 02053

DATE: NOVEMBER 29, 2004
 REVISE DATE: DECEMBER 13, 2004
 DECEMBER 17, 2004
 JANUARY 7, 2005

FAIST ENGINEERING
 600 Charlton Street
 Southbridge, MA 01550
 MA Phone/Fax: (508) 765-7755

- NOTES
 1) THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE ELEVATIONS, PROPOSED GRADING AND RETAINING WALL LOCATIONS. ALL RETAINING WALLS TO BE DESIGNED BY A LICENSED STATE OF MASSACHUSETTS STRUCTURAL ENGINEER.
 2) RETAINING WALL FACING IN CUT SECTION WALLS & INTERIOR FACE OF 3 FT. CONC. PARAPET (SIDE FACING ROADWAY) WITHIN FILL SECTION TO CONFORM WITH PLANNING BOARD CERTIFICATE OF ACTION DATED 12-17-04
 3) REFER TO STRUCTURAL ENGINEERING RETAINING WALL DESIGN PLANS BY TO DESIGN, LLC DATED 12/13/04.

SCALE
 Horizontal: 1" = 20'
 Vertical: 1" = 4'

FOUNDATION NOTES:

1. ALL REINFORCING COVER TO BE IN ACCORDANCE WITH THE CURRENT ACI CODE.
2. TOW ## - INDICATES TOP OF FOUNDATION WALL ELEVATION
3. BFE ## - INDICATES BOTTOM OF FOOTING ELEVATION.
4. BOTTOM OF FOOTING ELEVATION TO BE 4'-0" MIN BELOW FINISHED GRADE.
5. PROVIDE SLEEVES FOR ALL WALL PENETRATIONS. COORDINATE LOCATION WITH ALL OTHER TRADES.
6. IF ROCK IS ENCOUNTERED DURING EXCAVATION NOTIFY ENGINEER.
7. ALL FOOTINGS TO BEAR ON SUITABLE UNDISTURBED VIRGIN SOIL WITH A SAFE BEARING CAPACITY OF 2500 PSF MIN OR STRUCTURAL FILL AS REQUIRED FOR PROPER ELEVATIONS. ALL FILL TO BE COMPACTED TO 95% OF THE MODIFIED PROCTOR DENSITY.
8. MINIMUM CONCRETE STRENGTH AT 28 DAYS, $f_c = 3000$ PSI
9. ALL REINFORCING STEEL TO BE ASTM A-615 GRADE 60 KSI
10. CONTINUOUS WALL POURS SHALL NOT EXCEED 40 FEET IN ONE DIRECTION. SEE TYPICAL WALL CONSTRUCTION JOINT DETAIL FOR INFORMATION.
11. GRADING PROVIDED FOR INFO ONLY. REFER TO SITE DRAWINGS FOR EXACT GRADING AND WALL LAYOUT

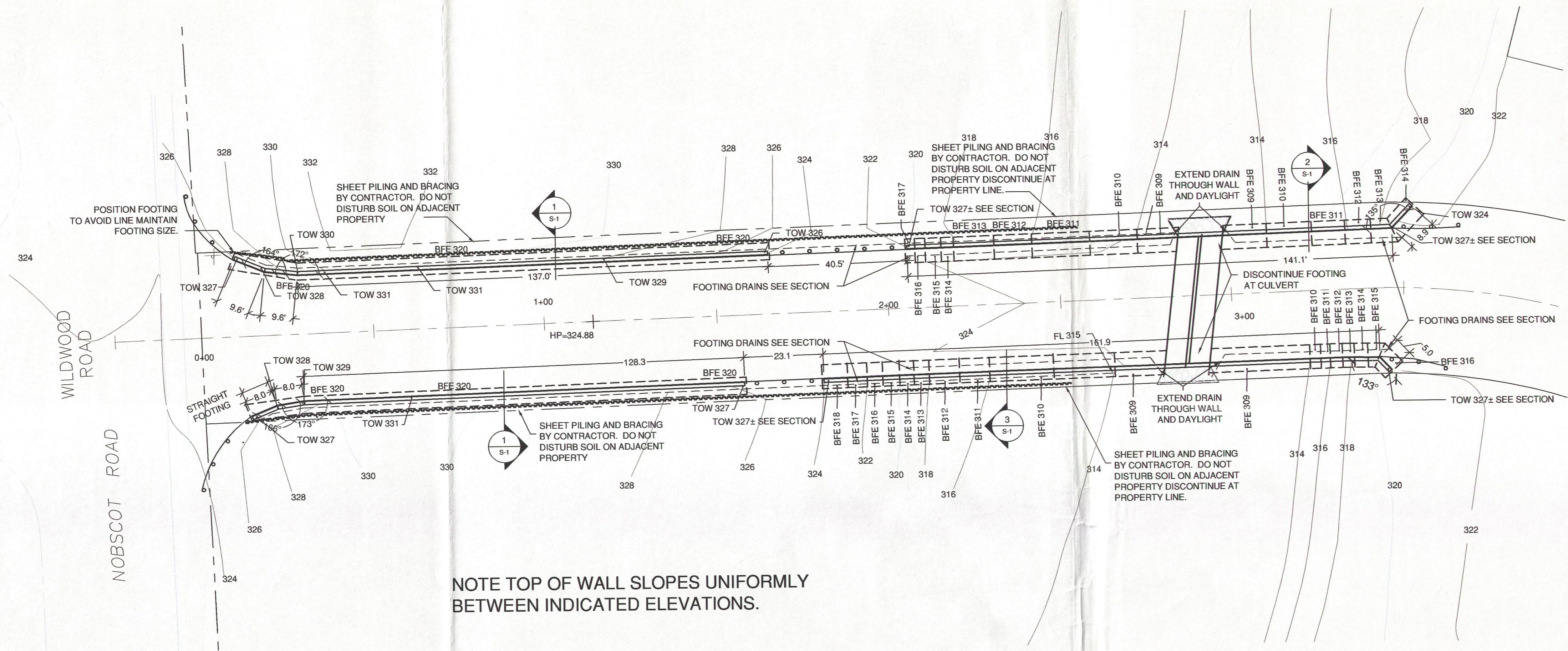
TOWN OF MEDWAY PLANNING BOARD

[Signature]
 DATE: 2/3/05

1.) PLAN ENDORSEMENT IS SUBJECT TO THE CONDITIONS SET FORTH IN THE MEDWAY PLANNING BOARD CERTIFICATE OF ACTION DATED 12-17-04

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

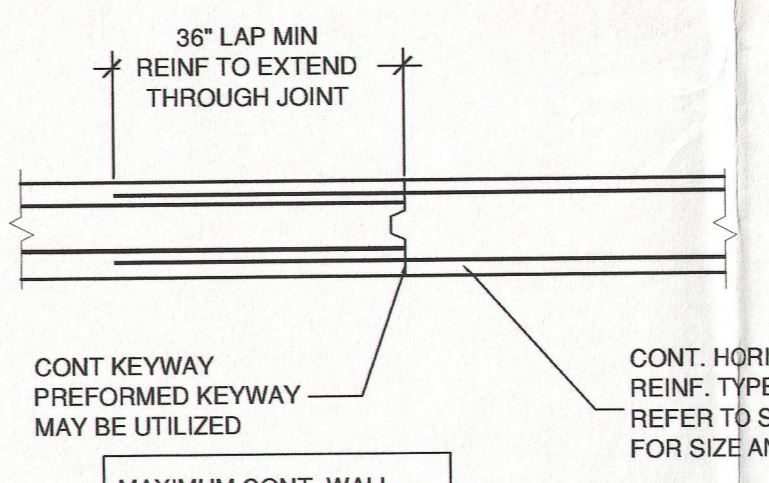
[Signature]
 TOWN CLERK DATE: 2-9-05



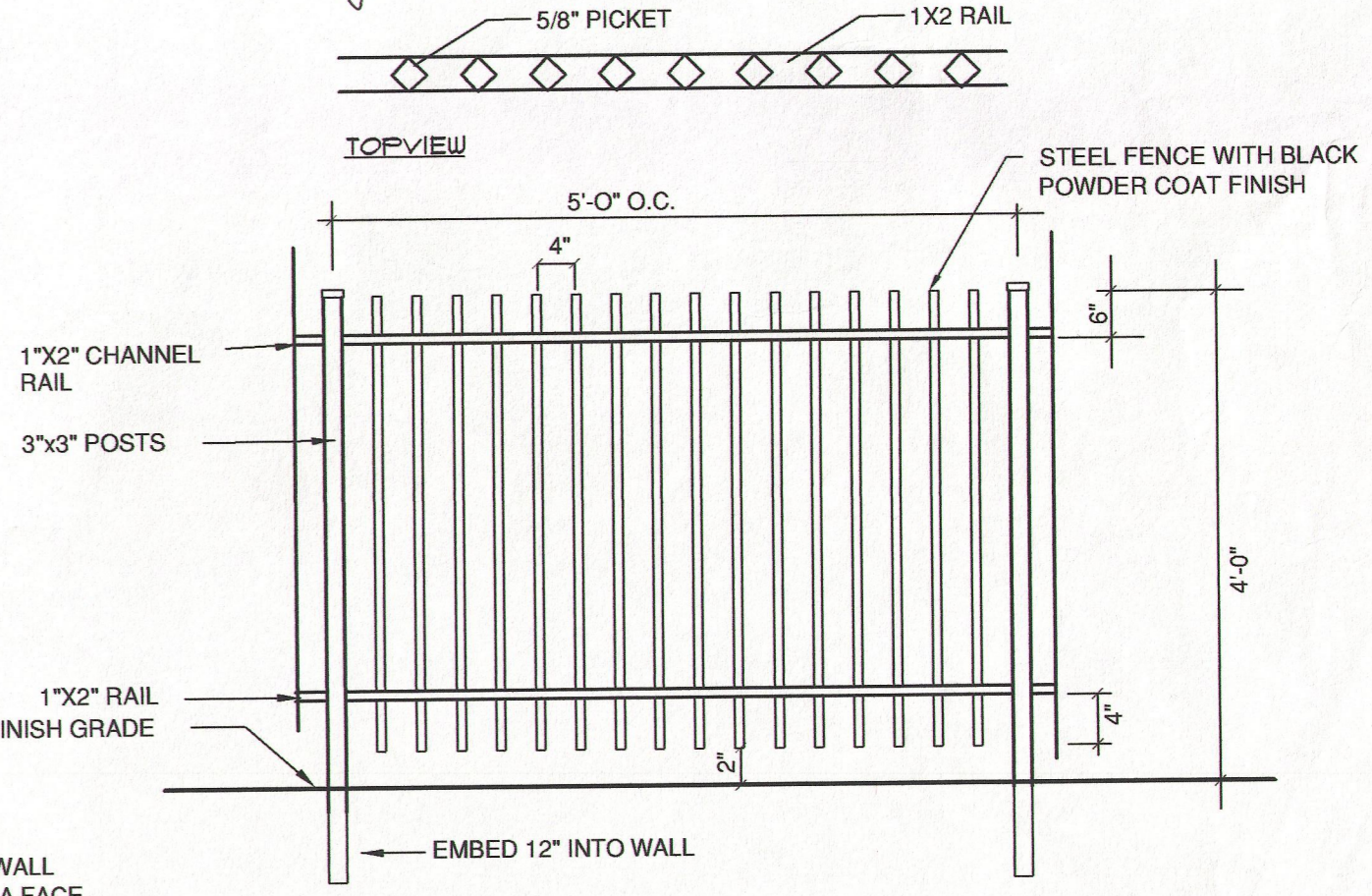
NOTE TOP OF WALL SLOPES UNIFORMLY BETWEEN INDICATED ELEVATIONS.

RETAINING WALL PLAN

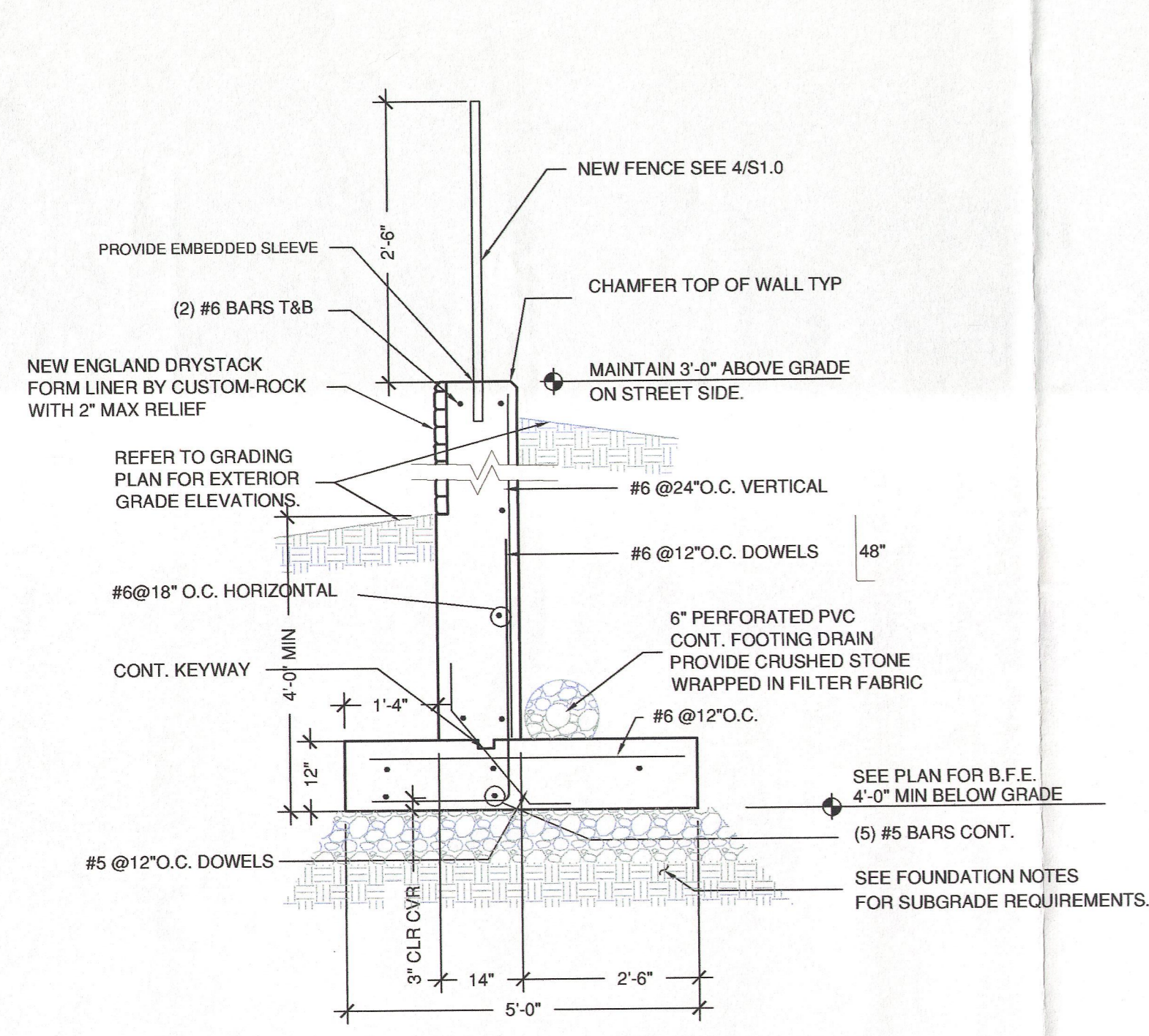
SCALE: 1" = 20'-0"



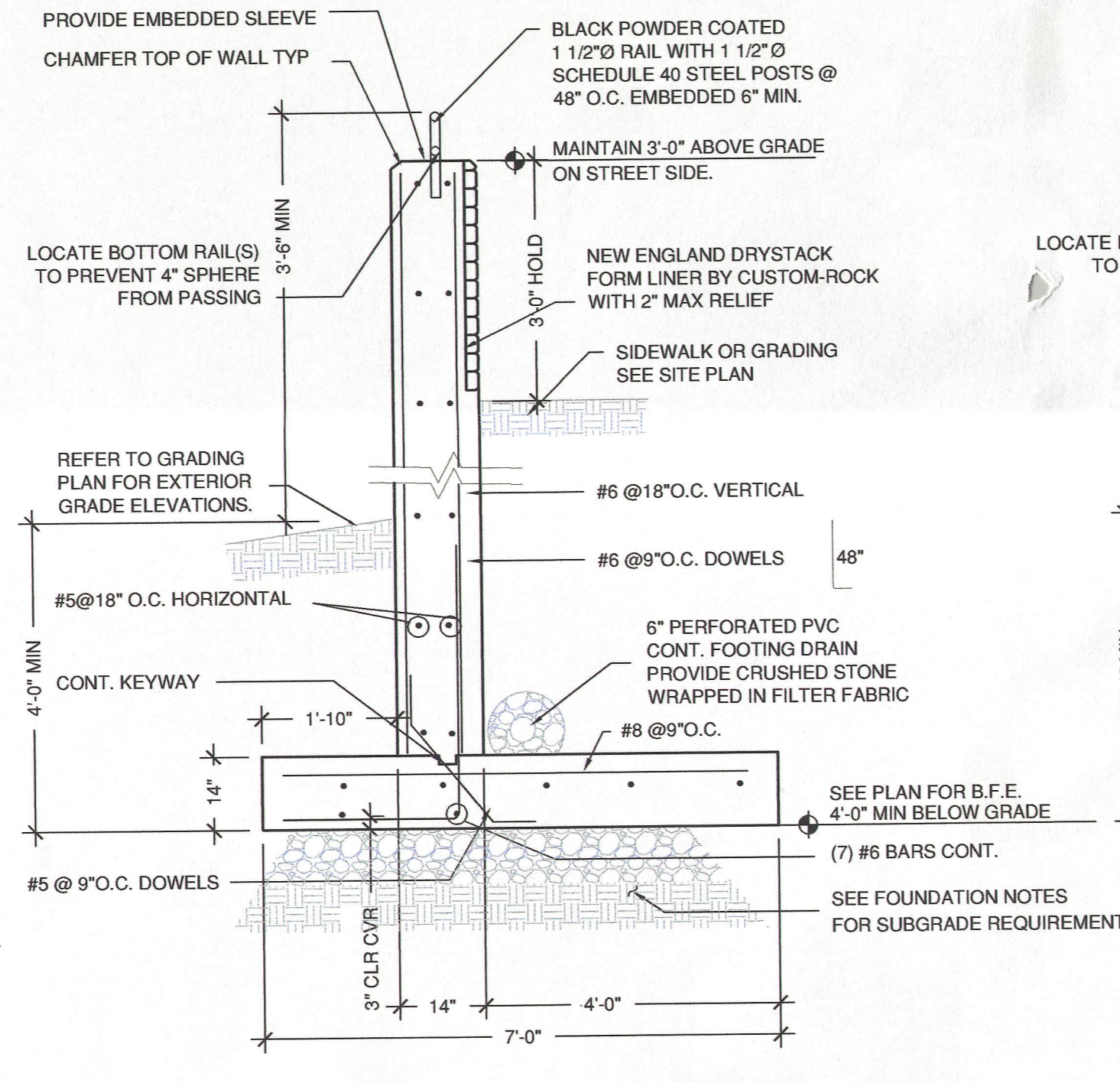
TYP DETAIL AT WALL CONSTRUCTION JOINT
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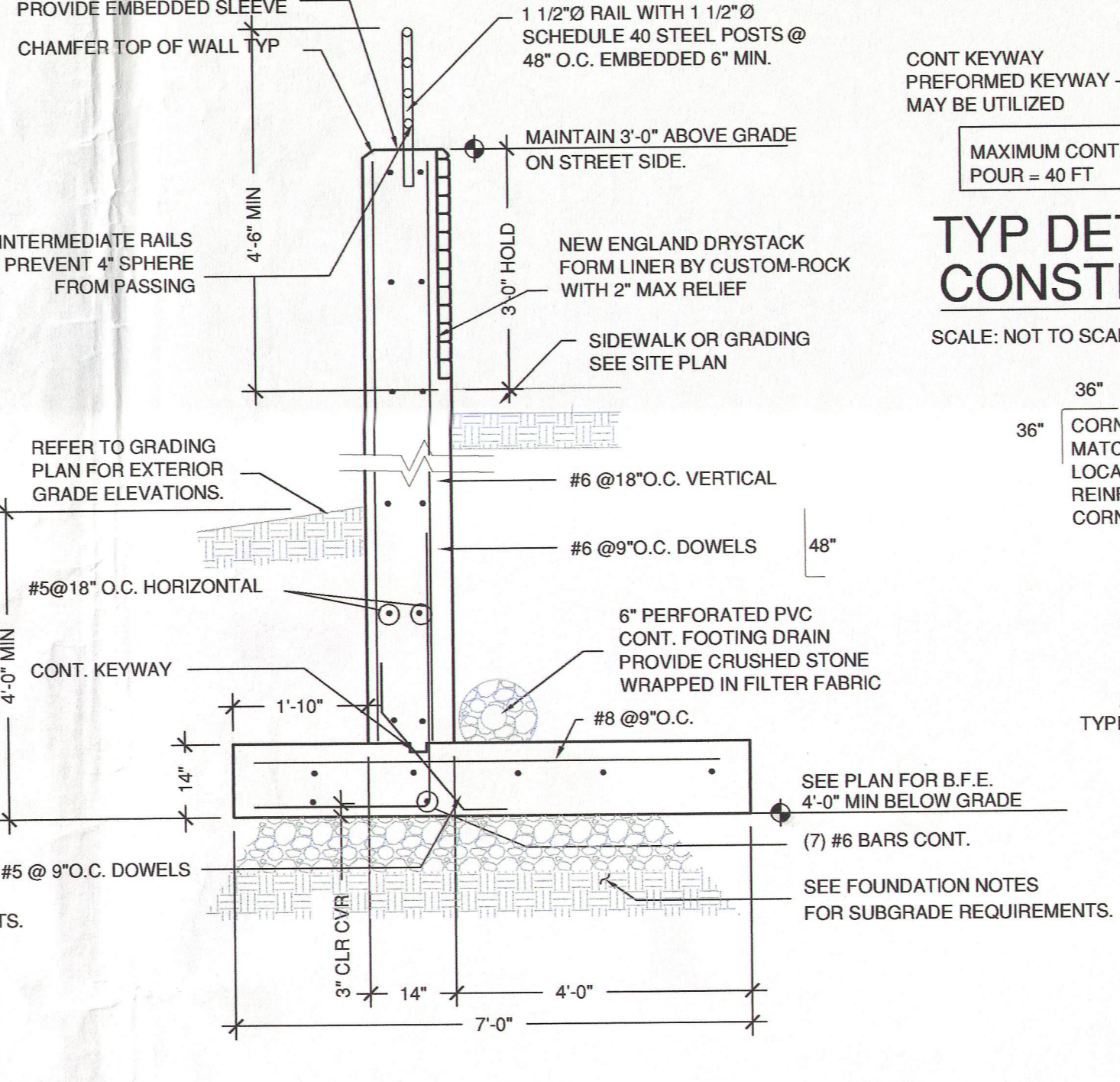
Steel Fence
 SCALE: NOT TO SCALE



