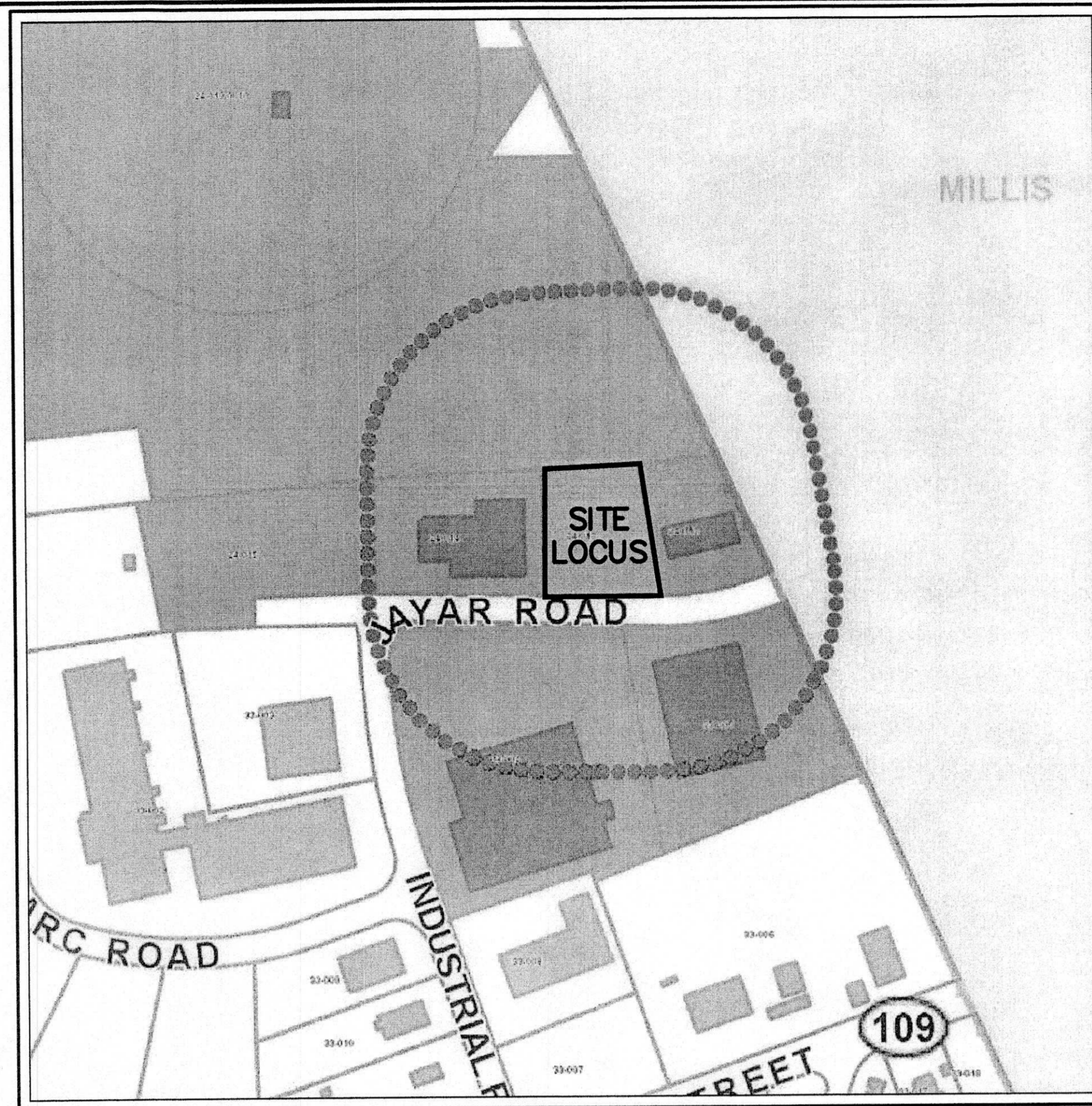


LEGEND

N/F	NOW OR FORMERLY	UP	UTILITY POLE
CB DH	CONCRETE BOUND WITH DRILL HOLE	FES	FLARED END SECTION
FND.	FOUND	ELEV.	ELEVATION
EXIST.	EXISTING	BIT.	BITUMINOUS
PROP.	PROPOSED	CONC.	CONCRETE
INV.	INVERT	F.F.	FIRST FLOOR ELEVATION
R.C.P.	REINFORCED CONCRETE PIPE	B.F.	BASEMENT FLOOR ELEVATION
APPROX.	APPROXIMATE	G.F.	GARAGE FLOOR ELEVATION
⊗	HYDRANT	BM.	BENCHMARK
⊙	SEWER MANHOLE	FA	FIRE ALARM BOX
⊙	DRAIN MANHOLE	W	WATER GATE
⊙CB	STORMWATER CATCH BASIN	V.G.C.	VERTICAL GRANITE CURB
—200—	EXISTING CONTOUR LINE	TP	TEST PITS
—200—	PROPOSED CONTOUR LINE	ETC	ELECTRIC, TELEPHONE & CABLE
OHW	OVERHEAD WIRES		
SFM	SEWER FORCE MAIN		
DTH	DEEP TEST HOLE		
DET.	DETENTION		



LOCUS MAP
SCALE: 1"=200'

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signatures]

8-11-15
APPROVAL DATE
9-8-15
ENDORSEMENT DATE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

[Signature] TOWN CLERK
[Signature] DATE 9/9/15

JOHN'S AUTO BODY

5,000 S.F. COMMERCIAL BUILDING

#25 JAYAR ROAD – MEDWAY, MASSACHUSETTS

SITE PLAN APPROVAL

GENERAL SITE NOTES:

- SITE EXISTING CONDITIONS, WETLANDS LOCATIONS, AND TOPOGRAPHY ARE BASED ON AN ON THE GROUND SURVEY BY O'DRISCOLL LAND SURVEYING CO., MEDWAY MA, AS SHOWN ON A PLAN ENTITLED "EXISTING CONDITIONS, 25 JAYAR ROAD, MEDWAY, MA" DATE OCT. 16, 2014.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- SITE IS NOT WITHIN AN AREA OF 100-YEAR FLOOD BASED ON F.I.R.M. FLOOD INSURANCE RATE MAP NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 142 OF 430 MAP NUMBER 25021C0142E, EFFECTIVE DATE: JULY 17, 2012.
- ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAD '88)
- JOHN'S AUTO BODY INC. IS CURRENTLY A VERY SMALL QUANTITY GENERATOR (VSQG) OF HAZARDOUS WASTE MADEP ID # MV5085332800. ALL HAZARDOUS WASTE & HAZARDOUS MATERIALS MUST BE STORED INDOORS WITH SECONDARY CONTAINMENT ON AN IMPERVIOUS SURFACE THAT IS NOT ADJACENT TO A FLOOR DRAIN OR OTHER POINT OF DISCHARGE TO THE OUTDOOR ENVIRONMENT. INDOOR HAZARDOUS WASTE STORAGE AREA MUST BE POSTED WITH "HAZARDOUS WASTE" SIGNS AND MANAGED IN ACCORDANCE WITH 310 CMR 30.0 MASSACHUSETTS HAZARDOUS WASTE REGULATIONS.
- SITE WORK IS SUBJECT TO TOWN OF MEDWAY ZBA SPECIAL PERMIT, CONSERVATION COMMISSION ORDER OF CONDITIONS DEP FILE NO. CE 216-0850 AND PLANNING BOARD SITE PLAN DECISION.
- SITE LIGHTING: ALL PROPOSED LIGHTS ON THE BUILDING SHALL BE SHIELDED IN A MANNER TO PREVENT LIGHT POLLUTION AND TO ELIMINATE LIGHT TRESPASS ONTO ADJACENT PROPERTIES.
- KNOX BOX: APPLICANT WILL COORDINATE WITH THE MEDWAY FIRE DEPARTMENT TO PROVIDE A "KNOX BOX" MOUNTED TO THE BUILDING NEAR THE MAIN ENTRANCE TO ALLOW FOR EMERGENCY ACCESS TO THE BUILDING (LOCATION SHOWN ON SHEET C-1).

DIG-SAFE NOTE

CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. CONTRACTOR TO NOTIFY "DIG-SAFE" AT 1-888-DIG-SAFE (1-888-344-7233).

PROJECT ENGINEER:
DAVID T. FAIST, P.E.
FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
PH: (508) 864-6802

PROJECT SURVEYOR:
DANIEL A. O'DRISCOLL, P.L.S.
O'DRISCOLL LAND SURVEYING, CO.
46 COTTAGE STREET
MEDWAY, MA 02053
P: 1-508-533-3314

WAIVER REQUESTS FROM TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS:

SECTION NO.	WAIVER DESCRIPTION:
204-4 B	SCALE OF DRAWINGS: SITE PLAN SCALE 1" = 20'
204-5 C.3)	EXISTING LANDSCAPE INVENTORY
204-5 D.7)	LANDSCAPE ARCHITECTURAL PLAN
204-5 D.8)	ARCHITECTURAL PLAN
204-5 D.9)	COLOR RENDERINGS
204-5 D.12)	SIGNAGE PLAN
204-5 D.13)	LIGHTING PLAN
204-5 D.14)	HORIZONTAL SITE DISTANCE
205-3 A.3)	CURB CUTS: SECOND CURB CUT
205-3 B.6)	PERIMETER OF DRIVEWAY BOUNDED WITH VERTICAL GRANITE CURBING
205-3 D.	PEDESTRIAN AND BICYCLE ACCESS AND CONNECTIONS
205-6 A.	PARKING LOCATED TO THE SIDE OR REAR OF LOT
205-6 G.3)a)	CAR PARKING STALL DIMENSION 10' X 20'
205-6 G.4)b)	PARKING SPACES/STALLS SHALL NOT BE WITHIN 15' OF PROPERTY LINE
205-6 G.4)c)	PARKING STALL MANUEVURING AREA WITHIN 50' OF PUBLIC WAY
205-6 H.	CURBING: VERTICAL GRANITE CURB FOR PERIMETER OF PARKING AREA
205-9 C	TREES AND LANDSCAPING

APPLICANT / PROPERTY INFORMATION: ZONING INFORMATION TABLE

ASSESSOR'S MAP ID: 24-013 DEED: BK 14144 PG 371 LOT AREA: 40,266 S.F.	ZONING REQUIREMENTS FOR: INDUSTRIAL (I-1) LOT AREA=20,000 S.F. (MIN.) LOT FRONTAGE=100' (MIN.) FRONT YARD SETBACK=30' (MIN.) REAR YARD SETBACK =20' (MIN.) SIDE YARD SETBACK =30' (MIN.) MAX. BUILDING HEIGHT = 40' MAX. LOT COVERAGE = 40%
-----------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

APPLICANT/OWNER:
JOHN AND CAROLINE SOLARI
18 WINTHROP STREET
MEDWAY, MA 02053
PHONE: (508) 533-2800

PLAN INDEX

- T-1 TITLE / COVER SHEET
- C-1 SITE PLAN
- C-2 GRADING AND UTILITIES PLAN
- C-3 DETAIL SHEET #1
- C-4 DETAIL SHEET #2
- C-5 DETAIL SHEET #3
- C-6 DETAIL SHEET #4
- 1 of 1 EXISTING CONDITIONS PLAN
- S-1 PROPOSED FLOOR PLAN – PRIGGEN STEEL
- S-2 PROPOSED BUILDING ELEVATIONS – PRIGGEN STEEL

SITE PLANS
#25 JAYAR ROAD
5,000 S.F. COMMERCIAL BUILDING
IN
MEDWAY, MASSACHUSETTS

DATE: OCTOBER 16, 2014

REVISE DATES:
DEC. 22, 2014
MAY 12, 2015
JUN. 08, 2015
AUG. 20, 2015



O'DRISCOLL
LAND SURVEYING Co.
LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
Phone: (508) 864-6802
e-mail: dfaist@faisteng.com

RESERVED FOR REGISTRY USE

ZONING INFORMATION TABLE - MEDWAY, MA

#25 JAYAR ROAD

APPLICANT: JOHN SOLARI
 18 WINTHROP STREET
 MEDWAY, MA 02053
 PHONE: (508) 533-2800

CURRENT OWNER: JOHN J. & CAROLINE C. SOLARI
 18 WINTHROP STREET
 MEDWAY, MA 02053
 PHONE: (508) 533-2800

ASSESSOR'S MAP ID: 24-013 DEED: BK 14144 PG 371

ZONING: INDUSTRIAL I & GROUNDWATER PROTECTION DISTRICT
 EXISTING USE: PARKING AREA FOR ADJACENT AUTO REPAIR BUSINESS
 PROPOSED USE: 5,000 S.F. ACCESSORY BUILDING TO AUTO REPAIR BUSINESS
 W/ TWO (2) REPAIR BAYS AND TWO (2) STORAGE / TOW TRUCK PARKING BAYS

EXISTING ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
LOT SIZE (MIN.)	20,000 S.F.	40,266 S.F.	40,266 S.F.
FRONTAGE	100 FT.	195.00 FT.	195.00 FT.
FRONT SETBACK	30 FT.	---	31.0 ± FT.
SIDE SETBACK	20 FT.	---	21.0 ± FT.
REAR SETBACK	30 FT.	---	95.4 ± FT.
MAX. BLDG. HEIGHT	40 FT.	---	23 FT.
MAX. BLDG. COVERAGE	40%	---	5,000 ± S.F. (12.4%)

PARKING - VEHICLE REPAIR (SECTION H 4.):	REQUIRED	PROPOSED
1 SPACE / 300 S.F. X 5,000 S.F.	17 Spaces	18 Spaces
2 SPACE / REPAIR BAY X 2 REPAIR BAYS	4 Spaces	4 Spaces
Total Spaces =	21 Spaces	22 Spaces

Marked Handicap Accessible Spaces
 (1-25 Spaces) 1 Van Accessible Parking Space

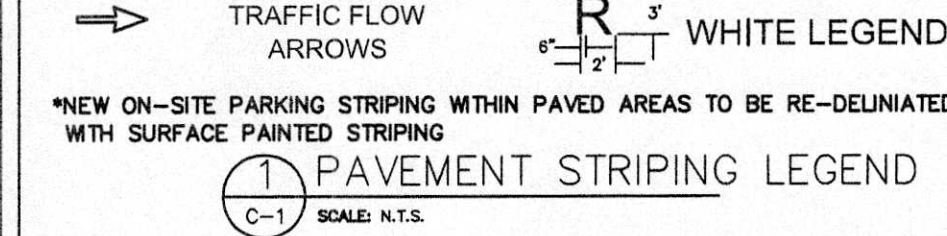
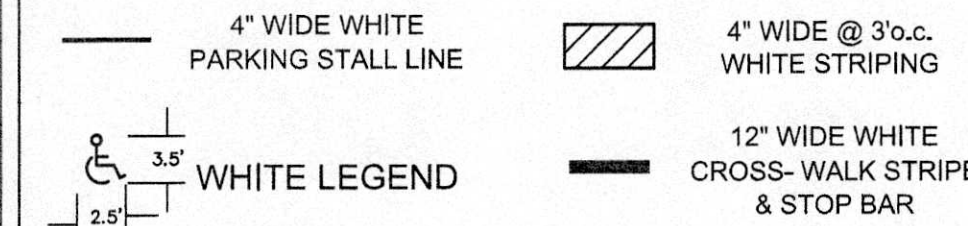
REQUIRED	PROPOSED
1 HC Spaces	1 HC Spaces

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- SITE WORK IS SUBJECT TO TOWN OF MEDWAY ZBA SPECIAL PERMIT, CONSERVATION COMMISSION ORDER OF CONDITIONS DEP FILE NO. CE 216-0850 AND PLANNING BOARD CERTIFICATE OF APPROVAL.

