

FRANKLIN CREEK  
 endorsed 5-19-06

# FRANKLIN CREEK

## DEFINITIVE PLAN

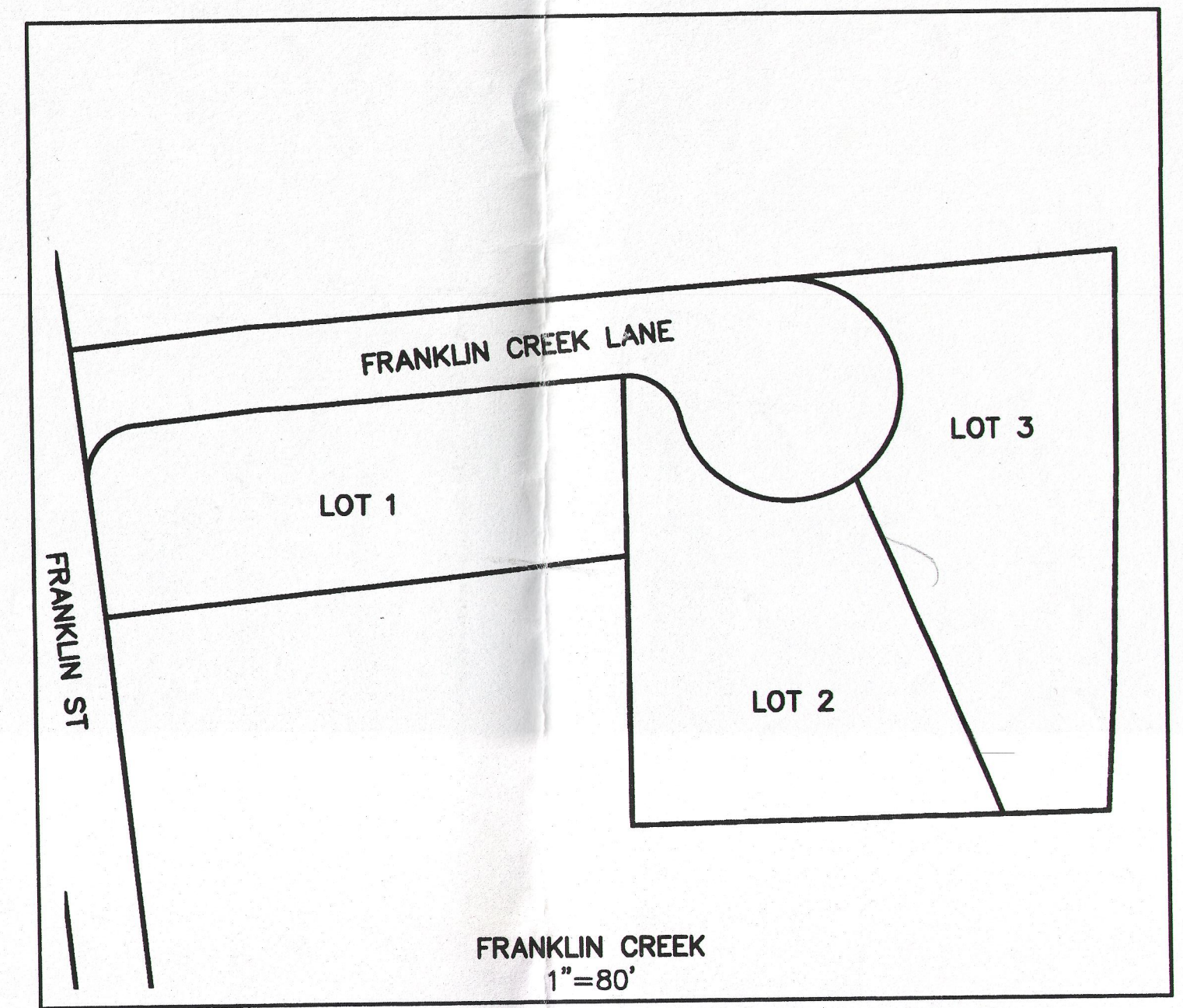
### A PRIVATE WAY SUBDIVISION

### MEDWAY, MASSACHUSETTS

JULY 22, 2005

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- 2 DEFINITIVE PLAN
- 3 SITE PLAN
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- 7 TREE CUTTING/LANDSCAPING PLAN



Norman G. Hill, P.E. 5-4-06  
 NORMAN G. HILL PLS #41786

Norman G. Hill, P.E. 5-4-06  
 NORMAN G. HILL PE #31887

Waivers Required from the following sections of the Medway Subdivision Regulations:  
 From Section 3.0 Procedure for Submission and Approval of Plans  
 3.3.2.16 Vertical datum for elevations  
 3.3.2.25 Street lighting  
 From Section 4.0 Design and Construction Standards  
 4.1.1 Street Cross Section  
 4.1.8 Street Acceptance Plan  
 4.2.2.4 Property line roundings and curb radius  
 4.2.4.3 Leveling area  
 4.2.5.2 Cul-de-sac  
 4.1.6.7 Width of roadway pavement  
 4.2.7.1 Vertical granite curbing  
 4.2.9.1 Sidewalk ramps  
 4.2.9.2 Sidewalk construction  
 4.4.1 Stormwater runoff control  
 4.4.5 Drain pipe construction  
 4.11 Tree planting

TOTAL AREA OF SUBDIVISION	118,082 SQ. FT.
3 LOTS - TOTAL LOT AREA	89,554 SQ. FT.
ROADWAY AREA	82,257 SQ. FT.
PUBLIC USE AREA	7,297 SQ. FT.
	28,528 SQ. FT.
	0 SQ. FT.
	118,082 SQ. FT.

UPLAND WETLAND EASEMENT

THIS PROPERTY IS SUBJECT TO A "SUBDIVISION COVENANT" TO BE RECORDED HERewith

PRESENT AND FUTURE OWNERS ARE SUBJECT TO A "DECLARATION OF PROTECTIVE COVENANTS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE FRANKLIN CREEK SUBDIVISION." SAID COVENANT TO BE RECORDED HERewith.

**FRANKLIN CREEK**  
**DEFINITIVE PLAN**  
**A PRIVATE WAY SUBDIVISION**  
 LOCATED AT  
**18 FRANKLIN STREET**  
**MEDWAY, MASSACHUSETTS**  
 OWNER/ APPLICANT  
**JOHN EARLY & TIMOTHY SHEEHAN**  
 153 MAIN STREET MEDWAY, MASSACHUSETTS

FOR REGISTRY OF DEEDS USE ONLY

I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Norman G. Hill, P.E. DATE: 5-4-06  
 NORMAN G. HILL PLS #41786

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE MEDWAY PLANNING BOARD WAS RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

Maryanne White 5/15/06  
 TOWN CLERK - MEDWAY - DATE

APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED  
 MEDWAY PLANNING BOARD

11/17/05 DATE APPR. MED  
 5/19/06 DATE ENDORSED

DATE	INT.	DATE	INT.
1/27/05	FIELD BY: MDA	1/27/05	DESIGNED BY: MDA
1/27/05	FIELD BOOK PG#	1/27/05	DRAWN BY: COMP
1/27/05	CALCS BY: MDA	1/27/05	CHECKED BY: NGH

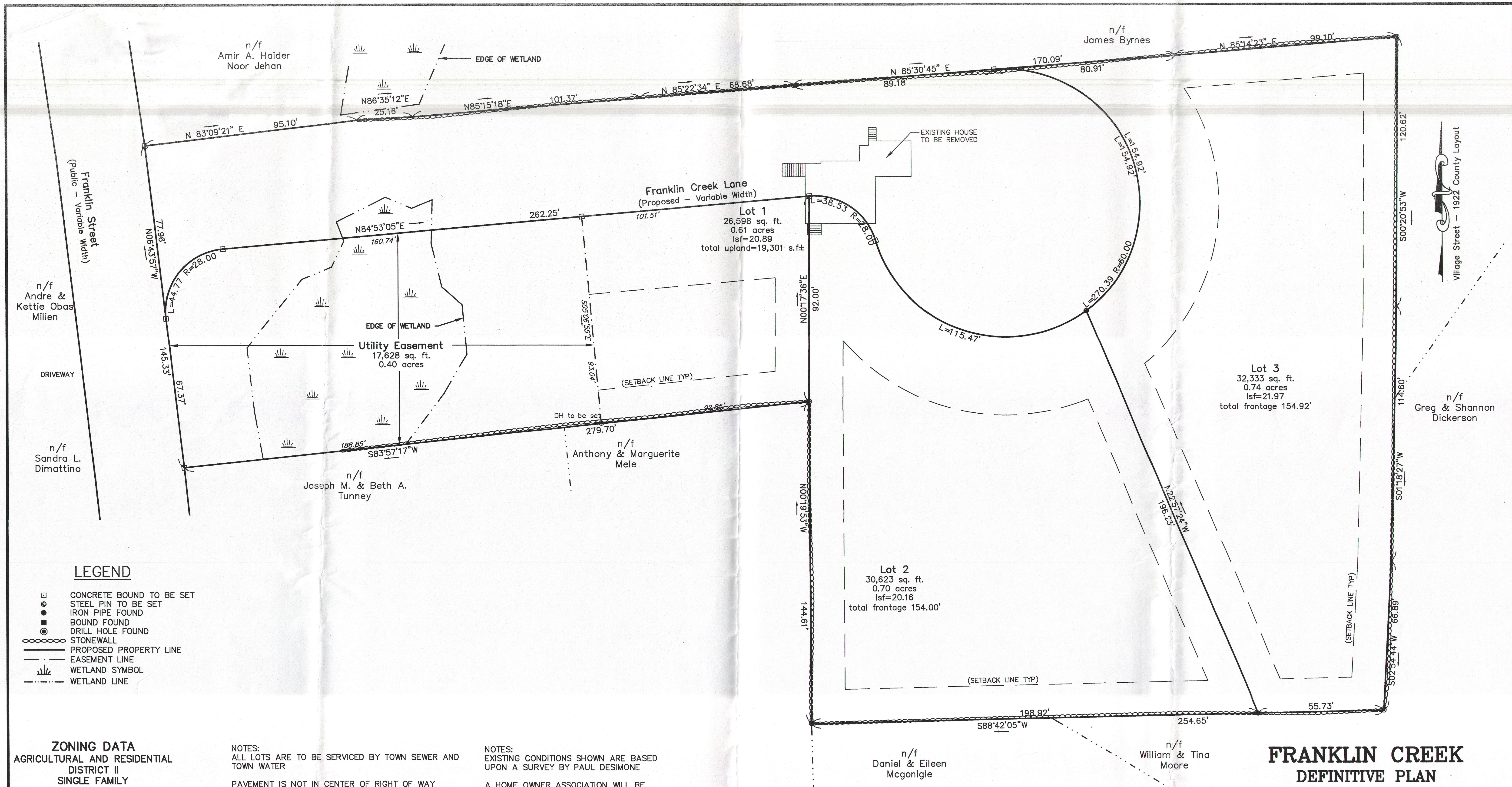
GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 80 ft.

REVISIONS			
NO.	DATE	DESIGN	CHECKED
1	10/18/05	MHG	NGH
2	11/17/05	MHG	NGH
3	1/15/06	WEN	NGH
4			
5			
6			
7			

**LAND PLANNING, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS  
 ENVIRONMENTAL CONSULTANTS

BELLINGHAM: 187 HARTFORD AVE. 02019 (508) 966-4130  
 N. GRAFTON: 214 WORCESTER ST. 01536 (508) 839-8526  
 HANSON: 1115 MAIN STREET 02341 (781) 294-4144  
 HOLDEN: P.O. BOX 844 01520 (508) 829-3006

DATE: JULY 22, 2005  
 JOB NO.: B1513  
 SHEET NO.: 1



**LEGEND**

- CONCRETE BOUND TO BE SET
- STEEL PIN TO BE SET
- IRON PIPE FOUND
- BOUND FOUND
- DRILL HOLE FOUND
- STONEWALL
- PROPOSED PROPERTY LINE
- EASEMENT LINE
- WETLAND SYMBOL
- WETLAND LINE

**ZONING DATA**  
 AGRICULTURAL AND RESIDENTIAL DISTRICT II  
 SINGLE FAMILY  
 MINIMUM REQUIREMENTS  
 AREA: 22,500 sq.ft.  
 FRONTAGE: 150'  
 FRONT YARD: 35'  
 SIDE YARD: 15'  
 REAR YARD: 15'

NOTES:  
 ALL LOTS ARE TO BE SERVICED BY TOWN SEWER AND TOWN WATER  
 PAVEMENT IS NOT IN CENTER OF RIGHT OF WAY TO MINIMIZE WETLAND DISTURBANCE  
 ALL ELEVATIONS ARE RELATIVE TO NATIONAL GEODETIC VERTICAL DATUM OF 1929  
 WETLAND DELINEATION APPROVED BY MEDWAY CONSERVATION COMMISSION

NOTES:  
 EXISTING CONDITIONS SHOWN ARE BASED UPON A SURVEY BY PAUL DESIMONE  
 A HOME OWNER ASSOCIATION WILL BE CREATED TO BE RESPONSIBLE FOR THE MAINTENANCE OF THE ROAD WAY AND DRAINAGE STRUCTURES  
 WETLAND DELINEATION BY APPLIED ECOLOGICAL SCIENCE

PRESENT AND FUTURE OWNERS ARE SUBJECT TO A "DECLARATION OF PROTECTIVE COVENANTS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE FRANKLIN CREEK SUBDIVISION." SAID COVENANT TO BE RECORDED HEREWITH.