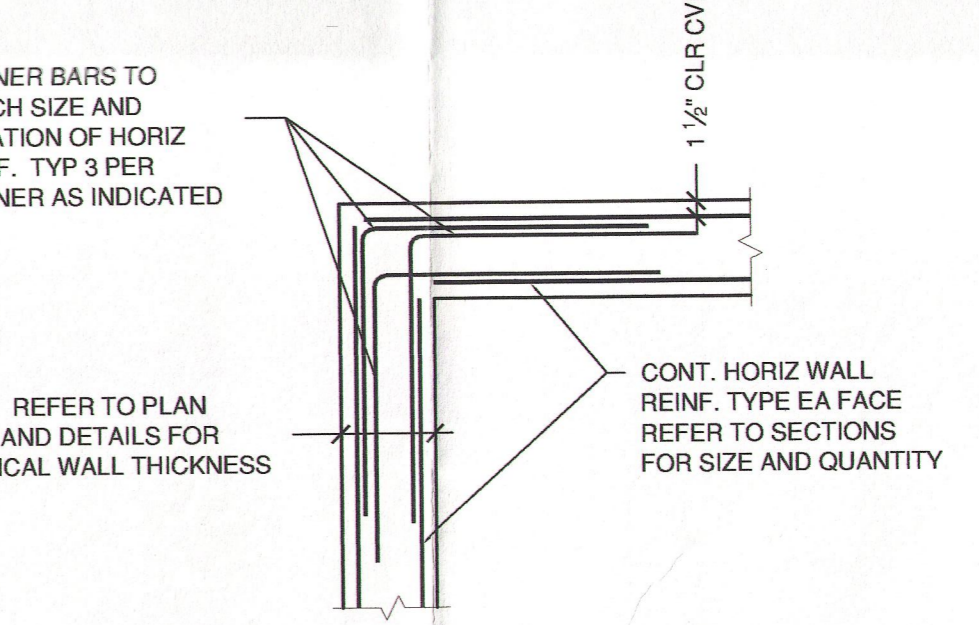
SECTION 1
 SCALE: 1/2" = 1'-0"



SECTION 2
 SCALE: 1/2" = 1'-0"



SECTION 3
 SCALE: 1/2" = 1'-0"



TYP SECTION AT WALL CORNER
 SCALE: NOT TO SCALE

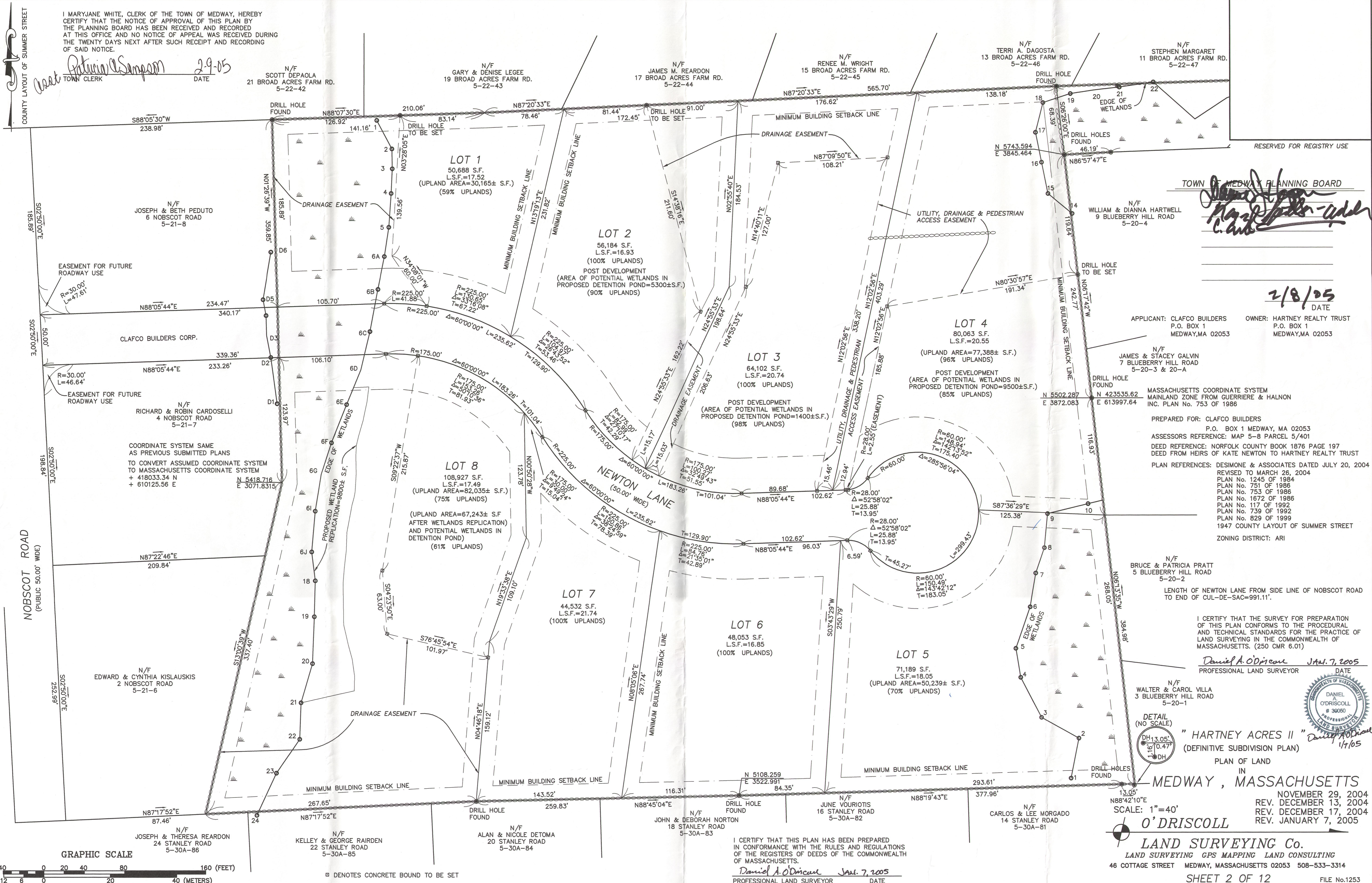
"NEWTON LANE"
 Retaining Wall
 Plan and Sections
 "HARTNEY ACRES"
 (DEFINITIVE SUBDIVISION PLAN)
 IN
 MEDWAY, MASSACHUSETTS

TO DESIGN
 Structural Engineering
 Civil Engineering
 Landscape Architecture
 Site Design
 56 Arbor Street
 Hartford, CT 06106
 860-231-8208
 Fax: 236-9220
 Project No: 4126

APPLICANT: CLAFCO BUILDERS
 P.O. BOX 1
 MEDWAY, MA 02053
 OWNER: HEIRS OF KATE NEWTON
 C/O ATORNEY WILLIAM SACK
 100 FRANKLIN VILLAGE DR.
 FRANKLIN, MA 02038
 SCALE: AS NOTED
 DATE: DECEMBER 17, 2004
 REVISED DATE: JANUARY 7, 2005
O'DRISCOLL
 LAND SURVEYING Co.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02055 (508) 533-3314
FAIST ENGINEERING
 600 Charlton Street
 Southbridge, MA 01550
 MA Phone/Fax: (508) 765-7755

I MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

West Patricia Simpson 2-9-05
TOWN CLERK DATE



TOWN MEDWAY PLANNING BOARD
Patricia Simpson
C. Aub

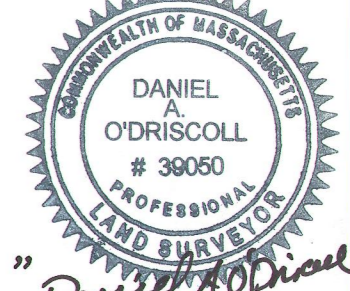
2/8/05
DATE

APPLICANT: CLAFCO BUILDERS P.O. BOX 1 MEDWAY, MA 02053
OWNER: HARTNEY REALTY TRUST P.O. BOX 1 MEDWAY, MA 02053

MASSACHUSETTS COORDINATE SYSTEM MAINLAND ZONE FROM GUERRIERE & HALNON INC. PLAN No. 753 OF 1986
PREPARED FOR: CLAFCO BUILDERS P.O. BOX 1 MEDWAY, MA 02053
ASSESSORS REFERENCE: MAP 5-8 PARCEL 5/401
DEED REFERENCE: NORFOLK COUNTY BOOK 1876 PAGE 197
DEED FROM HEIRS OF KATE NEWTON TO HARTNEY REALTY TRUST
PLAN REFERENCES: DESIMONE & ASSOCIATES DATED JULY 20, 2004
REVISED TO MARCH 26, 2004
PLAN No. 1245 OF 1984
PLAN No. 751 OF 1986
PLAN No. 753 OF 1986
PLAN No. 1672 OF 1986
PLAN No. 117 OF 1992
PLAN No. 739 OF 1992
PLAN No. 829 OF 1999
1947 COUNTY LAYOUT OF SUMMER STREET
ZONING DISTRICT: ARI

I CERTIFY THAT THE SURVEY FOR PREPARATION OF THIS PLAN CONFORMS TO THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS. (250 CMR 6.01)
Daniel A. O'Driscoll Jan. 7, 2005
PROFESSIONAL LAND SURVEYOR DATE

"HARTNEY ACRES II"
(DEFINITIVE SUBDIVISION PLAN)
PLAN OF LAND
IN
MEDWAY, MASSACHUSETTS
NOVEMBER 29, 2004
REV. DECEMBER 13, 2004
REV. DECEMBER 17, 2004
REV. JANUARY 7, 2005
SCALE: 1"=40'
O'DRISCOLL
LAND SURVEYING Co.
LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 508-533-3314
SHEET 2 OF 12 FILE No.1253



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.
Daniel A. O'Driscoll Jan. 7, 2005
PROFESSIONAL LAND SURVEYOR DATE

□ DENOTES CONCRETE BOUND TO BE SET

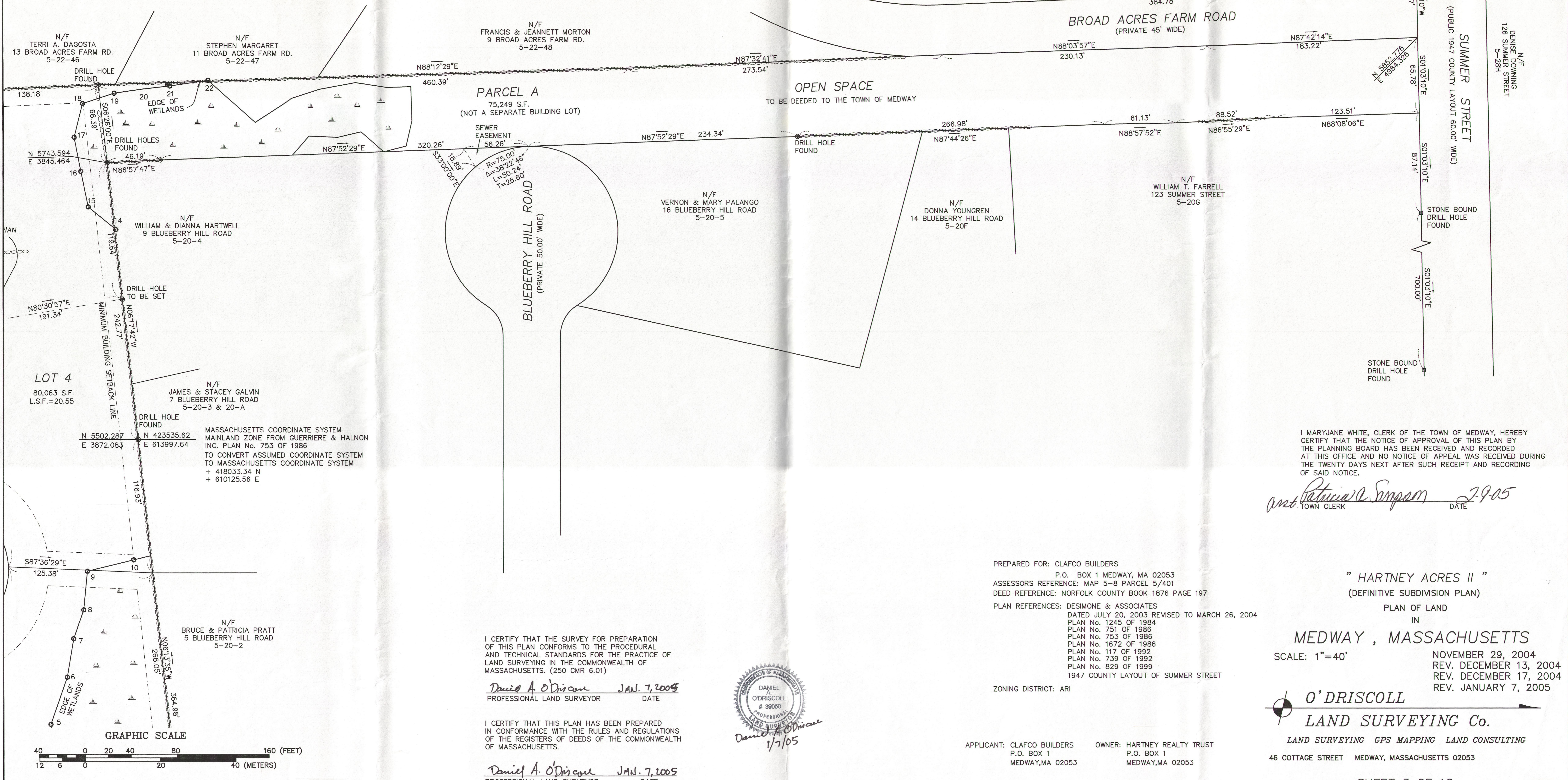
TOWN OF MEDWAY PLANNING BOARD

[Handwritten signatures]

2/8/05
DATE

RESERVED FOR REGISTRY USE

COUNTY LAYOUT OF SUMMER STREET



I MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

Patricia A. Simpson 2-9-05
TOWN CLERK DATE

PREPARED FOR: CLAFCO BUILDERS
P.O. BOX 1 MEDWAY, MA 02053
ASSESSORS REFERENCE: MAP 5-8 PARCEL 5/401
DEED REFERENCE: NORFOLK COUNTY BOOK 1876 PAGE 197
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DATED JULY 20, 2003 REVISED TO MARCH 26, 2004
PLAN No. 1245 OF 1984
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PLAN No. 753 OF 1986
PLAN No. 1672 OF 1986
PLAN No. 117 OF 1992
PLAN No. 739 OF 1992
PLAN No. 829 OF 1999
1947 COUNTY LAYOUT OF SUMMER STREET

"HARTNEY ACRES II"
(DEFINITIVE SUBDIVISION PLAN)

MEDWAY, MASSACHUSETTS

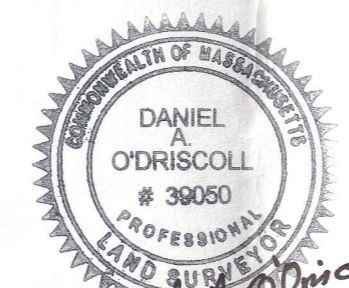
SCALE: 1"=40'
NOVEMBER 29, 2004
REV. DECEMBER 13, 2004
REV. DECEMBER 17, 2004
REV. JANUARY 7, 2005

O'DRISCOLL
LAND SURVEYING Co.

LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053

I CERTIFY THAT THE SURVEY FOR PREPARATION OF THIS PLAN CONFORMS TO THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS. (250 CMR 6.01)

Daniel A. O'Driscoll JAN. 7, 2005
PROFESSIONAL LAND SURVEYOR DATE

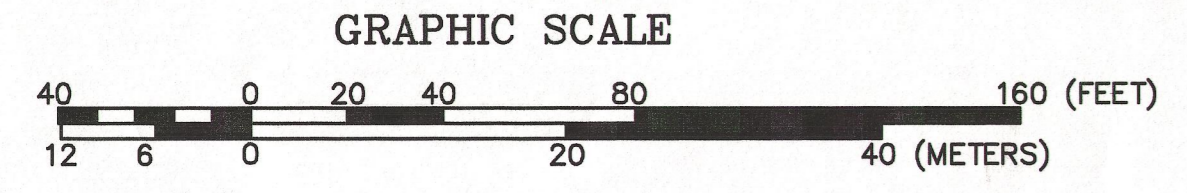


I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Daniel A. O'Driscoll JAN. 7, 2005
PROFESSIONAL LAND SURVEYOR DATE

Daniel A. O'Driscoll
1/7/05

APPLICANT: CLAFCO BUILDERS P.O. BOX 1 MEDWAY, MA 02053
OWNER: HARTNEY REALTY TRUST P.O. BOX 1 MEDWAY, MA 02053



NOTES:

- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES FOUND IN THE FIELD.
- CONTRACTOR TO COMPLY WITH ORDER OF CONDITIONS DATED MAY 17, 2004, AND ISSUED BY THE MEDWAY CONSERVATION COMMISSION (DEP FILE #216-645).
- CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. CONTRACTOR TO NOTIFY "DIG-SAFE" AT 1-888-DIG-SAFE (1-888-344-7233).
- THE CONTRACTOR SHALL INSTALL CATCH BASIN PROTECTION AS NECESSARY TO PROTECT AGAINST POTENTIAL EROSION. SEE DETAIL ON SHEET 10 OF 12.

TOWN OF MEDWAY PLANNING BOARD
[Signature]
 DATE: 2/8/05

1. PLAN ENDORSEMENT IS SUBJECT TO THE CONDITIONS SET FORTH IN THE MEDWAY PLANNING BOARD CERTIFICATE OF ACTION DATED 12-17-04

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.
[Signature]
 TOWN CLERK DATE: 2-9-05

- LEGEND**
- N/F NOW OR FORMERLY
 - CB DH CONCRETE BOUND WITH DRILL HOLE
 - FND FOUND
 - EXIST. EXISTING
 - PROP. PROPOSED
 - INV. INVERT
 - R.C.P. REINFORCED CONCRETE PIPE
 - APPROX. APPROXIMATE
 - HYDRANT HYDRANT
 - SM SEWER MANHOLE
 - DMH DRAIN MANHOLE
 - CB & S.W. STORMWATER CATCH BASIN
 - EXIST. EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - OHW OVERHEAD WIRES
 - SM SEWER FORCE MAIN
 - DTH DEEP TEST HOLE
 - DET. DETENTION
 - UTILITY POLE UTILITY POLE
 - FLARED END SECTION FLARED END SECTION
 - ELEV. ELEVATION
 - BIT. BITUMINOUS
 - CONC. CONCRETE
 - DD DOWNSTREAM DEFENDER WATER QUALITY TREATMENT UNIT
 - O.C.S. OUTLET CONTROL STRUCTURE
 - F.F. FIRST FLOOR ELEVATION
 - B.F. BASEMENT FLOOR ELEVATION
 - G.F. GARAGE FLOOR ELEVATION
 - BM. BENCHMARK
 - FA FIRE ALARM BOX
 - WATER GATE WATER GATE
 - V.G.C. VERTICAL GRANITE CURB
 - OLD TEST PITS (RFW) OLD TEST PITS (RFW)
 - NEW TEST PITS (PSI 9/24/04) NEW TEST PITS (PSI 9/24/04)
 - E.T.C. ELECTRIC, TELEPHONE & CABLE
 - PROPOSED STREET TREES PROPOSED STREET TREES
 - NORTHERN RED OAK NORTHERN RED OAK
 - ARISTOCRAT PEAR ARISTOCRAT PEAR
 - COLUMNAR MAPLE COLUMNAR MAPLE

"HARTNEY ACRES II"
(DEFINITIVE SUBDIVISION PLAN)
 IN
MEDWAY, MASSACHUSETTS

APPLICANT: CLAFCO BUILDERS
 P.O. BOX 1
 MEDWAY, MA 02053

OWNER: HARTNEY REALTY TRUST
 P.O. BOX 1
 MEDWAY, MA 02053

SCALE: 1"=40'