N/F
 WILLIAM F. & BETTYE C. REARDON /
 WILLIAM F. REARDON REVOCABLE TRUST

#23 JAYAR ROAD

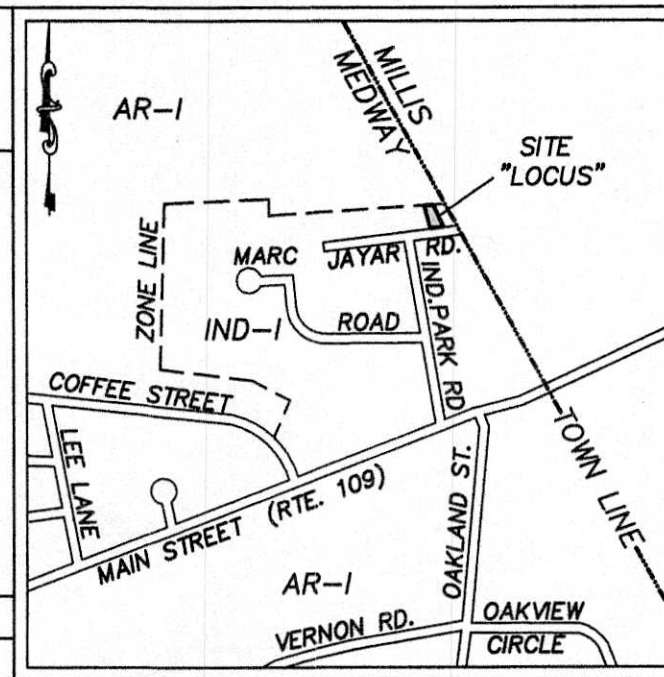


PLAN INDEX

- C-1 SITE PLAN
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DIG-SAFE (1-888-344-7233) NOTE:

CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



LOCUS MAP
 (1" = 1,000')

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signatures]

8-11-15
 APPROVAL DATE
 9-8-15
 ENDORSEMENT DATE

N/F
 JOHN R. & MARY A. LALLY

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

Mary Jane White
 TOWN CLERK
 DATE

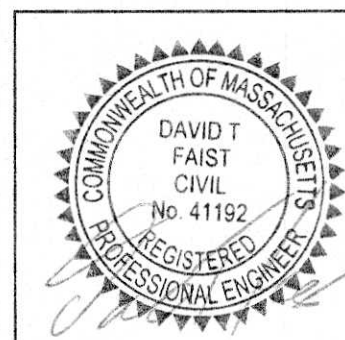
LEGEND

- MON MONUMENT
- BC BOUNDARY CORNER
- N.F. NOT FOUND
- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- HYDRANT
- SM SEWER MANHOLE
- DMH DRAIN MANHOLE
- 200 EXISTING CONTOUR LINE
- UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- CB DRAIN CATCH BASIN

RESERVED FOR REGISTRY USE

FAIST ENGINEERING, INC.
 #67 HALL ROAD
 STURBRIDGE, MA 01566
 Phone: (508) 864-6802 e-mail: dfaist@faisteng.com

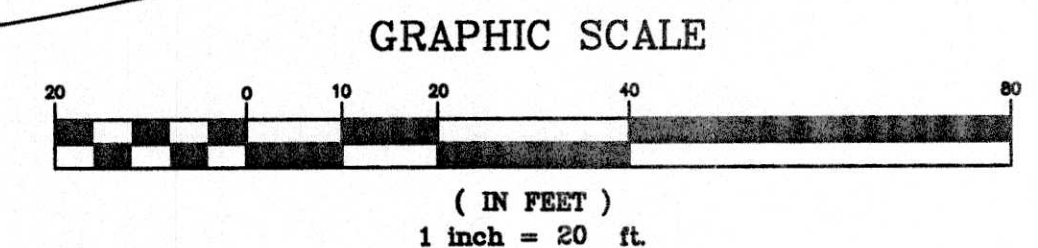
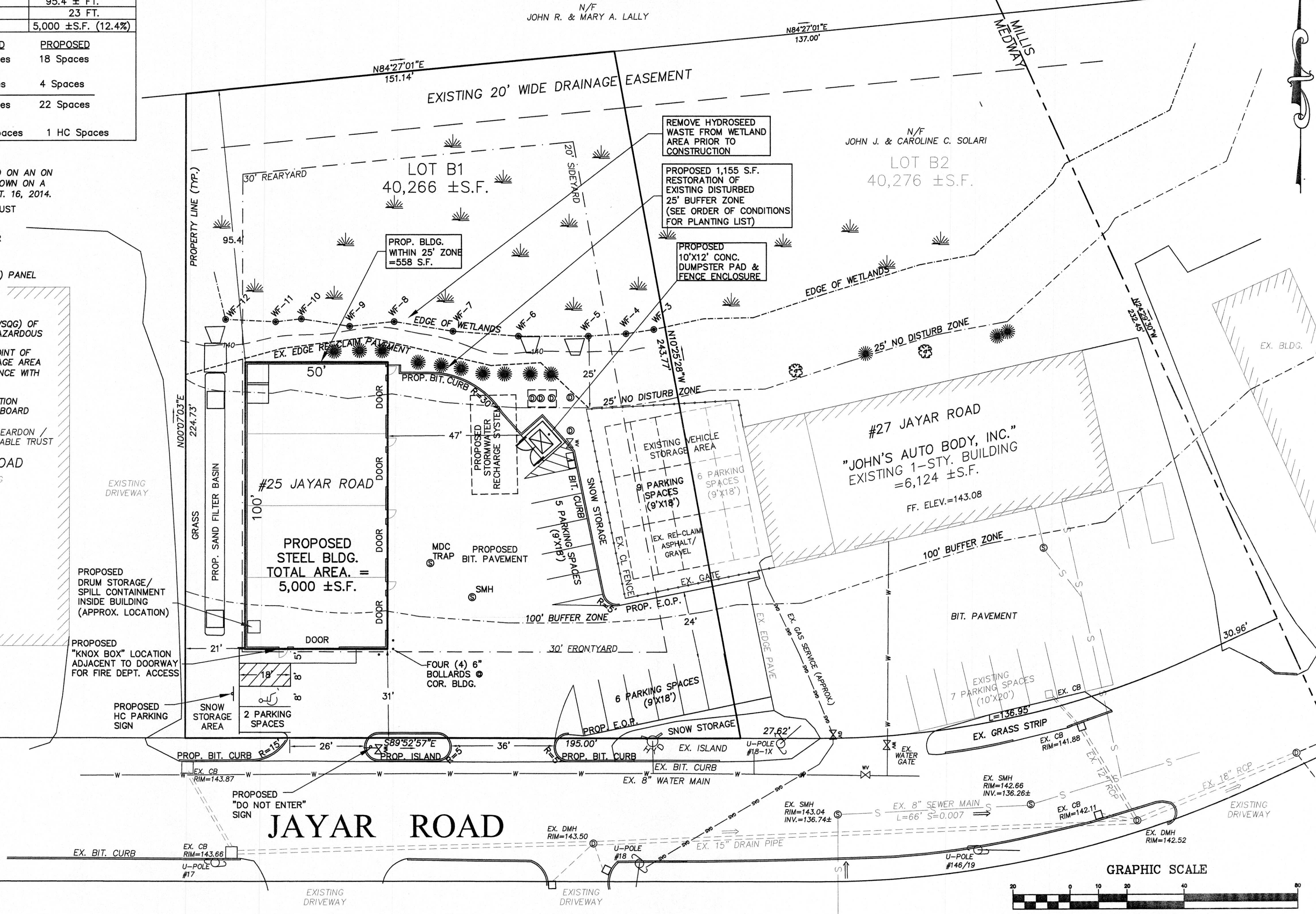
O'DRISCOLL
 LAND SURVEYING CO.
 46 OTTICE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3034



DATE:	REVISIONS PER:	DATE ISSUED:
12/22/14	DRUM STORAGE/SPILL CONTAINMENT LOCATION	10/16/14
5/12/15	ROOF DRAIN SAND FILTER & PAVE RECHARGE	DWG. SCALE: 1"=20'
6/08/15	6/03/15 CONSERVATION SITE WALK/COMMENTS	DRAWN BY: DO/DF
8/20/15	AUGUST 11, 2015 SITE PLAN DECISION	REVIEWED BY: DTF
		PROJECT NO: JOH-2436

SITE PLAN
 #25 JAYAR ROAD
 5,000 S.F. COMMERCIAL BUILDING
 MEDWAY, MA

C-1



GENERAL SITE NOTES:

1. SITE EXISTING CONDITIONS, WETLANDS LOCATIONS, AND TOPOGRAPHY ARE BASED ON AN ON THE GROUND SURVEY BY O'DRISCOLL LAND SURVEYING CO., MEDWAY MA, AS SHOWN ON A PLAN ENTITLED "EXISTING CONDITIONS, 25 JAYAR ROAD, MEDWAY, MA" DATE OCT. 16, 2014.
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4. ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAD '88)

GRADING & UTILITY NOTES:

1. LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY UTILITY CONNECTIONS OR CROSSING OF PROPOSED AND EXISTING UTILITIES. THEREFORE, THE CONTRACTOR MUST CONTACT "DIG-SAFE" AND THE RESPECTIVE PUBLIC AND PRIVATE UTILITY COMPANIES, AND THE MUNICIPALITY INVOLVED SHOULD BE NOTIFIED FOR ACCURATE DELINEATION OF SUBSURFACE UTILITY LINES BEFORE CONSTRUCTION AND/OR DEMOLITION IS COMMENCED ON THIS PROPERTY.
2. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY THE TOWN OF MEDWAY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS FOR AND FOR PERFORMING ANY NECESSARY WORK INVOLVED IN CONNECTION WITH THE DISCONTINUANCE OF ANY UTILITIES OR WITHIN THE JURISDICTION OF ANY UTILITY COMPANIES, SUCH AS ELECTRICITY, TELEPHONE, WATER, GAS, AND ANY SYSTEM OR SYSTEMS WHICH WILL BE AFFECTED BY THE WORK TO BE PERFORMED UNDER THIS CONTRACT.
4. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENT, AND UTILITY COMPANIES, IN WRITING, AT LEAST 48 HOURS AND NOT MORE THAN 30-DAYS PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITIES AT THE SITE. CONSTRUCTION SHALL NOT INTERFERE WITH OR INTERRUPT UTILITIES WHICH ARE TO REMAIN IN OPERATION.
5. ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE TOWN OF MEDWAY, MA.
6. GAS, TELEPHONE, AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC, AND PLUMBING CONSULTANTS. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND DESIGN OF NEW UTILITIES WITH ELECTRIC, CABLE TELEVISION AND TELECOMMUNICATION UTILITIES.
7. INSTALL WATER LINES WITH A MINIMUM OF FIVE (5) FT. COVER AND MAXIMUM OF SEVEN (7) FT. COVER MATERIAL.
8. MAINTAIN 10 FT. HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LINES, WHEREVER THERE IS LESS THAN 10 FT. OF HORIZONTAL SEPARATION AND 18 IN. VERTICAL SEPARATION BETWEEN SEWER AND WATER UTILITIES, ENCASE BOTH UTILITIES IN CONCRETE.
9. UTILITY STRUCTURES TO BE ABANDONED SHALL BE REMOVED TO A DEPTH OF NO LESS THAN 3 FEET BELOW FINISHED GRADE, THE BOTTOMS OF THE STRUCTURES SHALL BE BROKEN AND THE STRUCTURES SHALL BE BACKFILLED WITH CLEAN, COMPACTED GRAVEL.
10. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED OR REMOVED AND DISPOSED (R&D).
11. CONTRACTOR IS RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR THE GAS LINE INSTALLATION.
12. CONTRACTOR SHALL JET CLEAN SITE DRAIN LINES AND VACUUM DRAIN STRUCTURES PRIOR TO DEMOBILIZATION.
13. MAINTAIN 5 FT. HORIZONTAL SEPARATION BETWEEN GAS UTILITY SERVICE AND ALL OTHER UTILITIES.
14. ELECTRICAL, CABLE, & TELEPHONE UTILITY LAYOUT IS PRELIMINARY AND SUBJECT TO FINAL DESIGN BY THE UTILITY COMPANY. LOCATIONS SHOWN ARE FOR UTILITY LAYOUT PLANNING PURPOSES AND SUBJECT TO CHANGE IN THE FIELD BY EACH RESPECTIVE UTILITY COMPANY.
15. ALL SEWER LATERAL CONNECTIONS TO MAIN WILL USE WYE CONNECTION.
16. SEE CONSTRUCTION DETAILS & ADDITIONAL NOTES ON SHEETS C-3, C-4, & C-5
17. INTERIOR BUILDING PLUMBING SHOWN IS SCHEMATIC ONLY FOR PURPOSES OF EXTERIOR SEWER PIPING LOCATION. INTERIOR PLUMBING DESIGN BY OTHERS.
18. INTERIOR FLOOR DRAINS TO CONNECT DIRECTLY TO MDC TRAP VIA 4" CAST IRON PIPING SEPARATE FROM SANITARY WASTE LINE.
19. CONTRACTOR TO REMOVE HYDROSEED WASTE FROM WETLANDS PRIOR TO CONSTRUCTION.
20. SEE ORDER OF CONDITIONS DEP FILE NO. CE 216-0850 FOR WETLANDS BUFFER ZONE PLANTING REQUIREMENTS.
21. CONTRACTOR TO PROVIDE "SILT-SACK" INLET PROTECTION (OR APPROVED EQUAL) FOR NEARBY CATCH BASINS.
22. PLUMBERS AND DRAIN LAYERS OF ESTABLISHED REPUTATION AND EXPERIENCE WILL BE LICENSED BY THE BOARD AS DRAIN LAYERS AUTHORIZED TO PERFORM WORK." (ARTICLE 111-2)

DIG-SAFE (1-888-344-7233) NOTE:
 CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

LEGEND

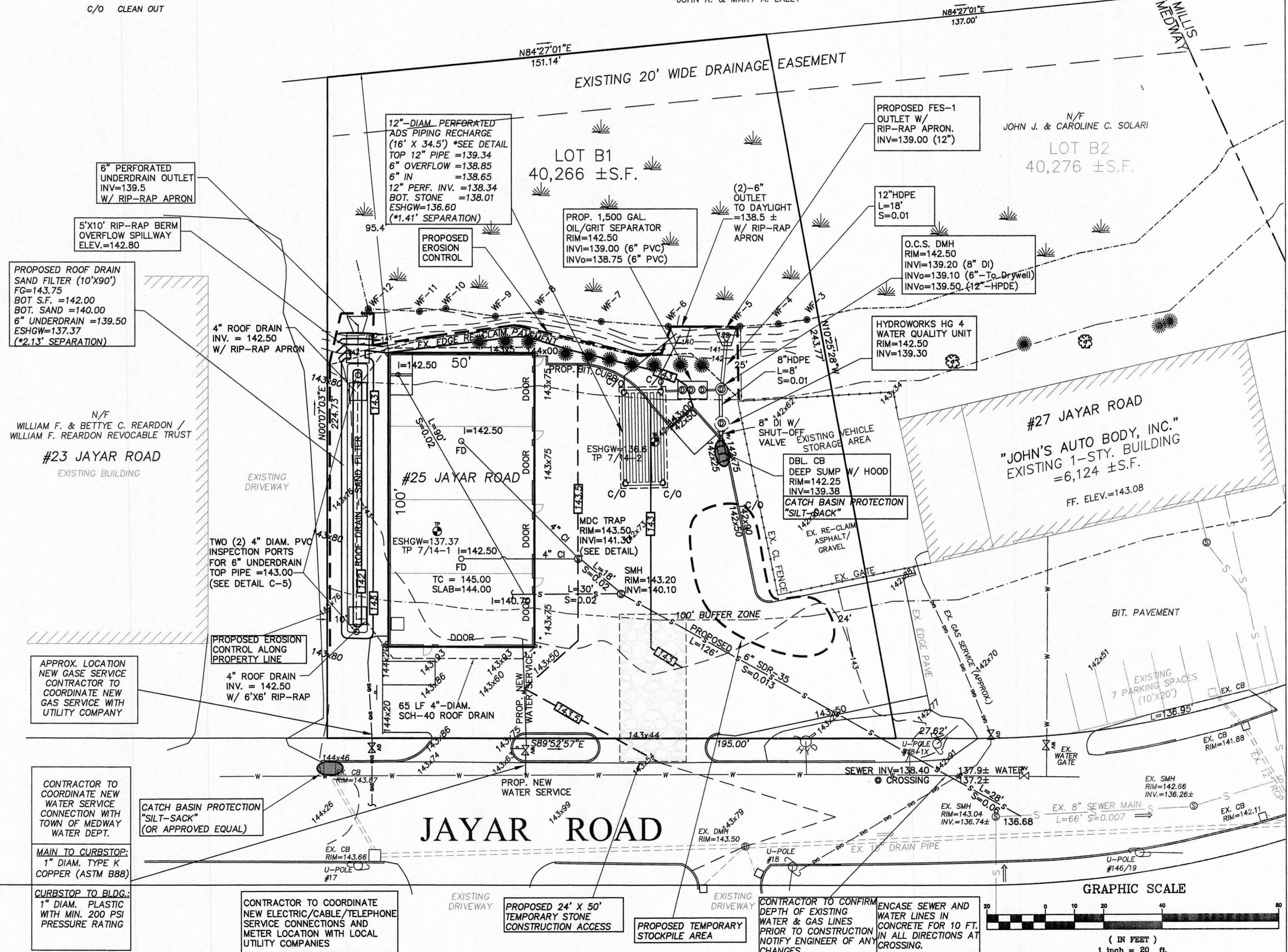
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⊕	UTILITY POLE
BIT.	BITUMINOUS
CONC.	CONCRETE
CB	DRAIN CATCH BASIN
C/O	CLEAN OUT

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

APPROVAL DATE: 8-11-15
 ENDORSEMENT DATE: 9-8-15

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.
 MARYJANE WHITE
 TOWN CLERK
 DATE: Sep 9, 2015

N/F
 JOHN R. & MARY A. LALLY



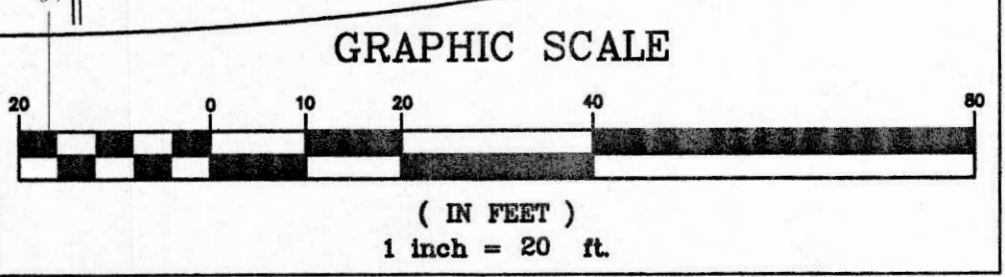
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 48 COTTAGE STREET, MEDWAY, MASSACHUSETTS 01948 (508) 551-3541



DATE:	12/22/14
REVISIONS PER:	
DRUM STORAGE/SPILL CONTAINMENT LOCATION	5/12/15
ROOF DRAIN SAND FILTER & PAVE RECHARGE	6/08/15
6/03/15 CONSERVATION SITE WALK/COMMENTS	8/20/15
AUGUST 11, 2015 SITE PLAN DECISION	
DATE ISSUED:	10/16/14
DWG. SCALE:	1"=20'
DRAWN BY:	DO/DF
REVIEWED BY:	DTF
PROJECT NO.:	JOH-2436

GRADING & UTILITIES PLAN
 #25 JAYAR ROAD
 5,000 S.F. COMMERCIAL BUILDING
 MEDWAY, MA

C-2



RESPONSIBILITIES OF OWNER/PERMITEE

- The Owner/Permittee shall:
- Provide the contractor with copies of land-use permits that owner has acquired.
 - Inform all parties involved with the proposed site work of this plan's objectives and requirements.

RESPONSIBILITIES OF CONTRACTOR

- The contractor is responsible for preventing erosion of the site and for protecting adjacent storm sewers and waterways from sedimentation.
- The contractor shall:
- Install, monitor, and maintain of the soil erosion and sediment control measures as shown on this plan.
 - Comply with all permit requirements.

PRECONSTRUCTION CONFERENCE - Prior to Construction, Following Installation of Erosion Control

The Permittee, Owner-of-record, Contractor, Engineer, and Town Representatives (Conservation Commission) shall hold a "pre-construction" conference at the site to review the proposed soil erosion and sediment control measures.