**FRANKLIN CREEK**  
**DEFINITIVE PLAN**  
**A PRIVATE WAY SUBDIVISION**  
 LOCATED AT  
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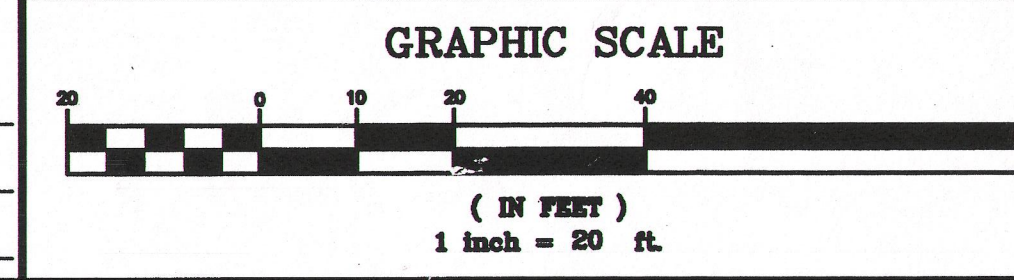
Norman G. Hill, P.S.  
 DATE: 5-4-06  
 PLS #41786

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 DATE: 5/15/06  
 TOWN CLERK - MEDWAY - DATE

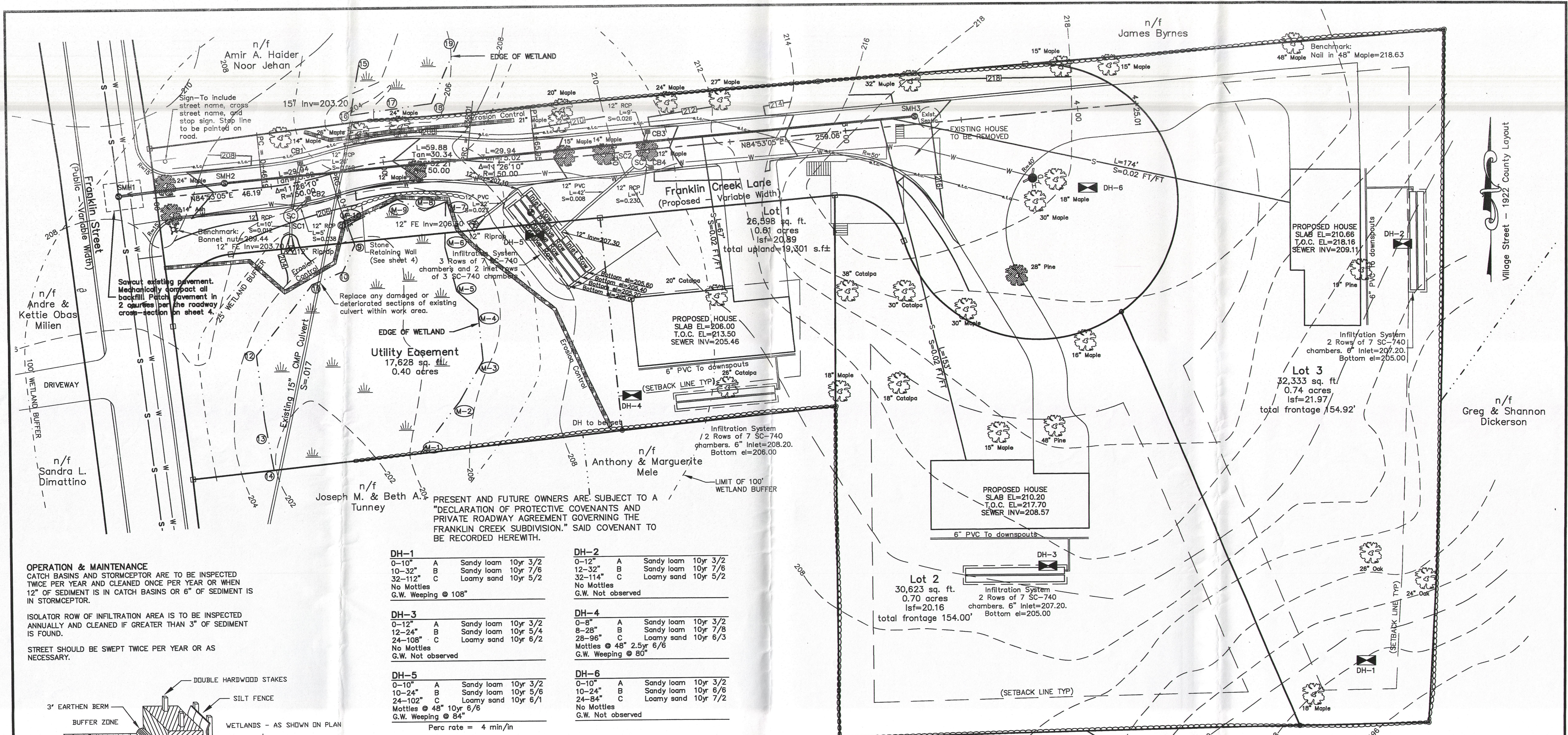
APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED  
 MEDWAY PLANNING BOARD

DATE APPROVED: 11/7/06  
 DATE ENDORSED: 5/15/06  
 [Signatures]

DATE	INT.	DATE	INT.	REVISIONS			
6/05	FIELD BY: DWH	6/05	DESIGNED BY: DWH	NO.	DATE	DESIGN	CHECKED
6/05	CALCS BY: DWH	6/05	DRAWN BY: COMP	1	10/18/05	MHG	NGH
		6/05	CHECKED BY: NGH	2	11/17/05	MHG	NGH
				3	1/15/06	WDH	NGH
				4			
				5			
				6			
				7			

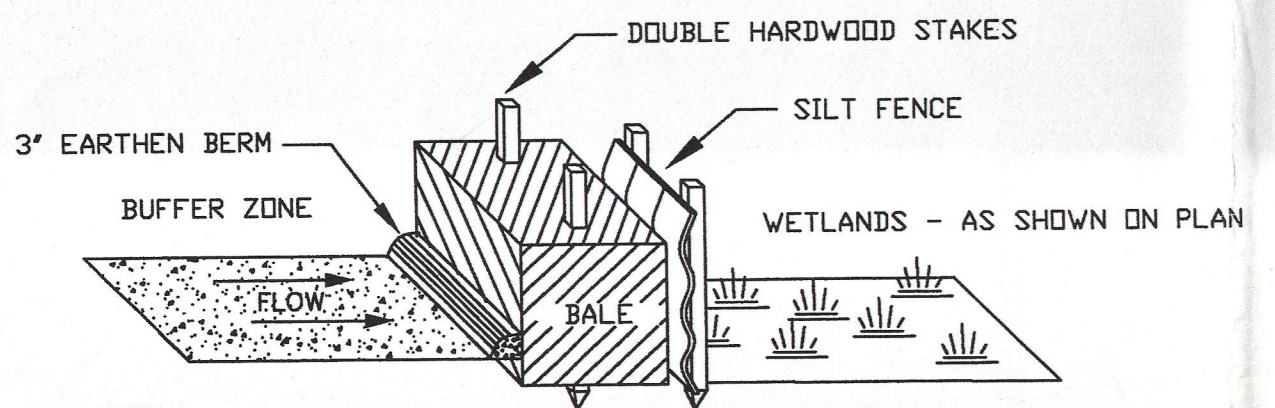


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 ENVIRONMENTAL CONSULTANTS  
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 N. GRAFTON: 214 WORCESTER ST. 01536 (508) 839-9526  
 HANSON: 1115 MAIN STREET 02341 (781) 294-4144  
 HOLDEN: P.O. BOX 644 01520 (508) 829-3006  
 DATE: JULY 22, 2005  
 JOB NO. B1513  
 SHEET NO. 2



**OPERATION & MAINTENANCE**  
 CATCH BASINS AND STORMCEPTOR ARE TO BE INSPECTED TWICE PER YEAR AND CLEANED ONCE PER YEAR OR WHEN 12" OF SEDIMENT IS IN CATCH BASINS OR 6" OF SEDIMENT IS IN STORMCEPTOR.  
 ISOLATOR ROW OF INFILTRATION AREA IS TO BE INSPECTED ANNUALLY AND CLEANED IF GREATER THAN 3" OF SEDIMENT IS FOUND.  
 STREET SHOULD BE SWEEPED TWICE PER YEAR OR AS NECESSARY.

DH-1				DH-2			
0-10"	A	Sandy loam	10yr 3/2	0-12"	A	Sandy loam	10yr 3/2
10-32"	B	Sandy loam	10yr 7/6	12-32"	B	Sandy loam	10yr 7/6
32-112"	C	Loamy sand	10yr 5/2	32-114"	C	Loamy sand	10yr 5/2
No Mottles				No Mottles			
G.W. Weeping @ 108"				G.W. Not observed			
DH-3				DH-4			
0-12"	A	Sandy loam	10yr 3/2	0-8"	A	Sandy loam	10yr 3/2
12-24"	B	Sandy loam	10yr 5/4	8-28"	B	Sandy loam	10yr 7/8
24-108"	C	Loamy sand	10yr 6/2	28-96"	C	Loamy sand	10yr 6/3
No Mottles				Mottles @ 48" 2.5yr 6/6			
G.W. Weeping @ 84"				G.W. Weeping @ 80"			
DH-5				DH-6			
0-10"	A	Sandy loam	10yr 3/2	0-10"	A	Sandy loam	10yr 3/2
10-24"	B	Sandy loam	10yr 5/6	10-24"	B	Sandy loam	10yr 6/6
24-102"	C	Loamy sand	10yr 6/1	24-84"	C	Loamy sand	10yr 7/2
Mottles @ 48" 10yr 6/6				No Mottles			
G.W. Weeping @ 84"				G.W. Not observed			



NOTE: STRAWBALE DIKE IS TO BE SET FIRMLY INTO GROUND WITH A 3 INCH EARTHEN BERM ALONG THE UPSLOPE SIDE TO PREVENT DRAINAGE FROM ROUTING BENEATH THE EROSION CONTROL BARRIER. THE CONSERVATION COMMISSION IS TO INSPECT EROSION CONTROLS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

**EROSION CONTROL DETAIL**  
 USE STRAW BALES OR SALTMARSH HAY

**LEGEND**

□	CONCRETE BOUND TO BE SET	☆	STREET LIGHT
●	IRON PIPE FOUND	⊙	HYDRANT
○	BOUND FOUND	⊞	CATCH BASIN
⊙	DRILL HOLE FOUND	⊞	DRAIN MANHOLE
⊙	STONEWALL	⊞	SEWER MANHOLE
⊞	PROPOSED PROPERTY LINE	⊞	UTILITY POLE
⊞	EASEMENT LINE	⊞	EXISTING SPOT GRADE
⊞	WETLAND SYMBOL	⊞	EXISTING CONTOUR
⊞	WETLAND LINE	⊞	PROPOSED CONTOUR
⊞	100' WETLAND BUFFER	⊞	EXIST. TREE TO BE RETAINED
⊞	EXIST. TREE TO BE REMOVED		

**ZONING DATA**  
 ZONE: AGRICULTURAL AND RESIDENTIAL DISTRICT II  
 SINGLE FAMILY MINIMUM REQUIREMENTS  
 AREA: 22,500 sq.ft.  
 FRONTAGE: 150'  
 FRONT YARD: 35'  
 SIDE YARD: 15'  
 REAR YARD: 15'

**SITE PLAN**  
**FRANKLIN CREEK**  
**DEFINITIVE PLAN**  
**A PRIVATE WAY SUBDIVISION**

LOCATED AT  
**18 FRANKLIN STREET**  
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 153 MAIN STREET MEDWAY, MASSACHUSETTS

NOTE: THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100 FEET OF THIS PROPERTY.