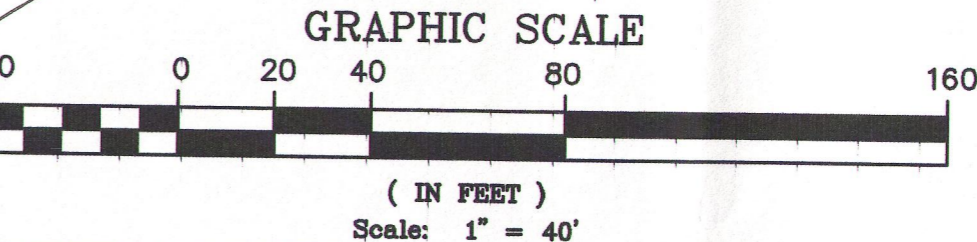
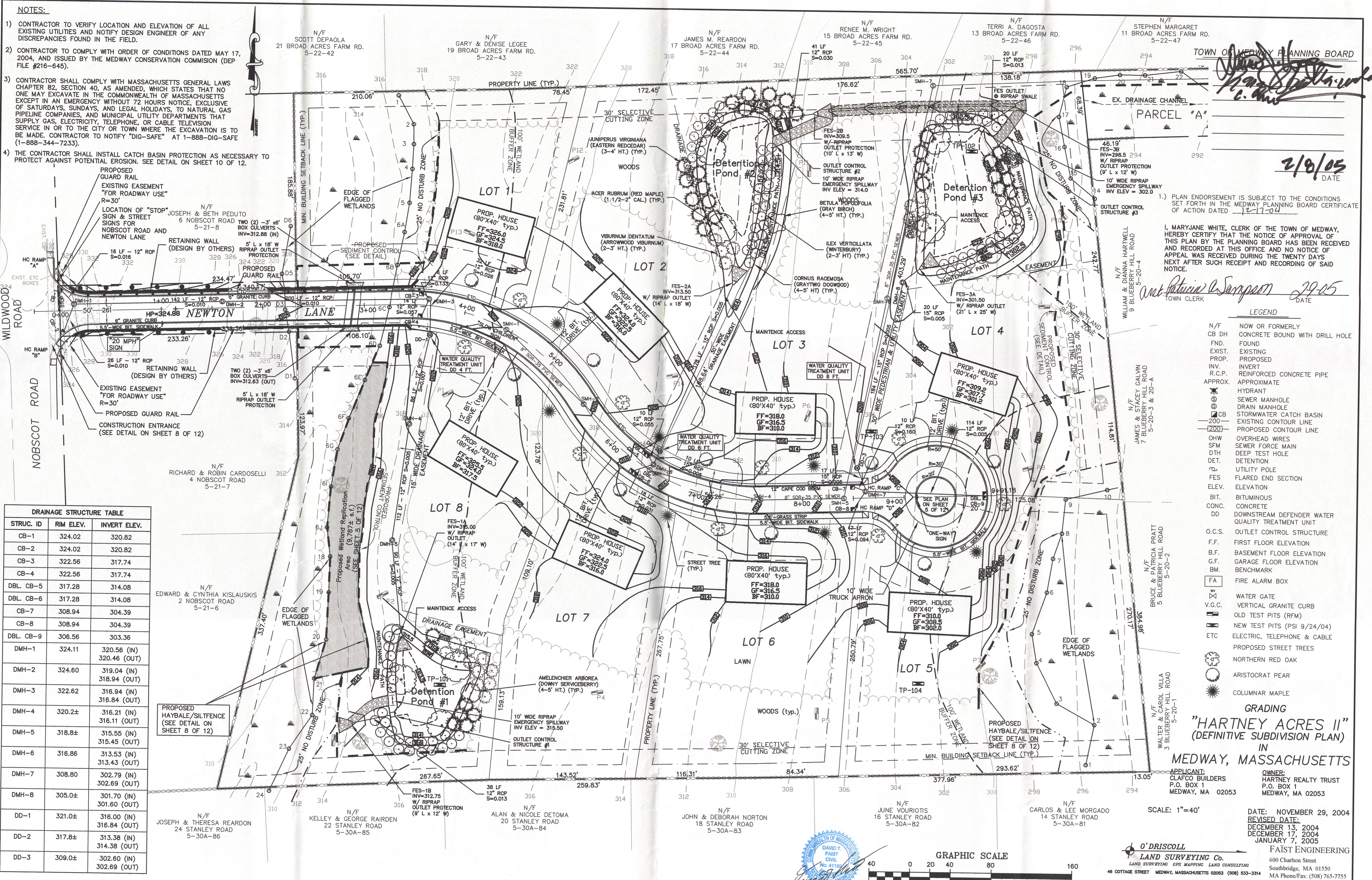
DATE: NOVEMBER 29, 2004
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O'DRISCOLL
LAND SURVEYING Co.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 48 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

FAIST ENGINEERING
 600 Charlton Street
 Southbridge, MA 01550
 MA Phone/Fax: (508) 765-7755

DRAINAGE STRUCTURE TABLE

STRUC. ID	RIM ELEV.	INVERT ELEV.
CB-1	324.02	320.82
CB-2	324.02	320.82
CB-3	322.56	317.74
CB-4	322.56	317.74
DBL CB-5	317.28	314.08
DBL CB-6	317.28	314.08
CB-7	308.94	304.39
CB-8	308.94	304.39
DBL CB-9	306.56	303.36
DMH-1	324.11	320.56 (IN) 320.46 (OUT)
DMH-2	324.60	319.04 (IN) 318.94 (OUT)
DMH-3	322.62	316.94 (IN) 316.84 (OUT)
DMH-4	320.2±	316.21 (IN) 316.11 (OUT)
DMH-5	318.8±	315.55 (IN) 315.45 (OUT)
DMH-6	316.86	313.53 (IN) 313.43 (OUT)
DMH-7	308.80	302.79 (IN) 302.69 (OUT)
DMH-8	305.0±	301.70 (IN) 301.60 (OUT)
DD-1	321.0±	316.00 (IN) 316.84 (OUT)
DD-2	317.8±	313.38 (IN) 314.38 (OUT)
DD-3	309.0±	302.60 (IN) 302.69 (OUT)



RESPONSIBILITIES OF OWNER/PERMITEE

- The Owner/Permitee shall:
 A. Provide the contractor with copies of land-use permits that owner has acquired.
 B. Inform all parties involved with the proposed site work of this plan's objectives and requirements.

RESPONSIBILITIES OF CONTRACTOR

The contractor is responsible for preventing erosion of the site and for protecting adjacent storm sewers and waterways from sedimentation.

- The contractor shall:
 A. Install, monitor, and maintain of the soil erosion and sediment control measures as shown on sheet 4 & 5 of 12.
 B. Comply with all permit requirements.

PRECONSTRUCTION CONFERENCE

The Permittee, Owner-of-record, contractor, engineer, and the Municipality shall hold a preconstruction conference to review the proposed soil erosion and sediment control measures.

GENERAL CONTROLS

Cleaning of Stormwater Structures:
 Clean all stormwater structures, including, but not limited to pipes, swales, subsurface retention basins, sediment traps, and riprap aprons of sediment upon completion of the project.

Construction Entrance:

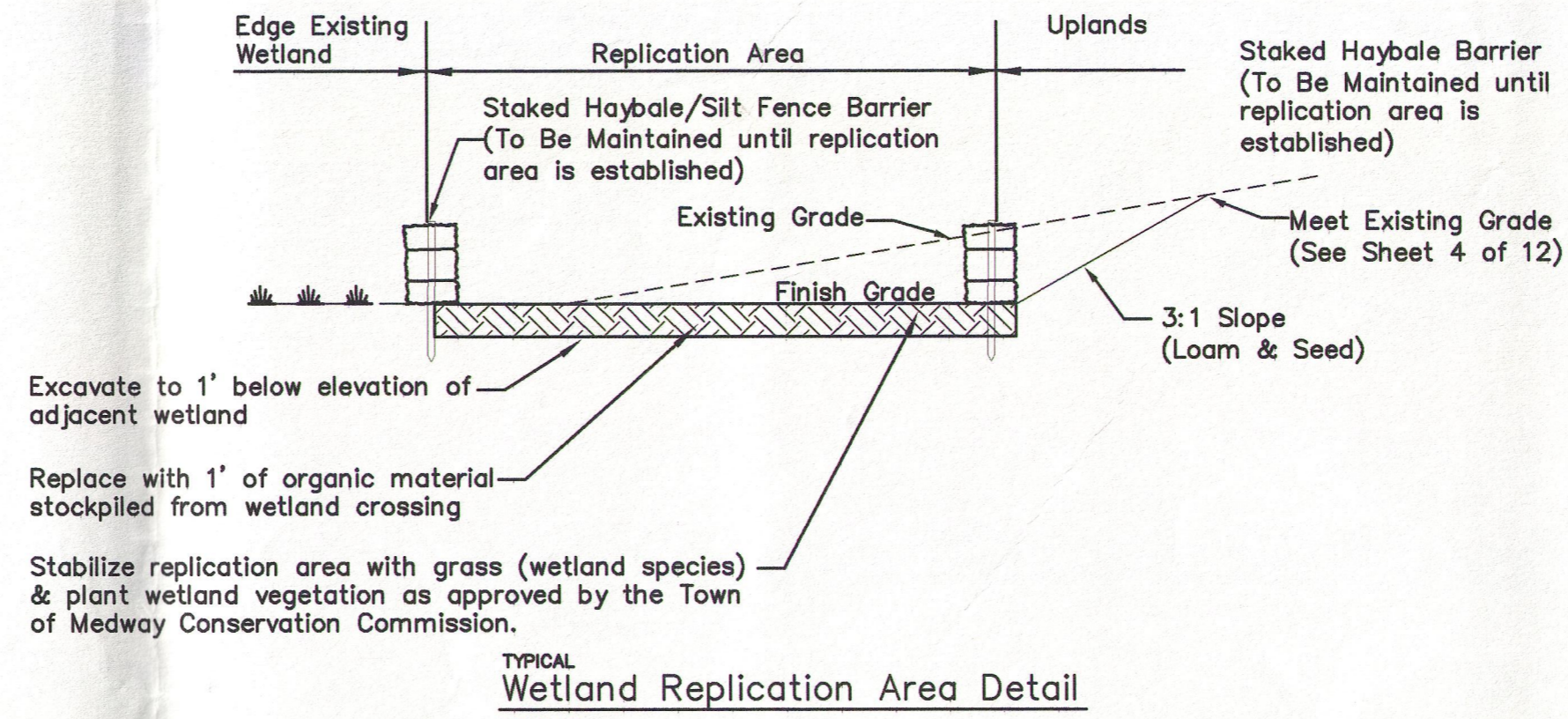
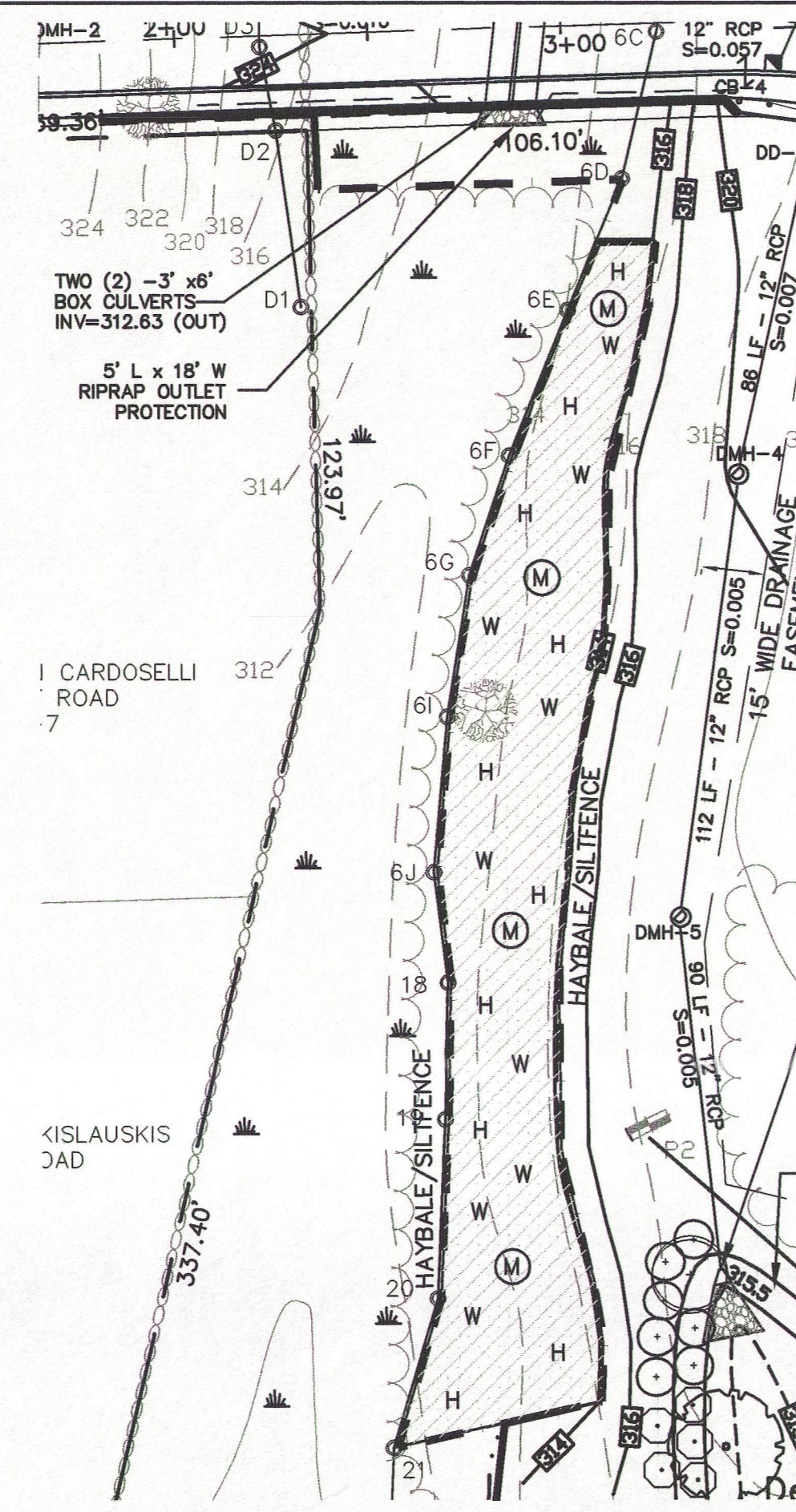
Place clean washed stone at the site entrances to the length, width and depth indicated on the plans and details to help remove mud and/or clods of soil from construction vehicles exiting from the site. Add additional stone as necessary to maintain adequate serviceability.

Pavement Maintenance:

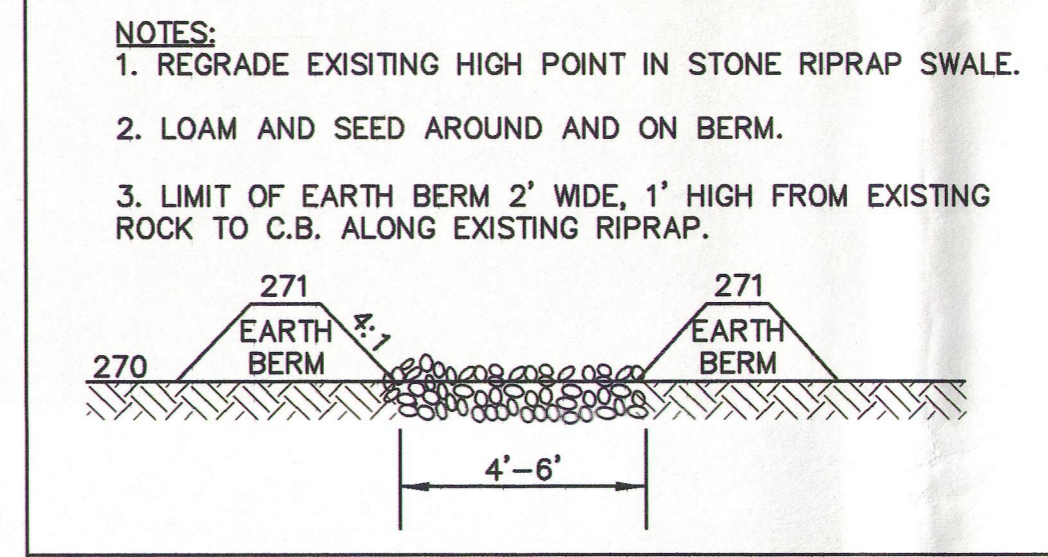
The contractor shall sweep paved roadways adjacent to the site on a routine basis to prevent tracking of mud onto public roadways and washing of mud into waterways. If the contractor's schedule for cleaning the pavement is found to be inadequate by the Owner, Owner's Representative, or Municipality, the contractor shall increase the frequency at no additional cost to the owner.

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- REPLICATION AREA (9,787 ± S.F.)**
- NINE (9) W = WINTERBERRY 2-2 1/2 HT
 - TEN (10) H = HIGH BUSH BLUEBERRY 2-2 1/2 HT
 - FOUR(4) M = MAPLE TREE 2-3" DIAM. (MIN.)
 - CONSERVATION WETLAND MIX THROUGHOUT



TOWN OF MEDWAY PLANNING BOARD

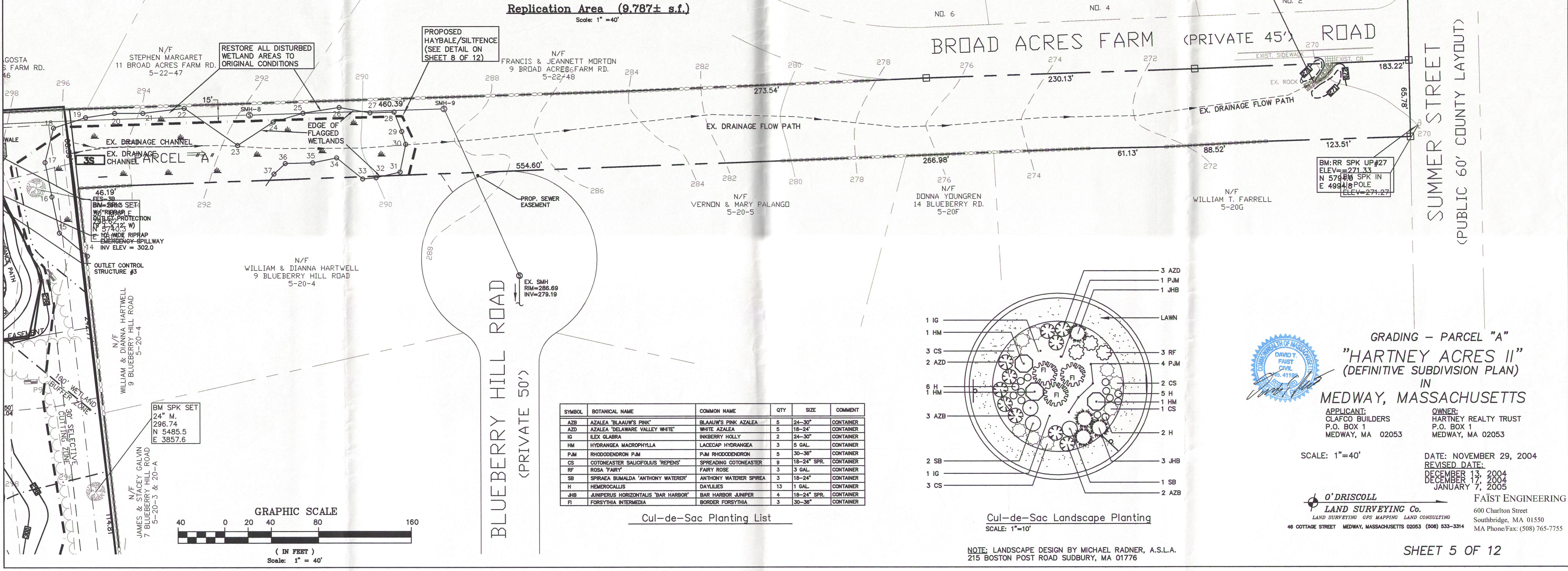
Handwritten signatures and dates

2/8/05
DATE

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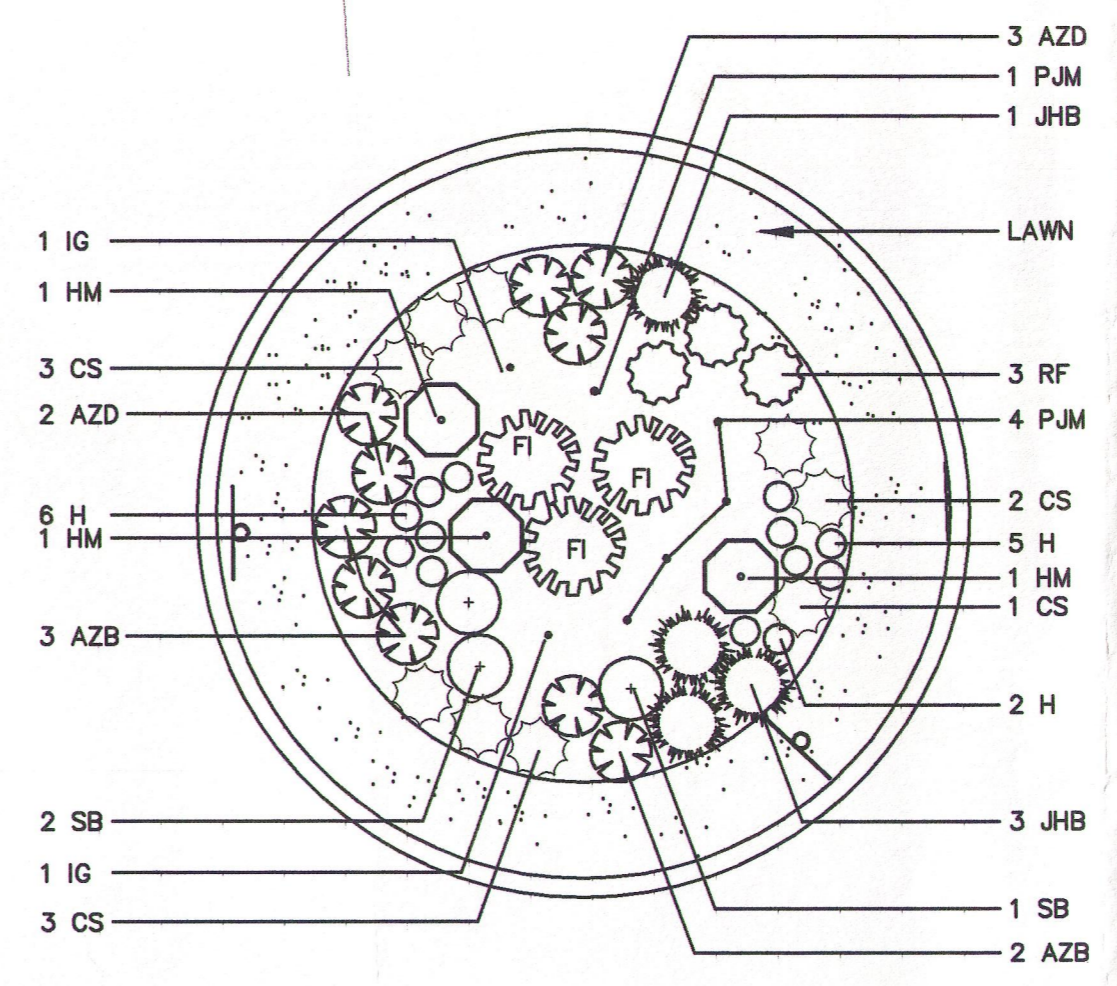
Signature of MaryJane White
TOWN CLERK DATE 2/9/05



Replication Area (9,787± s.f.)
Scale: 1" = 40'