GENERAL CONTROLS

Cleaning of Stormwater Structures:
Clean all stormwater structures, including, but not limited to pipes, swales, subsurface retention basins, sediment traps, and riprap aprons of sediment upon completion of the project.

Construction Entrance:
Place clean washed stone at the site entrances to the length, width and depth indicated on the plans and details to help remove mud and/or clods of soil from construction vehicles exiting from the site. Add additional stone as necessary to maintain adequate serviceability.

Pavement Maintenance:
The contractor shall sweep paved roadways adjacent to the site on a routine basis to prevent tracking of mud onto public roadways and washing of mud into waterways. If the contractor's schedule for cleaning the pavement is found to be inadequate by the Owner, Owner's Representative, or Town, the contractor shall increase the frequency at no additional cost to the owner.

Waste Disposal:
The contractor shall provide an adequate number of covered waste containers to ensure that no litter, debris, building materials, or similar materials are discharged to wetlands or watercourses. The contractor shall instruct subcontractors to use the containers for waste material. The containers shall be promptly emptied when full.

DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES

TEMPORARY STABILIZATION MEASURES

Silt Fence:
Install silt fence at various locations as shown on the plans and details. Embed the silt fence into the ground and firmly anchor it as shown in the details. Remove sediment once levels have reached 1/4 of the effective fence-height. Repair and/or replace silt fence immediately if damaged or deteriorated.

Stockpiling or Storage of Excavated Materials:
Completely surround temporary material stockpiles with silt fence to prevent transportation of sediment.

Dust Control:
Take precautions to prevent dust from becoming a nuisance to abutting property owners. Broom off pavements adjoining the excavation on a daily basis. Cover and/or keep moist all earth stockpiles at all times. Use calcium chloride to control dust over certain areas of the site, as directed by the engineer or shown on the plans. Calcium chloride shall conform to ASTM D-98, Type I. The contractor shall maintain and inspect, on a daily basis, the adequacy of dust control measures and correct any deficiencies immediately.

Temporary Stabilization:
Top soil stockpiles and disturbed portions of the site where construction activity ceases for at least 21 days will be stabilized with temporary seed and mulch no later than 14 days from the last construction activity in that area. The temporary seed and mulch procedures and specifications shall be in accordance with the landscape architect's recommendations. Areas of the site which are to be paved will be temporarily stabilized by applying geotextile and stone sub-base until bituminous pavement can be applied.

PERMANENT STABILIZATION MEASURES

Disturbed portions of the site where construction activities permanently cease shall be stabilized with permanent seed no later than 14 days after the last construction activity. The permanent seed and mulch specifications and procedure shall be in accordance with the landscape architect's recommendations.

The contractor shall be responsible for all landscaped areas. If topsoil, seed, and/or mulch is washed away by rainfall, the contractor shall restore the area.

EXCAVATION DEWATERING PRACTICES

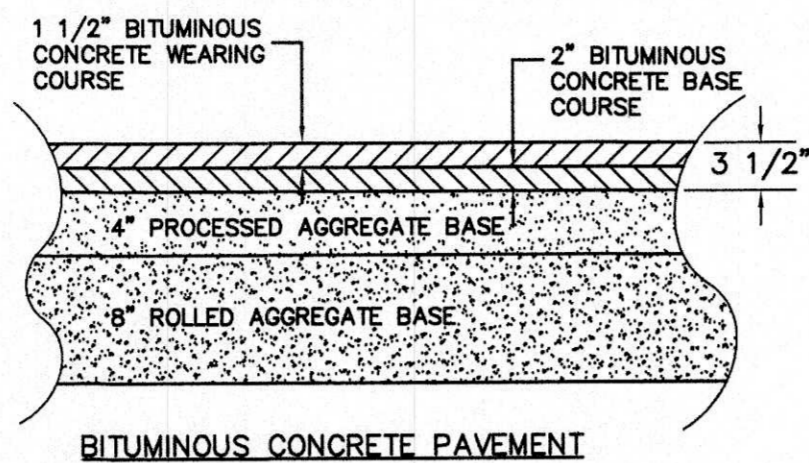
- AT NO TIME SHALL EXCAVATION "DEWATERING" BE DIRECTLY DISCHARGED TO: CATCH BASIN, DRAIN PIPE, WETLAND, STREAM, OR FLOOD PLAIN AREA.
- TRENCH & EXCAVATION DE-WATERING WASTEWATER SHALL BE DISCHARGED THROUGH AN "ULTRA PIPESOCK" OR EQUIVALENT SEDIMENT/OIL FILTER TRAP WITH 12" DEPTH GRAVEL FILTER BERM.
- DE-WATERING DISCHARGES SHALL BE DIRECTED TO ON-SITE SEDIMENT CONTROL SYSTEMS AND/OR DRAINAGE SWALES.

GENERAL CONDITIONS

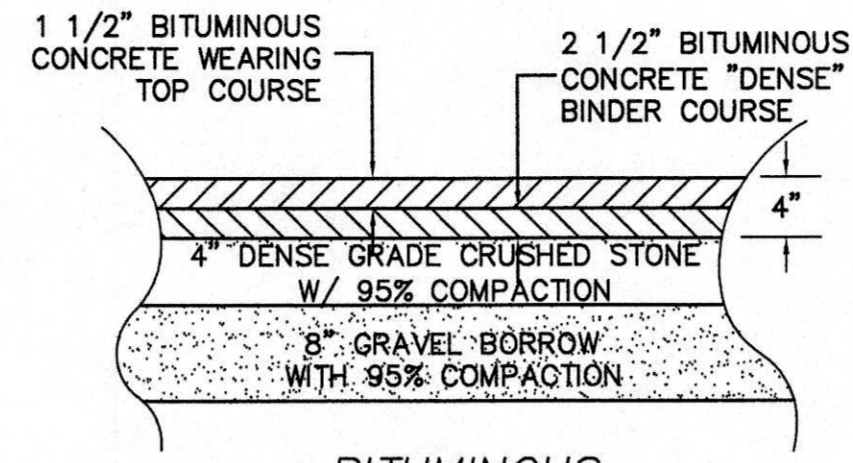
- If erosion control measures are damaged by construction vehicles, acts of vandalism, or severe weather conditions, the contractor shall immediately remove sediment in the vicinity of the erosion control measures and repair these measures to a functional condition.
- If, during or after construction, it becomes apparent that existing erosion control measures are incapable of controlling erosion, the engineer or the Town may require additional control measures including, but not limited to; additional haybales, silt fence, sediment basins, mechanically anchored mulch, or enhanced dewatering filtration.
- No construction shall proceed until a written proposal of methods to prevent construction debris, paint, spent blast materials, or other materials from entering a storm sewer, the wetland, or watercourse has been submitted by the Contractor to the Owner and approved by the Owner, and such methods have been implemented as the Owner directs. These materials shall be collected and disposed of in an environmentally safe manner in accordance with all applicable Federal and State laws and regulations. The Owner may order the Contractor to cease such activity temporarily if, in the judgement of the Owner, wind or storm conditions threaten to cause the deposit of such materials into a waterway.
- All temporary fill shall be stabilized during use to prevent erosion and shall be suitably contained to prevent sediment or other particulate matter from reentering a wetland or watercourse. All areas affected by temporary fills must be restored to their original contours or as directed by the Owner, and revegetated. The areal extent of temporary fill or excavation shall be confined to that area necessary to perform the work, as approved by the Owner.
- Dumping of oil, chemicals or other deleterious materials on the ground is forbidden. The contractor shall provide a means of catching, retaining, and properly disposing of drained oil, removed oil filters, or other deleterious material. All spills of such materials shall be reported immediately by the Contractor to appropriate Town and State Agencies.
- ALL REFUELING OF CONSTRUCTION EQUIPMENT IS TO TAKE PLACE OUTSIDE OF THE 100-FOOT BUFFER ZONE. NO CONCRETE WASHOUT OR WASHING OF CONSTRUCTION EQUIPMENT IS ALLOWED WITHIN THE 100-FT. BUFFER ZONE.
- INSPECTIONS:** Erosion Control shall be inspected DAILY or after an legitimate storm event. Inspection shall be recorded in a log along with time and date. Log shall be available for inspection by the Conservation Agent or Commissioner.
- FILL MATERIAL TESTING:** CONSERVATION COMMISSION MAY REQUIRE TESTING OF OUTSIDE FILL SOURCES AND THE RESULTS REVIEWED BY A STATE OF MASSACHUSETTS LICENSED SITE PROFESSIONAL (LSP) AND CONSERVATION AGENT PRIOR TO DELIVERY TO THE SITE. CONTRACTOR TO REFER TO CONSERVATION ORDER OF CONDITIONS FOR SPECIFIC SOIL TESTING AND REVIEW REQUIREMENTS FOR ALL OUTSIDE FILL SOURCES.
- DEP SIGN:** A SIGN SHALL BE DISPLAYED AT THE SITE NOT LESS THAN TWO (2) SQUARE FEET (S.F.) OR MORE THAN THREE (3) S.F. IN SIZE BEARING THE WORDS, "MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (or MA DEP): DEP FILE NUMBER CE 216-0850."

DIG-SAFE NOTE (1-888-344-7233):

- CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

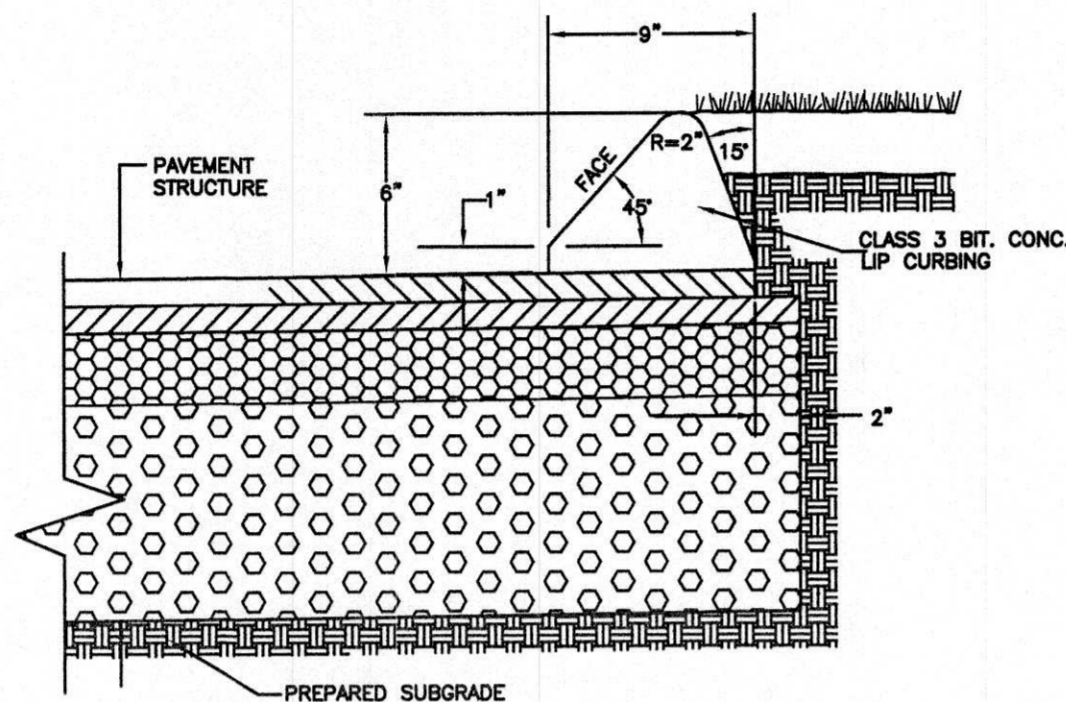


ON-SITE PAVEMENT SECTION (NOT TO SCALE)

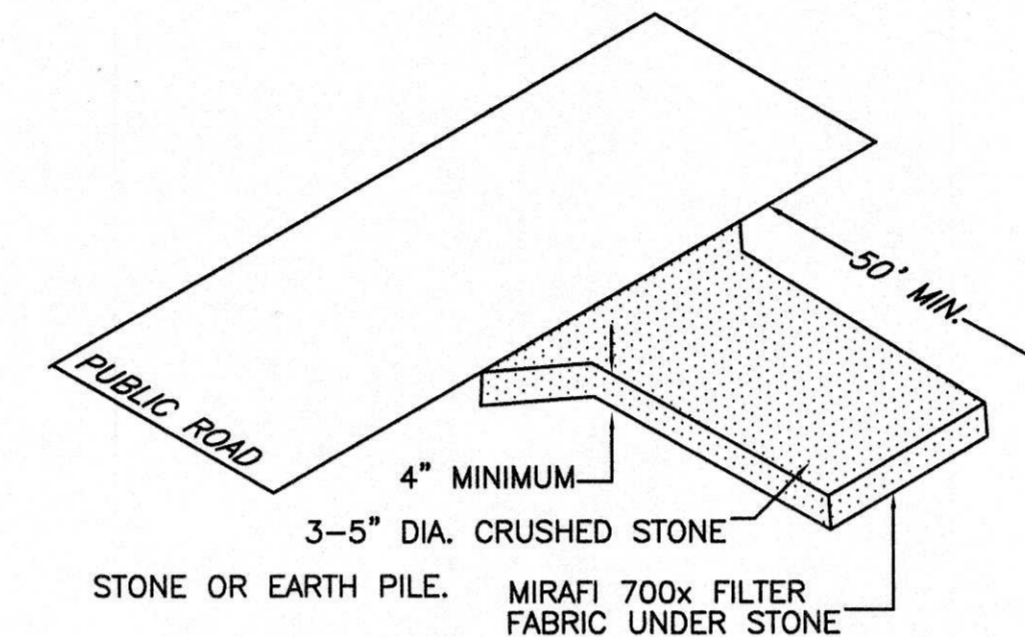


ROADWAY PAVEMENT SECTION (NOT TO SCALE)

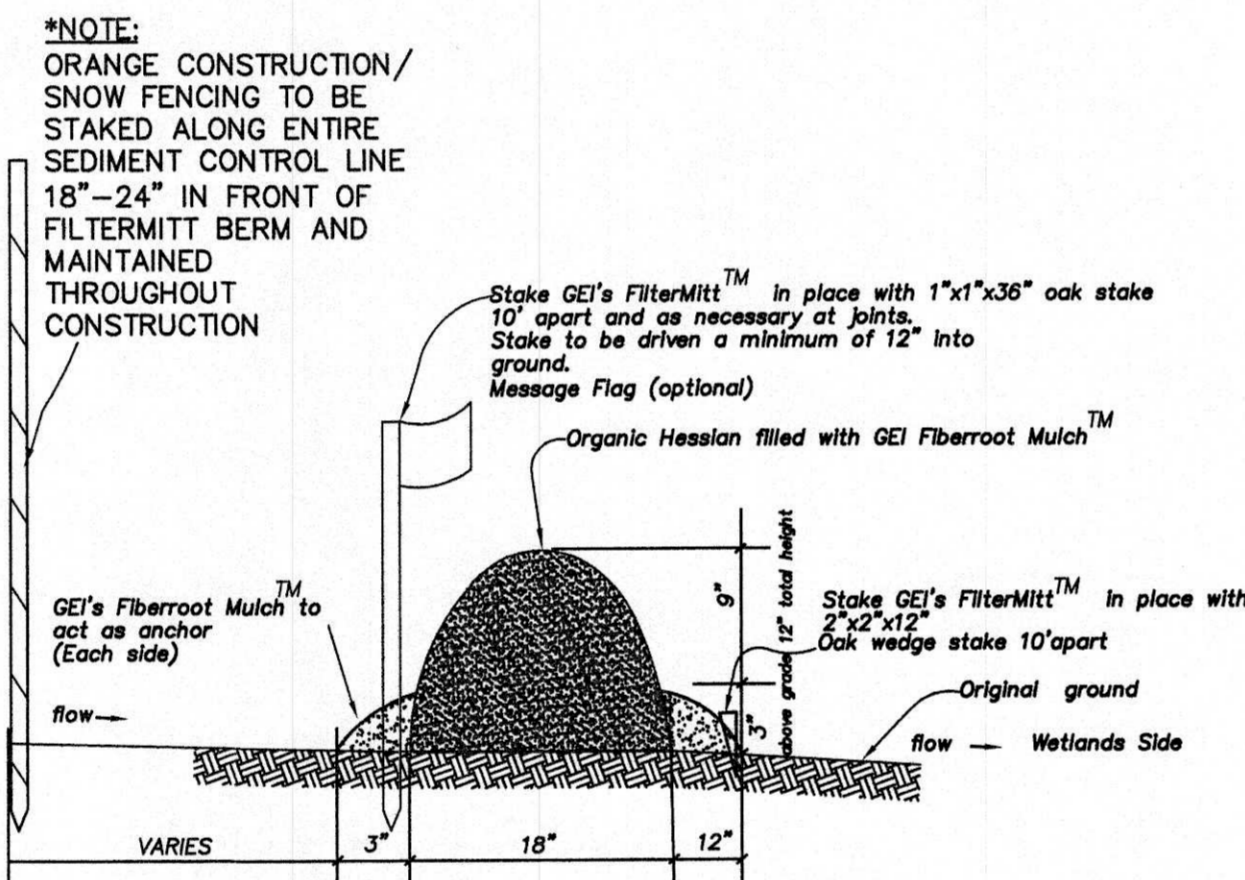
BITUMINOUS PAVEMENT PATCH TOWN ROADWAY DETAIL (NOT TO SCALE)



TYPE-2 BITUMINOUS CURBING DETAIL (NOT TO SCALE)