DATE	FIELD BY:	INT.	DATE	INT.
6/05	CALCS BY: DWH		6/05	CHECKED BY: NGH
6/05	DESIGNED BY: DWH		6/05	DRAWN BY: COMP

**REVISIONS**

NO.	DATE	DESIGN	CHECKED
1	10/18/05	MHG	NGH
2	11/17/05	MHG	NGH
3	1/15/06	WDH	NGH
4			
5			
6			
7			

**GRAPHIC SCALE**  
 ( IN FEET )  
 1 inch = 20 ft.

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DATE APPROVED: 5/11/06  
 DATE ENDORSED: 5/11/06

TOWN CLERK - MEDWAY - DATE: 5/11/06

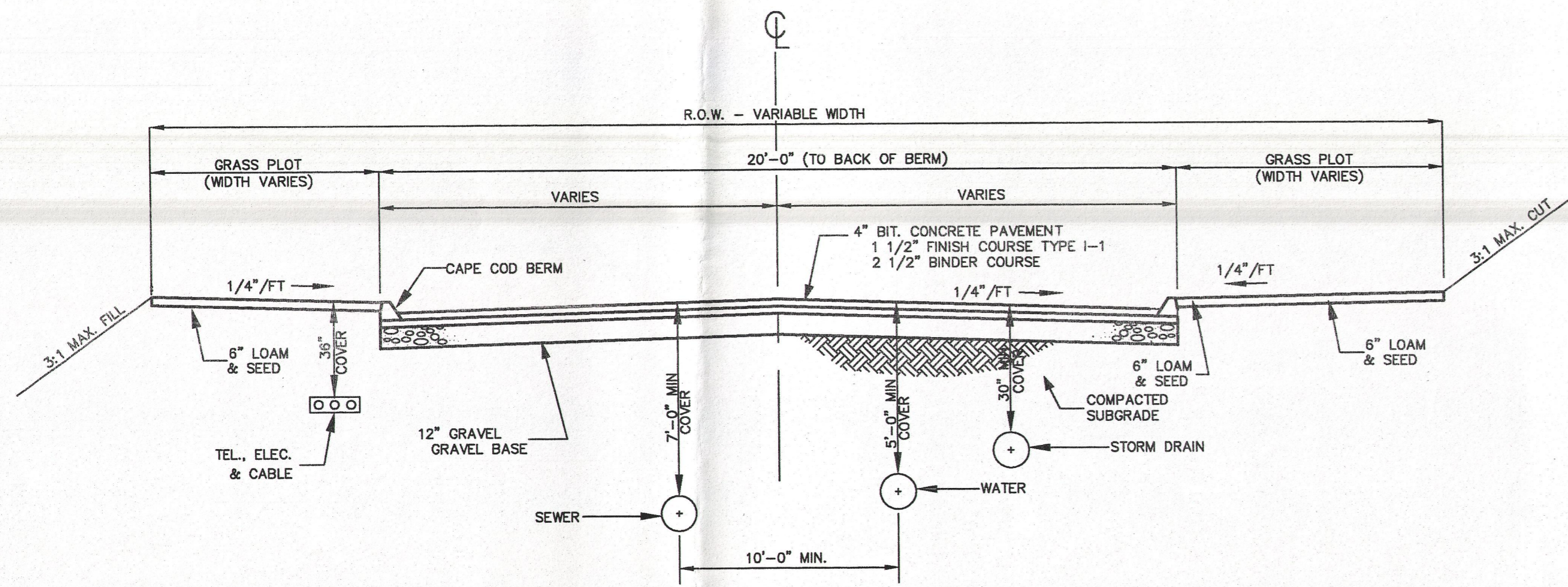
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 SHEET NO.: 3

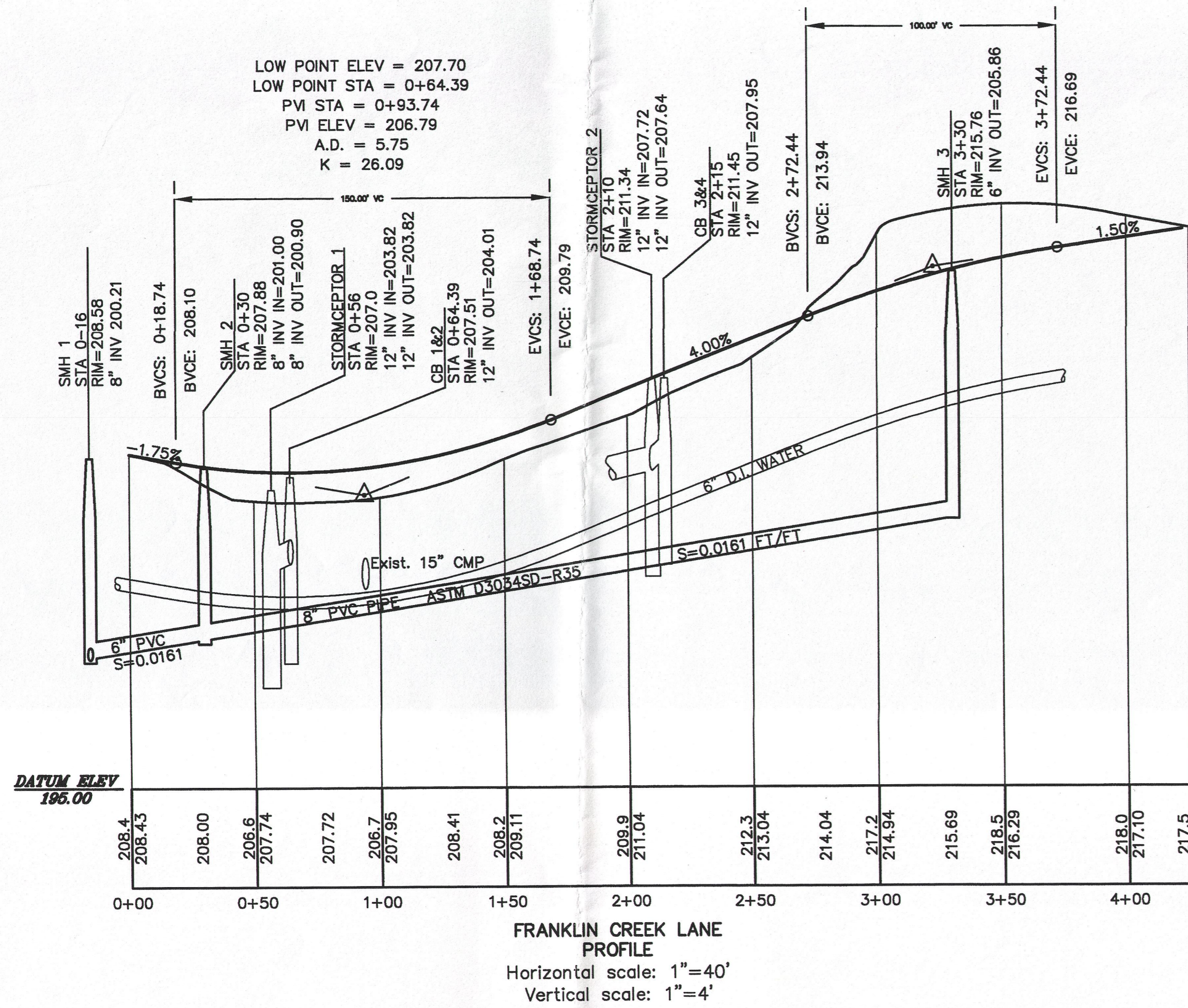


Typical Road Cross Section  
(NOT TO SCALE)

Note: The traveled way is not centered within the right of way. The traveled way meanders around the large trees and wetland. See the site plan for location of the traveled way.

PVI STA = 3+22.44  
PVI ELEV = 215.94  
A.D. = -2.50  
K = 40.00

LOW POINT ELEV = 207.70  
LOW POINT STA = 0+64.39  
PVI STA = 0+93.74  
PVI ELEV = 206.79  
A.D. = 5.75  
K = 26.09

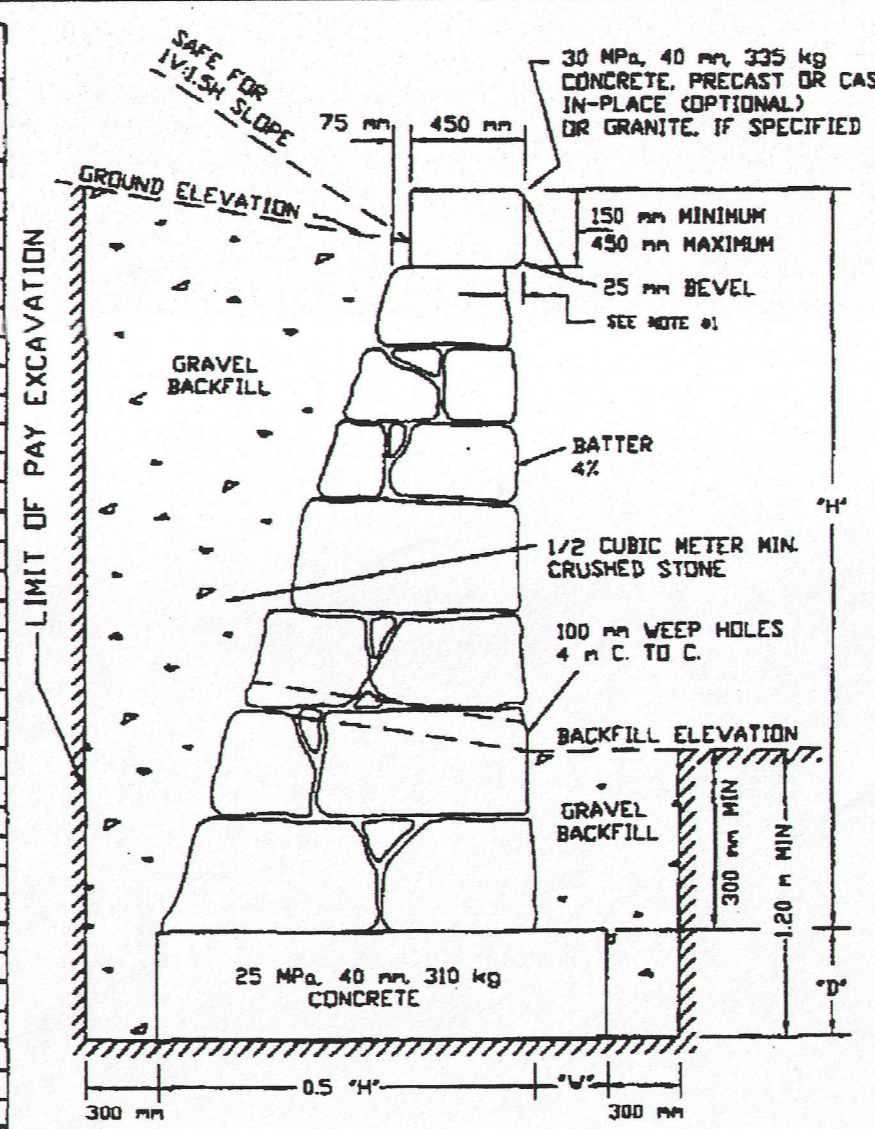


H (ft)	W (ft)	D (ft)	CONCRETE MASONRY FOOTING		STONE MASONRY EXCLUDING COPING	
			SECTION AREA (sq ft)	VOLUME PER UNIT LENGTH (cu ft/ft)	SECTION AREA (sq ft)	VOLUME PER UNIT LENGTH (cu ft/ft)
1.50	0.25	0.40	0.40	0.40	0.81	0.81
1.70			0.44	0.44	1.01	1.01
1.90			0.48	0.48	1.23	1.23
2.10			0.52	0.52	1.46	1.46
2.30			0.56	0.56	1.72	1.72
2.50			0.60	0.60	2.00	2.00
2.70	0.30	0.50	0.83	0.83	2.30	2.30
2.90			0.88	0.88	2.61	2.61
3.10			0.93	0.93	2.95	2.95
3.30			0.98	0.98	3.31	3.31
3.50	0.40	0.60	1.29	1.29	3.69	3.69
3.70			1.35	1.35	4.09	4.09
3.90			1.41	1.41	4.50	4.50
4.10			1.47	1.47	4.95	4.95
4.30			1.53	1.53	5.40	5.40
4.50			1.59	1.59	5.87	5.87
4.70	0.50	0.80	2.29	2.29	6.37	6.37
4.90			2.36	2.36	6.89	6.89
5.10			2.44	2.44	7.43	7.43
5.30			2.52	2.52	7.98	7.98
5.50			2.60	2.60	8.56	8.56
5.70			2.69	2.69	9.16	9.16
5.90			2.76	2.76	9.78	9.78
6.10	0.60	1.00	3.65	3.65	10.41	10.41
6.30			3.75	3.75	11.07	11.07
6.50			3.85	3.85	11.75	11.75
6.70			3.95	3.95	12.45	12.45
6.90			4.05	4.05	13.16	13.16
7.10			4.15	4.15	13.90	13.90
7.30			4.25	4.25	14.66	14.66
7.50			4.35	4.35	15.44	15.44
7.70			4.45	4.45	16.23	16.23
7.90			4.55	4.55	17.05	17.05
8.00			4.60	4.60	17.47	17.47

COPING TO BE PRECAST CONCRETE OR GRANITE OF UNIFORM DEPTH FOR THE ENTIRE LENGTH. DEPTH OF CONCRETE TO BE 1/10 THE AVERAGE "H" WITHIN THE LIMITS SHOWN. DEPTH OF GRANITE TO BE AS SHOWN ON THE PLANS, 150 mm OR 250 mm.

FOR FINISH LOW FENCE OF 100 mm MAX. THE COPING SHALL BE CONCRETE CAST IN PLACE WITH A MINIMUM DEPTH OF 300 mm. THE LENGTH OF GALVANNEED PIPE SCREENS FOR FENCE ROCKS SHALL BE 300 mm TO THE CENTER OF GRADE.