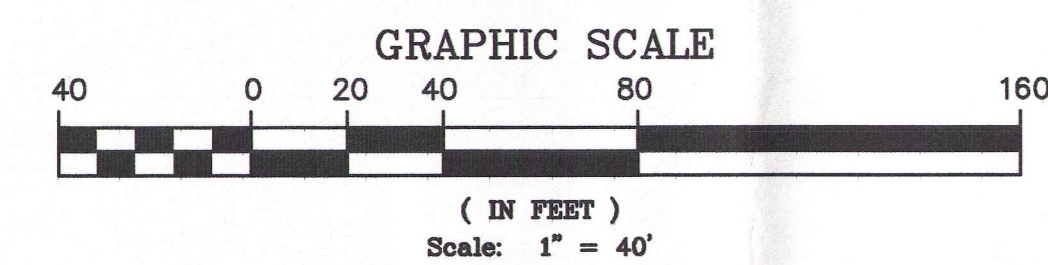
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENT
AZB	AZALEA 'BLAUW'S PINK'	BLAUW'S PINK AZALEA	5	24-30"	CONTAINER
AZD	AZALEA 'DELAWARE VALLEY WHITE'	WHITE AZALEA	5	18-24"	CONTAINER
IG	ILEX GLABRA	HOLLY	2	24-30"	CONTAINER
HM	HYDRANGEA MACROPHYLLA	LACECAP HYDRANGEA	3	5 GAL.	CONTAINER
PJM	RHODODENDRON PJM	PJM RHODODENDRON	5	30-36"	CONTAINER
CS	COTONEASTER SALICIFOLIUS 'REPENS'	SPREADING COTONEASTER	9	18-24" SPR.	CONTAINER
RF	ROSA 'FAIRY'	FAIRY ROSE	3	3 GAL.	CONTAINER
SB	SPIRAEA BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIRAEA	3	18-24"	CONTAINER
H	HEMEROCALLIS	DAYLILIES	13	1 GAL.	CONTAINER
JHB	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	4	18-24" SPR.	CONTAINER
FI	FORSYTHIA INTERMEDIA	BORDER FORSYTHIA	3	30-36"	CONTAINER

Cul-de-Sac Planting List



Cul-de-Sac Landscape Planting
SCALE: 1" = 10'

NOTE: LANDSCAPE DESIGN BY MICHAEL RADNER, A.S.L.A.
215 BOSTON POST ROAD SUDBURY, MA 01776



GRADING - PARCEL "A"
"HARTNEY ACRES II"
 (DEFINITIVE SUBDIVISION PLAN)
 IN
 MEDWAY, MASSACHUSETTS

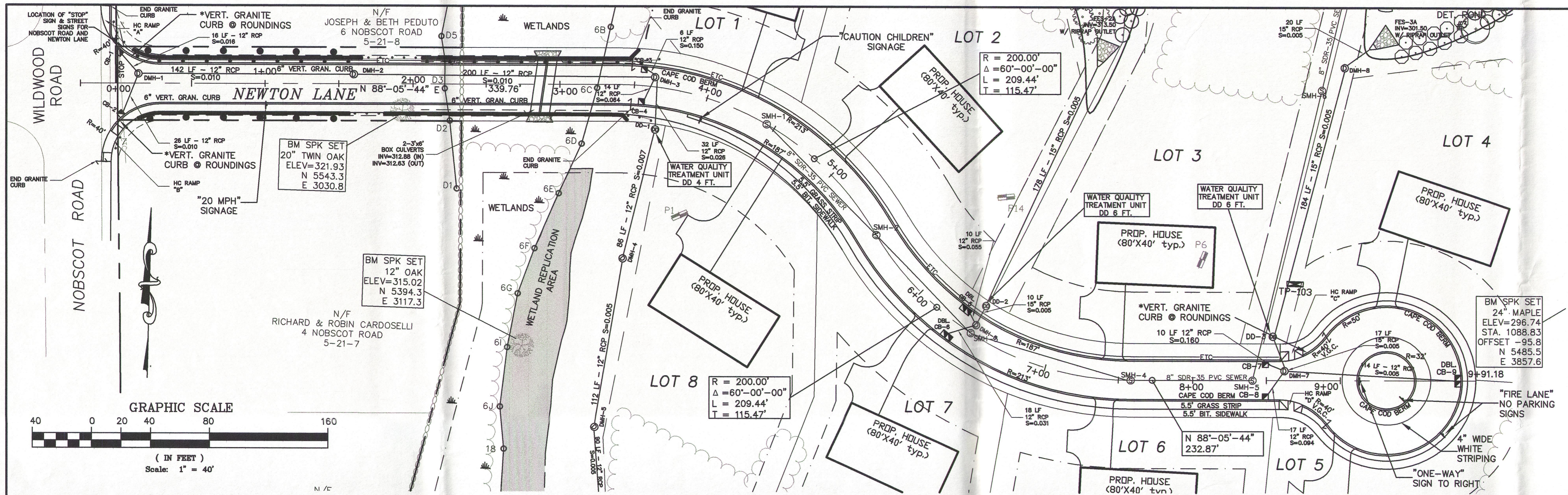
APPLICANT: CLAFCO BUILDERS
P.O. BOX 1
MEDWAY, MA 02053

OWNER: HARTNEY REALTY TRUST
P.O. BOX 1
MEDWAY, MA 02053

SCALE: 1" = 40'
 DATE: NOVEMBER 29, 2004
 REVISED DATE:
 DECEMBER 13, 2004
 DECEMBER 17, 2004
 JANUARY 7, 2005

O'DRISCOLL LAND SURVEYING Co.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

FAIST ENGINEERING
 600 Charlton Street
 Southbridge, MA 01550
 MA Phone/Fax: (508) 765-7755



TOWN OF MEDWAY PLANNING BOARD

[Signature]

2/9/05
DATE

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[Signature] 29-05
TOWN CLERK DATE

PLAN AND PROFILE "NEWTON LANE"

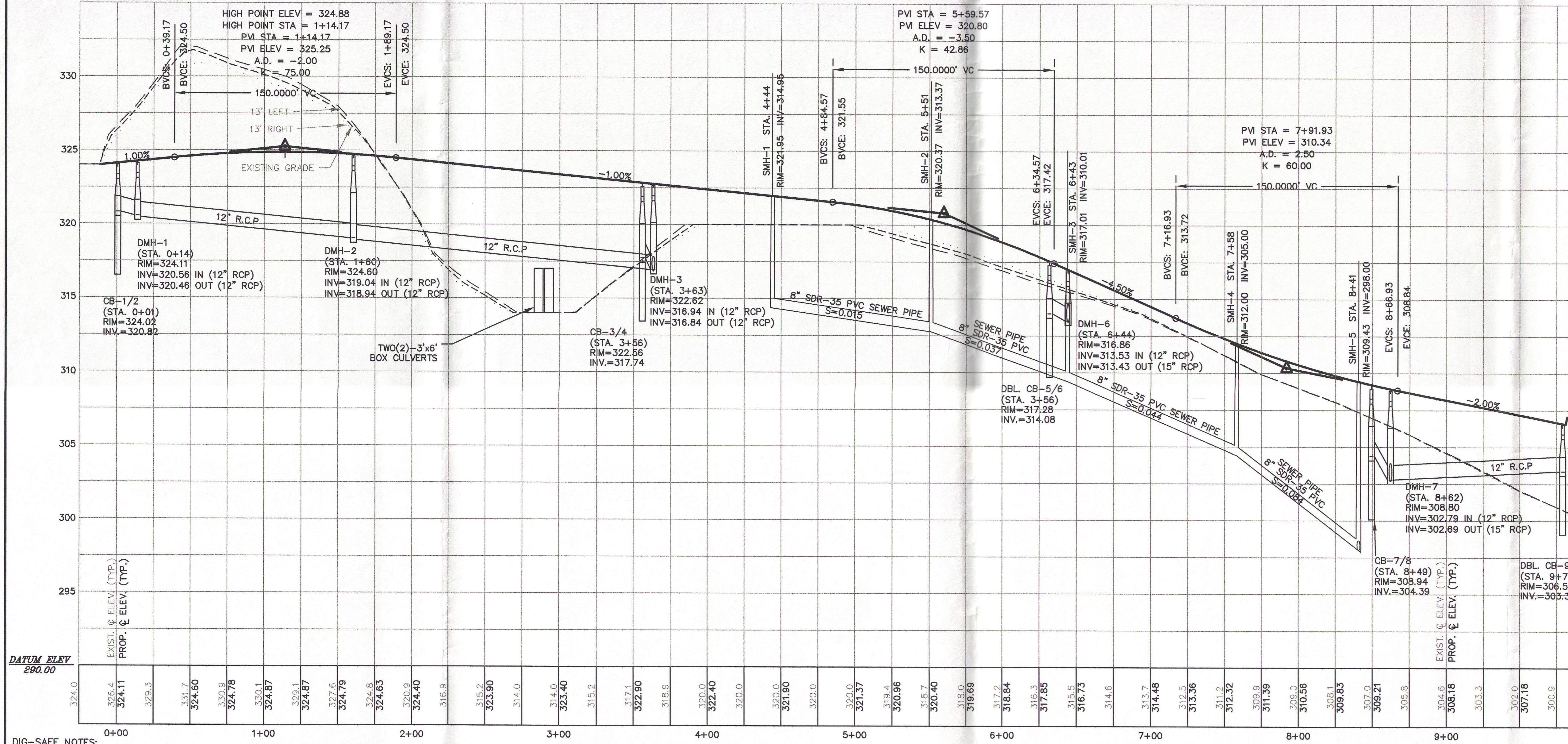
HARTNEY ACRES II
DEFINITIVE SUBDIVISION PLAN
IN
MEDWAY, MASSACHUSETTS

SCALES: HORIZONTAL 1"=40' NOVEMBER 29, 2004
VERTICAL 1"=4' REVISE DATE:
DECEMBER 13, 2004
DECEMBER 17, 2004
JANUARY 7, 2005

O'DRISCOLL
LAND SURVEYING Co.
LAND SURVEYING GIS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

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600 Charlton Street
Southbridge, MA 01550
MA Phone/Fax: (508) 765-7755

SHEET 6 OF 12 FILE No.1253

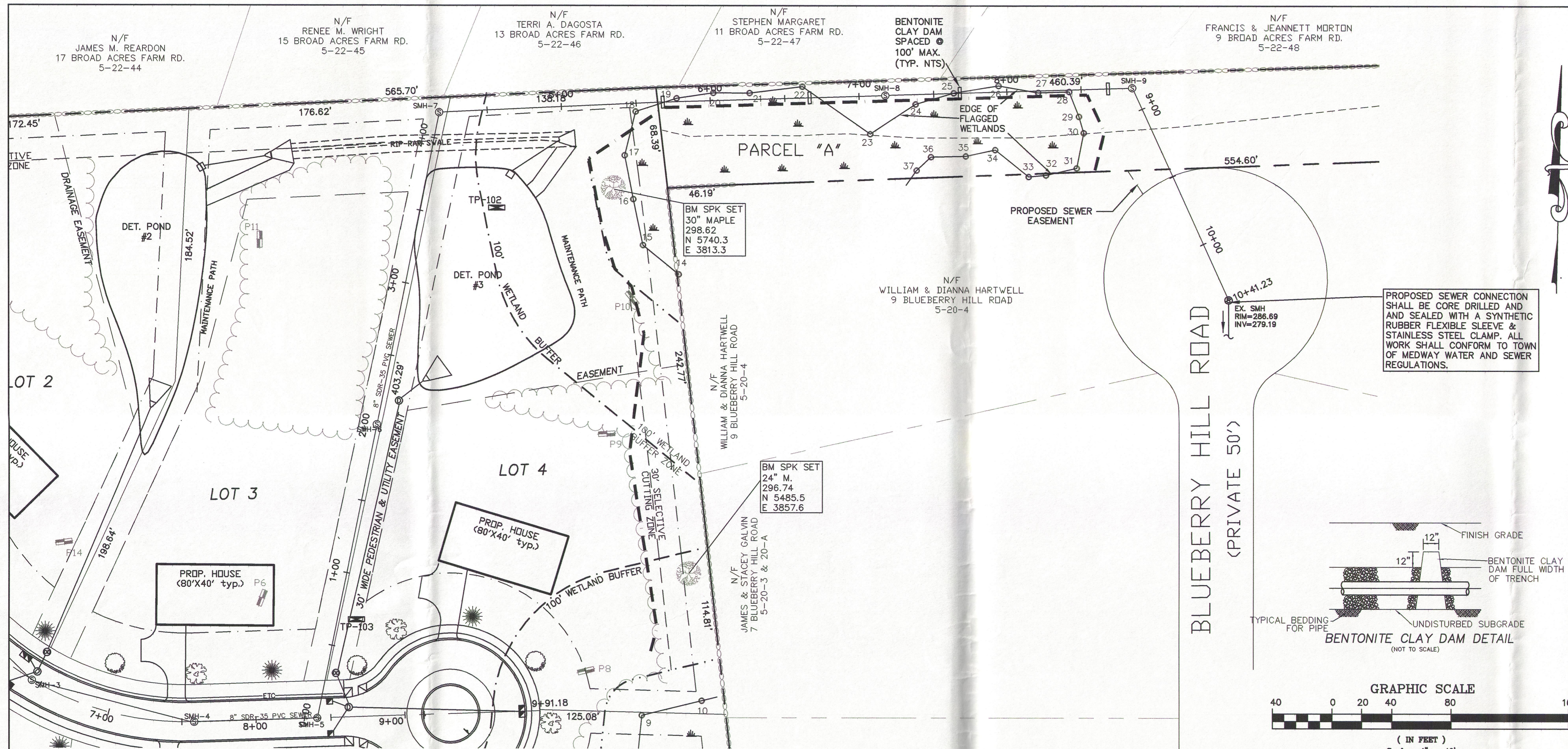


DIG-SAFE NOTES:

- 1) CONTRACTOR TO CONTACT DIG-SAFE AT LEAST 72 HOURS PRIOR TO THE START OF ANY ON-SITE WORK AT 1-888-DIG-SAFE (1-888-344-7233).
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PROFILE "NEWTON LANE"
(STA. 0+00 - STA. 9+91)

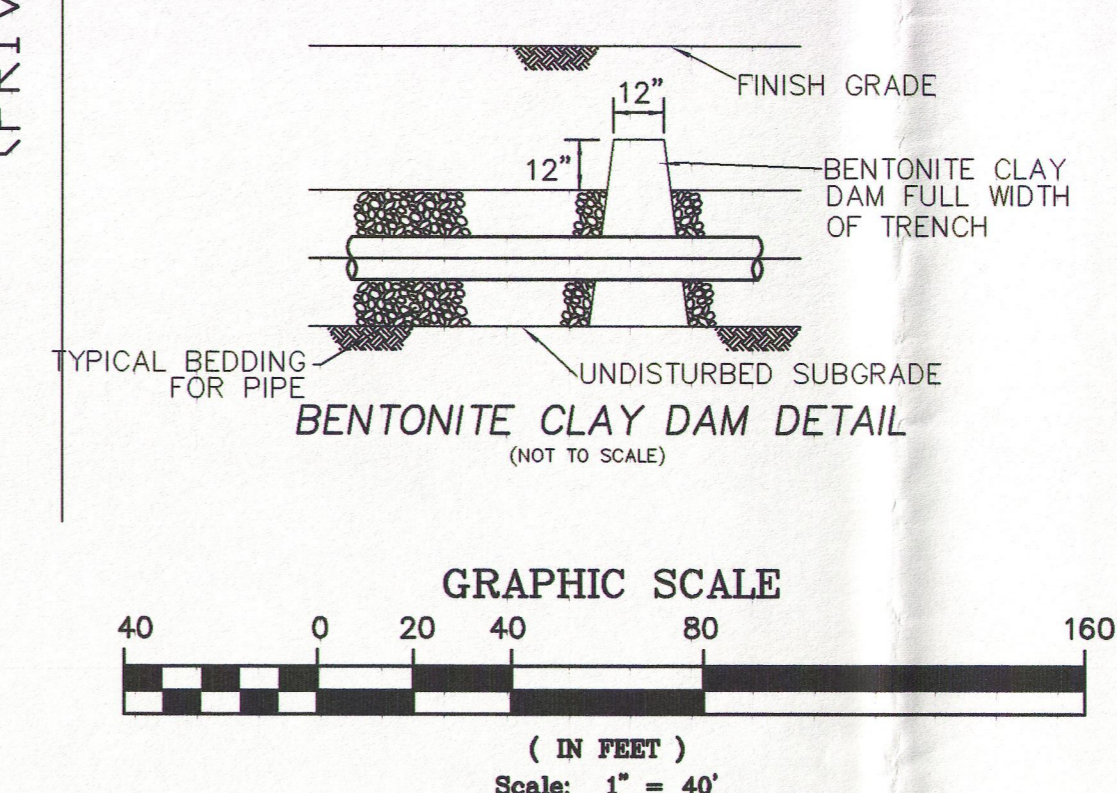
HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"= 4'



LEGEND

N/F	NOW OR FORMERLY	SFM	SEWER FORCE MAIN
CB DH	CONCRETE BOUND WITH DRILL HOLE	DTH	DEEP TEST HOLE
FND.	FOUND	DET.	DETENTION
EXIST.	EXISTING	UP	UTILITY POLE
PROP.	PROPOSED	FES	FLARED END SECTION
INV.	INVERT	TOF	TOP OF FOUNDATION
R.C.P.	REINFORCED CONCRETE PIPE	ELEV.	ELEVATION
APPROX.	APPROXIMATE	BIT.	BITUMINOUS
HYDRANT	HYDRANT	CONC.	CONCRETE
SMH	SEWER MANHOLE	FF	FINISH FLOOR ELEV.
DMH	DRAIN MANHOLE	GF	GARAGE FLOOR ELEV.
200	EXISTING CONTOUR LINE	BF	BASEMENT FLOOR ELEV.
200	PROPOSED CONTOUR LINE	V.G.C.	VERTICAL GRANITE CURB
OHW	OVERHEAD WIRES	CB	STORMWATER CATCH BASIN
		ETC	ELECTRIC, TELEPHONE & CABLE

- NOTES:**
- 1) ALL ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAD '88)
 - 2) ALL CATCH BASINS WILL BE CONSTRUCTED AS DEEP SUMP (4' BELOW INV.) W/ HOODS
 - 3) LOCATION OF ALL UTILITIES SHALL BE DETERMINED IN THE FIELD, BY THE RESPECTIVE UTILITY COMPANIES (ELECTRIC, CABLE, & TELECOM). THE APPLICANT, "CLAFCO BUILDERS", SHALL BE RESPONSIBLE TO ACCURATELY LOCATE THE UTILITIES DURING CONSTRUCTION, PRIOR TO BACKFILL, SUCH THAT THE ACTUAL LOCATION CAN BE ACCURATELY REPRESENTED ON THE AS-BUILT DRAWINGS.
 - 4) ALL SIGNS, INCLUDING STREET SIGNS, MUST CONFORM TO TOWN OF MEDWAY STANDARDS.



TOWN OF MEDWAY PLANNING BOARD
[Signature]
DATE: 2/10/05

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TOWN CLERK DATE

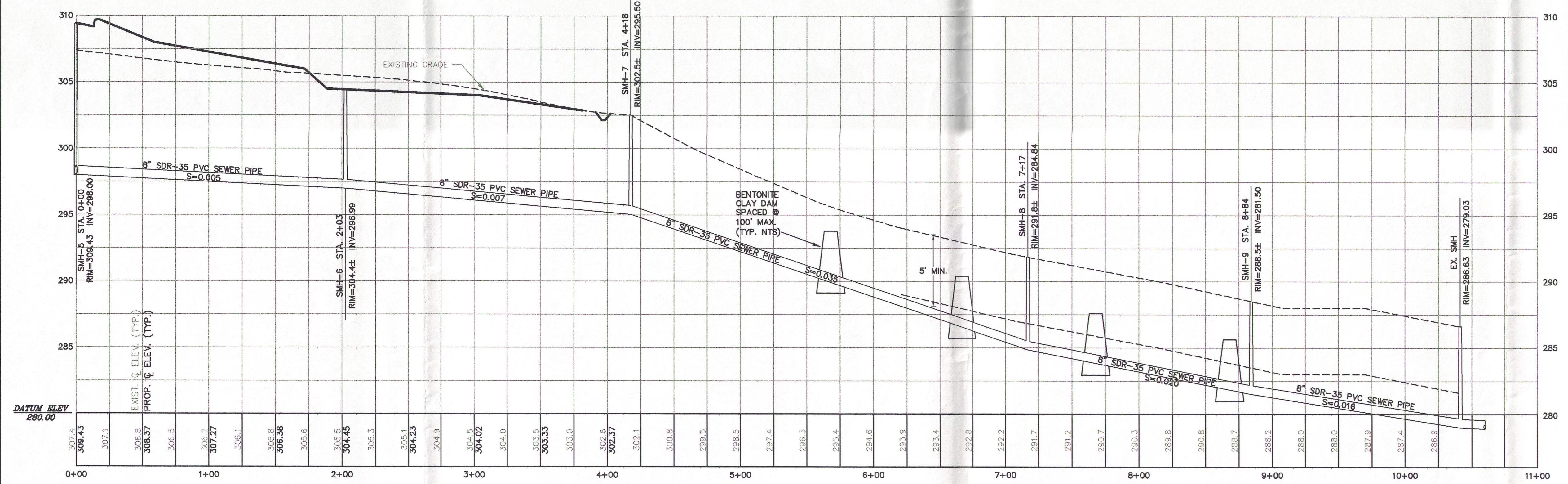
PLAN AND PROFILE
PARCEL "A" - SEWER
HARTNEY ACRES II
DEFINITIVE SUBDIVISION PLAN
IN
MEDWAY, MASSACHUSETTS