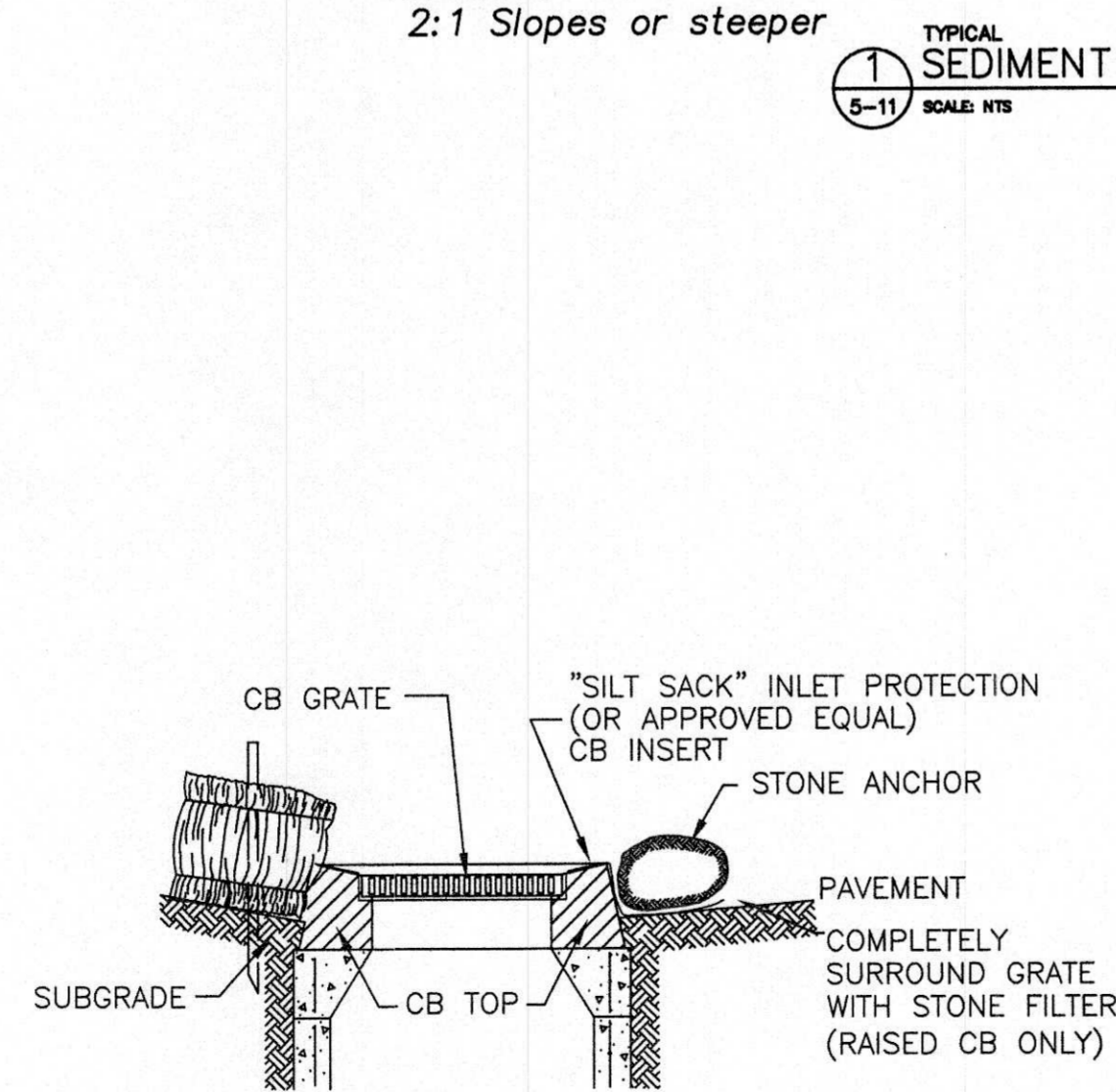
CONSTRUCTION ENTRANCE DETAIL (TYP.) (NOT TO SCALE)



Section of GEI's FilterMitt 2:1 Slopes or steeper

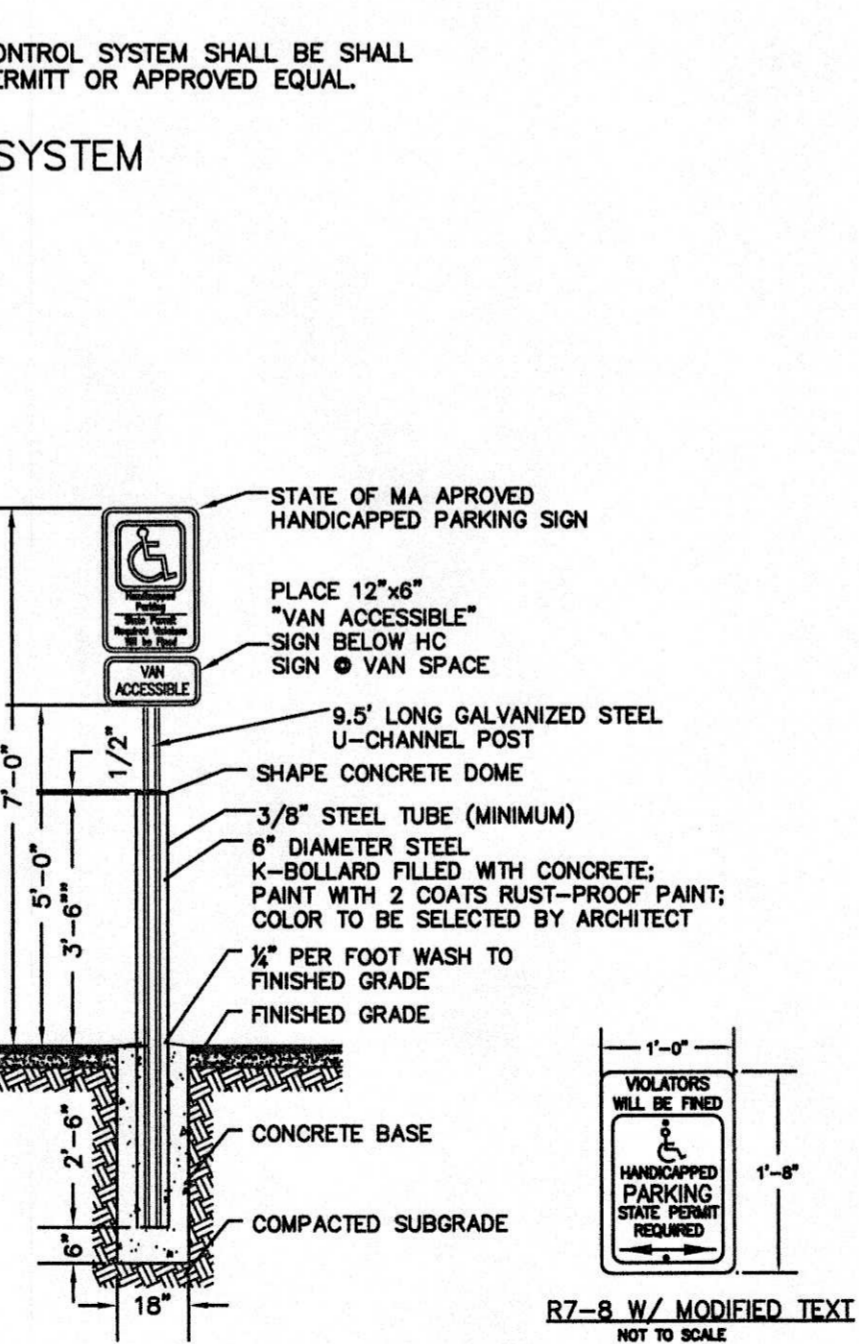
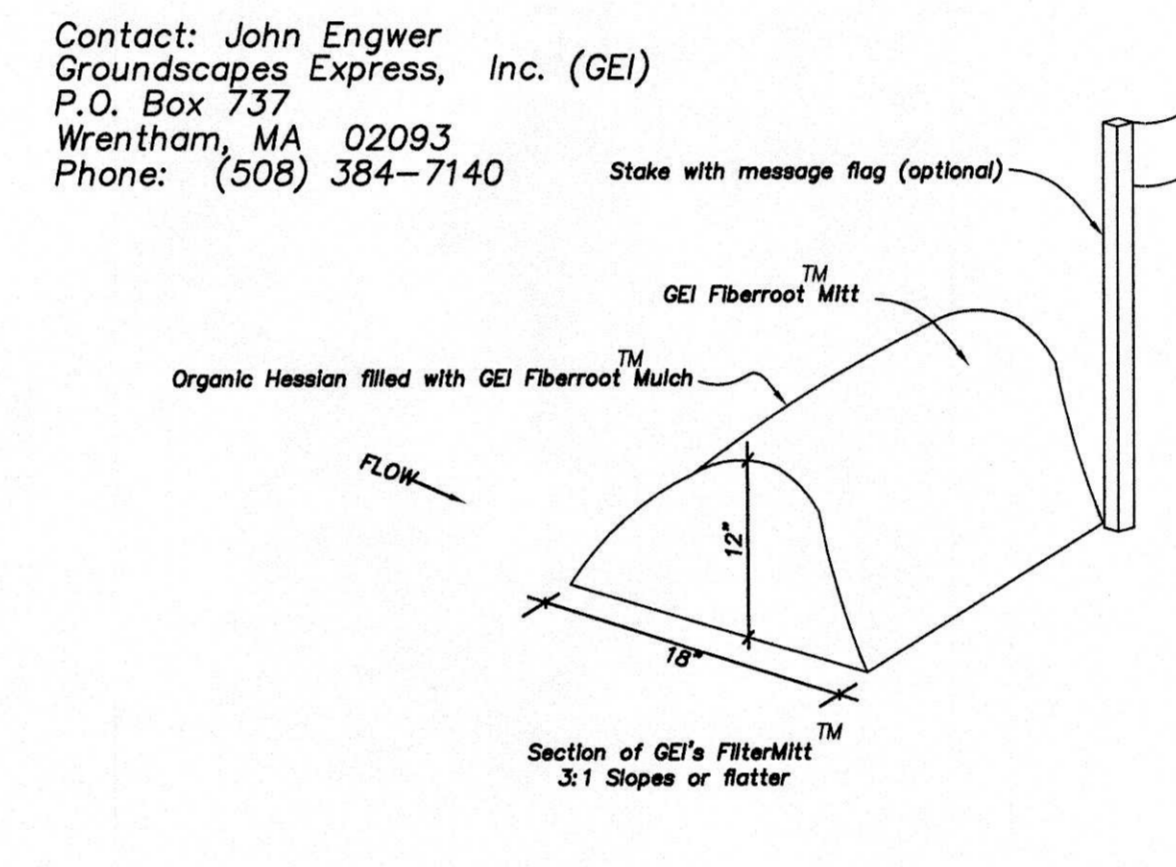
NOTE: SEDIMENT CONTROL SYSTEM SHALL BE SHALL BE GEI FILTERMITT OR APPROVED EQUAL.

TYPICAL SEDIMENT CONTROL SYSTEM (5-11) SCALE: N.T.S.



NOTE: REMOVE CB GRATE, PLACE "SILT-SACK" REPLACE GRATE, TAKING CARE NOT TO DAMAGE "SILT-SACK". ANCHOR WITH STONE OR EARTH PILE IF NECESSARY.

CATCH BASIN PROTECTION DETAIL (NOT TO SCALE)



HANDICAP PARKING SIGN (C-4) SCALE: N.T.S.

- CONTRACTOR TO OBTAIN "TOWN OF MEDWAY STREET OPENING PERMIT" PRIOR TO ANY WORK IN THE PUBLIC STREET RIGHT OF WAY. ALL SAWCUT PAVEMENT AREAS MUST BE PATCHED IN COMPLIANCE WITH DPS PERMIT REQUIREMENTS.
- BACKFILL TRENCH WITH FLOWABLE FILL AS REQUIRED;
- PATCH PAVEMENT AREA TO MATCH MATERIALS AND THICKNESS OF EXISTING PAVEMENT;
- LIMITS OF PAVEMENT SAWCUT, INFARED PATCH ALL JOINTS IN ACCORDANCE WITH TOWN OF MEDWAY DPS.

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

Approval Date: 8-15-15
Endorsement Date: 9-8-15

FAIST ENGINEERING, INC.
67 HALL ROAD STURBRIDGE, MA 01566
Phone: (508) 864-6802
E-mail: dfaist@faisteng.com



DATE:	5/12/15
REVISIONS PER:	
1. SAND FILTER & PAVE RECHARGE	5/12/15
2. SITE WALK/COMMENTS	6/09/15
3. C.C. SITE WALKING BOARD DECISION	8/20/15
4. PLANNING BOARD DECISION	8/20/15

CONSTRUCTION SCHEDULE AND EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: #25 JAYAR ROAD
LOCATION: #25 JAYAR ROAD, MEDWAY, MA
PROJECT DESCRIPTION: NEW 5,000 S.F. BUILDING & PARKING AREA IMPROVEMENTS
PARCEL AREA: 0.92 +/- ACRES

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
1. *PRE-CONSTRUCTION MEETING W/ CONSERVATION AGENT			
2. CLEAR VEHICLES & BRUSH / REMOVE FROM SITE			
3. REMOVE HYDROSEED WASTE FROM WETLANDS AREA			
4. INSTALL EROSION CONTROL & SILTSACKS IN CATCH BASINS	INSPECT EROSION CONTROLS DAILY AND AFTER RAINFALL EVENTS.		
5. INSTALL ANTI-TRACKING PAD	*CONTACT CONSERVATION AGENT FOR INSPECTION OF EROSION CONTROLS.		
6. STRIP RECLAIM ASPHALT/GRAVEL AND STOCKPILE			
7. EXCAVATE FOR FOUNDATION			
8. POUR CONCRETE FOUNDATION			
9. BACKFILL & ROUGH GRADING			
10. CONSTRUCT BUILDING			
11. INSTALL STORMWATER STRUCTURES			
12. CONSTRUCT SAND FILTER			
13. INSTALL UTILITIES & DRYWELL			
14. FINAL SITE GRADING			
15. PAVE PARKING AREA / CURBS			
16. TOPSOIL, LOAM, AND SEED			
17. INSTALL BUFFER ZONE PLANTINGS (SEE ORDER OF CONDITIONS)			
18. SURVEYOR FINAL AS-BUILT PLAN			
19. REQUEST CERT. OF COMPLIANCE FROM CONSERVATION COMM.	REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED W/ APPROVAL FROM CON. COMM.		

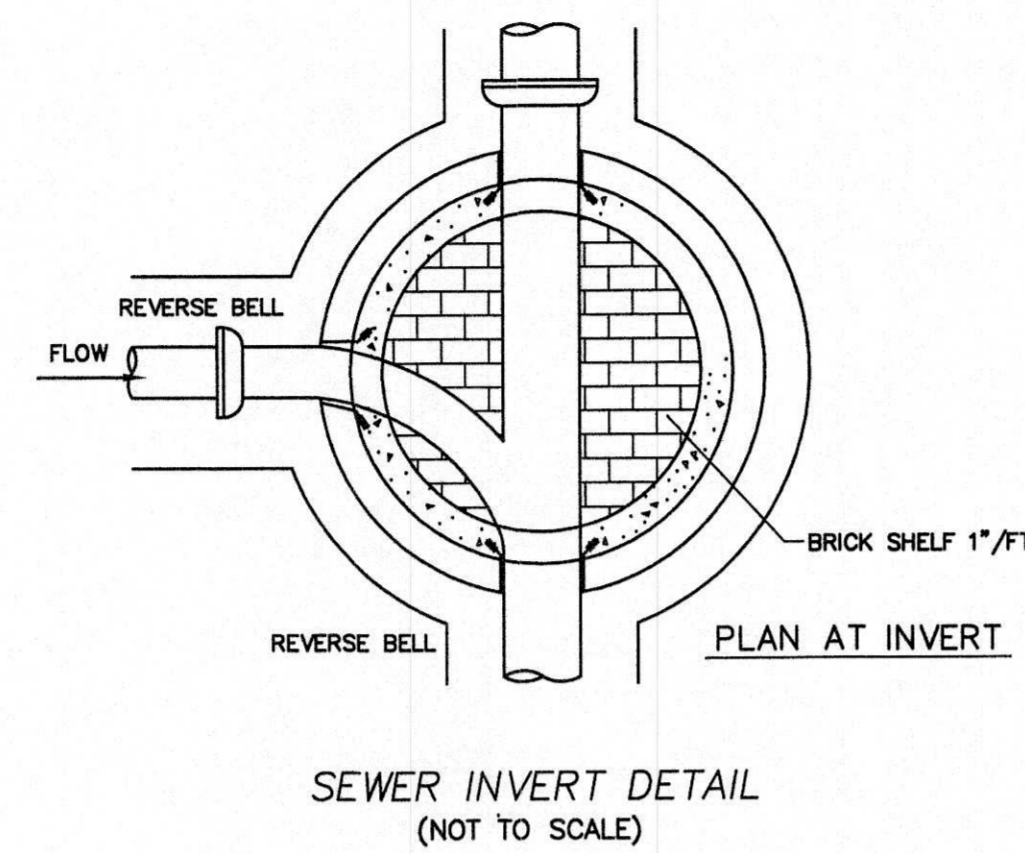
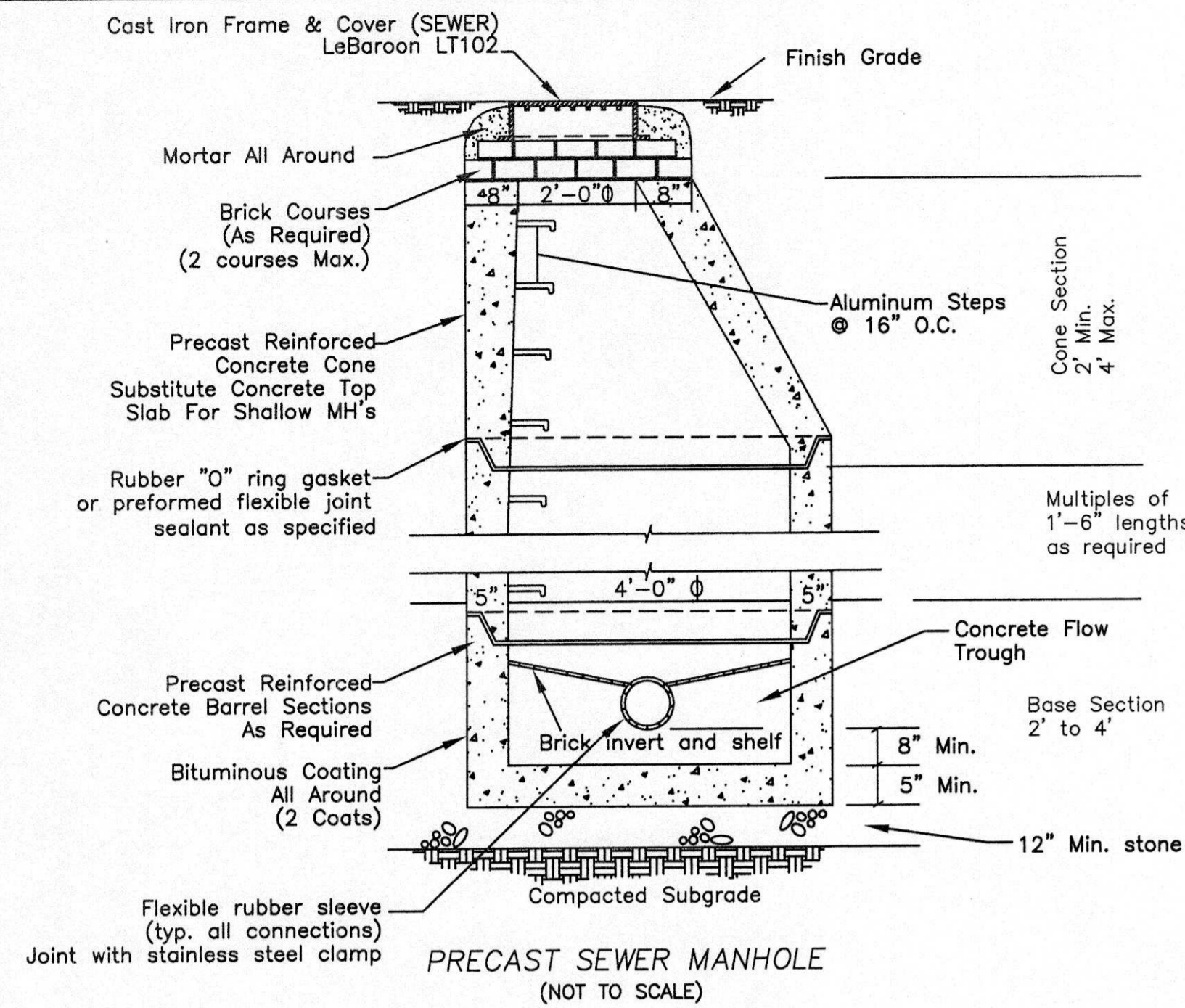
*APPLICANT AND/OR LANDOWNER SHALL NOTIFY COMMISSION IN WRITING AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO COMMENCING ANY WORK