- NOTES:
- COPING OVERHANG TO BE APPROXIMATELY 75 mm FOR WALLS 300 mm OR MORE IN HEIGHT AND APPROXIMATELY 50 mm FOR WALLS LESS THAN 300 mm IN HEIGHT. IN A CONTINUOUS WALL OF VARYING HEIGHT THE OVERHANG WILL BE APPROXIMATELY 50 mm TO 75 mm FOR THE ENTIRE LENGTH.
  - ALL DIMENSIONS SHOWN ARE MINIMUM.



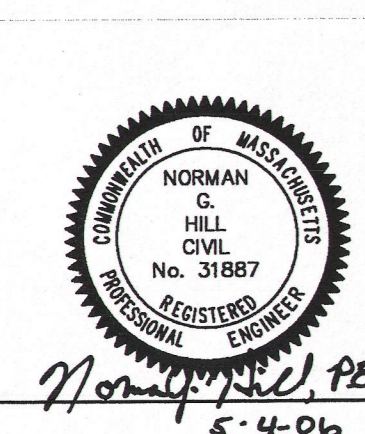
Retaining Wall Detail  
(NOT TO SCALE)

- NOTES:
- All lots are to be serviced by town sewer and town water
  - All subsurface sewage disposal systems on site are to be abandoned per title 5 and requirements of the of the medway board of health. all saturated materials within the existing septic systems are to be removed and replaced with suitable materials, in particular in the areas of the proposed sewer and water lines.
  - Pavement is not in center of right of way to minimize wetland disturbance
  - All elevations are relative to national geodetic vertical datum of 1929
  - Wetland delineation by applied ecological science and approved by medway conservation commission
  - Existing conditions shown are based upon a survey by paul desimore
  - A home owner association will be created to be responsible for the maintenance of the road way and drainage structures
  - Gas systems and installation shall meet the specifications of the gas company.
  - Proposed street traffic signs are subject to review and approval by medway traffic safety officer
  - Applicant to field locate all proposed utilities prior to backfill.
  - If the building inspector determines that a fence on top of the stonewall is required by building code, the fence shall resemble black wrought iron.

- GENERAL NOTES:
- Place 6" Loam and seed all disturbed areas of the project not otherwise improved.
  - Install nylon string in all conduit for pull through of cables
  - All trenches for utilities to backfilled and compacted with granular materials free of rocks larger than 2".
  - All existing underground utility locations shown are based on field evidence and records provided to Land Planning, Inc.. These locations should be considered approximate. Other utilities may exist which are not evident or for which record information was not found. The contractor must contact all utility companies and "Dig Safe" AT 1-888-344-7233 before excavation begins. We assume no responsibility for damages incurred as a result of utilities omitted or inaccurately shown.
  - It is the responsibility of the contractor to review all of the drawings and specifications associated with this project work and project scope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the project engineer of record in writing prior to the start of construction. Failure by the contractor to notify the project engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
  - All work shall conform to the Town of Medway and the Massachusetts Highway Department construction standards as applicable.
  - All work is to be performed in accordance with O.S.H.A. requirements.
  - Contractor is responsible for all excavation to be performed in accordance with current O.S.H.A. standards, as well as additional provisions to assure stability of contiguous structures, as field conditions dictate.
  - The owner of record of the Subdivision shall be responsible for the protection and maintenance of all existing and new utilities and of the road and sidewalk, until which time Medway Planning Board and Town of Medway note to accept the road.
  - A fire alarm system should be installed subject to approval by the Medway Fire Department.

ROAD PROFILE  
**FRANKLIN CREEK**  
DEFINITIVE PLAN  
A PRIVATE WAY SUBDIVISION  
LOCATED AT  
18 FRANKLIN STREET  
MEDWAY, MASSACHUSETTS  
OWNER/ APPLICANT  
**JOHN EARLY & TIMOTHY SHEEHAN**  
153 MAIN STREET MEDWAY, MASSACHUSETTS