SCALES: HORIZONTAL 1"=40' VERTICAL 1"=4'
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O'DRISCOLL LAND SURVEYING Co.
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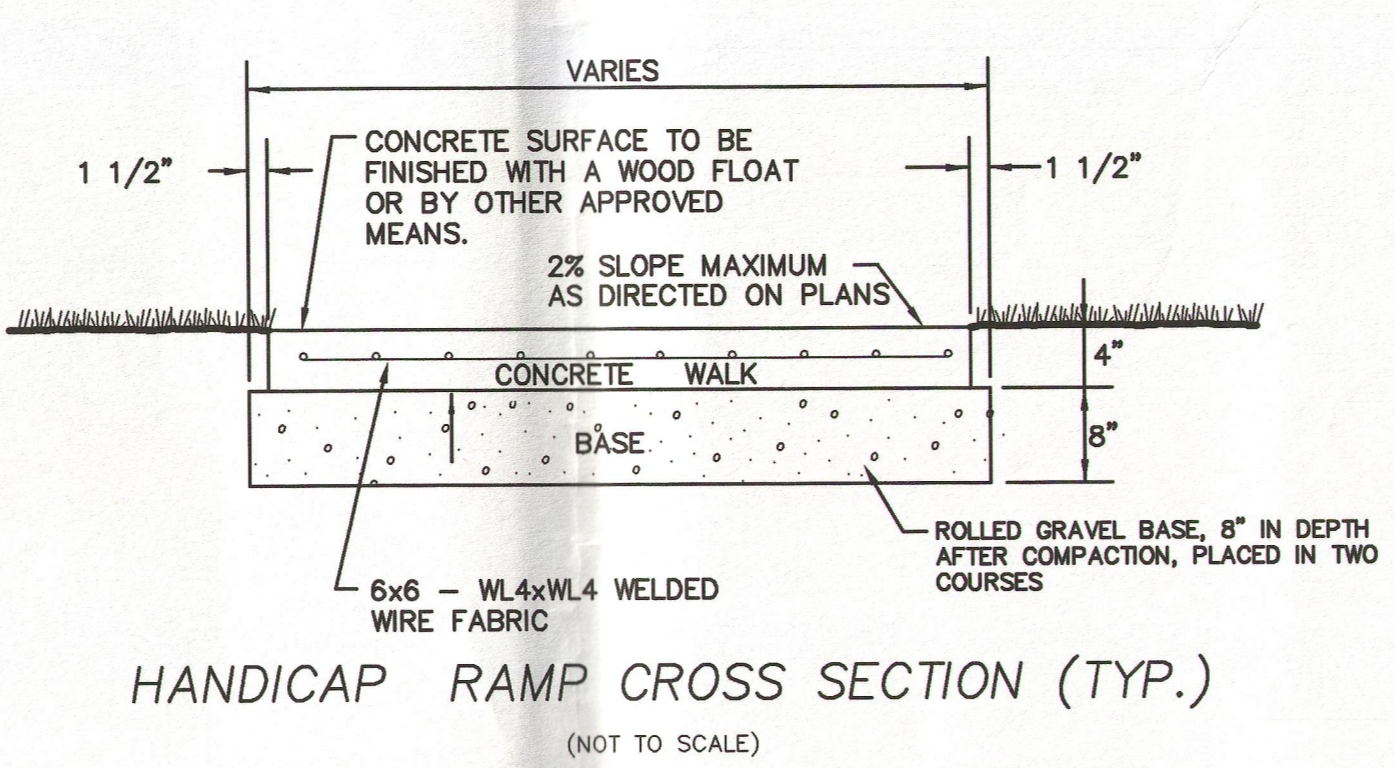
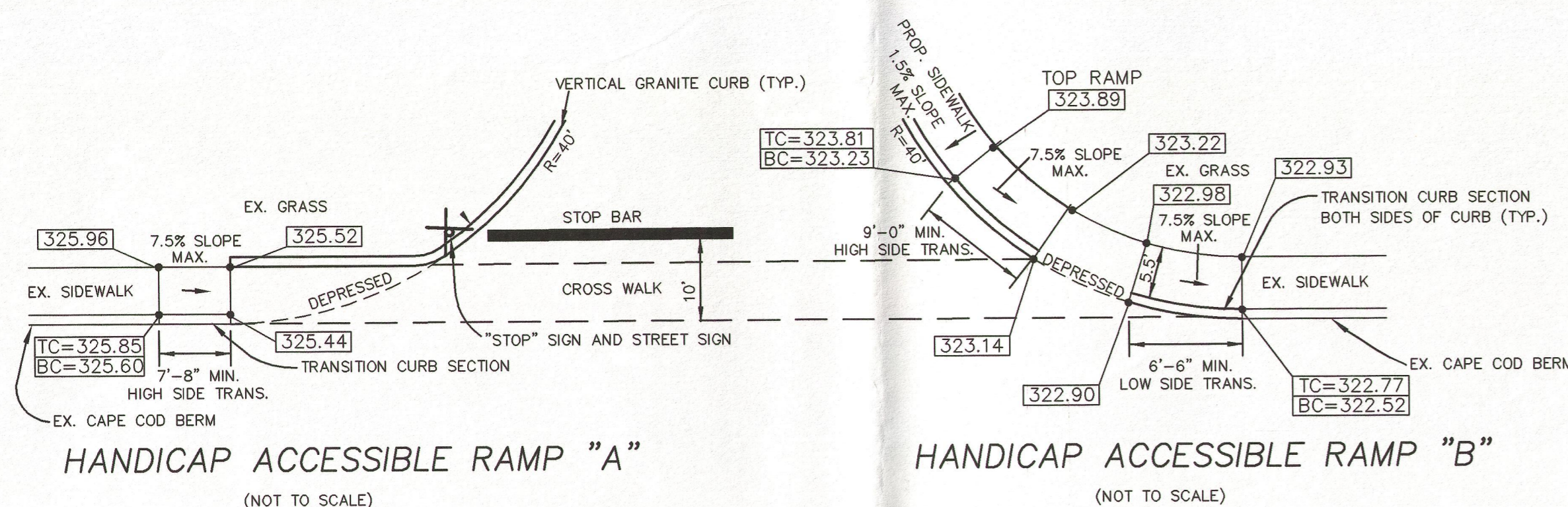
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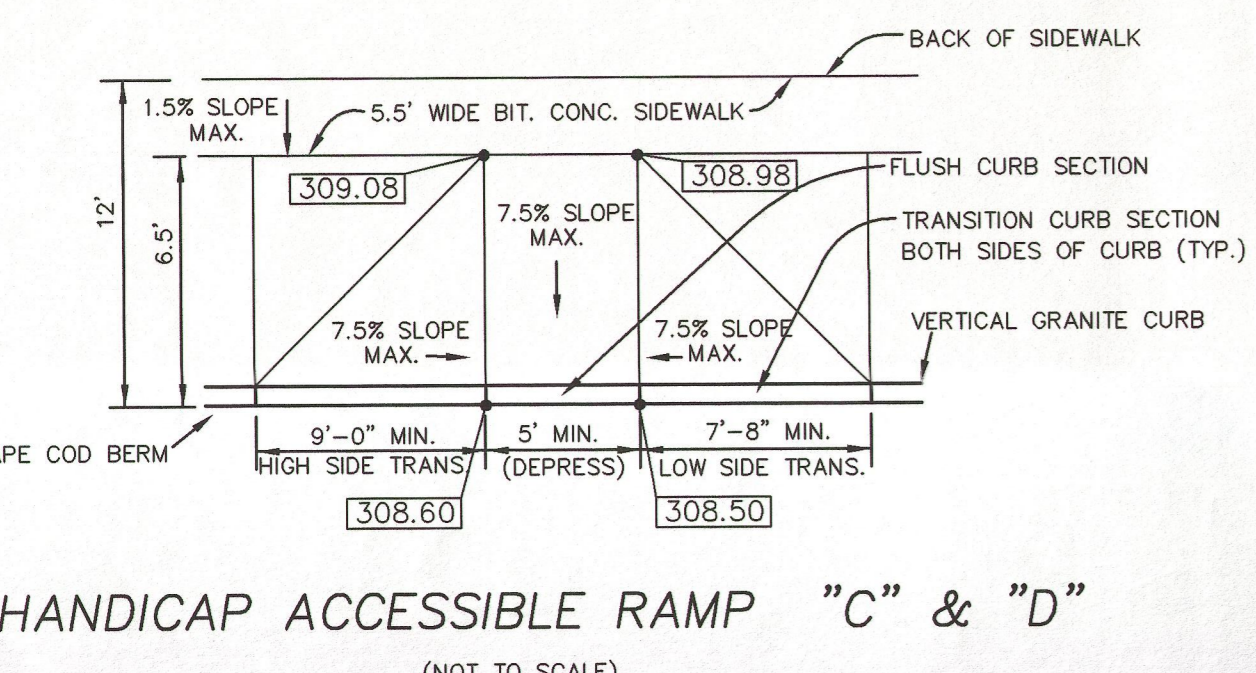
TOWN OF MEDWAY PLANNING BOARD
[Signature]
 DATE

1/19/05
 DATE

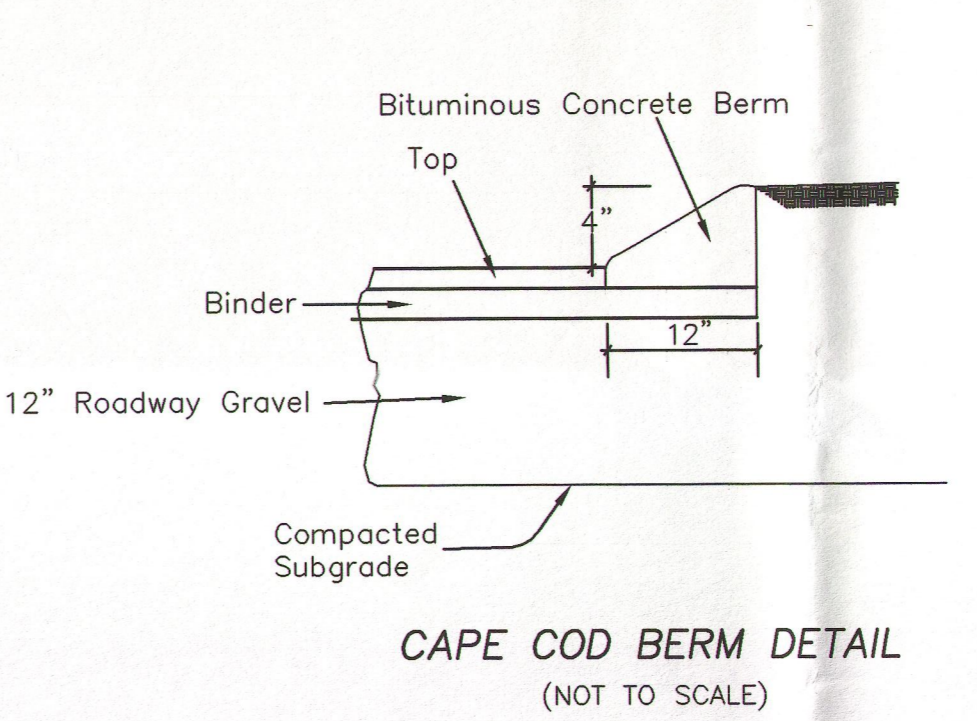
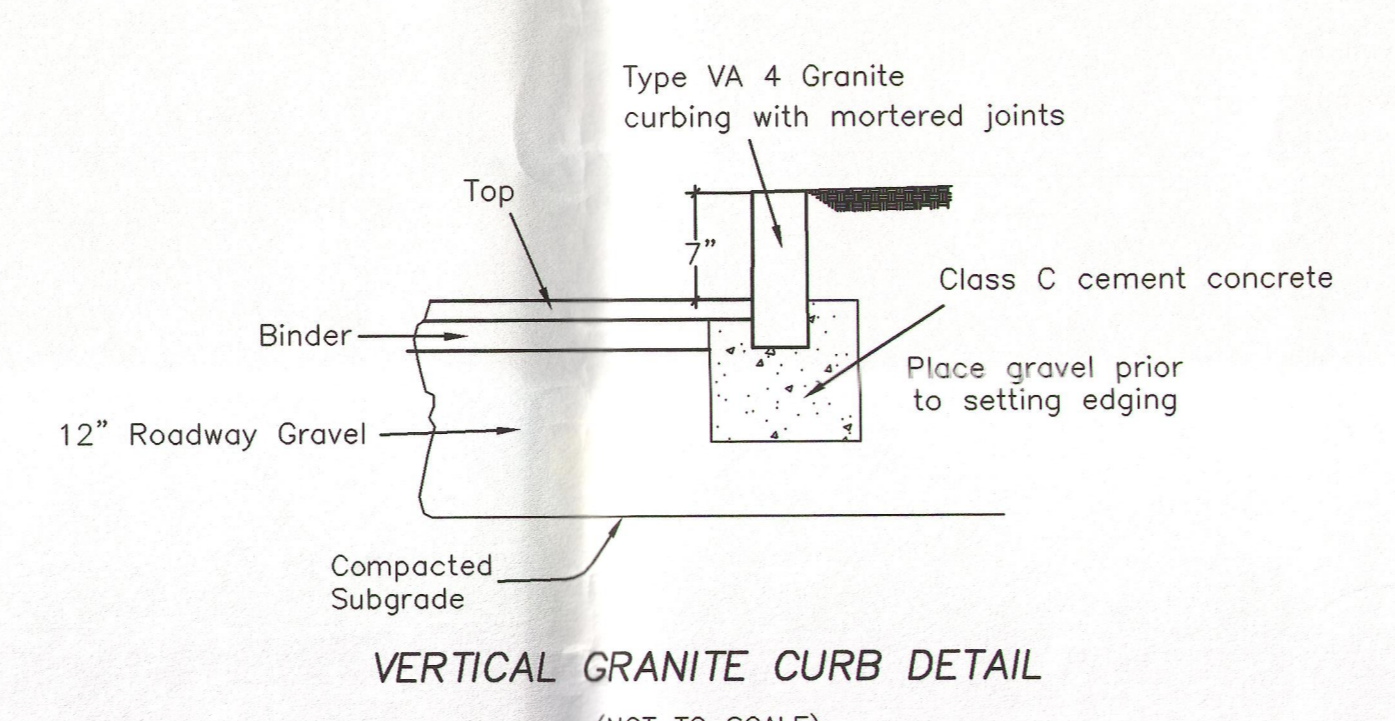


MONUMENTS:
 MONUMENTS INSTALLED ALONG THE STREET SHALL BE A GRANITE OR CONCRETE BOUND NOT LESS THAN THREE FEET IN LENGTH AND NOT LESS THAN FIVE INCHES SQUARE AND SHALL HAVE A 3/8" DIAMETER DRILL HOLE IN THE CENTER OF THE TOP SURFACE. MONUMENTS SET AT THE DRAIN EASEMENT CORNERS SHALL BE A REBAR OR IRON ROD 1/2" DIAMETER MINIMUM AND AT LEAST 30 INCHES IN LENGTH. IRON RODS SHALL BE SET SO THAT THE TOP IS AT A MAXIMUM ONE INCH ABOVE THE FINISH GRADE.
 MONUMENTS SHALL BE SET AT ALL EASEMENT CORNERS AND ANGLE POINTS. DRILL HOLES SHALL BE MADE AT ALL EASEMENT CORNERS LOCATED ON A STONE WALL.