MEDWAY CONSERVATION COMMISSION:
BRIDGET GRAZIANO, CONSERVATION AGENT
155 VILLAGE STREET
MEDWAY, MA 02053
PHONE: 508-321-4992
CELL: 508-918-5986
E-MAIL: bgraziano@townofmedway.org

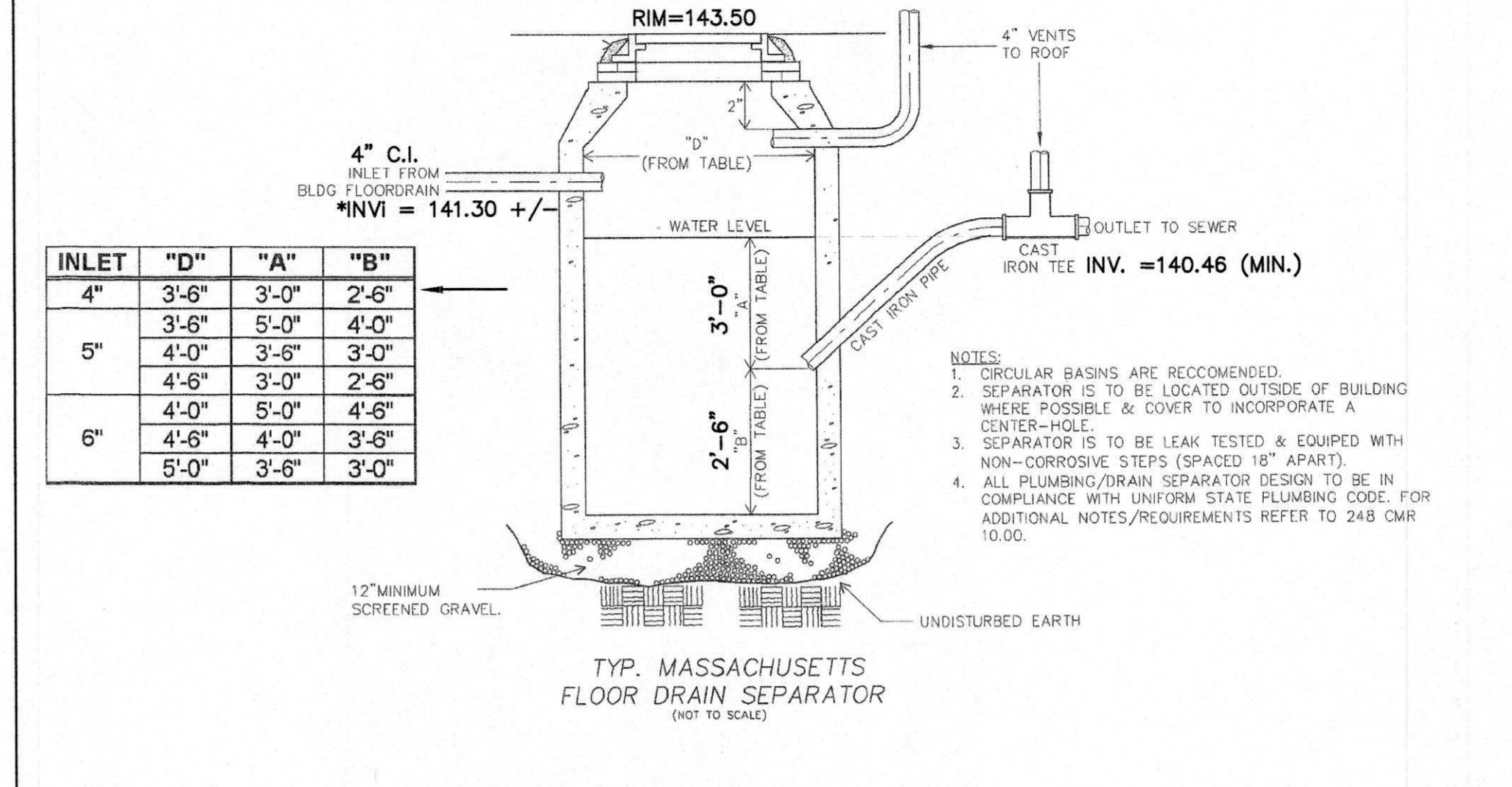
DATE ISSUED:	10/16/14
DWG. SCALE:	1"=20'
DRAWN BY:	DF
REVIEWED BY:	DIF
PROJECT NO:	JOH-2436

DETAIL SHEET #1
#25 JAYAR ROAD
5,000 S.F. COMMERCIAL BUILDING
MEDWAY, MA 02053

C-3



INLET	"D"	"A"	"B"
4"	3'-6"	3'-0"	2'-6"
5"	4'-0"	3'-6"	3'-0"
6"	4'-6"	4'-0"	3'-6"



INTERIOR BUILDING PLUMBING DESIGN BY OTHERS.
 CONTRACTOR TO CONFIRM FINAL FLOOR DRAIN LOCATION AND ELEVATIONS PRIOR TO INSTALLATION.
 M.D.C. TRAP OIL / WATER SEPARATOR TO SANITARY SEWER
 (NOT TO SCALE)