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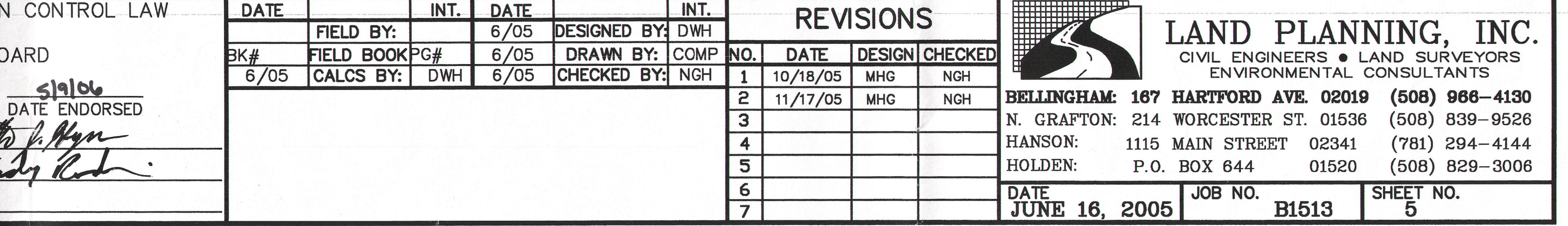
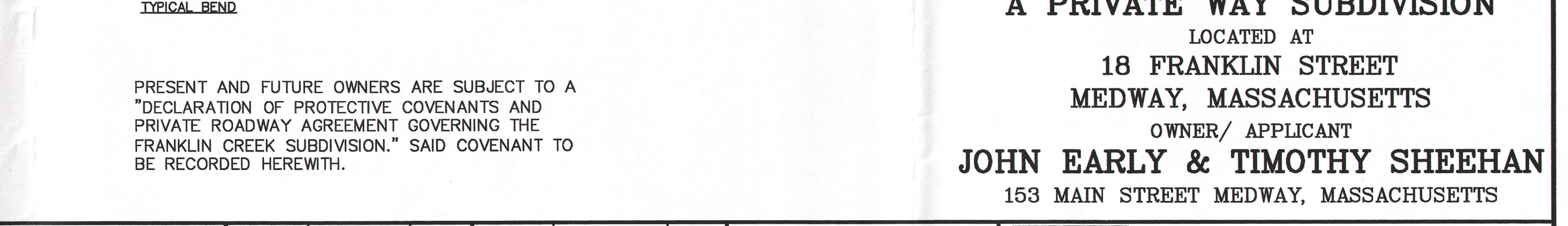
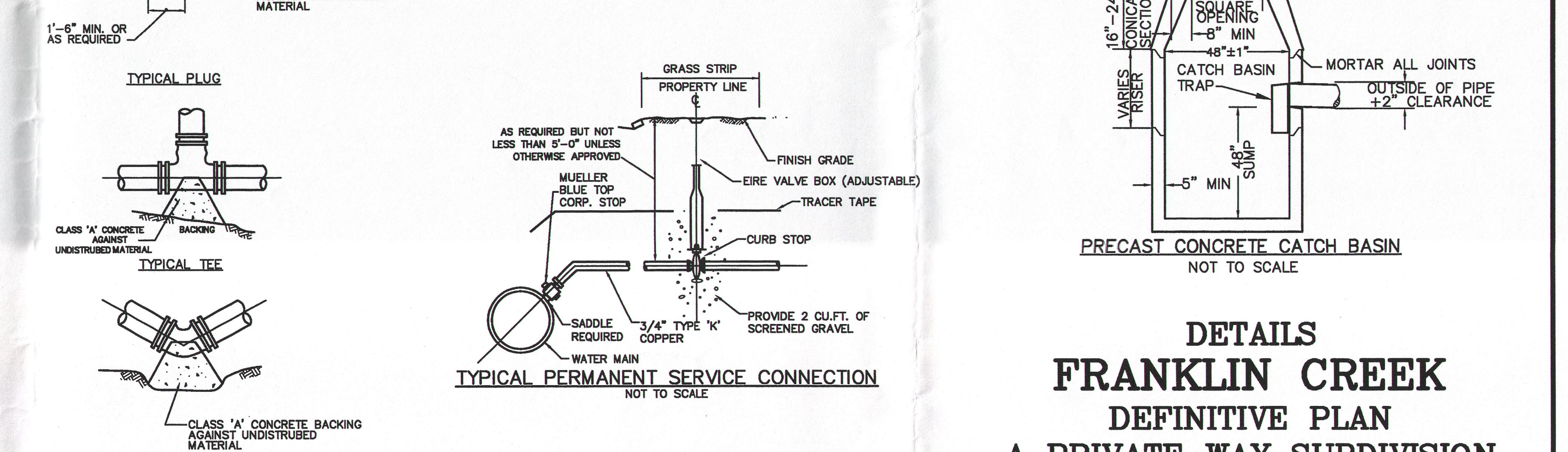
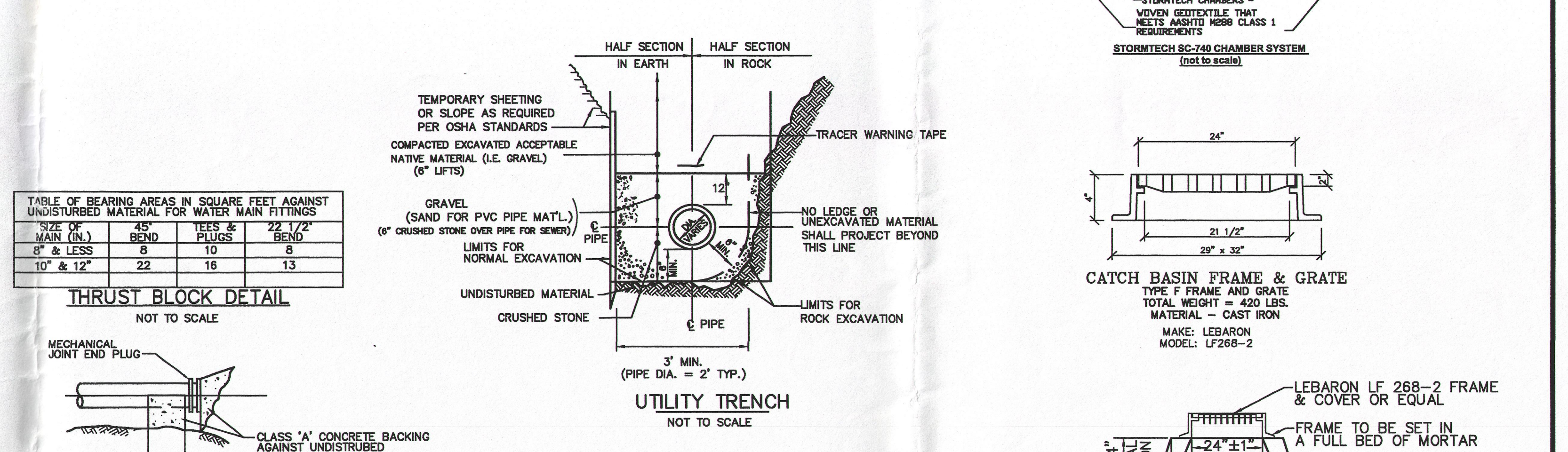
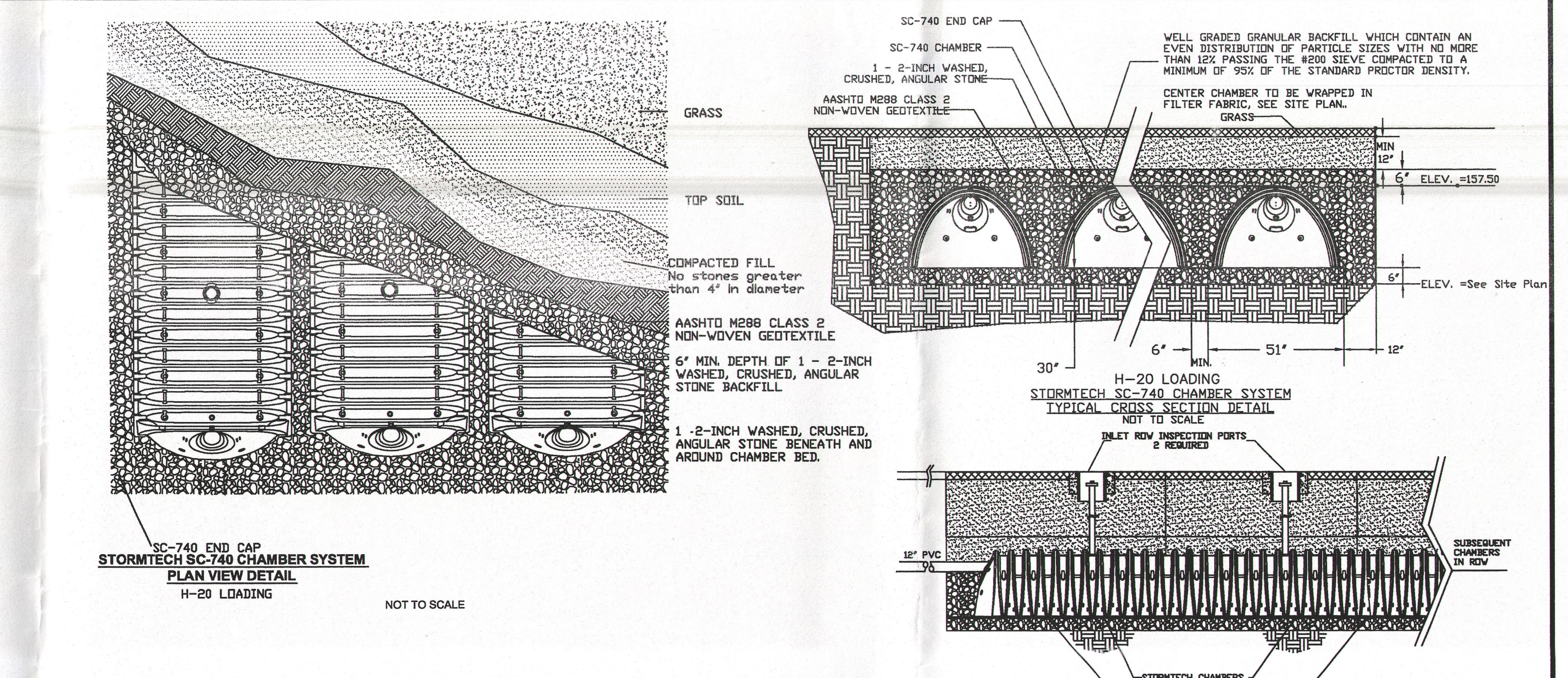
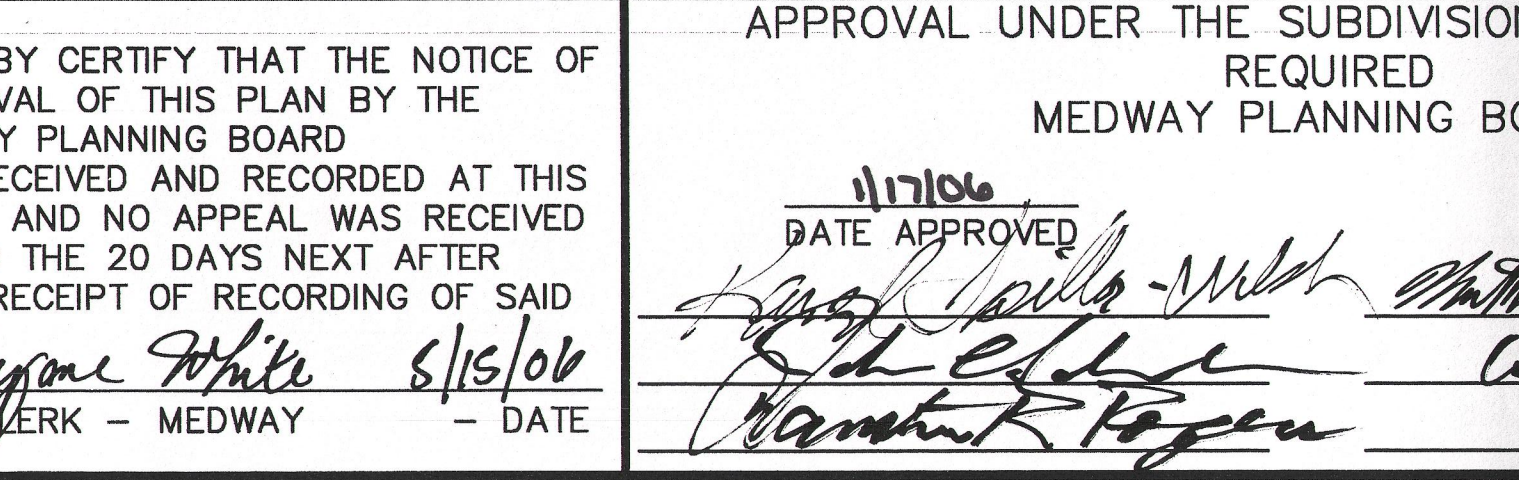
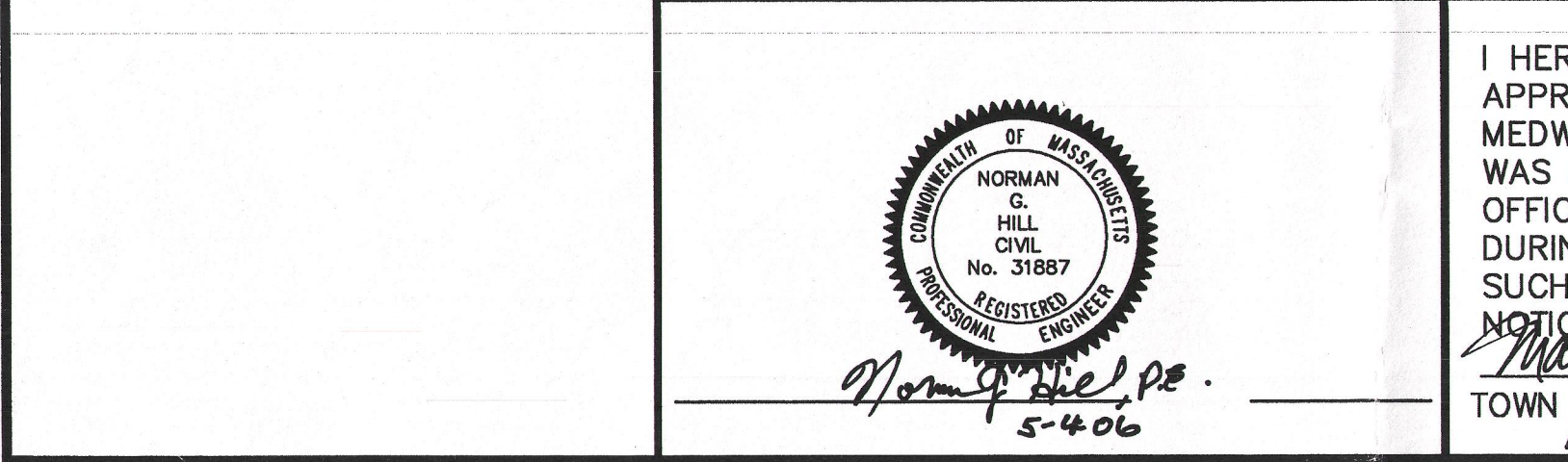
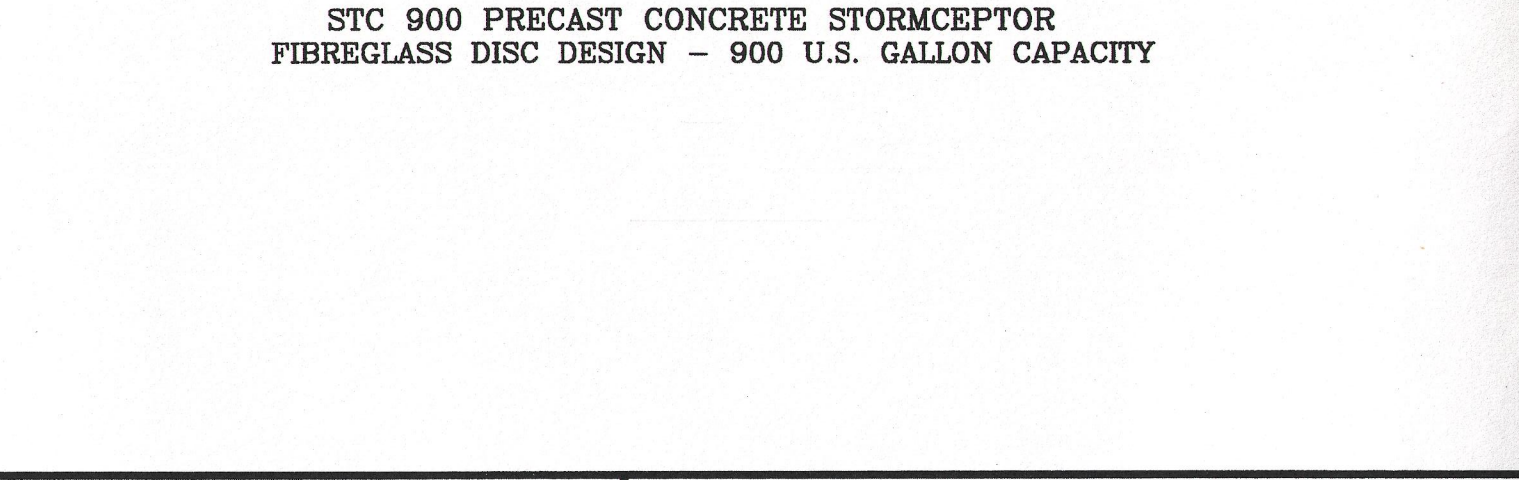
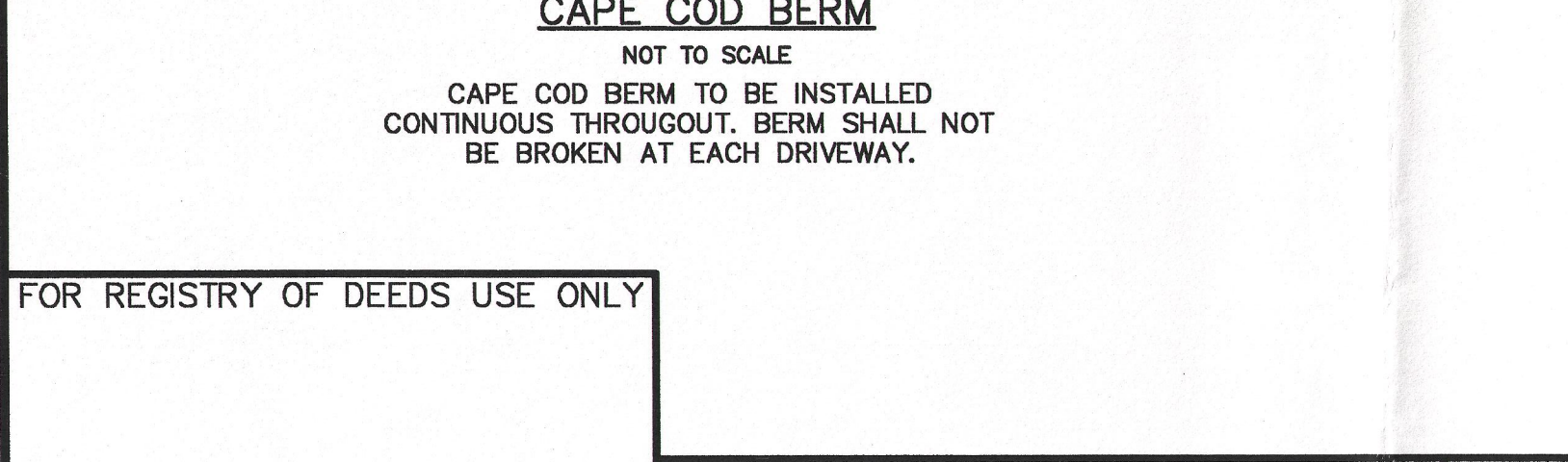
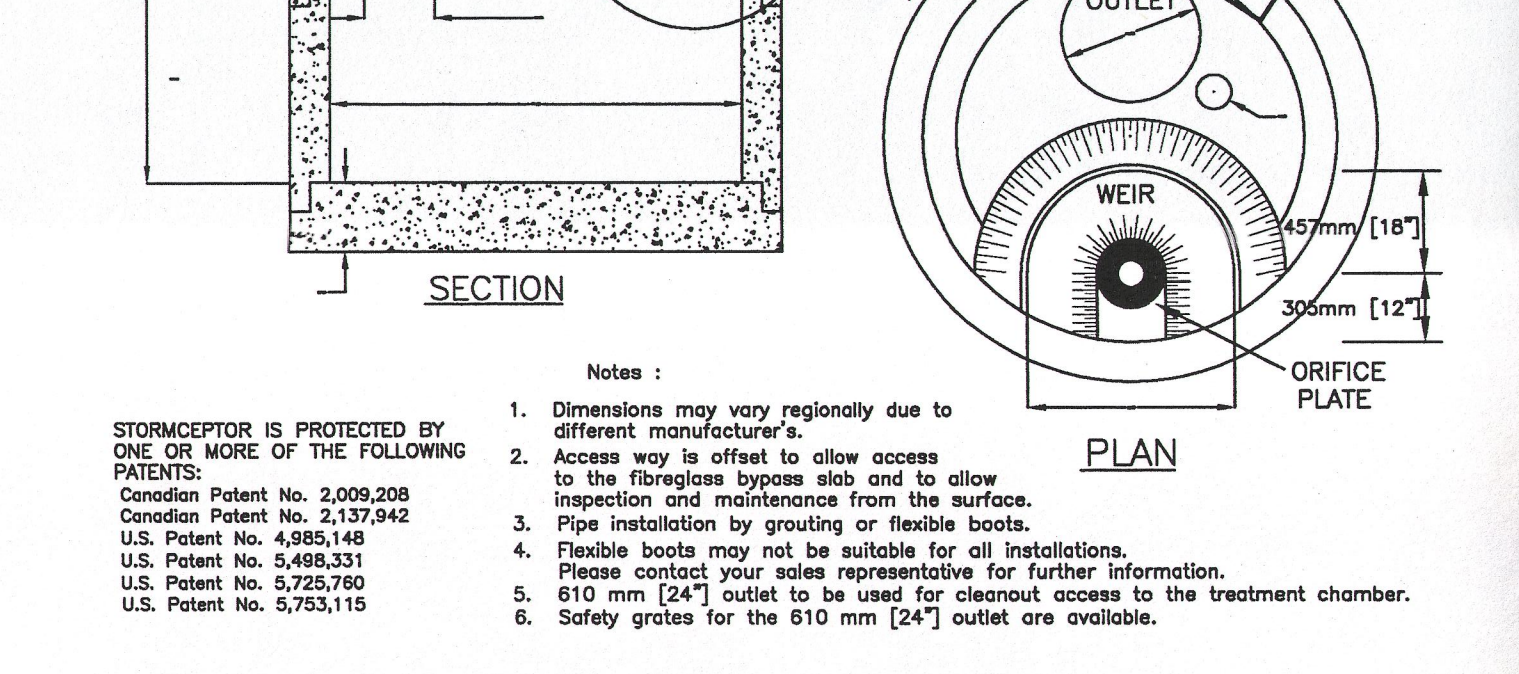