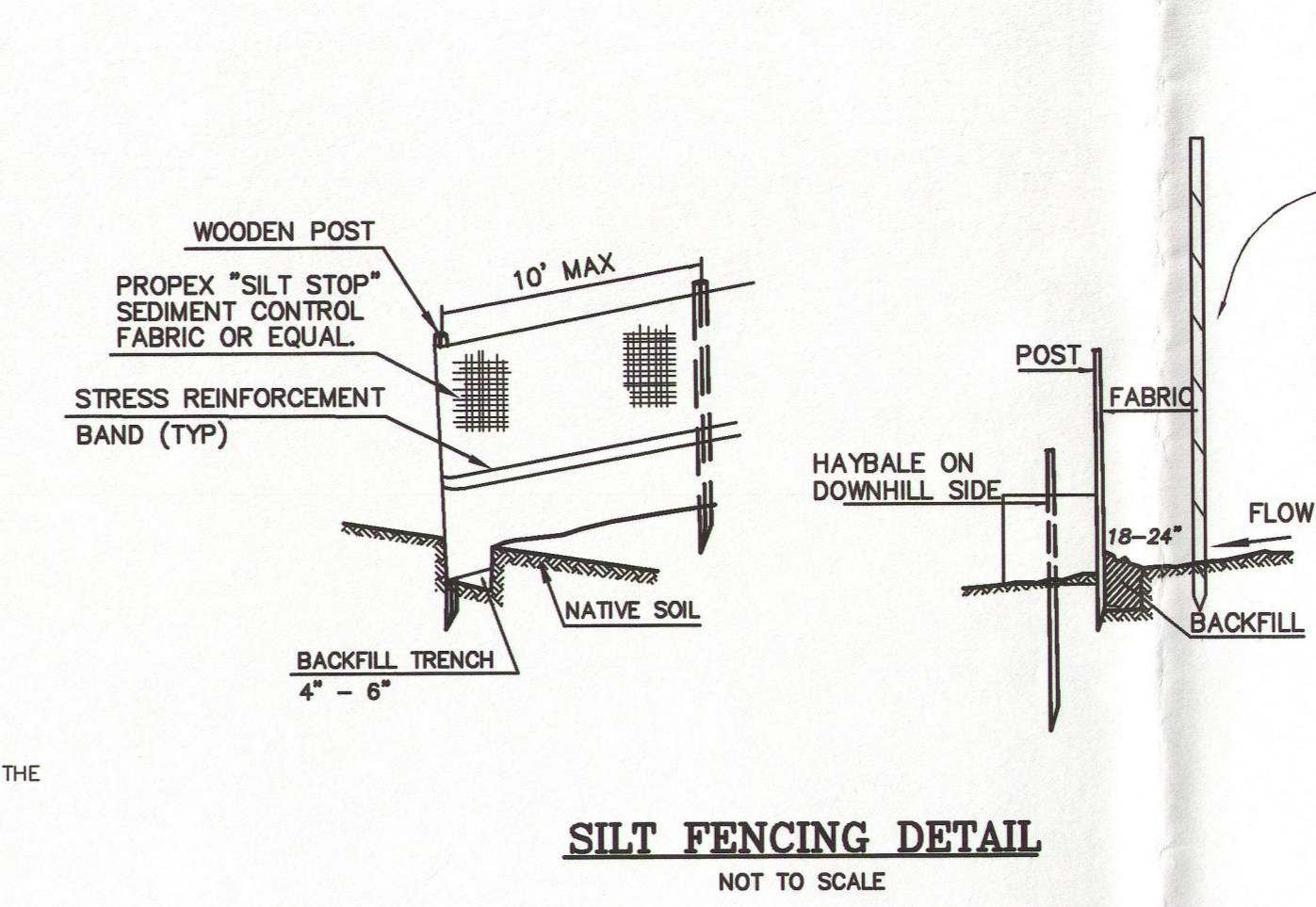
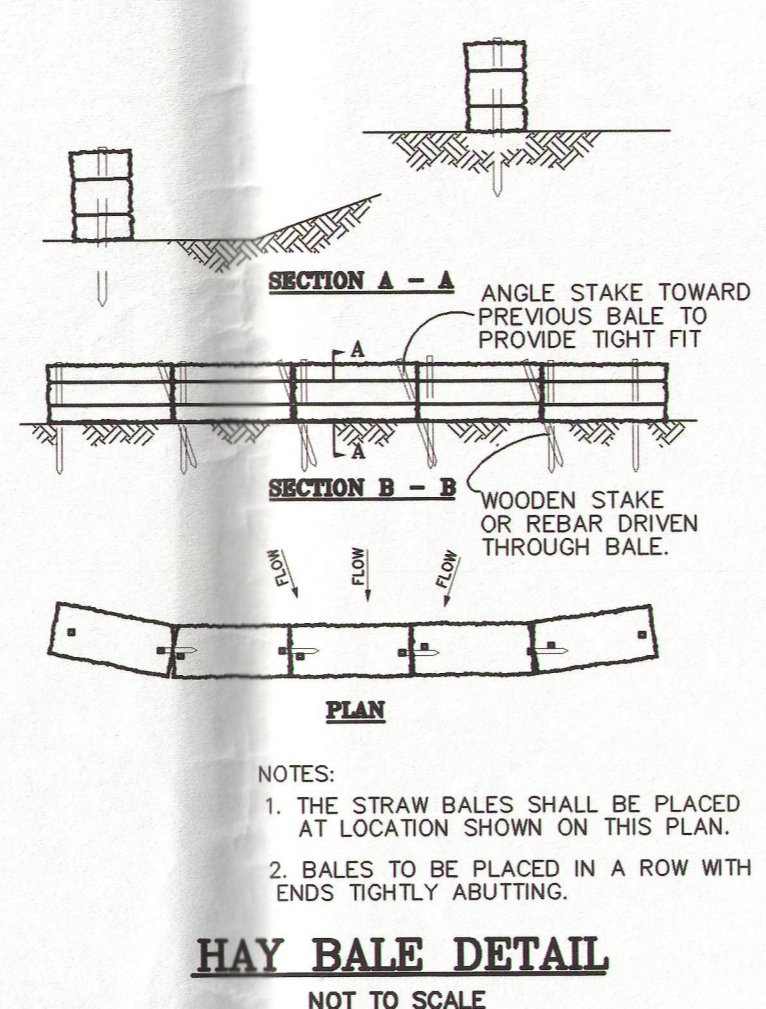
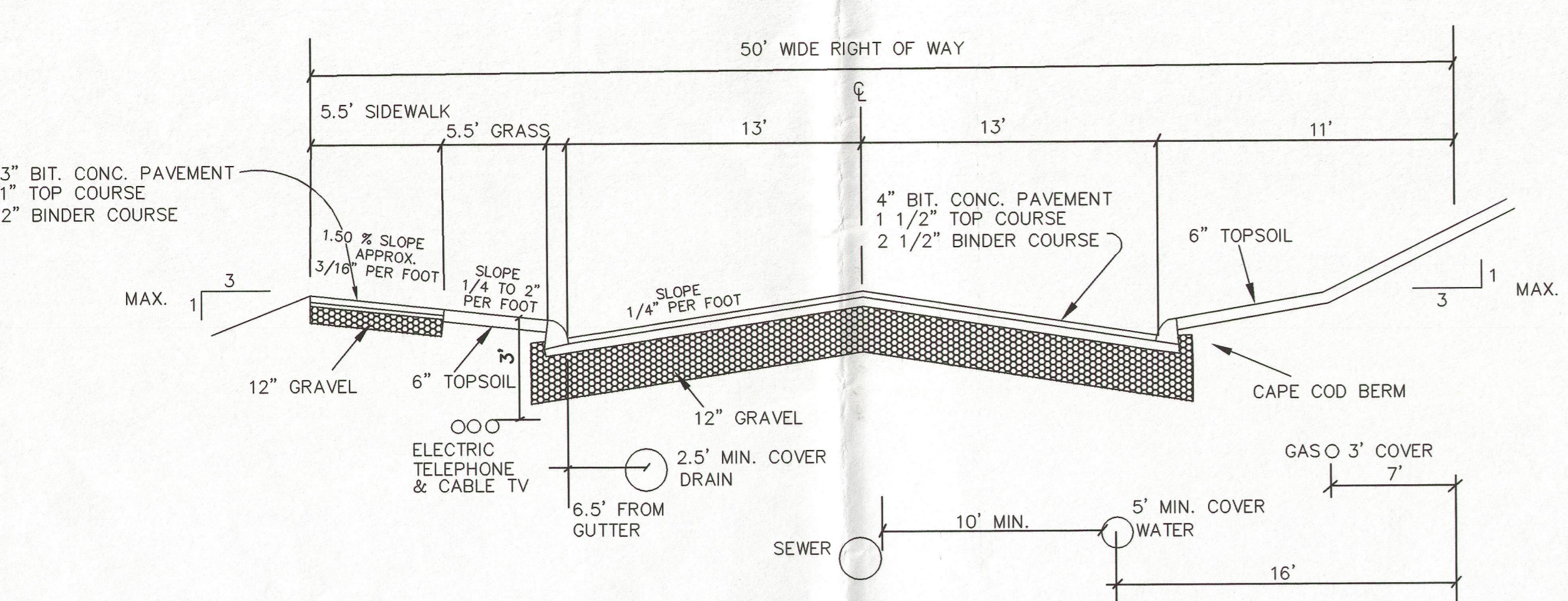
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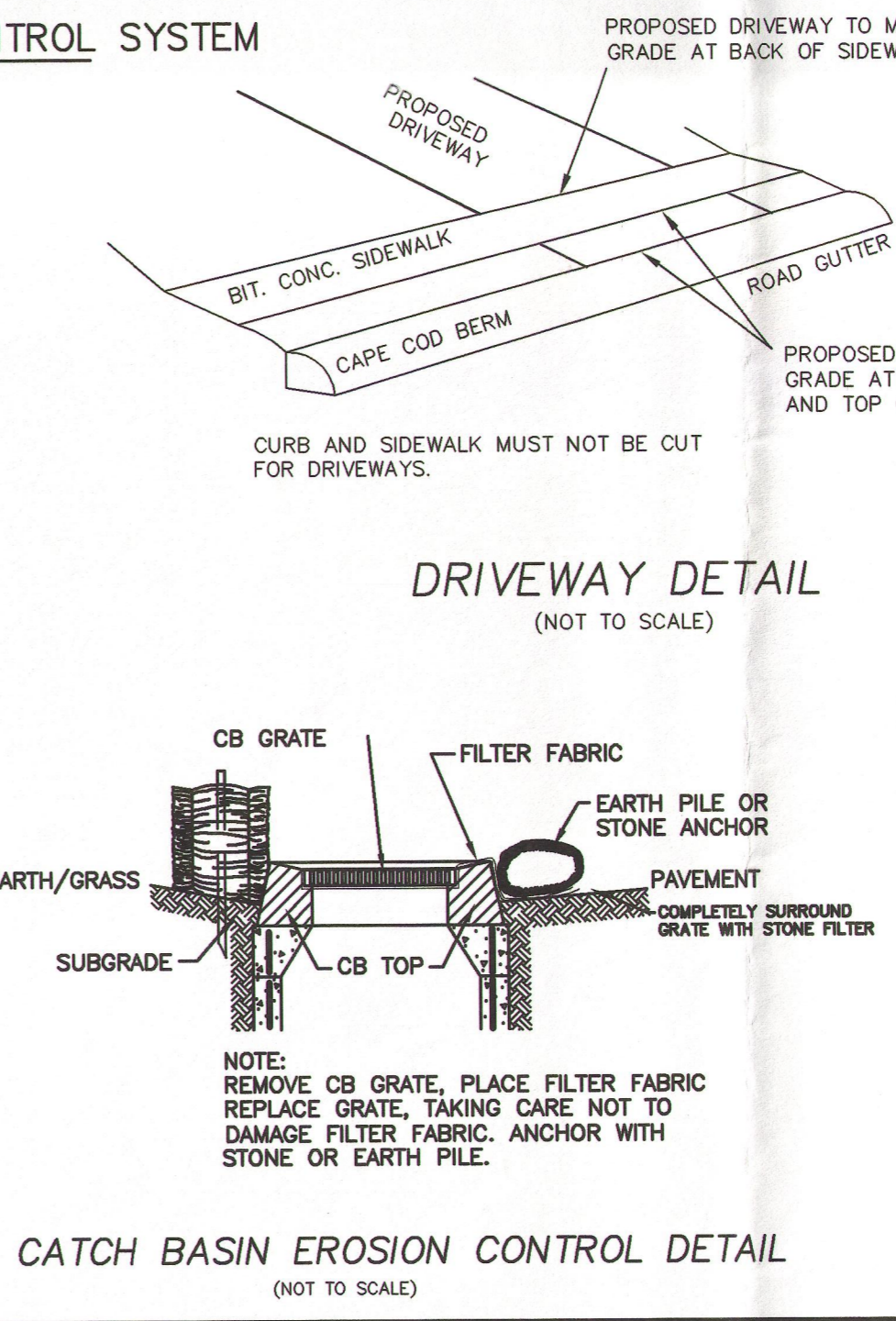
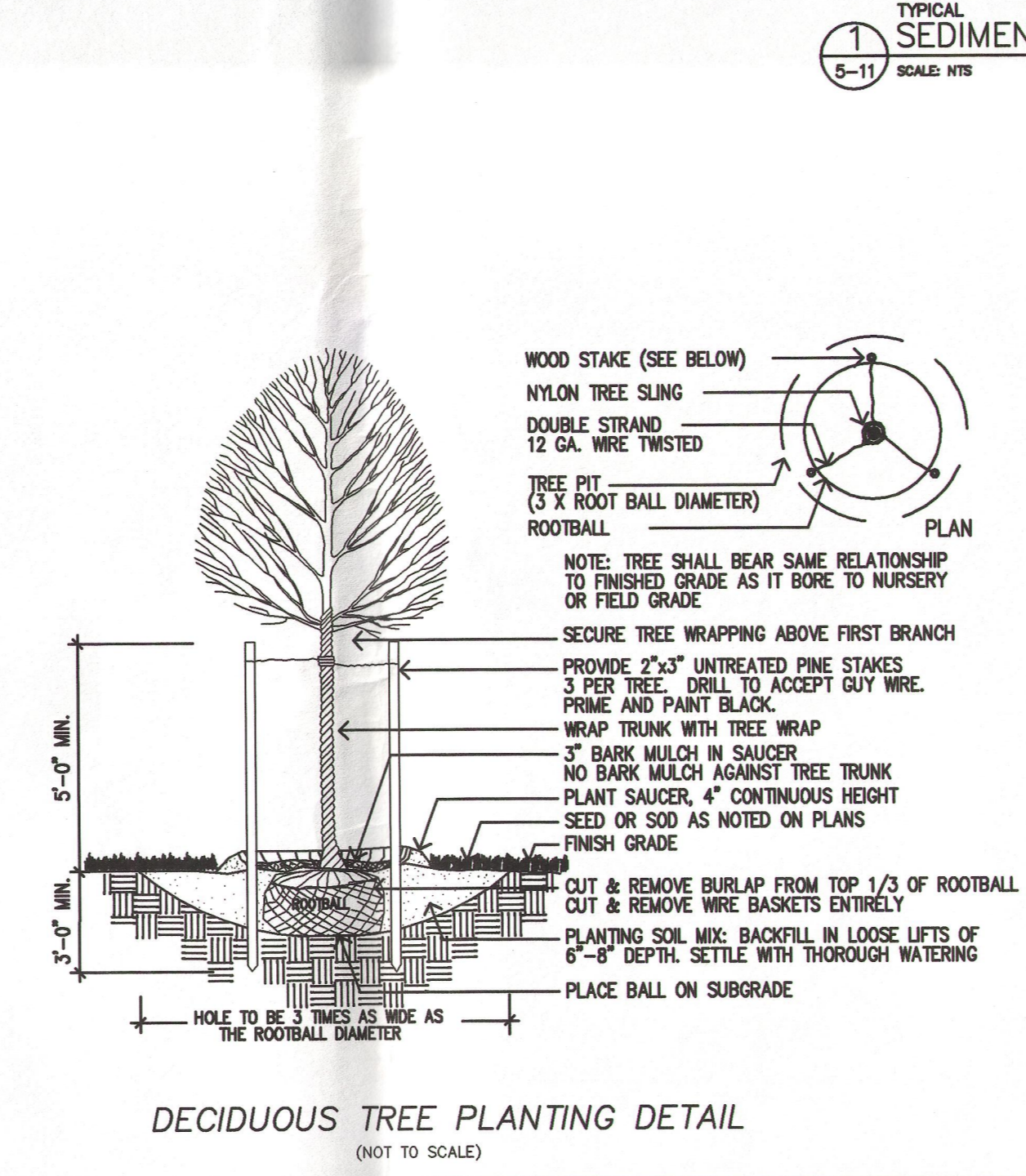
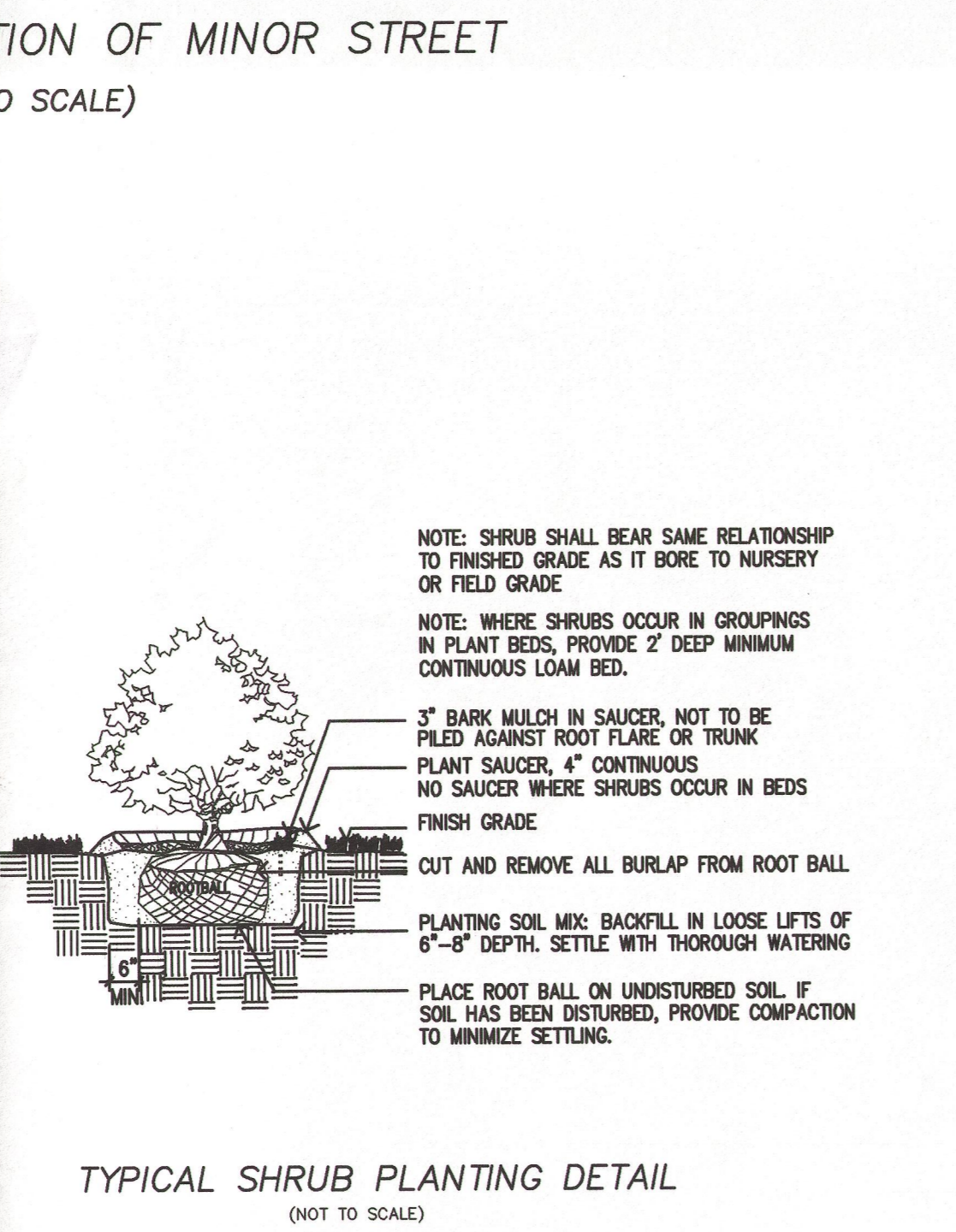
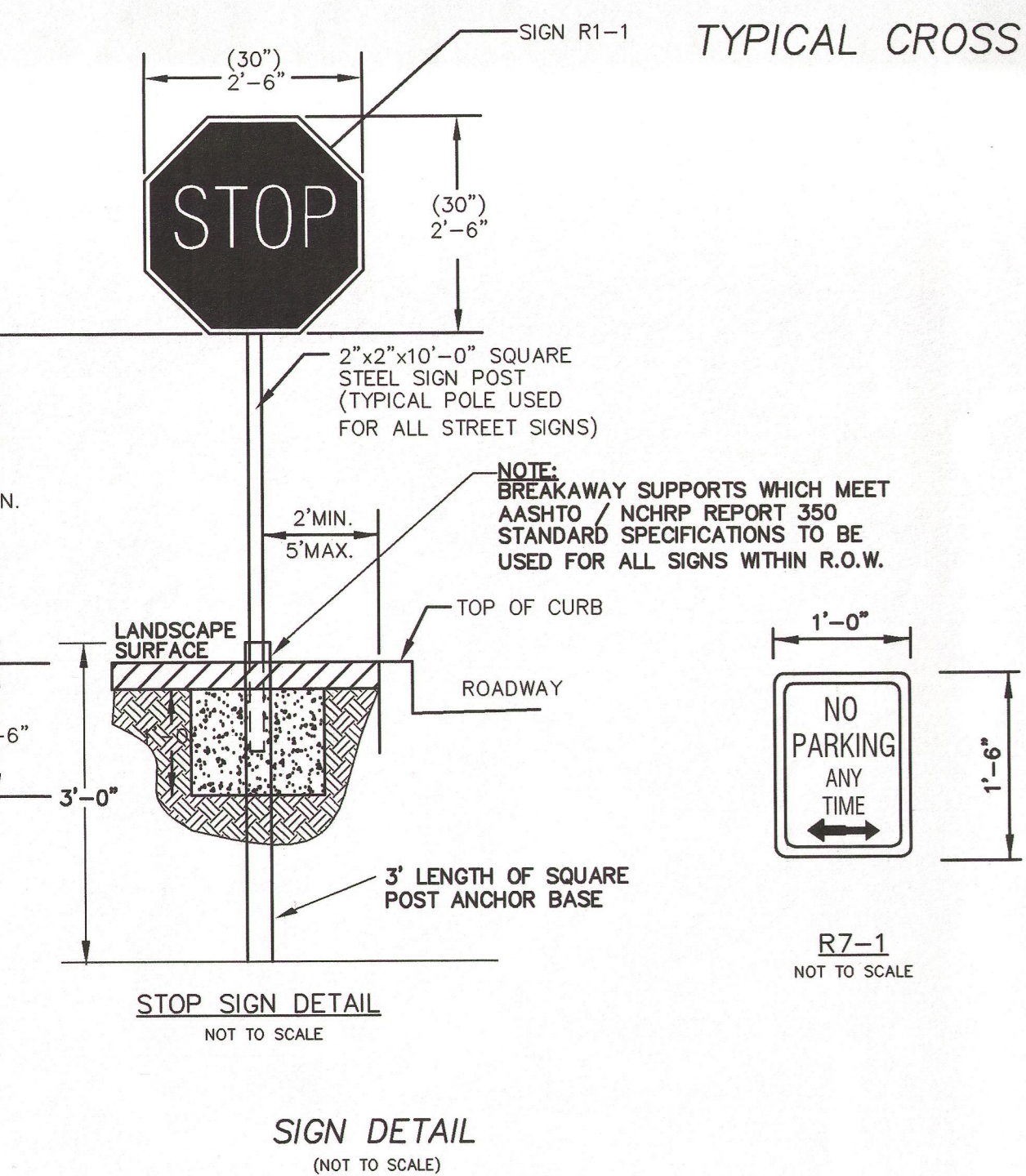
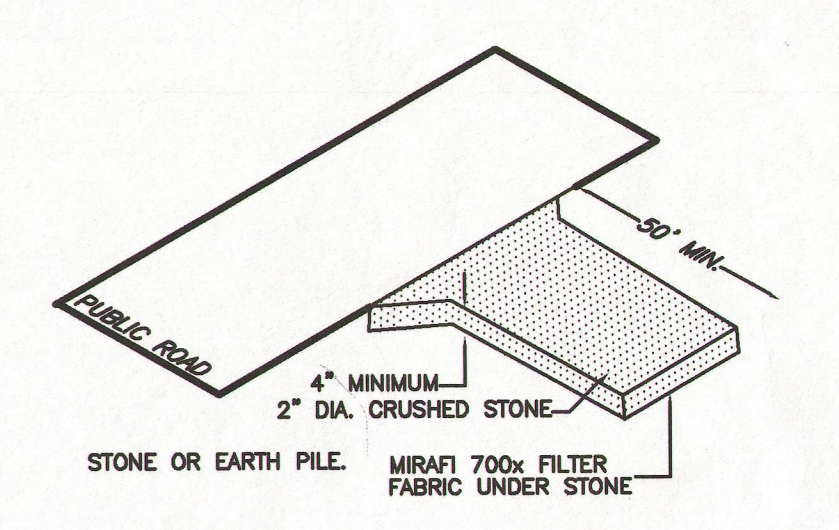
ROADWAY PROFILE GRADE	HIGH SIDE TRANSITION LENGTH ROUNDED LENGTH (4")	HIGH SIDE SLOPE LENGTH
0 0.00	6'-6"	
1 0.01	7'-8"	
2 0.02	9'-0"	
3 0.03	11'-0"	
4 0.04	14'-0"	
≥5 ≥0.05	15'-0" MAX.	



I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.
[Signature]
 TOWN CLERK DATE



*NOTE: ORANGE CONSTRUCTION / SNOW FENCING TO BE STAKED ALONG ENTIRE SEDIMENT CONTROL LINE 18"-24" IN FRONT OF FILTERMATT BERM AND MAINTAINED THROUGHOUT CONSTRUCTION