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

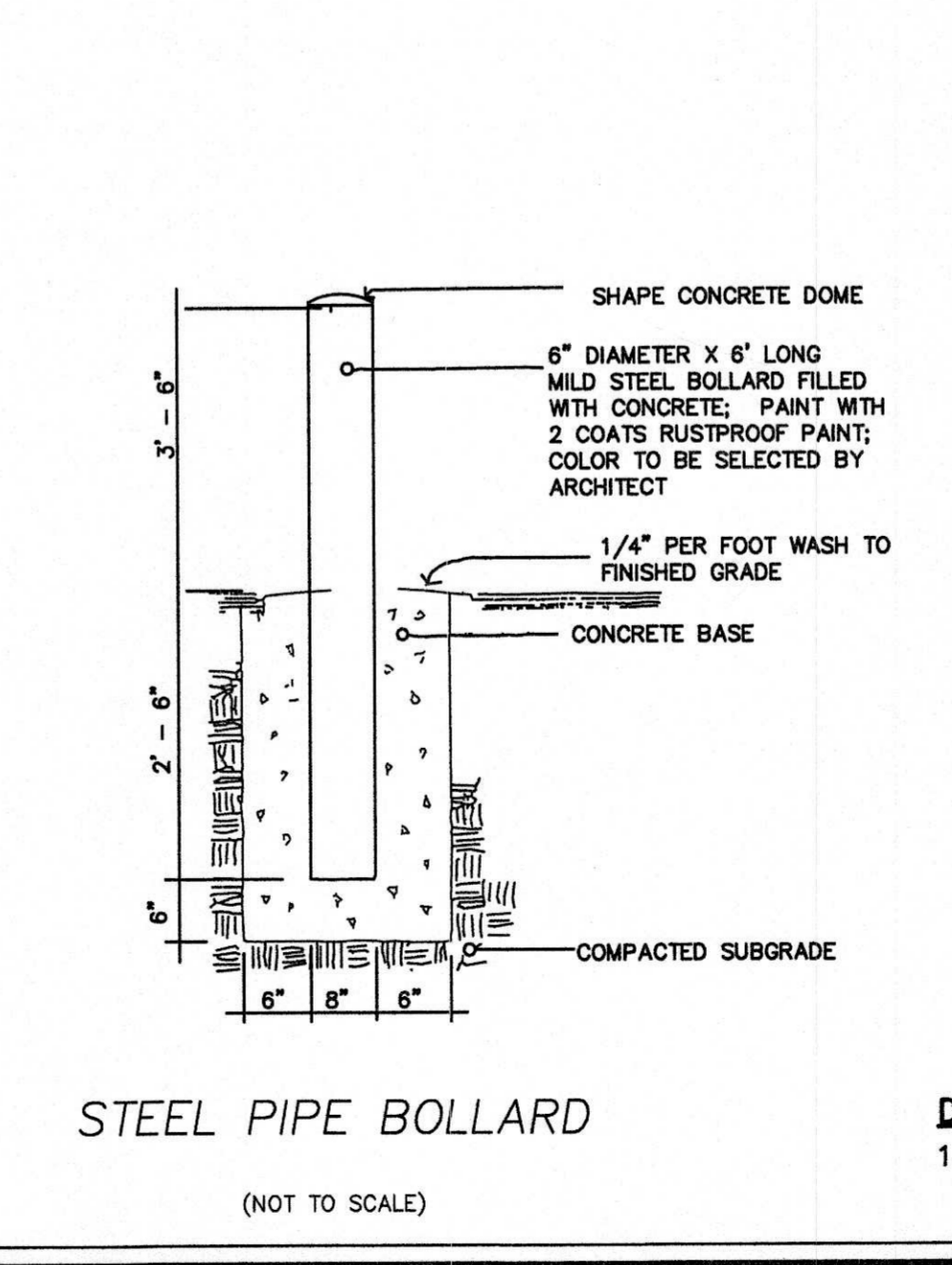
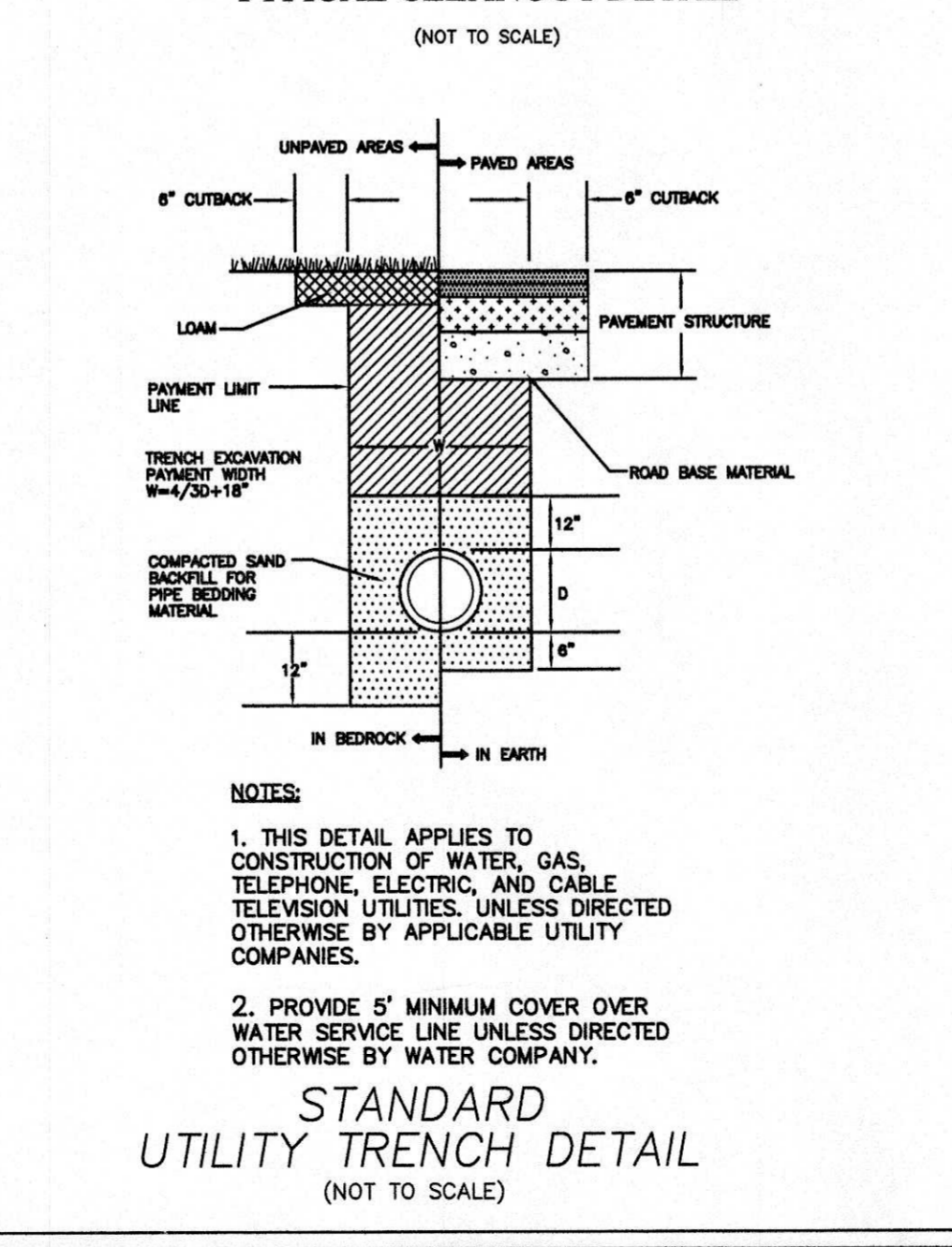
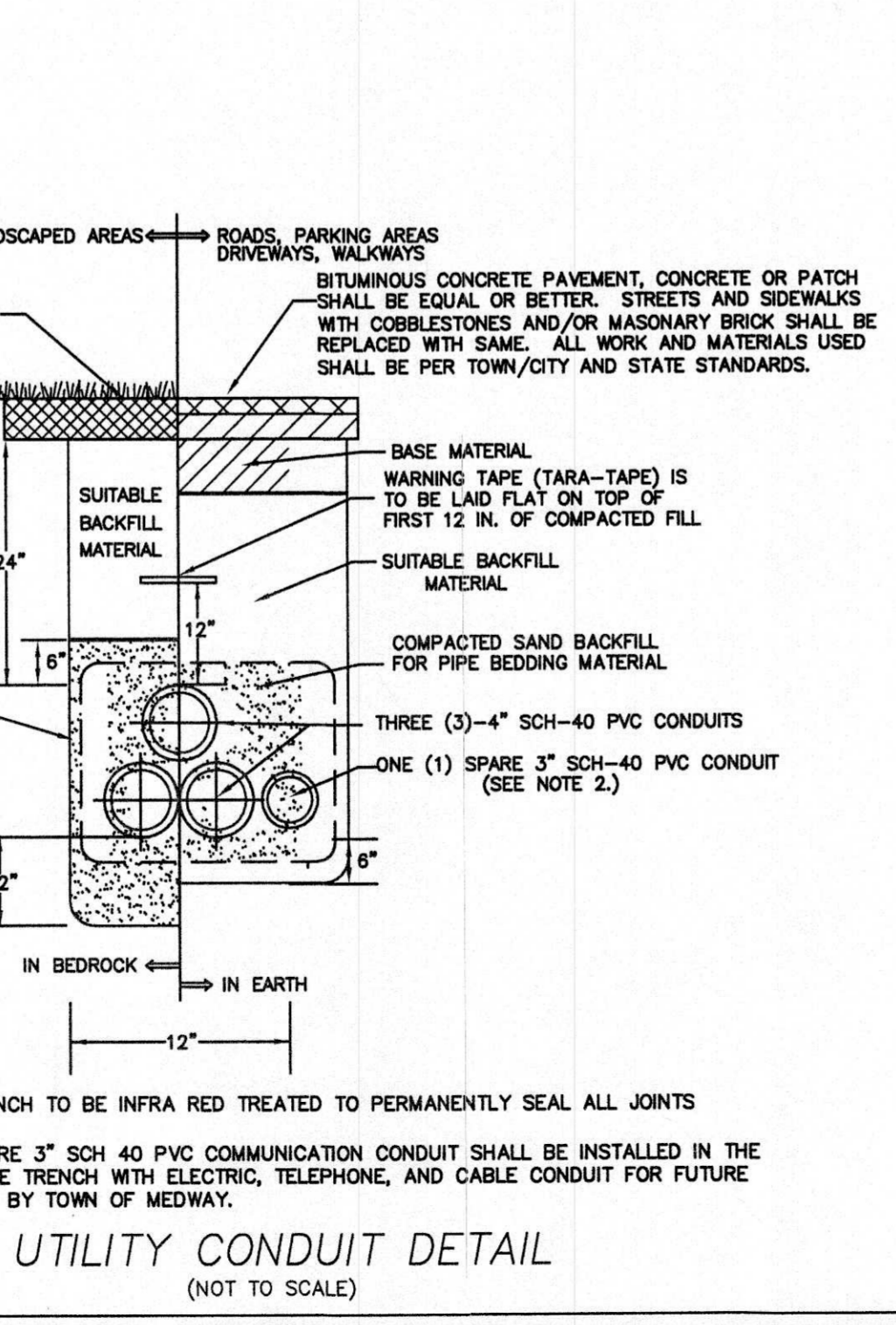
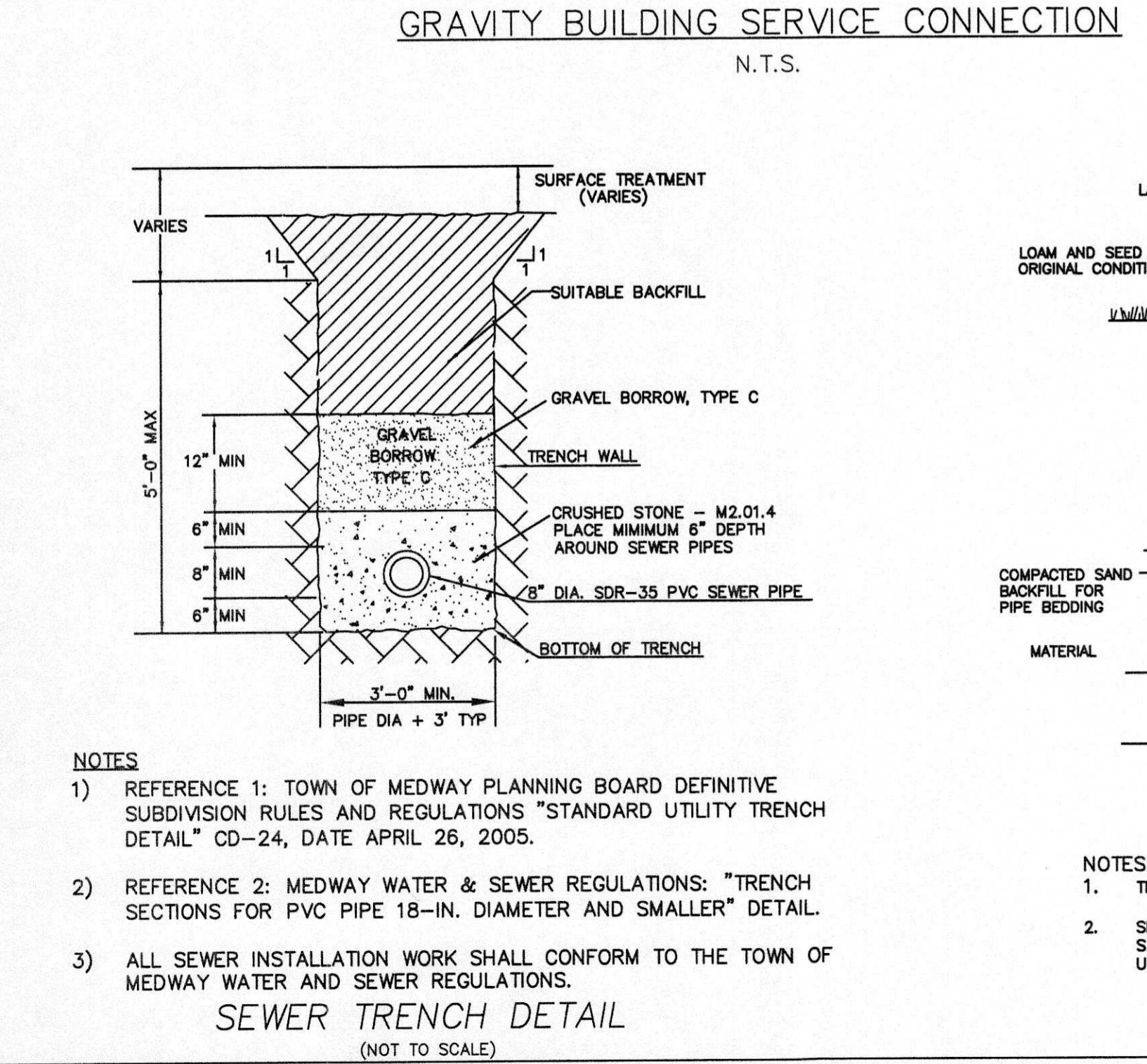
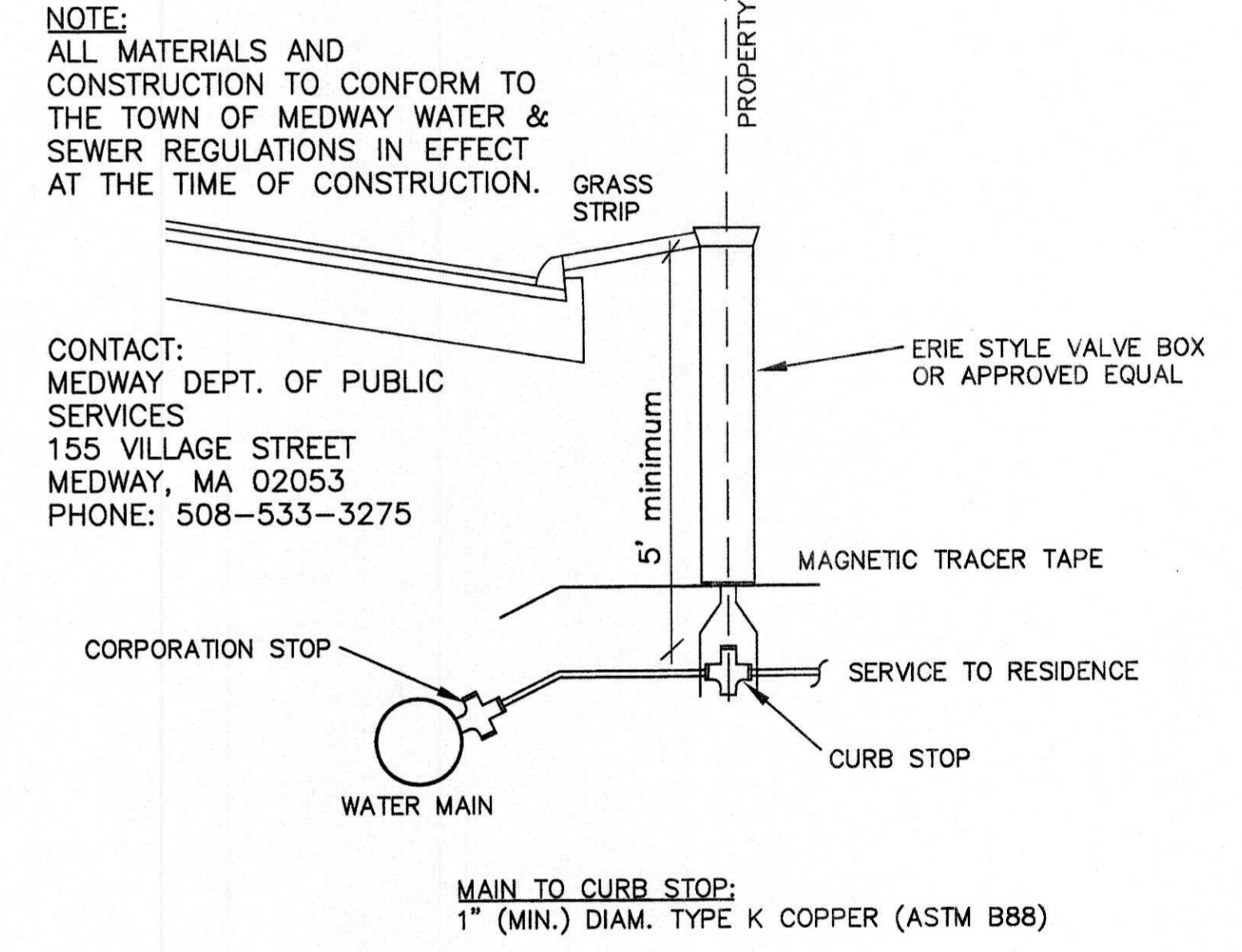
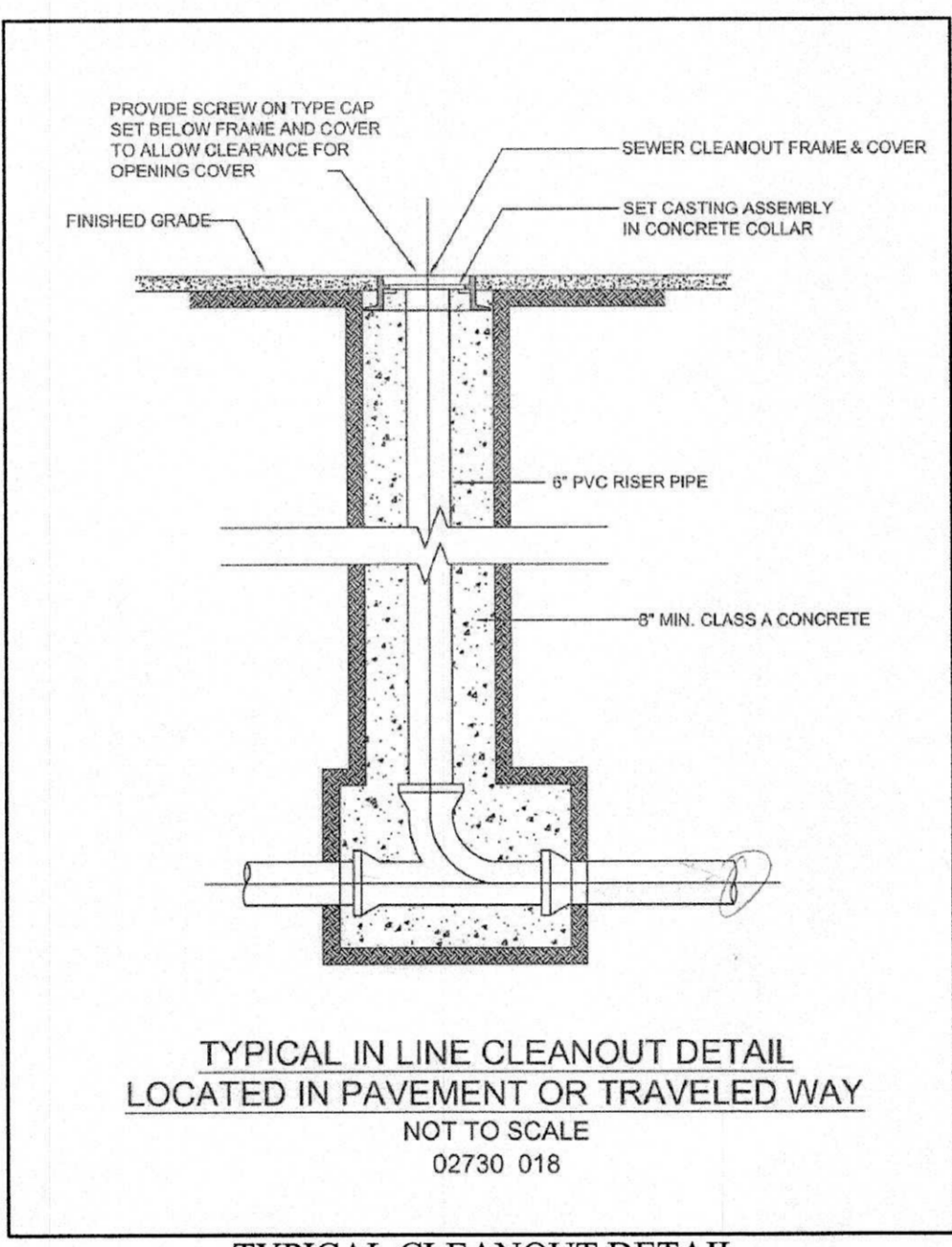
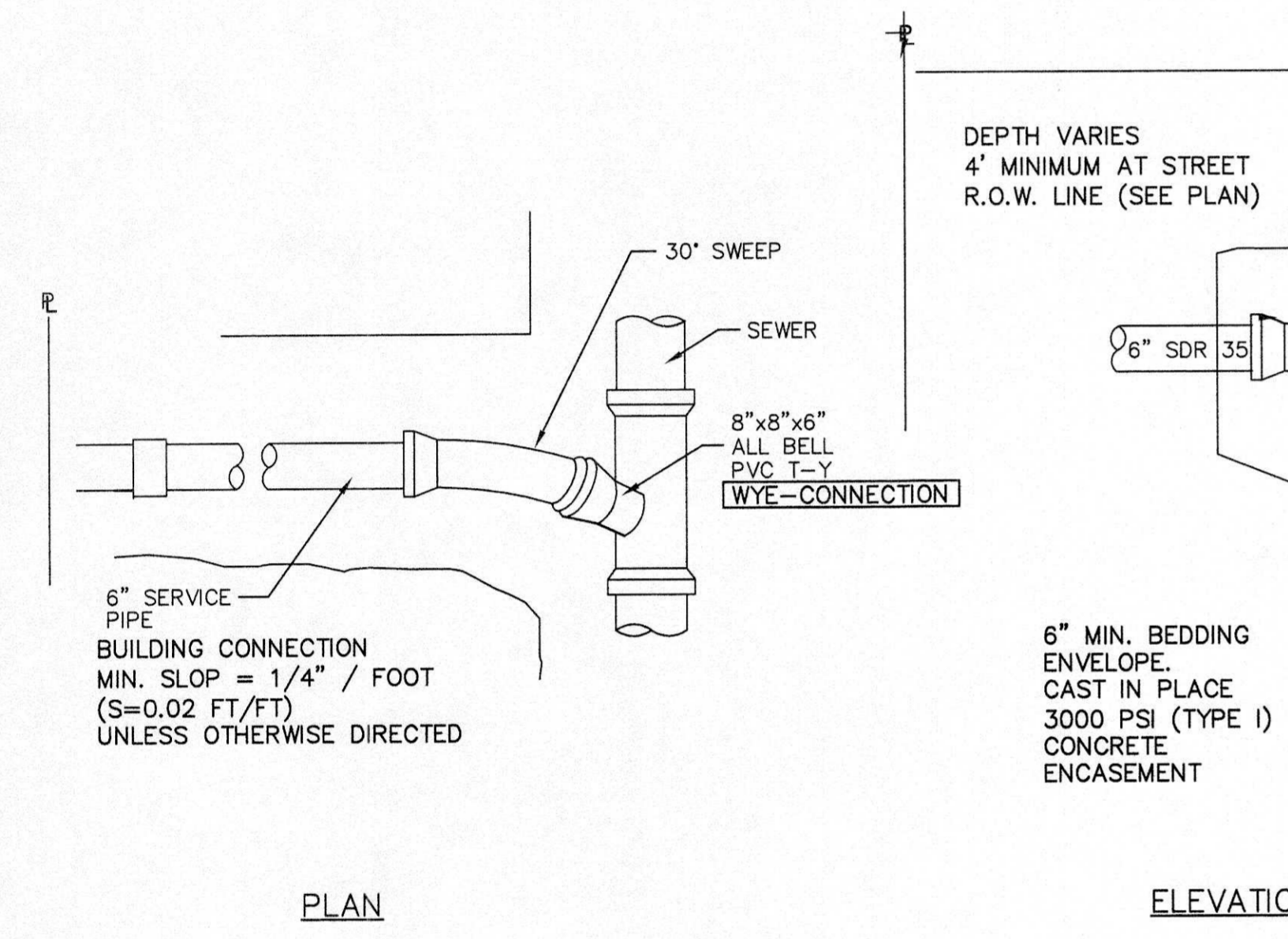
David T. Faust
Professional Engineer
 8-11-15
 Approval DATE
 9-8-15
 Endorsement DATE

FAIST ENGINEERING, INC.
 67 HALL ROAD STURBRIDGE, MA 01566
 Phone: (508) 864-6802
 E-mail: dfaist@faisteng.com



REVISIONS PER:	DATE:
Δ SAND FILTER & PAVE RECHARGE	5/12/15
Δ 6/03/15 C.C. SITE WALK/COMMENTS	6/08/15
Δ 8/11/15 PLANNING BOARD DECISION	8/20/15

DATE ISSUED:	SCALE:	DWG. BY:	REVIEWED BY:	PROJECT NO.:
10/16/14	1"=20'	DF	DIF	JOH-2436



DIG-SAFE NOTE (1-888-344-7233):
 1. CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

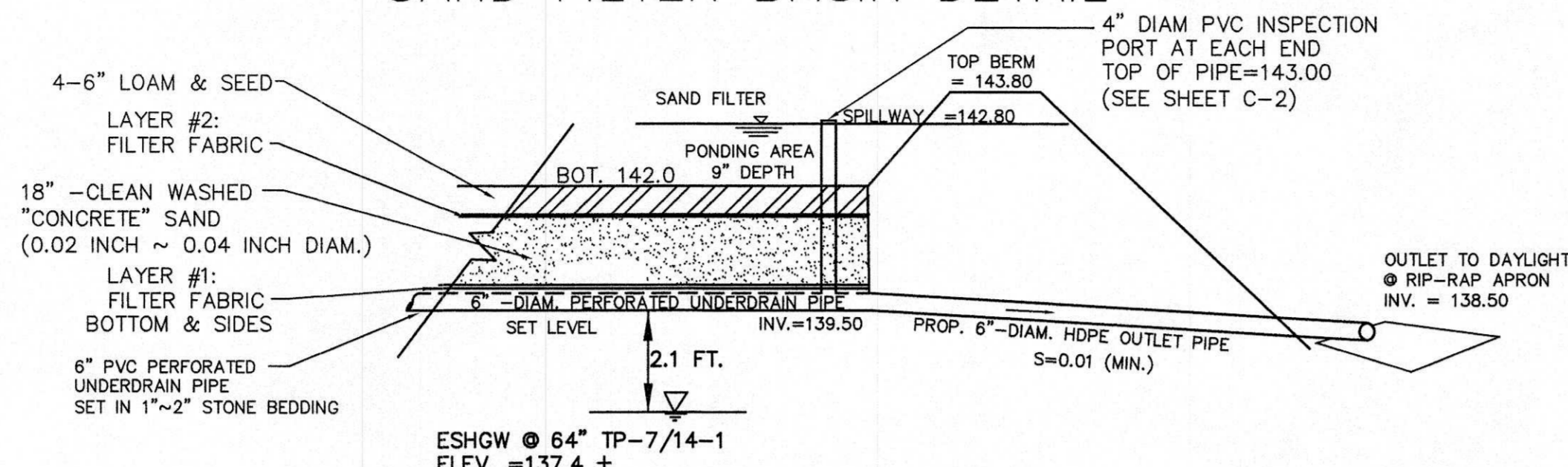
DETAIL SHEET #2
 #25 JAYAR ROAD
 5,000 S.F. COMMERCIAL BUILDING
 MEDWAY, MA 02053