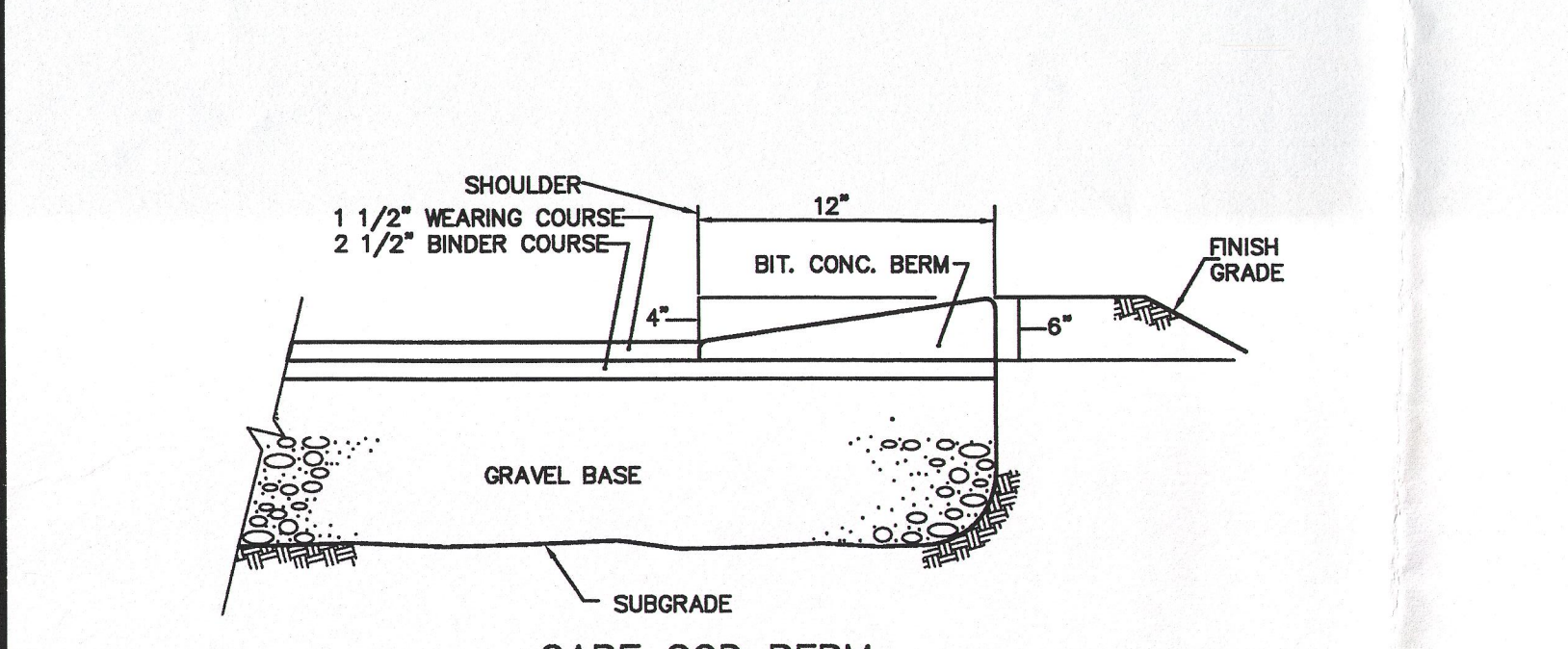
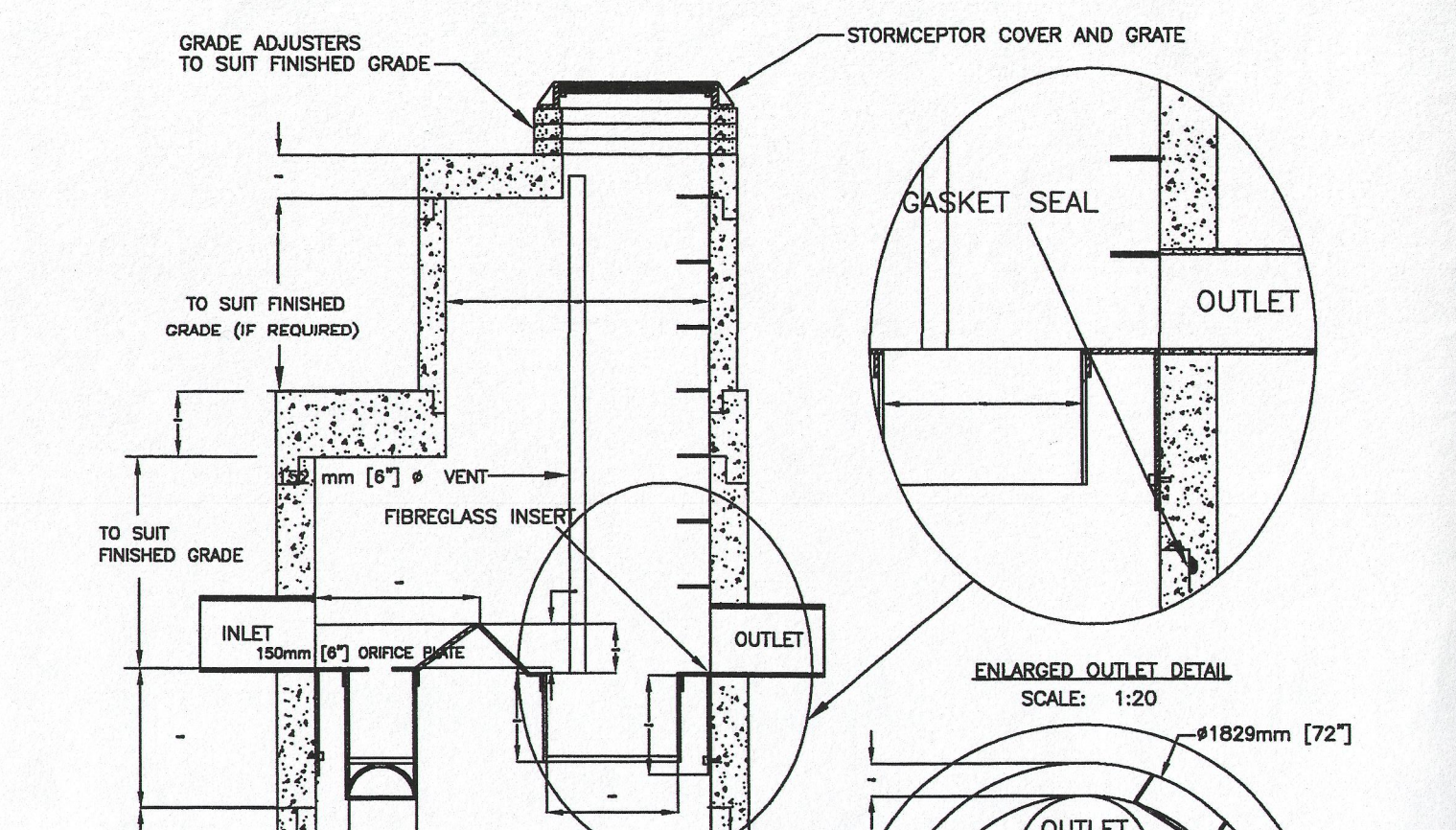
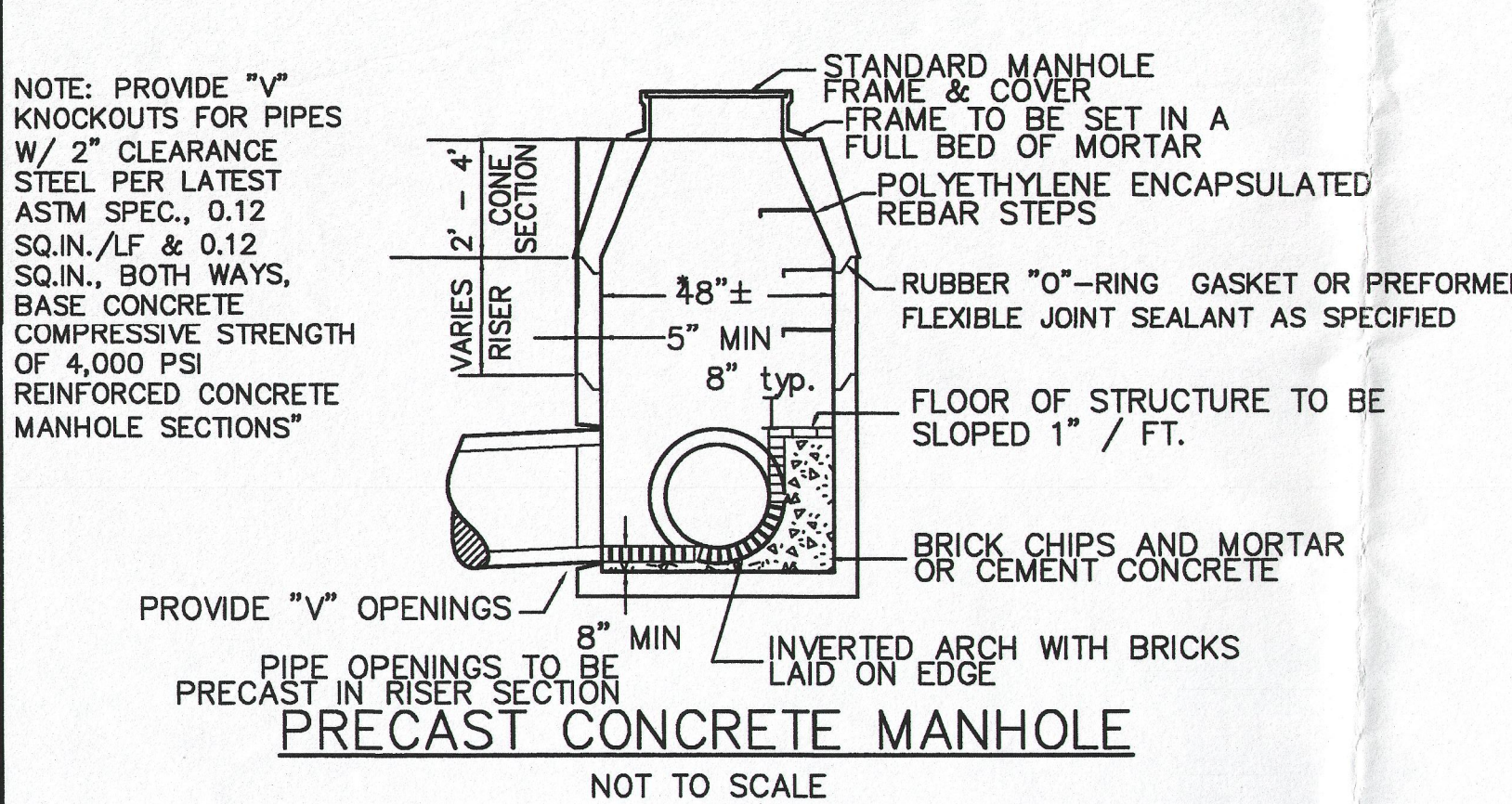
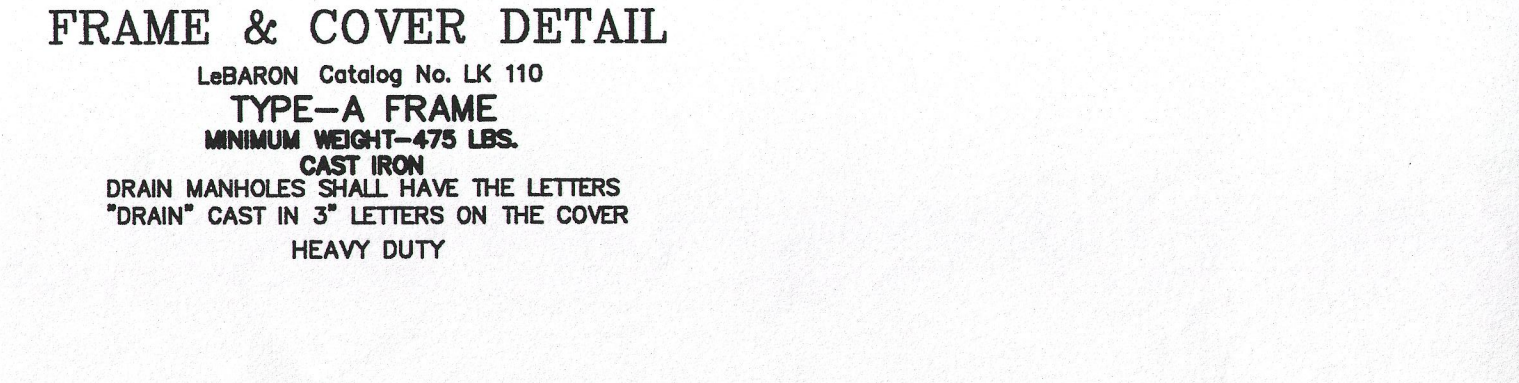
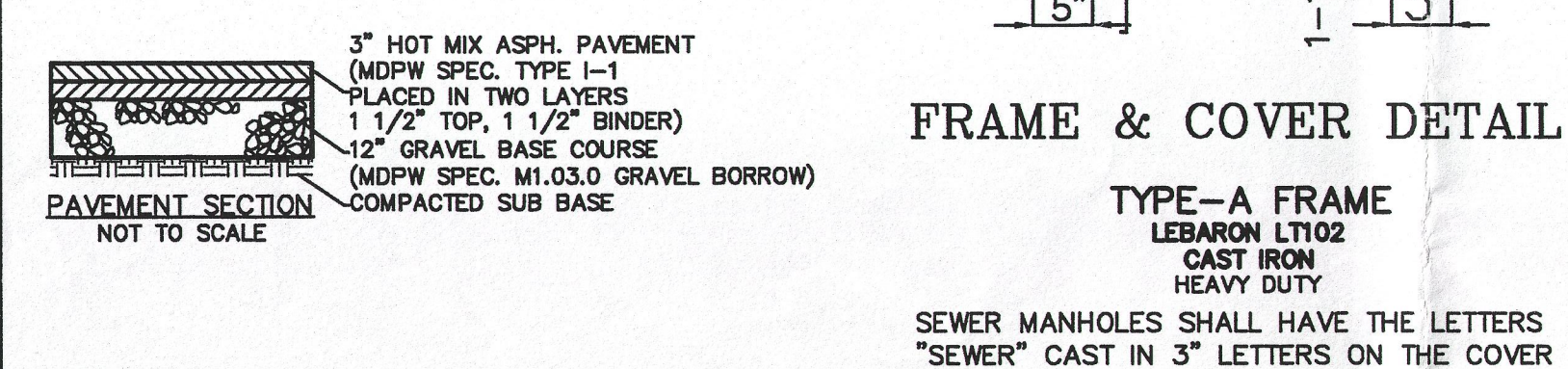
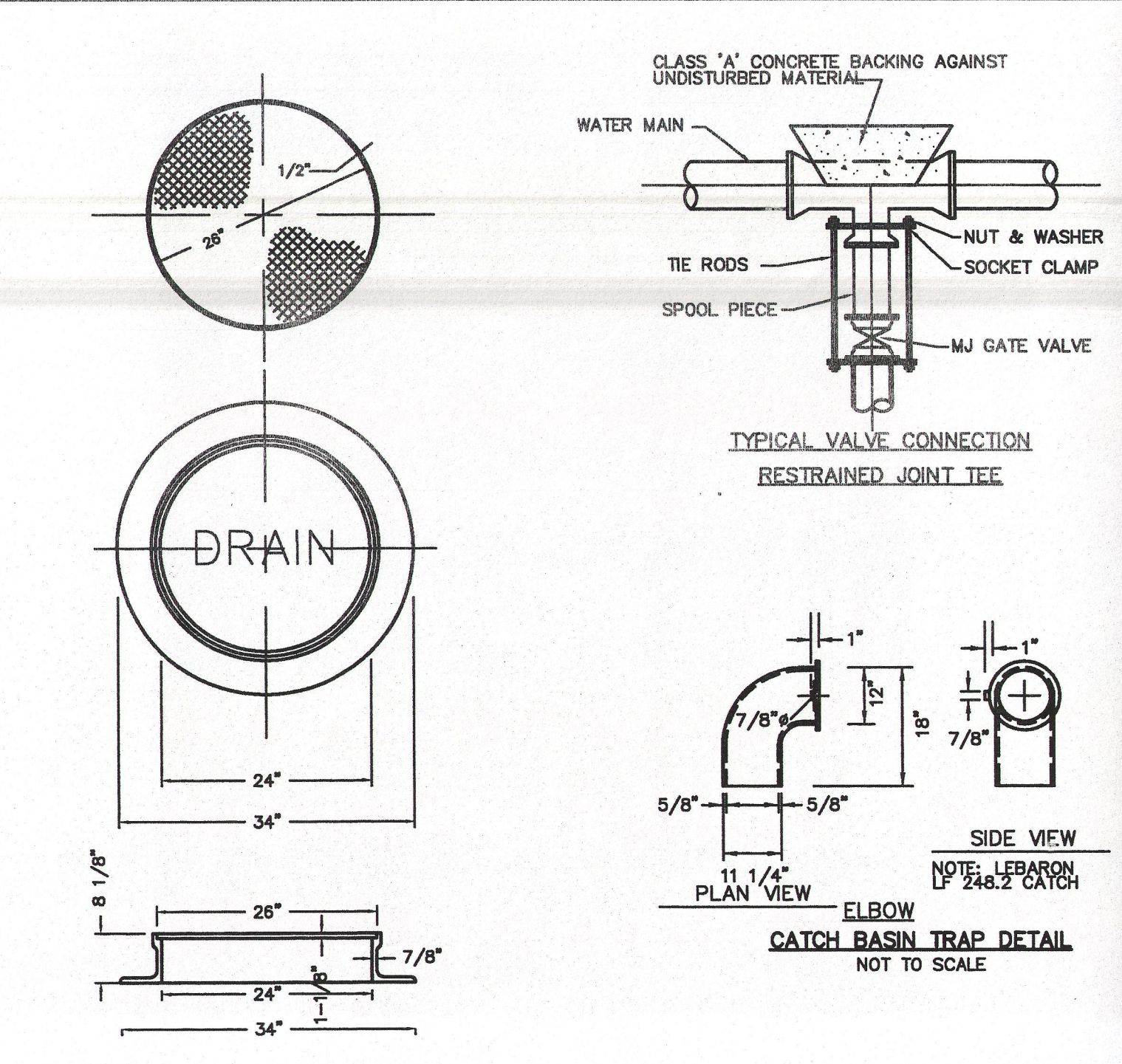
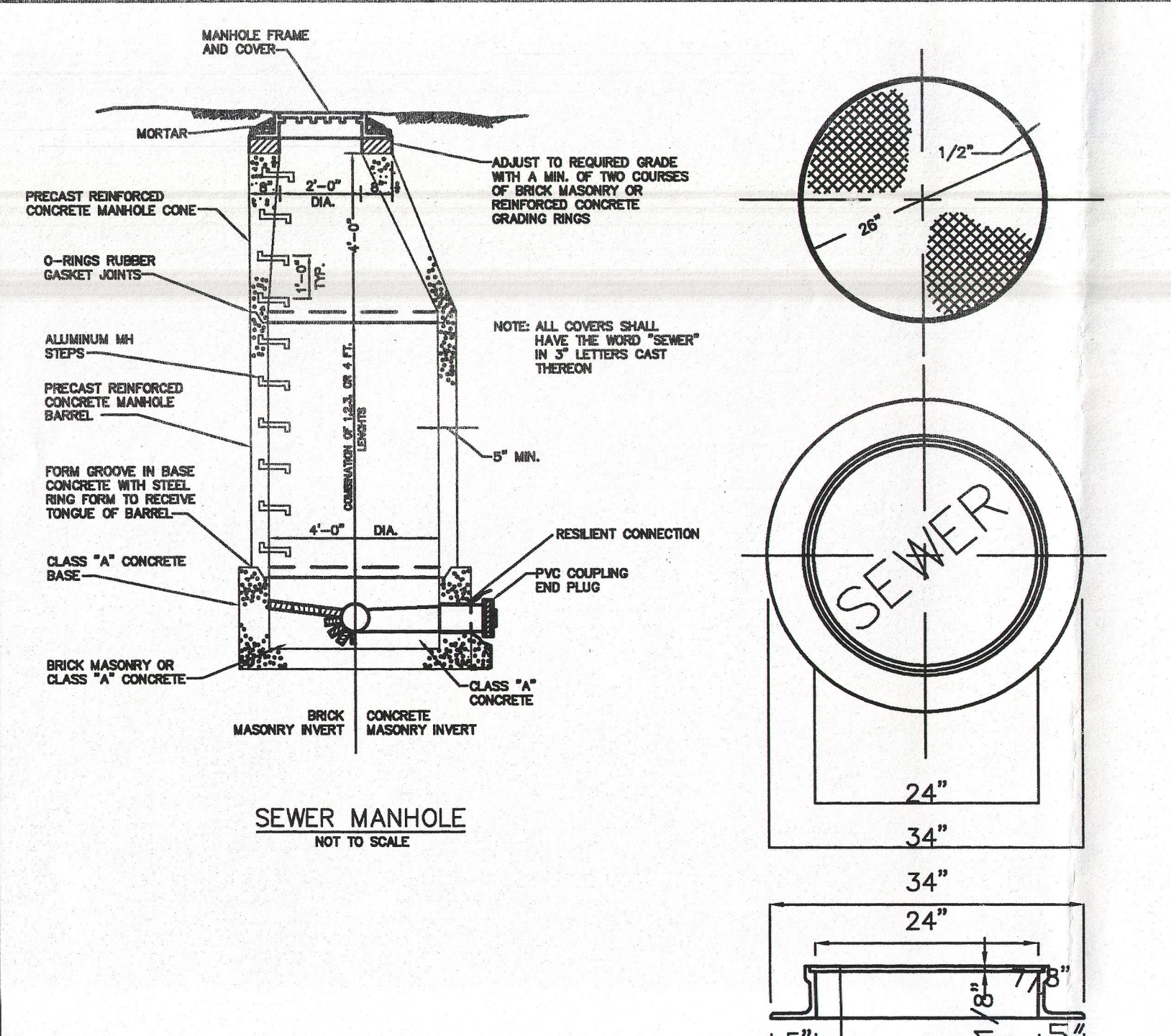
I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE MEDWAY PLANNING BOARD WAS RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE  
 DATE: 5/15/06  
 TOWN CLERK - MEDWAY

APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED  
 MEDWAY PLANNING BOARD  
 DATE APPROVED: 5/15/06  
 DATE ENDORSED: 5/15/06

DATE	FIELD BY:	INT.	DATE	DESIGNED BY:	INT.
6/05	FIELD BOOK#	6/05	DRAWN BY:	COMP	6/05
6/05	CALCS BY:	DWH	CHECKED BY:	NGH	6/05

REVISIONS				
NO.	DATE	DESIGN	CHECKED	
1	10/18/05	MHG	NGH	
2	11/17/05	MHG	NGH	
3	1/15/06	WDH	NGH	
4				
5				
6				
7				

**LAND PLANNING, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS  
 ENVIRONMENTAL CONSULTANTS  
 BELLINGHAM: 167 HARTFORD AVE. 02019 (508) 966-4130  
 N. GRAFTON: 214 WORCESTER ST. 01536 (508) 839-9526  
 HANSON: 1115 MAIN STREET 02341 (781) 294-4144  
 HOLDEN: P.O. BOX 644 01520 (508) 829-3006  
 DATE: JULY 22, 2005  
 JOB NO.: B1513  
 SHEET NO.: 4



FOR REGISTRY OF DEEDS USE ONLY

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE MEDWAY PLANNING BOARD WAS RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE

*Norman G. Hill, Jr.*  
5-4-06

APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED  
MEDWAY PLANNING BOARD