"HARTNEY ACRES II"
 (DEFINITIVE SUBDIVISION PLAN)
 IN
 MEDWAY, MASSACHUSETTS

APPLICANT: CLAFCO BUILDERS
 P.O. BOX 1
 MEDWAY, MA 02053

OWNER: HARTNEY REALTY TRUST
 P.O. BOX 1
 MEDWAY, MA 02053

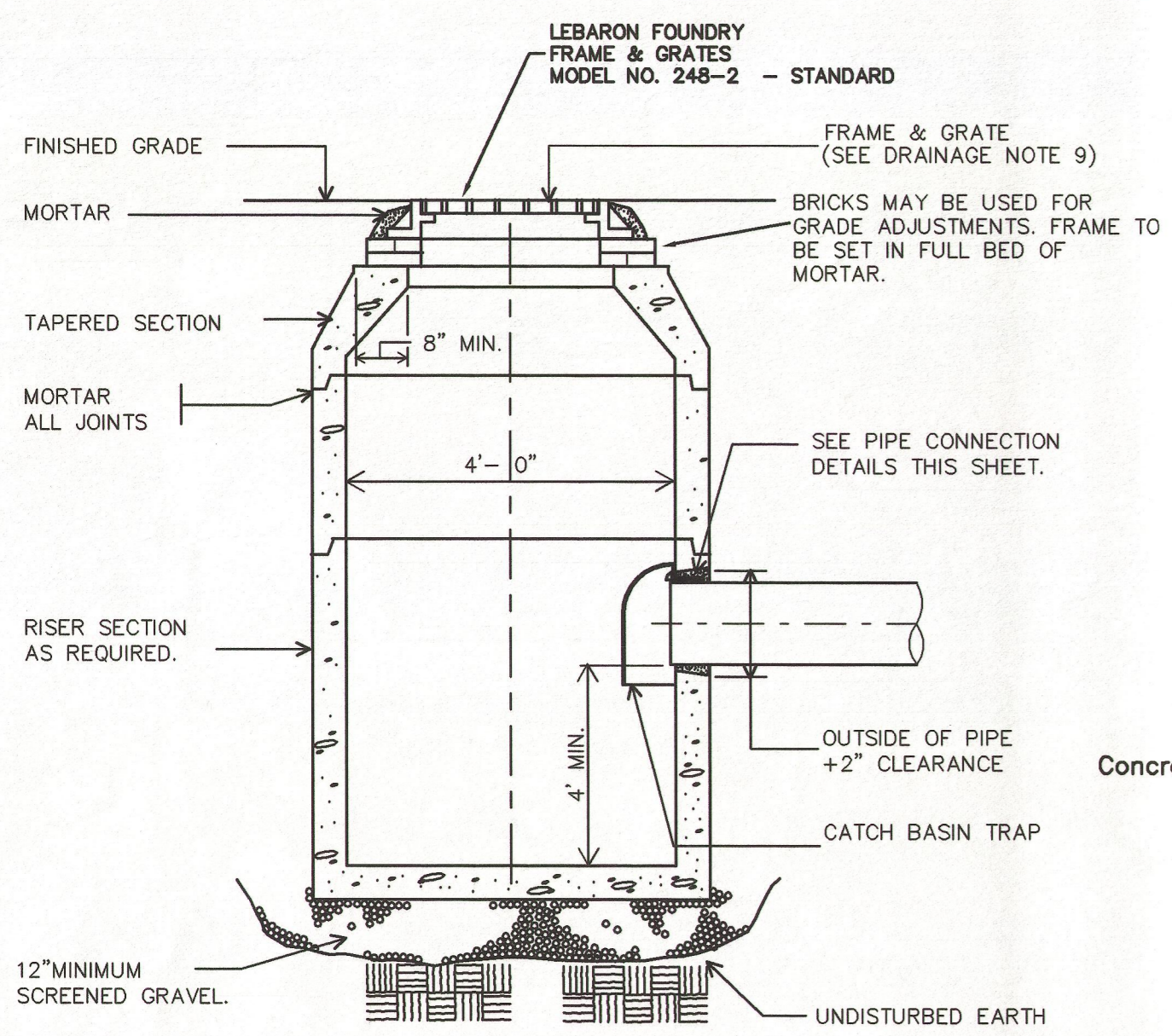
SCALE: AS SHOWN

DATE: NOVEMBER 29, 2004
 REVISED DATE:
 DECEMBER 13, 2004
 DECEMBER 17, 2004
 JANUARY 07, 2005

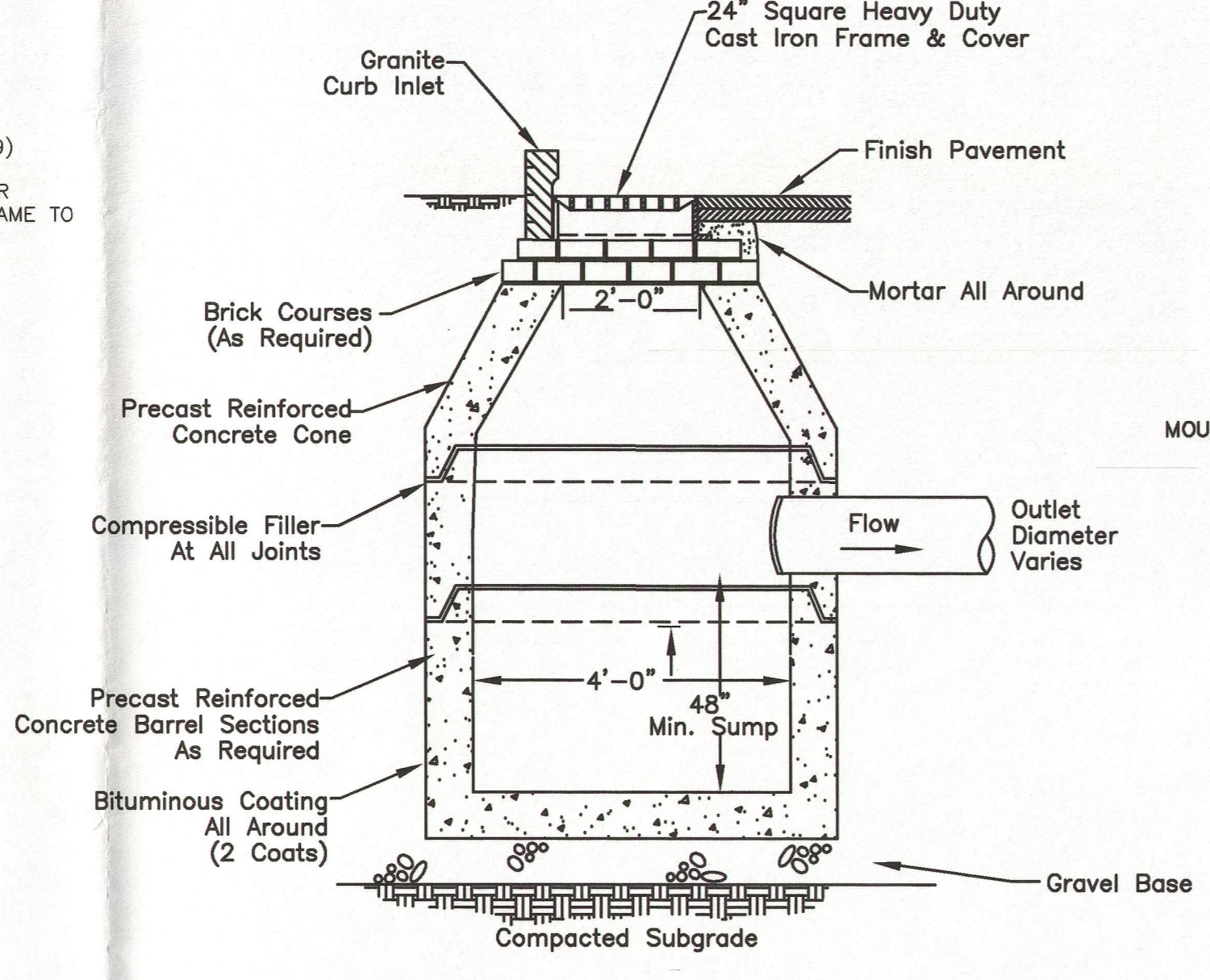
O' DRISCOLL
 LAND SURVEYING Co.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

FAIST ENGINEERING
 600 Charlton Street
 Southbridge, MA 01550
 Phone/Fax: (508) 765-7755

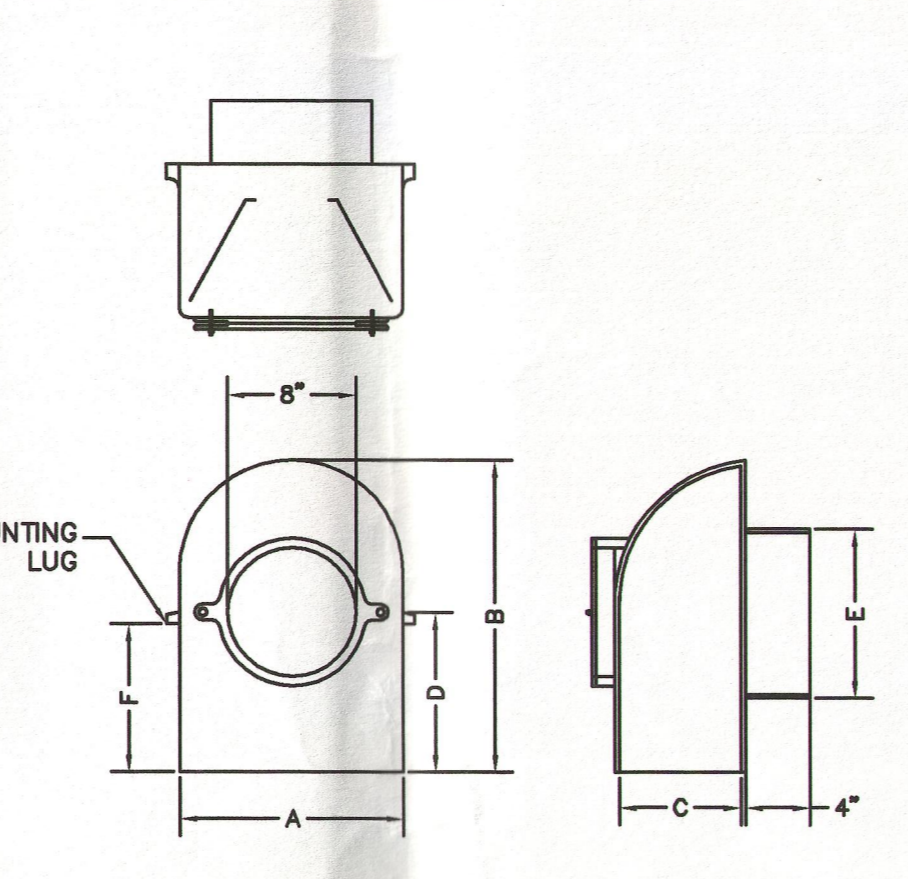
SHEET 8 OF 12



DEEP SUMP CATCHBASIN DETAIL (NOT TO SCALE)



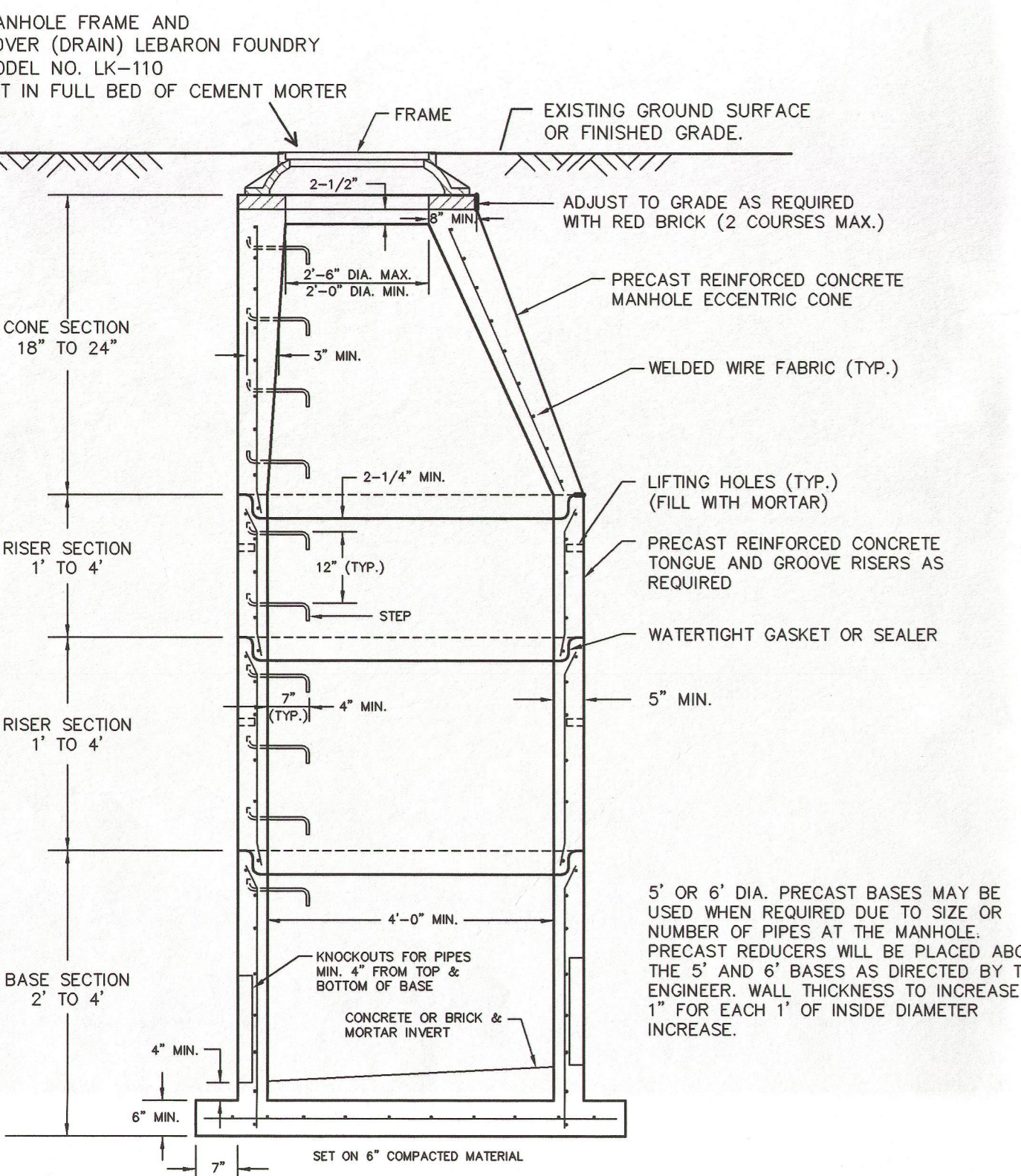
TYPICAL CBCI PRECAST CATCH BASIN (NOT TO SCALE)



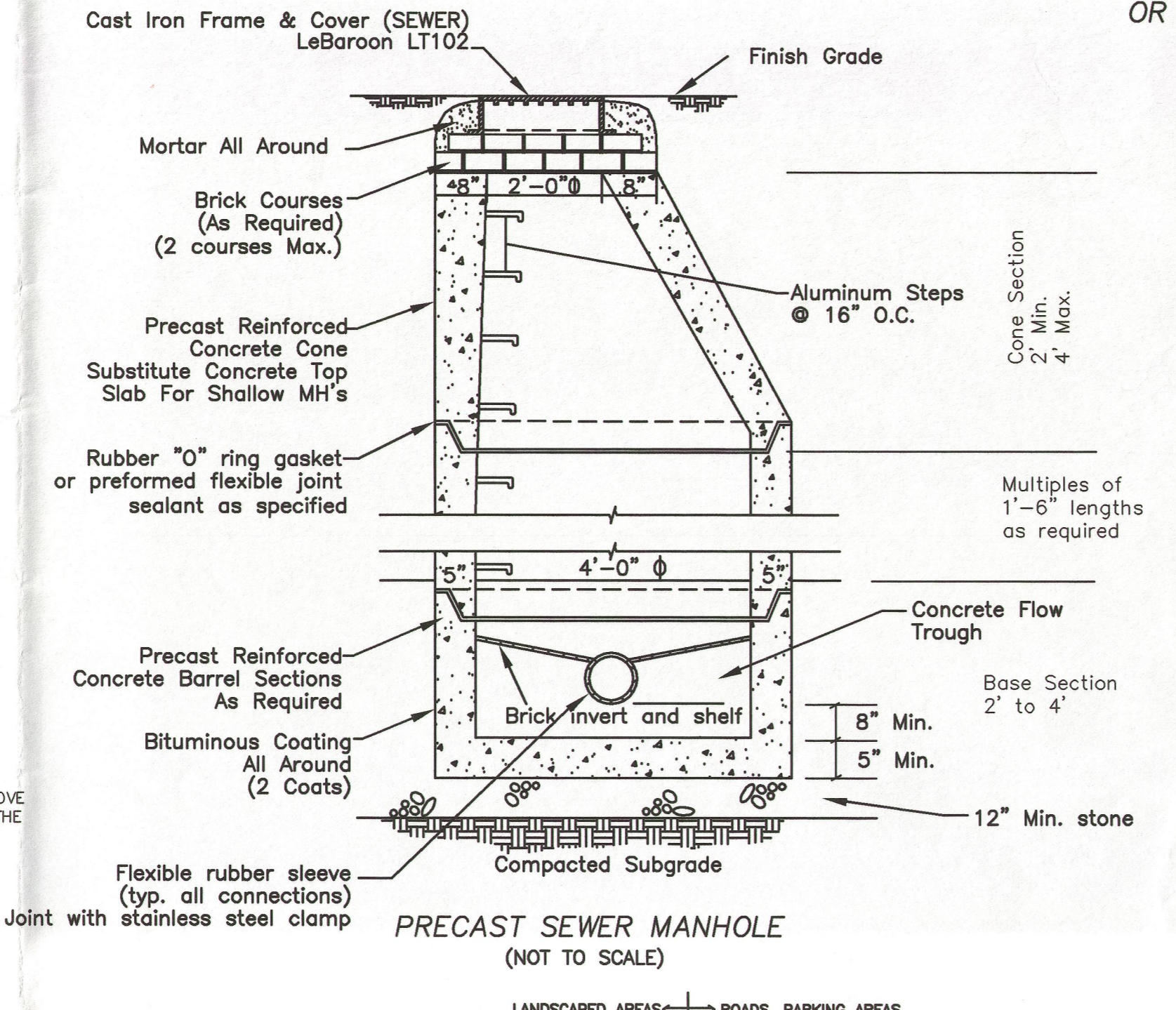
PATTERN NUMBER	DIMENSIONS IN INCHES						PIPE SIZE
	A	B	C	D	E	F	
9500-06	14	19 1/2	7 1/2	10	5 1/8	9 1/2	6
9500-08	14	19 1/2	7 1/2	10	5 7/8	9 1/2	8
9500-10	14	19 1/2	7 1/2	10	6 1/8	9 1/2	10
9500-12	14	19 1/2	7 1/2	10	6 1/4	9 1/2	12
9500-15	23	28 1/2	10	16 1/2	14 1/8	15	15
9500-18	23	28 1/2	10	16 1/2	17 1/8	15	18

* ONLY USE AT NOBSCOT RD. ENTRANCE ROUNDING TO SUBDIVISION

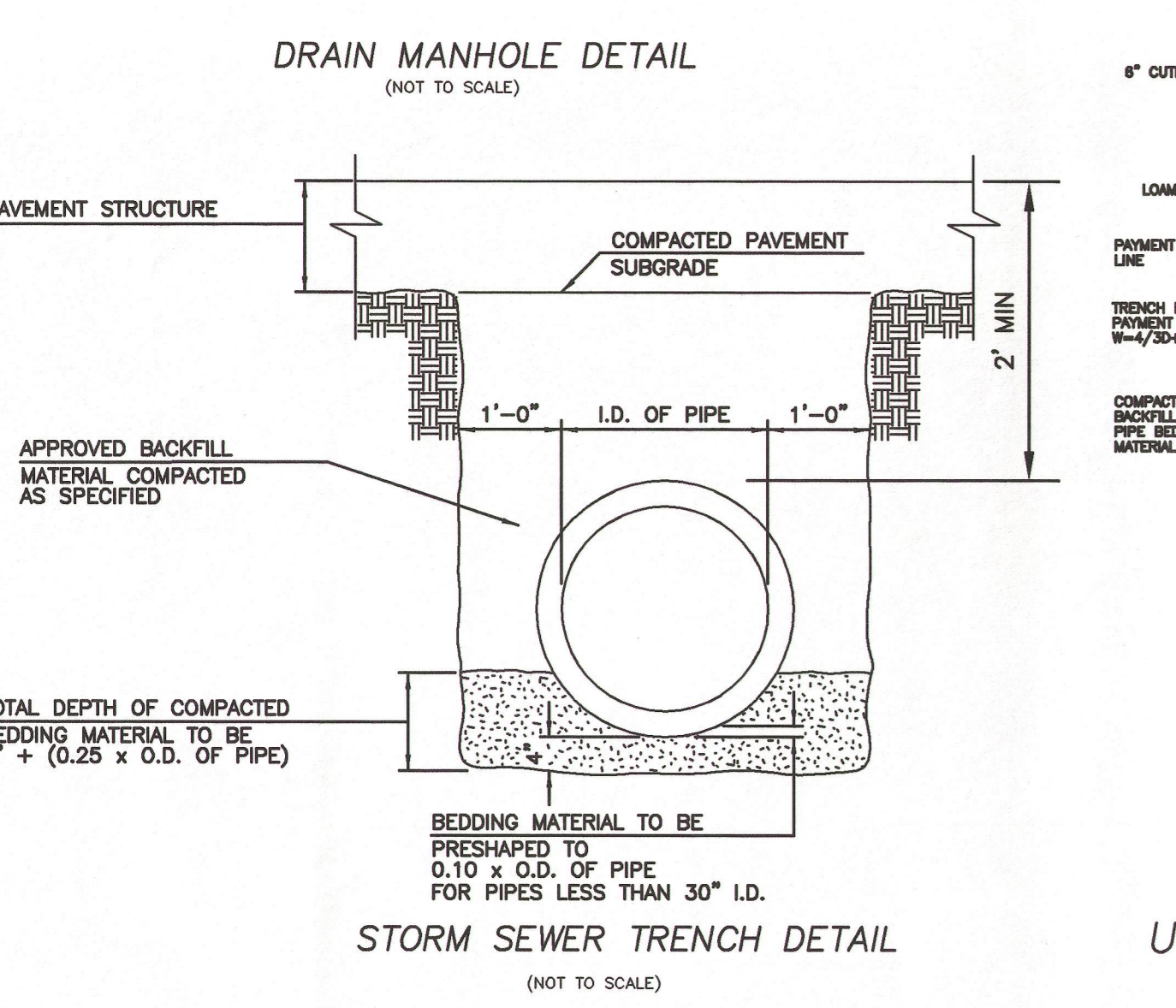
ENCLOSED CATCH BASIN TRAP OR APPROVED EQUAL



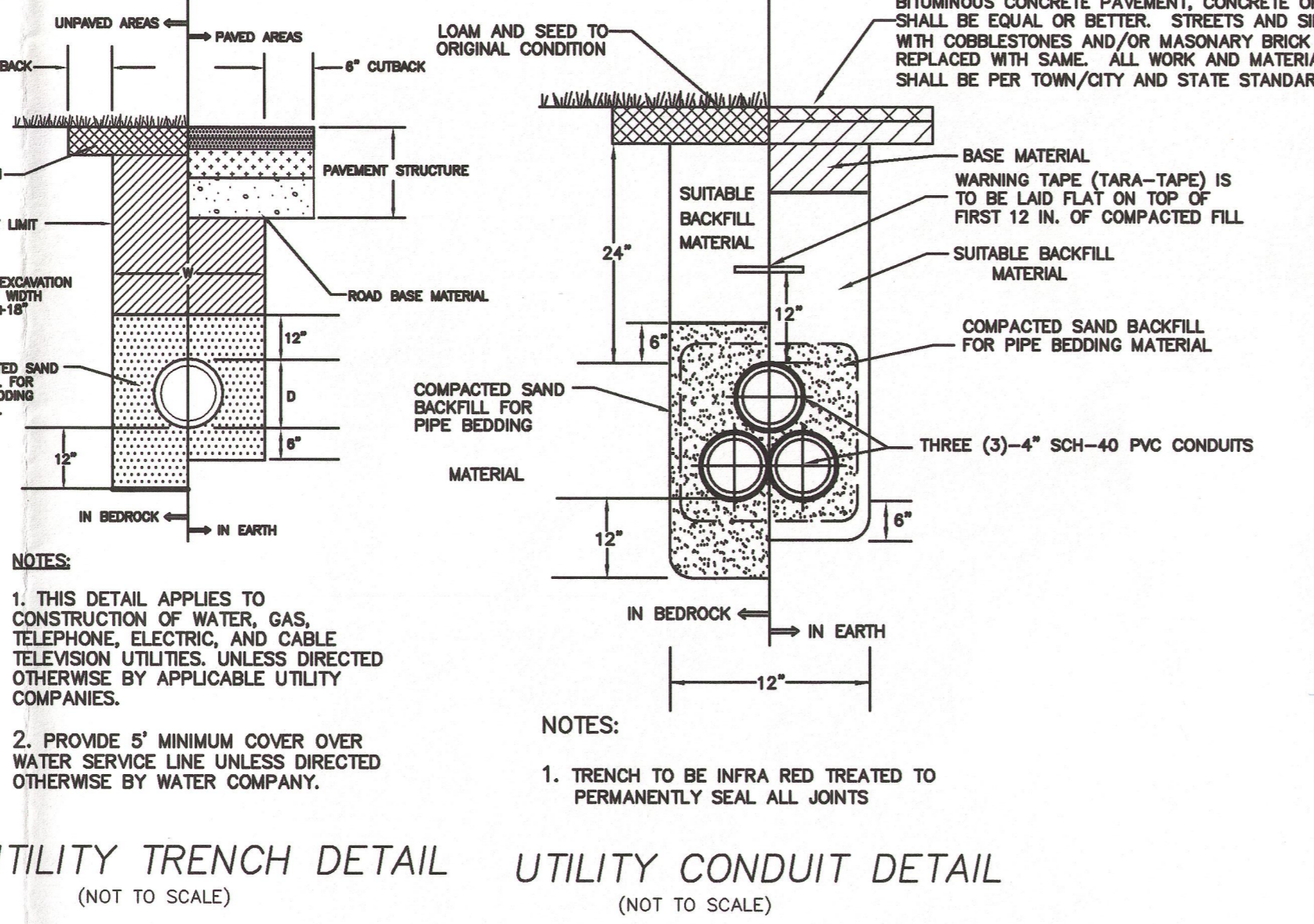
DRAIN MANHOLE DETAIL (NOT TO SCALE)