C-4

GENERAL SITE NOTES:

- SITE EXISTING CONDITIONS AND TOPOGRAPHY ARE BASED ON AN ON THE GROUND SURVEY BY O'DRISCOLL LAND SURVEYING CO., MEDWAY MA, AS SHOWN ON A PLAN ENTITLED "EXISTING CONDITIONS PLAN, 25 JAYAR ROAD, MEDWAY, MA" DATE OCTOBER 02, 2014.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE OF THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- ALL WORK SHALL CONFORM TO THE TOWN OF MEDWAY AND THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS HIGHWAY DESIGN MANUAL AS APPLICABLE.
- ROOF DRAIN PIPING TO BE CAST IRON IF WITHIN 10' OF BUILDING, OTHERWISE USE H-20 RATED ADS OR HDPE PIPING.
- COORDINATE BUILDING ROOF DRAINAGE AND DOWN SPOUT LOCATIONS WITH ARCHITECTURAL DRAWINGS.
- ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC., PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE. CONTRACTOR TO NOTIFY ENGINEER OF ALL DISCREPANCIES FROM THIS PLAN IDENTIFIED IN THE FIELD.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE BUILDING AND FIRE DEPARTMENTS 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH O.S.H.A. REQUIREMENTS.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL PEDESTRIAN CONCRETE RAMPS AND SIDEWALKS SHALL BE 3,000 P.S.I. WITH A BROOM FINISH APPLIED PERPENDICULAR TO THE PRIMARY DIRECTION OF TRAVEL. PITCH AWAY FROM THE STRUCTURE FOR POSITIVE DRAINAGE. ALL ON-SITE SIDEWALK RAMPS AND BUILDING ACCESS PATHS TO CONFORM WITH MASSACHUSETTS ACCESS BOARD STANDARDS.
- CONCRETE PADS SHALL BE 3,000 P.S.I. WITH A BROOM FINISH. PADS SHALL BE PITCHED AWAY FROM THE STRUCTURE STRUCTURE S=0.02 FT/FT (MAX.) FOR POSITIVE DRAINAGE.
- DURING CONSTRUCTION, ALL OIL, PAINT, OR OTHER HAZARDOUS MATERIALS SHOULD BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NON-WORK HOURS.
- SEDIMENT TRACKED ONTO JAYAR ROAD FROM CONSTRUCTION ACTIVITIES SHALL BE SWEEPED AT THE CONCLUSION OF EACH CONSTRUCTION DAY, UNTIL ALL WORK AREAS HAVE BEEN PROPERLY STABILIZED.
- LITTER AND DEBRIS IN THE PARKING LOT, LANDSCAPED AND BUFFER AREAS SHALL BE REMOVED REGULARLY TO MAINTAIN A NEAT AND ORDERLY APPEARANCE.
- THERE ARE NO KNOWN WELLS WITHIN 100' OF THE SITE PROPERTY BOUNDARY. SITE IS SERVICED BY TOWN WATER & SEWER.
- MAINTAIN 5 FT. HORIZONTAL SEPARATION BETWEEN GAS UTILITY SERVICE AND ALL OTHER UTILITIES.
- ELECTRICAL, CABLE, & TELEPHONE UTILITY LAYOUT IS PRELIMINARY AND SUBJECT TO FINAL DESIGN BY THE UTILITY COMPANY. LOCATIONS SHOWN ARE FOR UTILITY LAYOUT PLANNING PURPOSES AND SUBJECT TO CHANGE IN THE FIELD BY EACH RESPECTIVE UTILITY COMPANY.
- ALL EROSION MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE (SEE SHEET C-2)

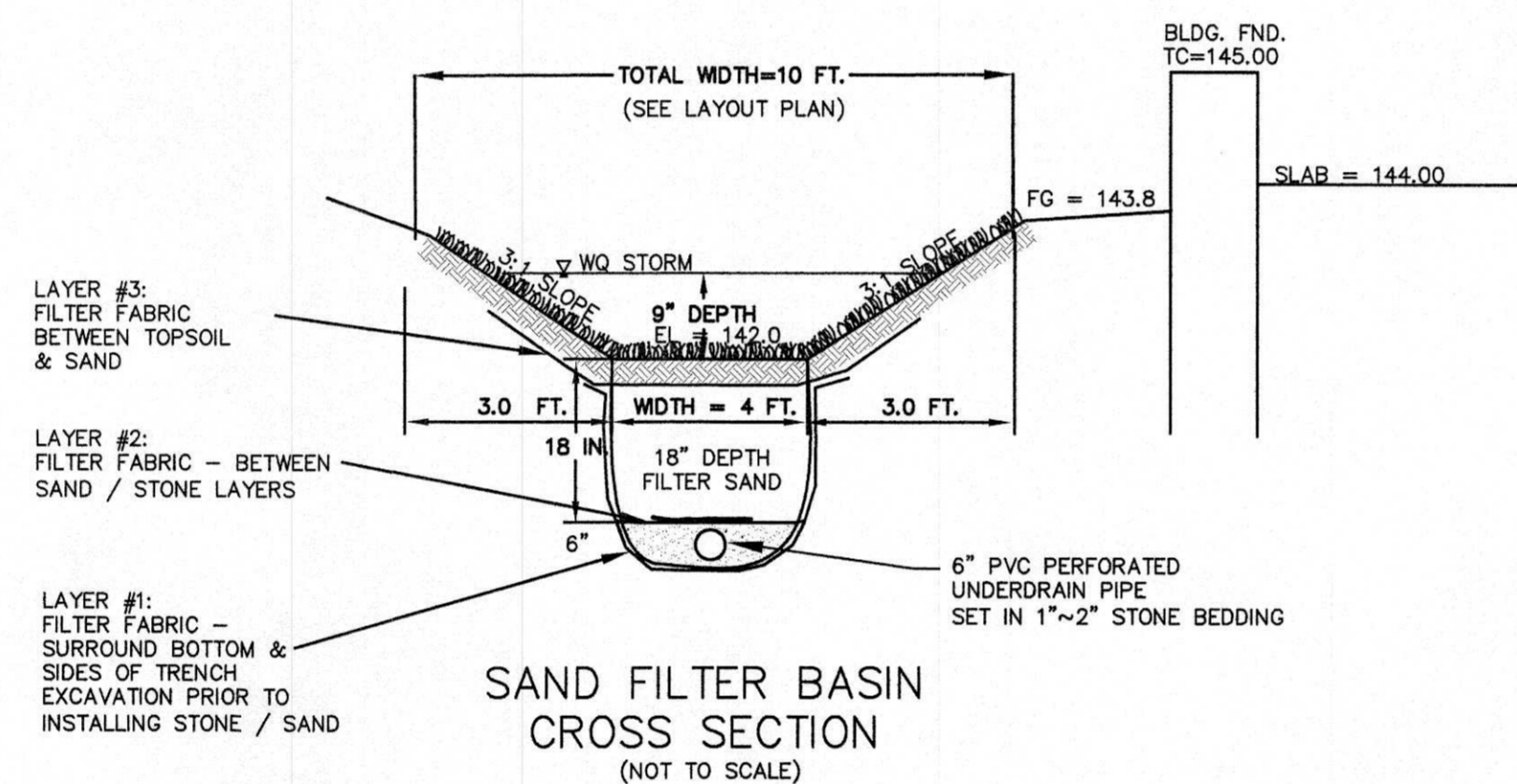
ROOF DRAIN SAND FILTER BASIN DETAIL



SAND FILTER CROSS-SECTION SCHEMATIC DETAIL (NOT TO SCALE)

ENGINEERED SOIL MIX FOR SAND FILTER SYSTEM

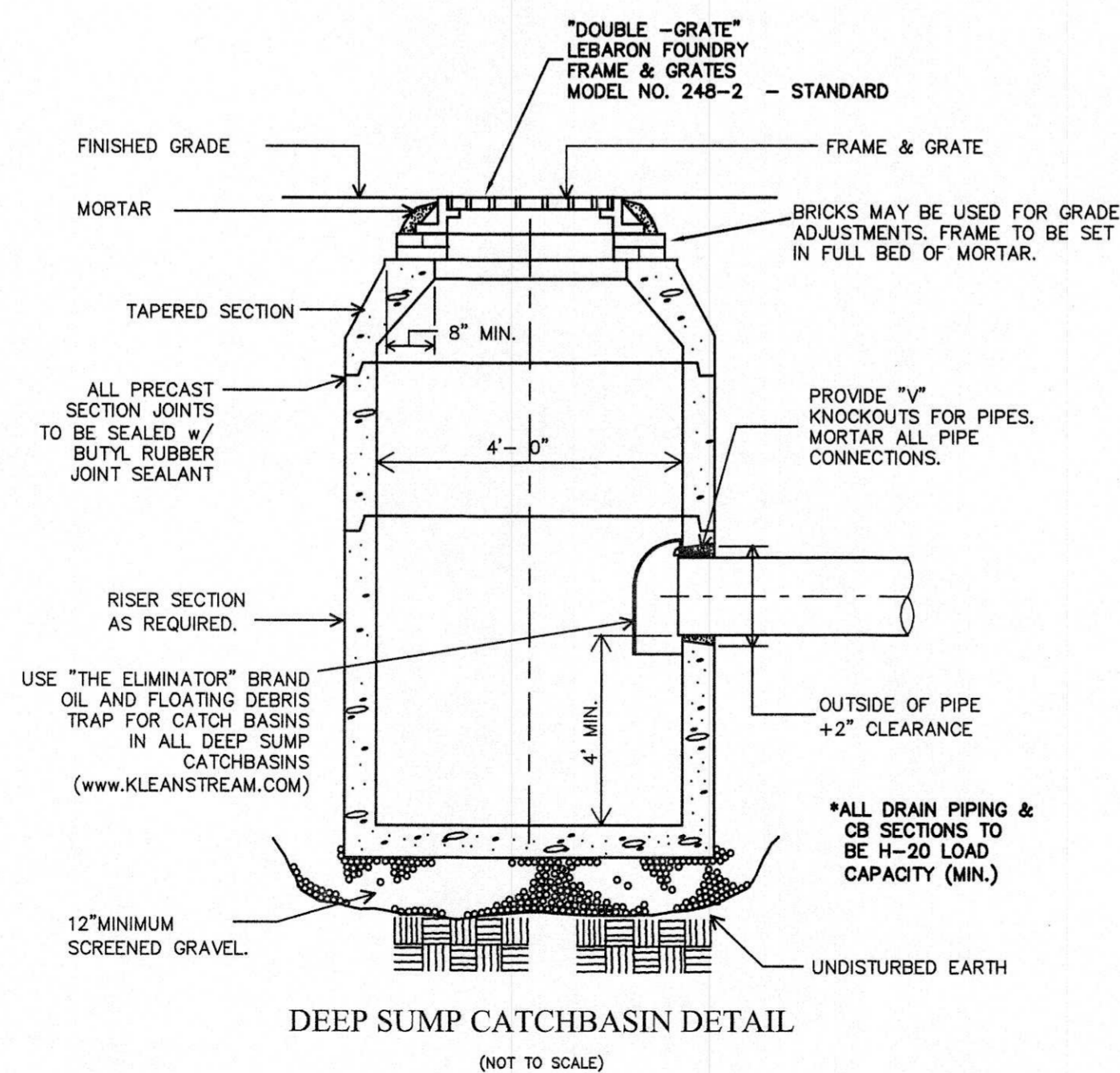
- THE SAND FILTER SHOULD CONSIST OF CLEAN WASHED "CONCRETE SAND".
100% SAND - 0.02 IN. ~ 0.04 IN. DIAMETER.
- SOIL MIX MUST BE UNIFORM, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN 2 INCHES.
- TOPSOIL COMPONENT SHALL BE A SANDY LOAM, LOAMY SAND OR LOAM TEXTURE
- GRADE THE AREA TO ALLOW A PONDING DEPTH OF 9 INCHES PER GRADING PLAN.
- AVOID SOIL COMPACTION (BEFORE AND AFTER CONSTRUCTION) AND SEALING OF EXCAVATED BOTTOM WITH MACHINE BUCKET.



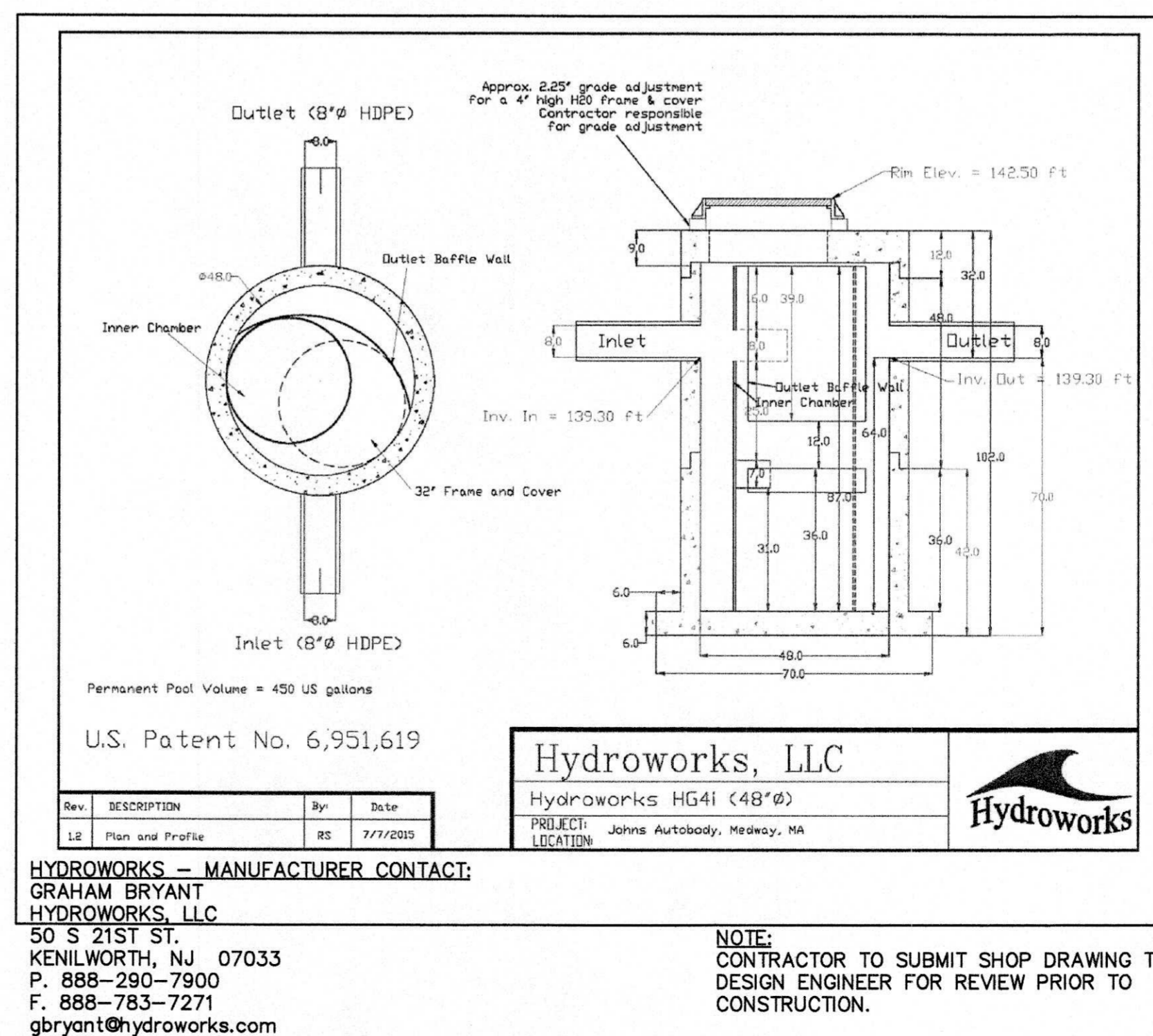
SAND FILTER BASIN CROSS SECTION (NOT TO SCALE)

DRAINAGE NOTES:

- NO BACKFILLING OF PIPES SHALL BE DONE UNTIL THE INSTALLATION HAS BEEN INSPECTED BY THE PLANNING BOARD'S AGENT.
- ALL DRAINAGE TRENCHES SHALL BE PROVIDED WITH CRUSHED STONE PIPE BEDDING AND FILLED WITH CLEAN GRAVEL BORROWS IN ACCORDANCE WITH SECTION 150.
- NO DRAINAGE PIPES FROM ROOF DRAINS, BASEMENT DRAINS, DRIVEWAY DRAINS OR OTHER ON-LOT SOURCES SHALL BE CONNECTED TO THE STREET DRAINAGE SYSTEM.
- CAST IRON MANHOLE COVERS AND CATCH BASIN GRATES SHALL BE AS MANUFACTURED BY OR EQUIVALENT, AS DETERMINED BY THE BOARD OR BOARD'S AGENT, TO E.L. LEBARON FOUNDRY MODEL NO.'S LK-110 FOR MANHOLES, L.F. 248-2 FOR CATCH BASINS. FOR CATCH BASINS AT THE END OR ON 5% OR GREATER GRADIENT ROADS NO. LK-120 A (CASCADE GRATE) SHALL BE USED.
- LOCATION OF ALL UTILITIES SHALL BE DETERMINED IN THE FIELD, BY THE RESPECTIVE UTILITY COMPANIES (ELECTRIC, CABLE, & TELECOM). CONTRACTOR SHALL BE RESPONSIBLE TO ACCURATELY LOCATE THE UTILITIES DURING CONSTRUCTION, PRIOR TO BACKFILL, SUCH THAT THE ACTUAL LOCATION CAN BE ACCURATELY REPRESENTED ON THE AS-BUILT DRAWINGS.