DATE APPROVED: 5/15/06  
DATE ENDORSED: 5/15/06

TOWN CLERK - MEDWAY - DATE

DATE: 6/05  
FIELD BOOK: PG#  
INT. DATE: 6/05  
DESIGNED BY: DWH  
DRAWN BY: NGH  
CHECKED BY: NGH

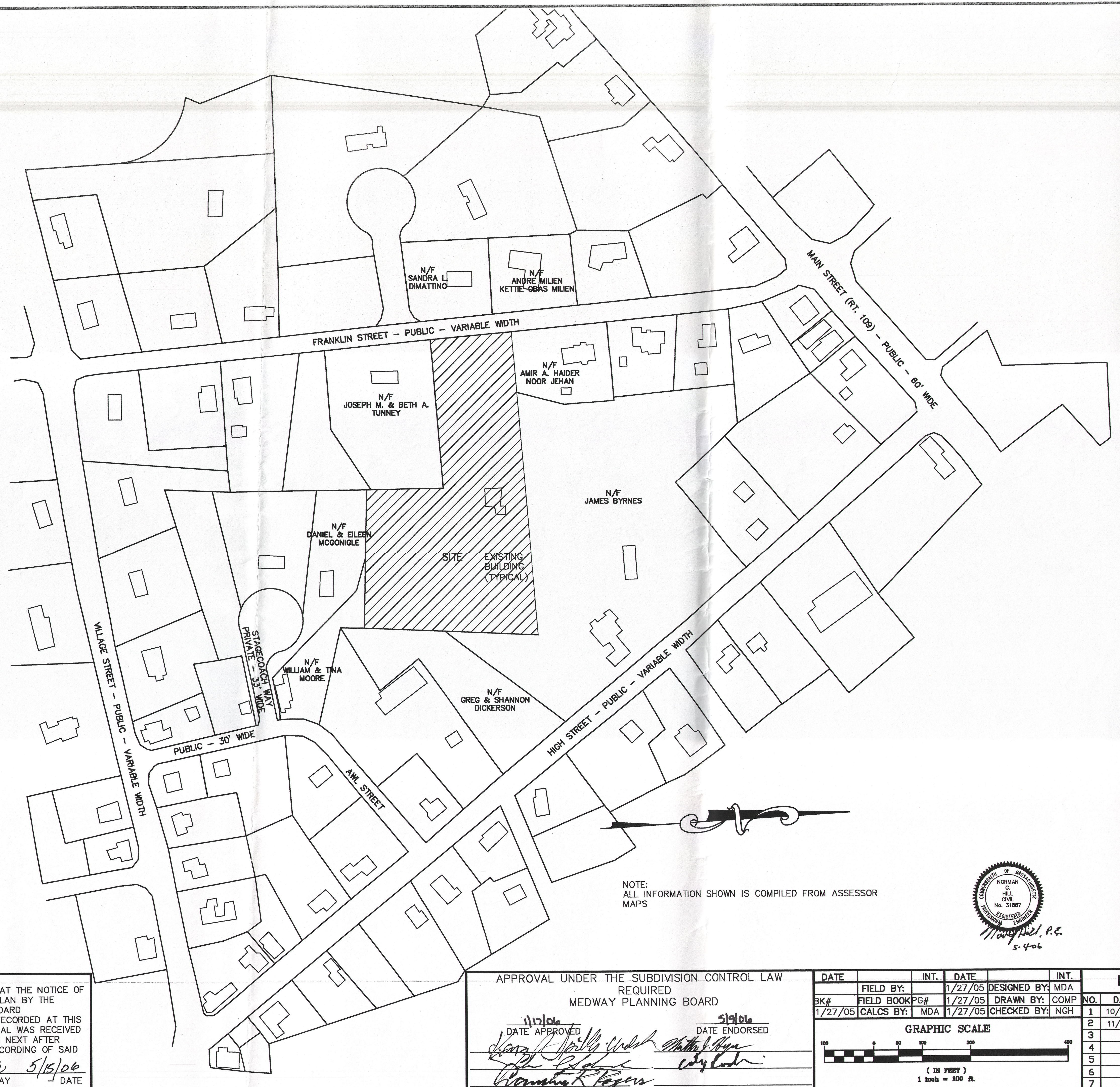
REVISIONS			
NO.	DATE	DESIGN	CHECKED
1	10/18/05	MHG	NGH
2	11/17/05	MHG	NGH
3			
4			
5			
6			
7			

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ENVIRONMENTAL CONSULTANTS

**BELLINGHAM: 187 HARTFORD AVE. 02019 (508) 986-4130**  
**N. GRAFTON: 214 WORCESTER ST. 01536 (508) 839-9526**  
**HANSON: 1115 MAIN STREET 02341 (781) 294-4144**  
**HOLDEN: P.O. BOX 644 01520 (508) 829-3006**

DATE: JUNE 16, 2005  
JOB NO.: B1513  
SHEET NO.: 5

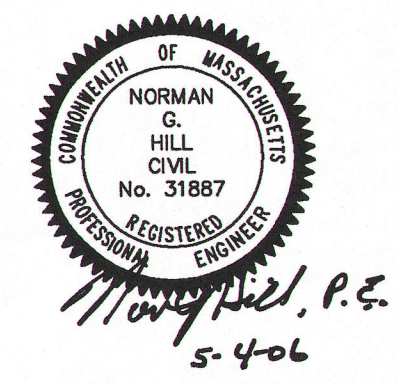
FOR REGISTRY OF DEEDS USE ONLY



PRESENT AND FUTURE OWNERS ARE SUBJECT TO A "DECLARATION OF PROTECTIVE COVENANTS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE FRANKLIN CREEK SUBDIVISION." SAID COVENANT TO BE RECORDED HEREWITH.

**LOCUS PLAN  
FRANKLIN CREEK  
DEFINITIVE PLAN  
A PRIVATE WAY SUBDIVISION**  
LOCATED AT  
**18 FRANKLIN STREET  
MEDWAY, MASSACHUSETTS**  
OWNER/ APPLICANT  
**JOHN EARLY & TIMOTHY SHEEHAN**  
153 MAIN STREET MEDWAY, MASSACHUSETTS

NOTE:  
ALL INFORMATION SHOWN IS COMPILED FROM ASSESSOR  
MAPS



I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE MEDWAY PLANNING BOARD WAS RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE  
*Maureen White* 5/15/06  
TOWN CLERK - MEDWAY DATE

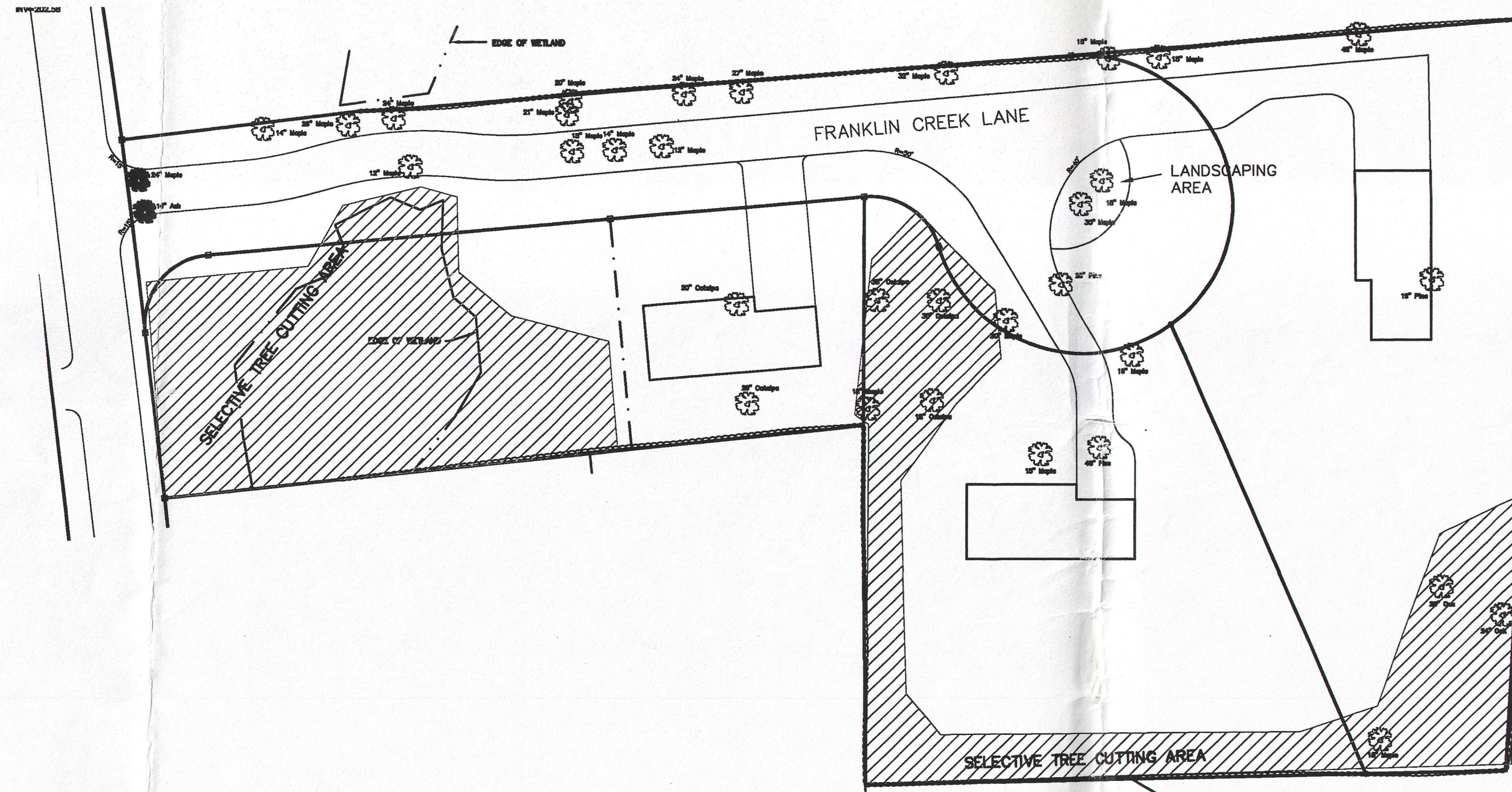
APPROVAL UNDER THE SUBDIVISION CONTROL LAW  
REQUIRED  
MEDWAY PLANNING BOARD  
DATE APPROVED: *5/15/06*  
DATE ENDORSED: *5/19/06*  
*John Early*  
*Timothy Sheehan*  
*Norman S. Hill*

DATE	INT.	DATE	INT.
FIELD BY:		1/27/05	DESIGNED BY: MDA
BK#	FIELD BOOK PG#	1/27/05	DRAWN BY: COMP
1/27/05	CALCS BY: MDA	1/27/05	CHECKED BY: NGH

GRAPHIC SCALE  
1 inch = 100 ft.

REVISIONS			
NO.	DATE	DESIGN	CHECKED
1	10/18/05	MHG	NGH
2	11/17/05	MHG	NGH
3			
4			
5			
6			
7			

**LAND PLANNING, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS  
ENVIRONMENTAL CONSULTANTS  
BELLINGHAM: 167 HARTFORD AVE. 02019 (508) 966-4130  
N. GRAFTON: 214 WORCESTER ST. 01536 (508) 839-9526  
HANSON: 1115 MAIN STREET 02341 (781) 294-4144  
HOLDEN: P.O. BOX 644 01520 (508) 829-3006  
DATE: July 22, 2005 JOB NO. B1513 SHEET NO. 6

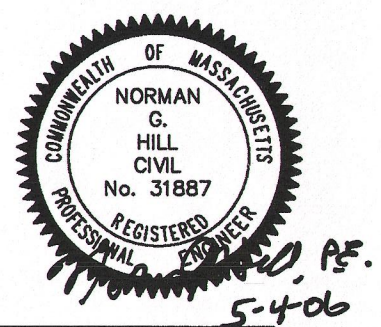


PRESENT AND FUTURE OWNERS ARE SUBJECT TO A "DECLARATION OF PROTECTIVE COVENANTS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE FRANKLIN CREEK SUBDIVISION." SAID COVENANT TO BE RECORDED HEREWITH.

**TREE CUTTING/LANDSCAPING PLAN  
FRANKLIN CREEK  
DEFINITIVE PLAN  
A PRIVATE WAY SUBDIVISION**

LOCATED AT  
**18 FRANKLIN STREET  
MEDWAY, MASSACHUSETTS**  
OWNER/ APPLICANT  
**JOHN EARLY & TIMOTHY SHEEHAN**  
153 MAIN STREET MEDWAY, MASSACHUSETTS

FOR REGISTRY OF DEEDS USE ONLY

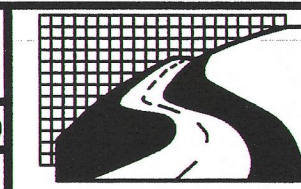


I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE MEDWAY PLANNING BOARD WAS RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.  
*Margaret White* 5/15/06  
TOWN CLERK - MEDWAY - DATE

APPROVAL UNDER THE SUBDIVISION CONTROL LAW  
REQUIRED  
MEDWAY PLANNING BOARD

DATE APPROVED: 1/17/06  
DATE ENDORSED: 5/19/06  
*[Signatures]*

DATE	FIELD BY:	INT.	DATE	DESIGNED BY:	INT.	REVISIONS			
BK#	FIELD BOOK	PG#	1/06	DRAWN BY:	COMP	NO.	DATE	DESIGN	CHECKED
	CALCS BY:		1/06	CHECKED BY:	NGH	1			
						2			
						3			
						4			
						5			
						6			
						7			



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CIVIL ENGINEERS • LAND SURVEYORS  
ENVIRONMENTAL CONSULTANTS

BELLINGHAM: 187 HARTFORD AVE. 02019 (508) 986-4130  
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HANSON: 1115 MAIN STREET 02341 (781) 294-4144  
HOLDEN: P.O. BOX 644 01520 (508) 829-3006

DATE: JAN. 25, 2006  
JOB NO.: B1513  
SHEET NO.: 7