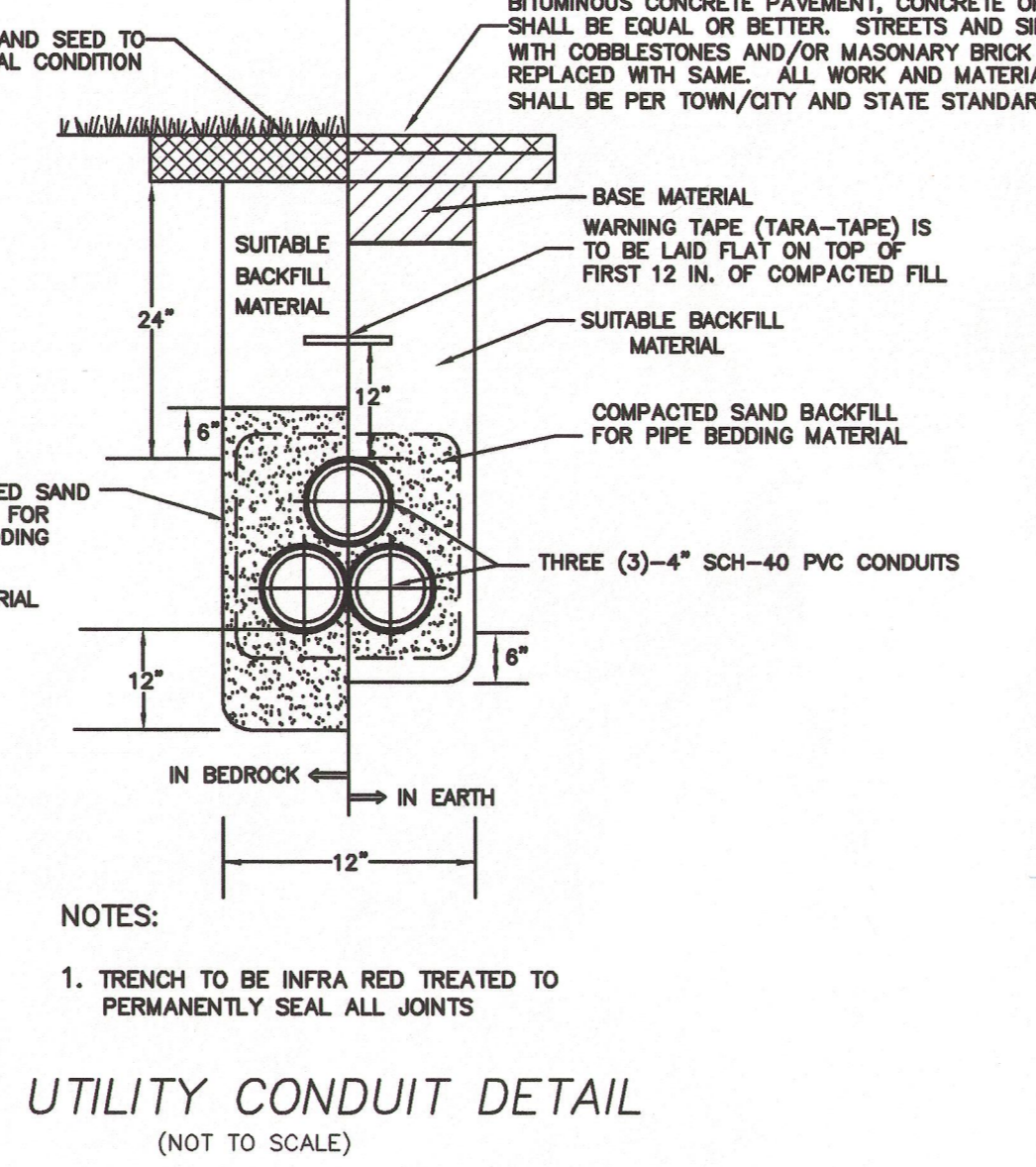
PRECAST SEWER MANHOLE (NOT TO SCALE)



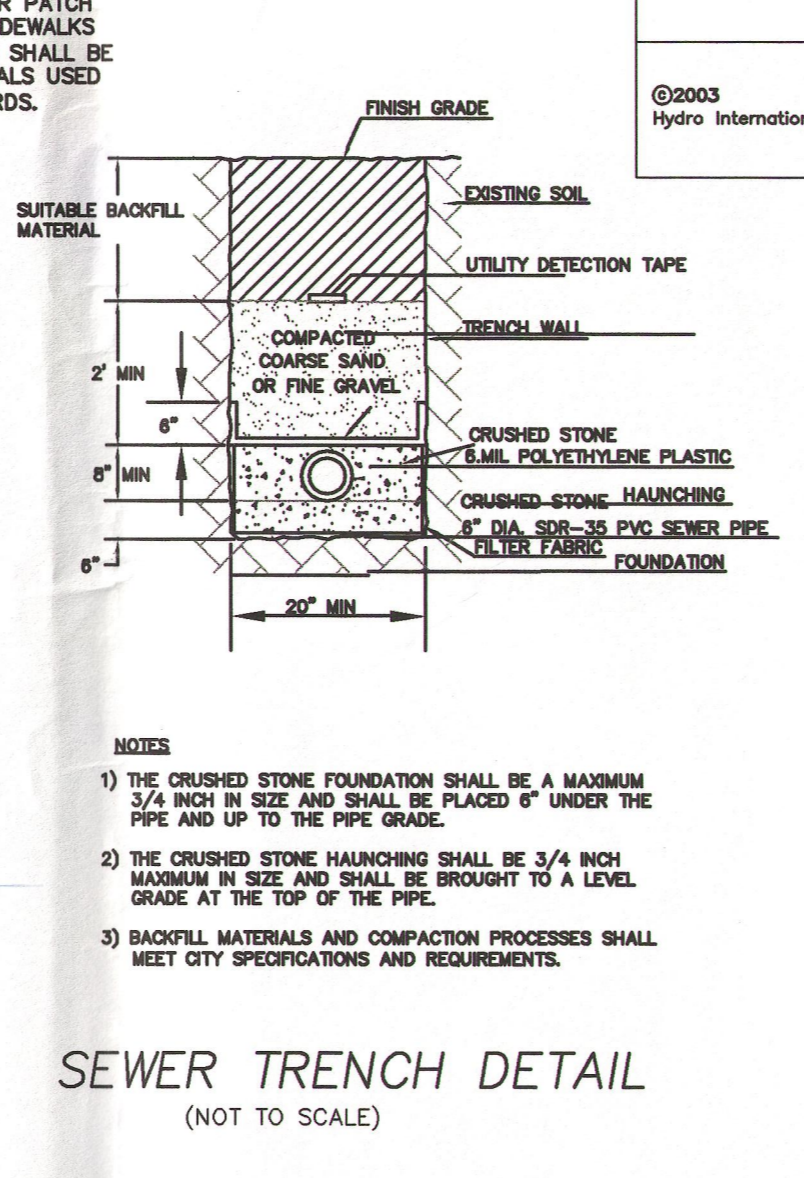
STORM SEWER TRENCH DETAIL (NOT TO SCALE)



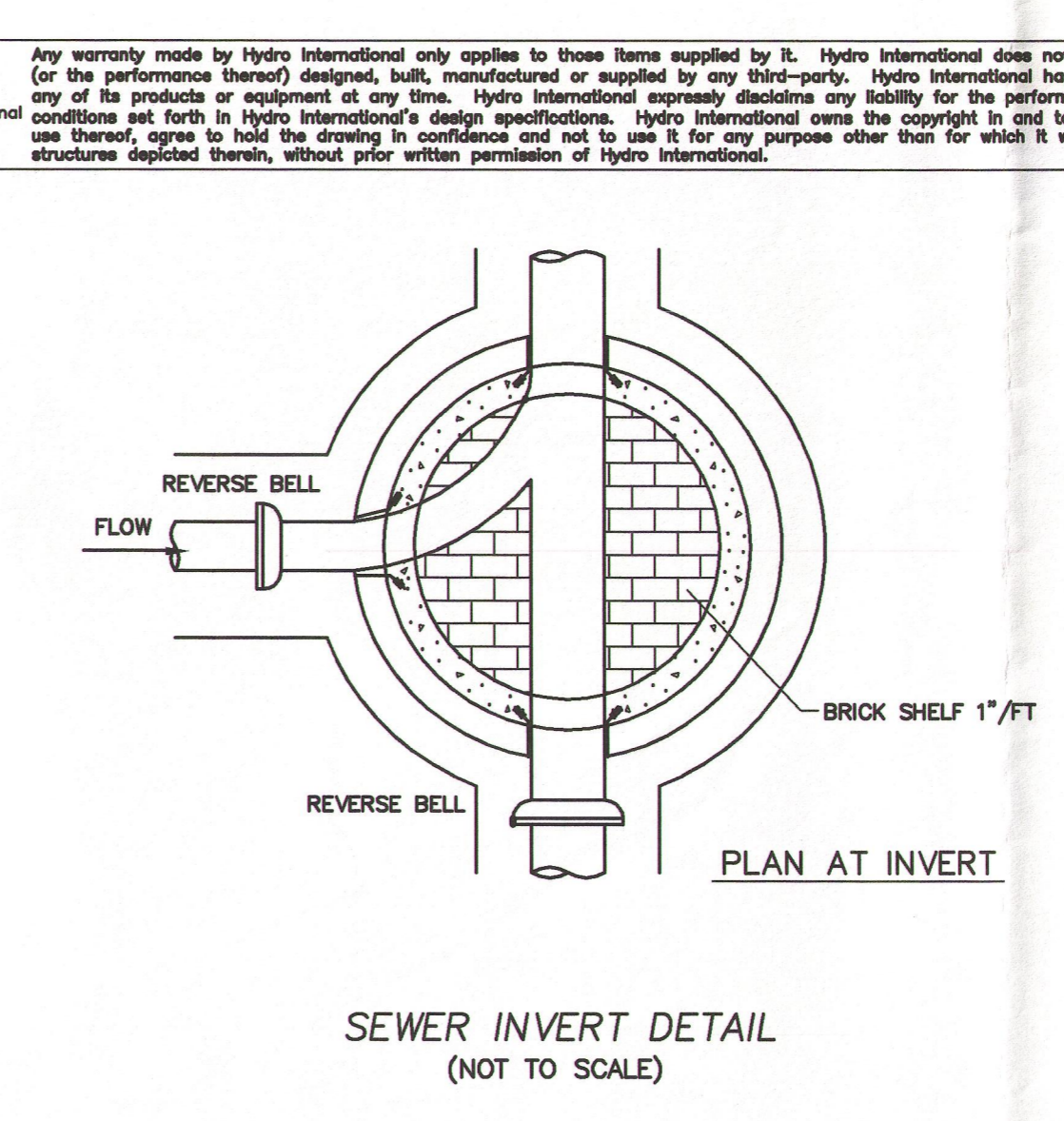
UTILITY TRENCH DETAIL (NOT TO SCALE)



UTILITY CONDUIT DETAIL (NOT TO SCALE)



SEWER TRENCH DETAIL (NOT TO SCALE)



SEWER INVERT DETAIL (NOT TO SCALE)

- DRAINAGE NOTES:**
- 1) ALL CATCH BASINS WILL BE CONSTRUCTED AS DEEP SUMP (4' BELOW INV.) W/ HOODS
 - 2) DRAINAGE FACILITIES SHALL BE PROVIDED AS INDICATED ON THE PLANS AND IN CONFORMITY WITH THE REQUIREMENTS OF SECTION 200, 220, AND 230 OF THE TOWN OF MEDWAY STANDARD SPECIFICATIONS. (P & Z SECTION 4.4.5)
 - 3) MANHOLES SHALL BE CONSTRUCTED TO THE REQUIRED DEPTH AT EACH JUNCTION POINT AND AS SHOWN ON THE PLAN. PIPE CULVERT AND PIPE DRAINS SHALL BE IN CONFORMITY WITH THE REQUIREMENTS OF THE TOWN OF MEDWAY STANDARD SPECIFICATIONS SECTION 230 FOR INSTALLATION OF PIPES.
 - 4) ALL DRAIN PIPES (EXCEPT SUB-DRAINS) SHALL BE CLASS IV REINFORCED CONCRETE PIPE (LATEST REQUIREMENTS OF ASTM-C76 OR AASHTO-M170) AND SHALL BE INSTALLED ACCORDING TO THE SIZE SHOWN ON THE PLANS.
 - 5) NO BACKFILLING OF PIPES SHALL BE DONE UNTIL THE INSTALLATION HAS BEEN INSPECTED BY THE PLANNING BOARD'S AGENT.
 - 6) ALL DRAINAGE TRENCHES SHALL BE PROVIDED WITH CRUSHED STONE PIPE BEDDING AND FILLED WITH CLEAN GRAVEL BORROWS IN ACCORDANCE WITH SECTION 150.
 - 7) WHERE SUB-DRAINS ARE REQUIRED, THEY SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 260 OF THE STANDARD SPECIFICATIONS. SUCH SUB-DRAINS MAY BE REQUIRED BY THE BOARD OR THE BOARD'S AGENT FOLLOWING CLEARING AND GRUBBING OPERATIONS.
 - 8) NO DRAINAGE PIPES FROM ROOF DRAINS, BASEMENT DRAINS, DRIVEWAY DRAINS OR OTHER ON-LOT SOURCES SHALL BE CONNECTED TO THE STREET DRAINAGE SYSTEM.
 - 9) CAST IRON MANHOLE COVERS AND CATCH BASIN GRATES SHALL BE AS MANUFACTURED BY OR EQUIVALENT, AS DETERMINED BY THE BOARD OR BOARD'S AGENT, TO E.L. LEBARON FOUNDRY MODEL NO.'S LK-110 FOR MANHOLES, L.F. 248-2 FOR CATCH BASINS. FOR CATCH BASINS AT THE END OR ON 5% OR GREATER GRADIENT ROADS NO. LK-120 A (CASCADE GRATE) SHALL BE USED.
 - 10) LOCATION OF ALL UTILITIES SHALL BE DETERMINED IN THE FIELD, BY THE RESPECTIVE UTILITY COMPANIES (ELECTRIC, CABLE, & TELECOM). THE APPLICANT, "CLAFCO BUILDERS," SHALL BE RESPONSIBLE TO ACCURATELY LOCATE THE UTILITIES DURING CONSTRUCTION, PRIOR TO BACKFILL, SUCH THAT THE ACTUAL LOCATION CAN BE ACCURATELY REPRESENTED ON THE AS-BUILT DRAWINGS.

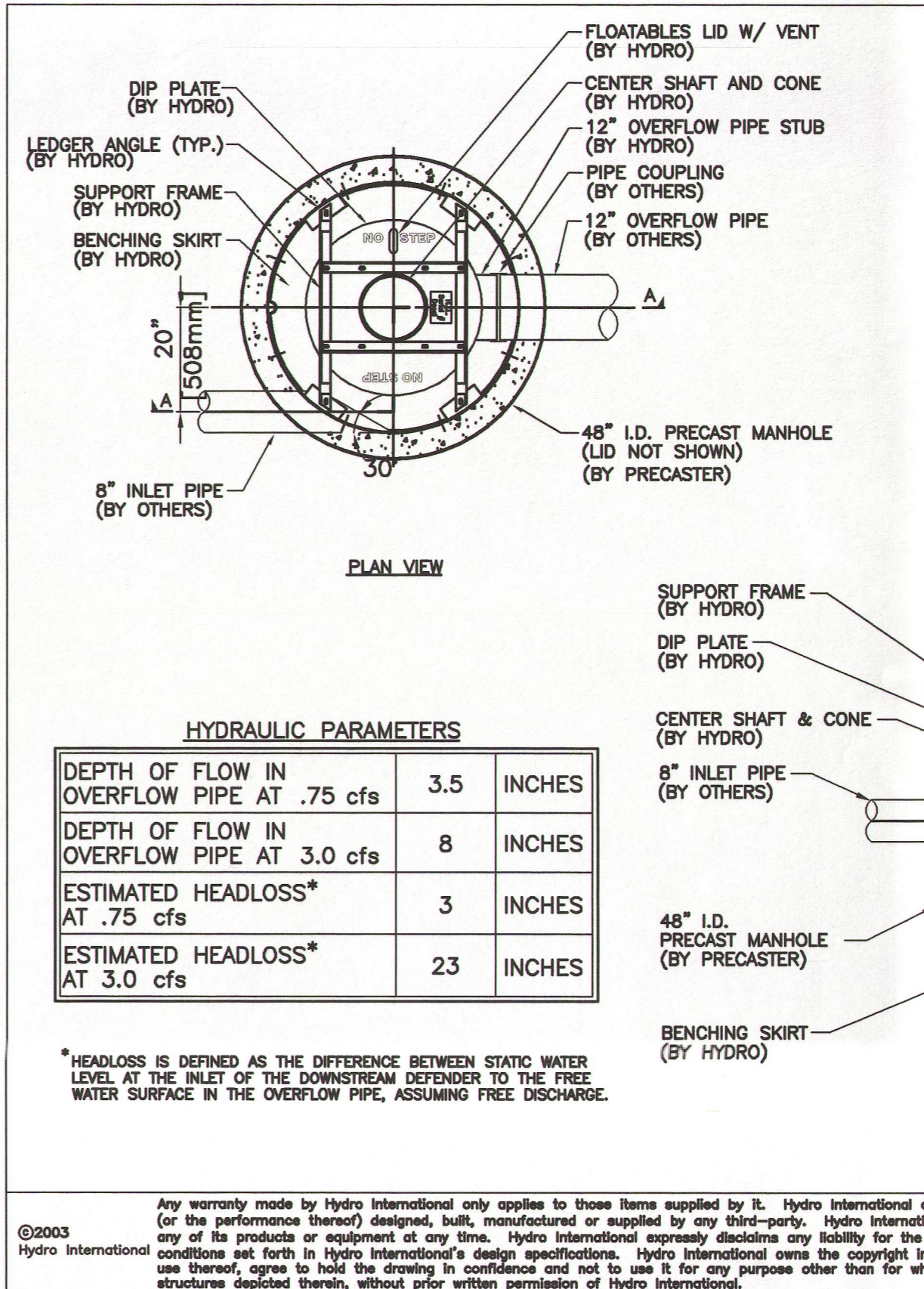
TOWN OF MEDWAY PLANNING BOARD
David J. Driscoll
Clifford L. Smith
C. L. Smith

2/8/05
 DATE

1.) PLAN ENDORSEMENT IS SUBJECT TO THE CONDITIONS SET FORTH IN THE MEDWAY PLANNING BOARD CERTIFICATE OF ACTION DATED 12-17-04

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

Ant Patricia Sampson 2-9-05
 TOWN CLERK DATE



HYDRAULIC PARAMETERS

DEPTH OF FLOW IN OVERFLOW PIPE AT	HEADLOSS*
.75 cfs	3.5 INCHES
3.0 cfs	8 INCHES
ESTIMATED HEADLOSS* AT .75 cfs	3 INCHES
ESTIMATED HEADLOSS* AT 3.0 cfs	23 INCHES

*HEADLOSS IS DEFINED AS THE DIFFERENCE BETWEEN STATIC WATER LEVEL AT THE INLET OF THE DOWNSTREAM DEFENDER TO THE FREE WATER SURFACE IN THE OVERFLOW PIPE, ASSUMING FREE DISCHARGE.

EQUIPMENT PERFORMANCE

The stormwater treatment unit shall adhere to the hydraulic parameters given in the chart below and provide the removal efficiencies and storage capacities as follows:

1. Performance objectives: To remove at least 80% of all particles with specific gravity of 2.65 at the frequent storm flow listed below, based on a particle size gradation similar to typical D.O.T. road sand having greater than 20% of all particles finer than 300 microns. Additionally, the treatment chamber must be capable of removing greater than 50% of all particles in the range of 300-425 microns at the peak treatment flow rate listed below.
2. Frequent storm flow: .75 cfs
3. Peak treatment flow: 3.0 cfs
4. Sediment Storage capacity: 70 Cu. yd.
5. Oil storage capacity: 70 Gal.
6. Sediment shall be stored in a zone that is isolated from the main flow path and protected from reentrainment by a benching skirt.

NOTES:

1. THIS DRAWING IS A LEADER SIZE ORIGINAL.
2. DIMENSIONS ARE GENERAL AND INTENDED FOR GUIDANCE ONLY.
3. THE OPERATION OF INLET PIPE AND OVERFLOW PIPE CAN BE ADJUSTED TO SITE REQUIREMENTS. SEE SITE PLAN FOR ORIENTATION.
4. INLET PIPE MUST BE TANGENT TO PRECAST MANHOLE I.D. AS SHOWN.
5. OVERFLOW PIPE STUB O.D. MATCHES SDR35 S.D.
6. S.D. IS EXPANSION ANCHOR BOLTS TO BE SUPPLIED BY PRECASTER.
7. METRIC DIMENSIONS BASED ON 25.4mm/INCH.
8. SEE 25 EXPANSION ANCHOR BOLTS TO BE SUPPLIED BY PRECASTER.
9. SEE 25 EXPANSION ANCHOR BOLTS TO BE SUPPLIED BY PRECASTER.
10. SEE 25 EXPANSION ANCHOR BOLTS TO BE SUPPLIED BY PRECASTER.
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24. SEE 25 EXPANSION ANCHOR BOLTS TO BE SUPPLIED BY PRECASTER.
25. SEE 25 EXPANSION ANCHOR BOLTS TO BE SUPPLIED BY PRECASTER.

Scale
 10/25/02 NTS
 Checked Eng. MPW
 Approved by
 Title
 4 FT. DIA. DOWNSTREAM DEFENDER
 GENERAL ARRANGEMENT
Hydro International
 94 Hutchins Drive
 Portland, Maine 04102
 tel: (207) 756-6200
 fax: (207) 756-6212
 email: hitech@hii-tech.com



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