DEEP SUMP CATCHBASIN DETAIL (NOT TO SCALE)



TEST HOLE TP-7/14-1 (7/18/14)			
TOP ELEVATION = 142.7			
DEPTH	SOIL HORIZON	SOIL TEXTURE	OTHER
0-5"	HTM	FILL	RECLAIM ASPHALT
5-10"	HTM	FILL	UNCLASSIFIED FILL
10-102"	C	SAND	2.5Y 6/3 Med. -Fine Sand
H2O Seeping @ 88", Rapid Infiltration			
BEDROCK: N/A	PARENT MATERIAL:	ESTIMATED SEASONAL	
WATER: 88"	MOTTLING: 64"	GROUNDWATER: 137.4	

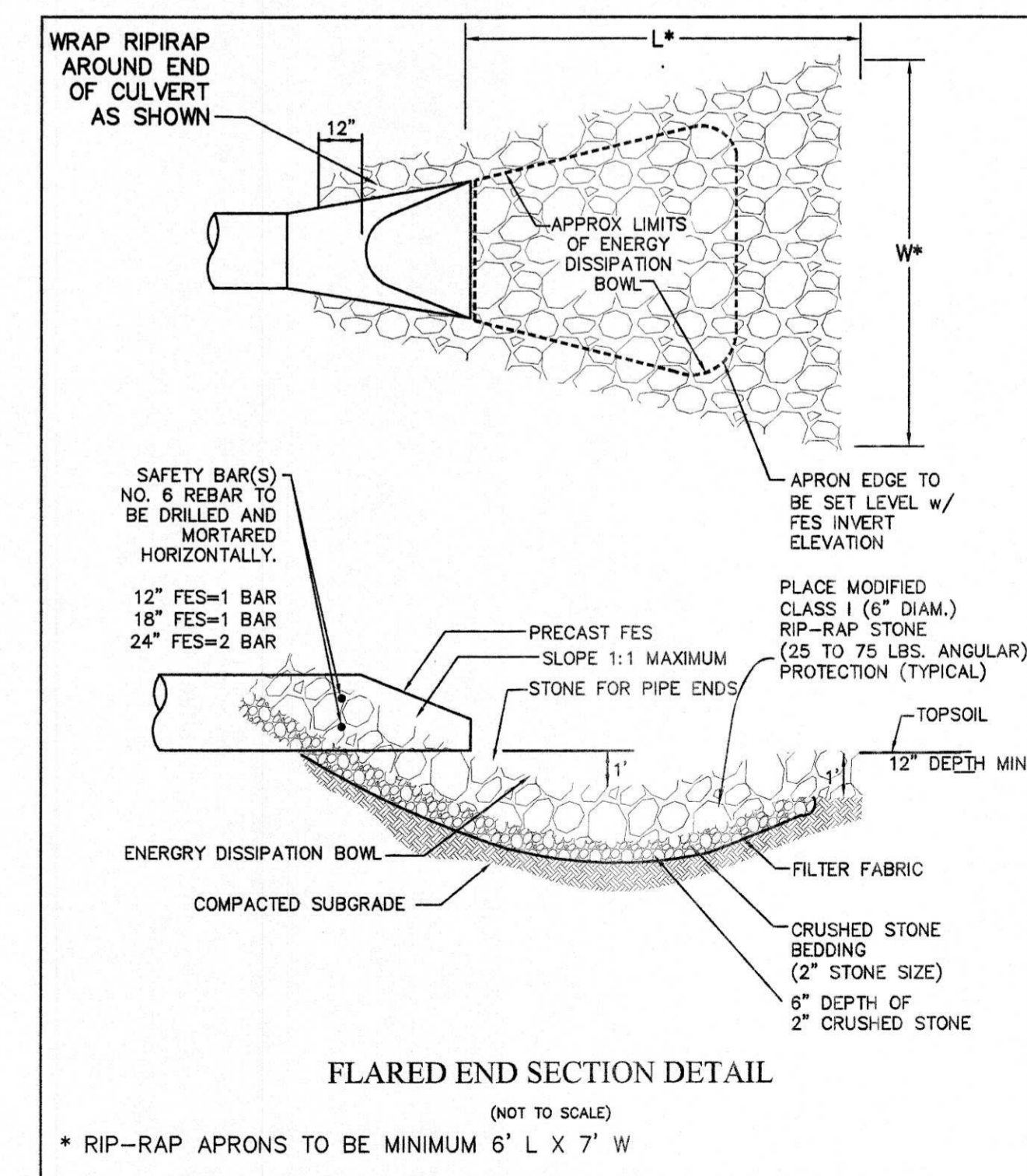
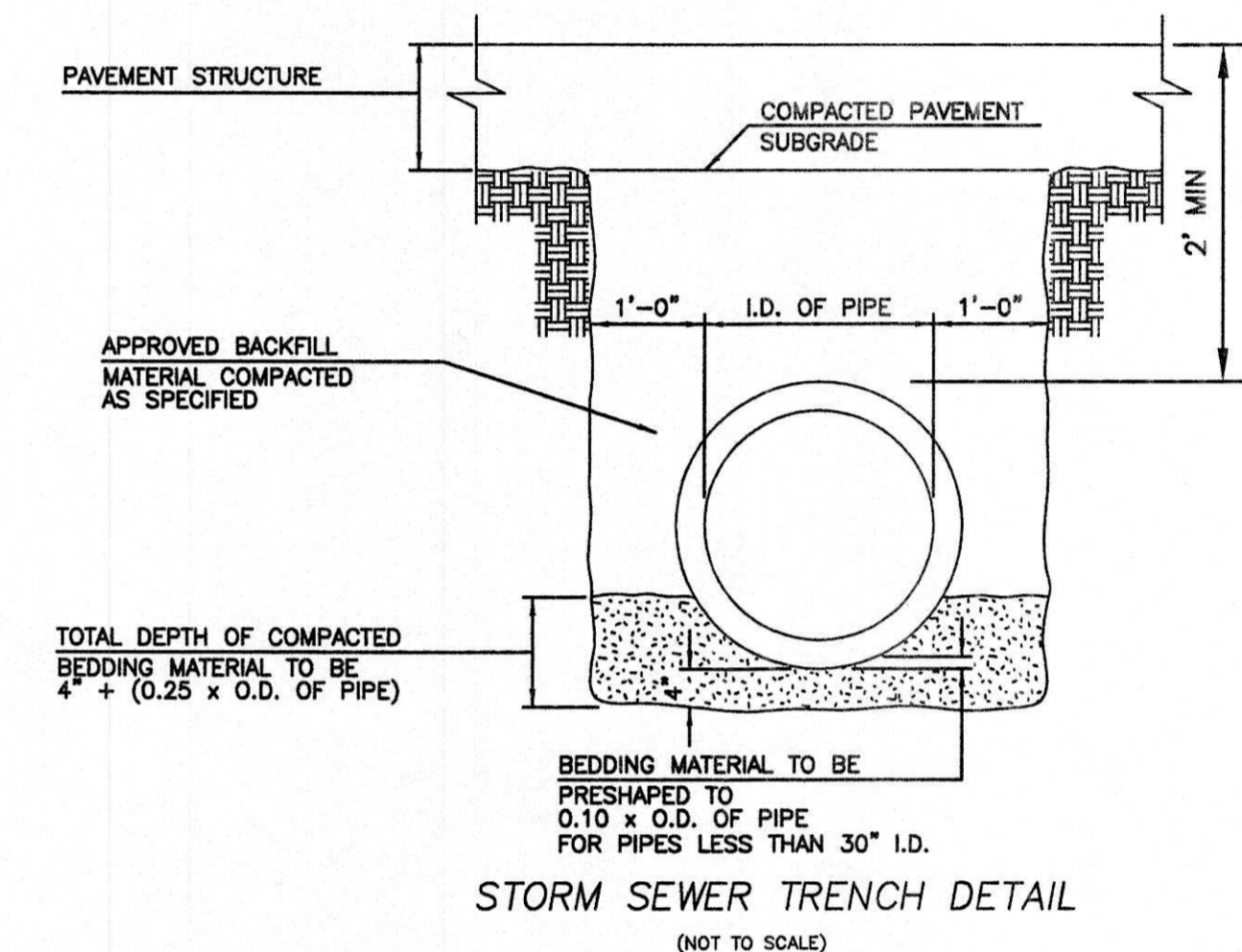
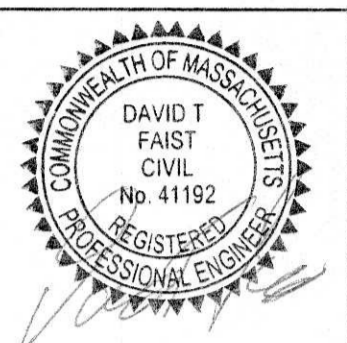
TEST HOLE TP-7/14-2 (7/18/14)			
TOP ELEVATION = 142.8			
DEPTH	SOIL HORIZON	SOIL TEXTURE	OTHER
0-5"	HTM	FILL	RECLAIM ASPHALT
5-42"	HTM	FILL	UNCLASSIFIED FILL
42-108"	C	SAND	2.5Y 6/3 Sand - 0% Gravel
H2O Seeping @ 90" Mod/Rapid Infiltration			
BEDROCK: N/A	PARENT MATERIAL:	ESTIMATED SEASONAL	
WATER: 90"	MOTTLING: 74"	GROUNDWATER: 136.7	

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signatures]

8-11-15
Approval Date
9-8-15
Endorsement Date

FAIST ENGINEERING, INC.
67 HALL ROAD STURBRIDGE, MA 01566
Phone: (508) 864-6802
E-mail: dfaist@faisteng.com



DIG-SAFE NOTE (1-888-344-7233):

- CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

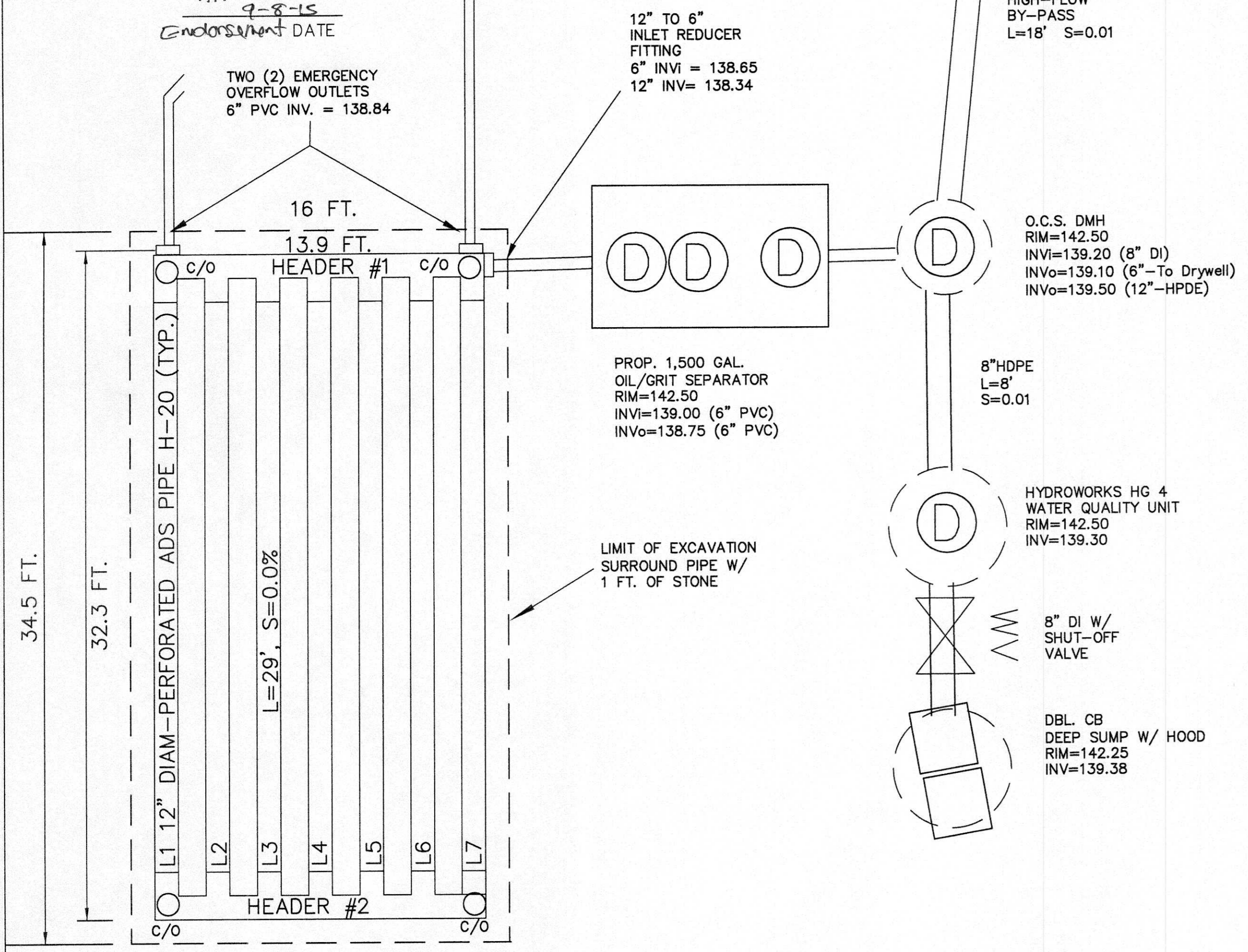
DATE ISSUED:	10/16/14
DWG. SCALE:	1"=20'
DRAWN BY:	DF
REVIEWED BY:	DTF
PROJECT NO:	JOH-2436
DATE:	5/12/15
REVISIONS PER:	SAND FILTER & PAVE RECHARGE 6/03/15 C.C. SITE WALK/COMMENTS 8/11/15 PLANNING BOARD DECISION

DETAIL SHEET #3
#25 JAYAR ROAD
5,000 S.F. COMMERCIAL BUILDING
MEDWAY, MA 02053

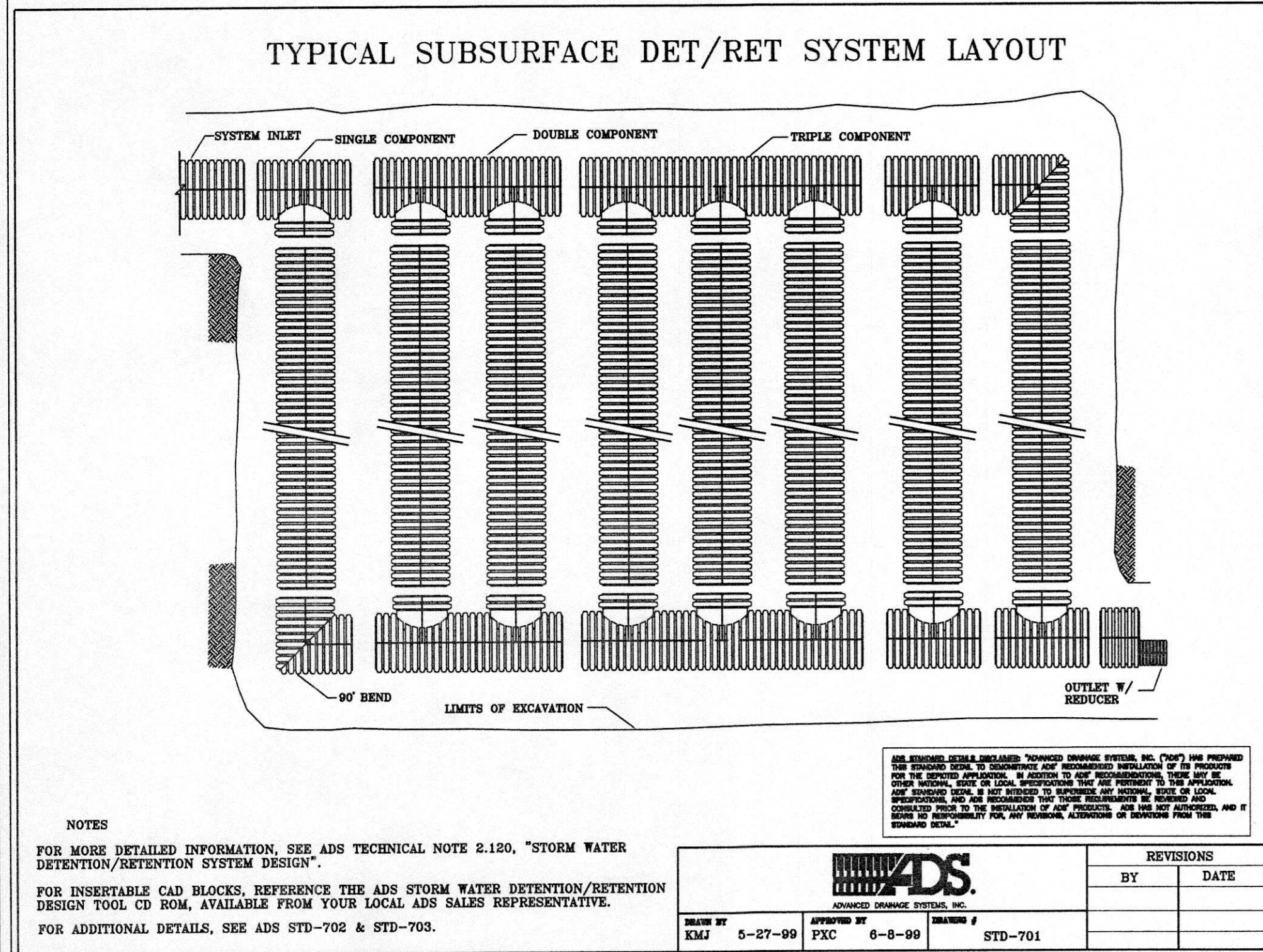
C-5

[Signatures]

8-11-15 Approval Date
9-8-15 Endorsement DATE

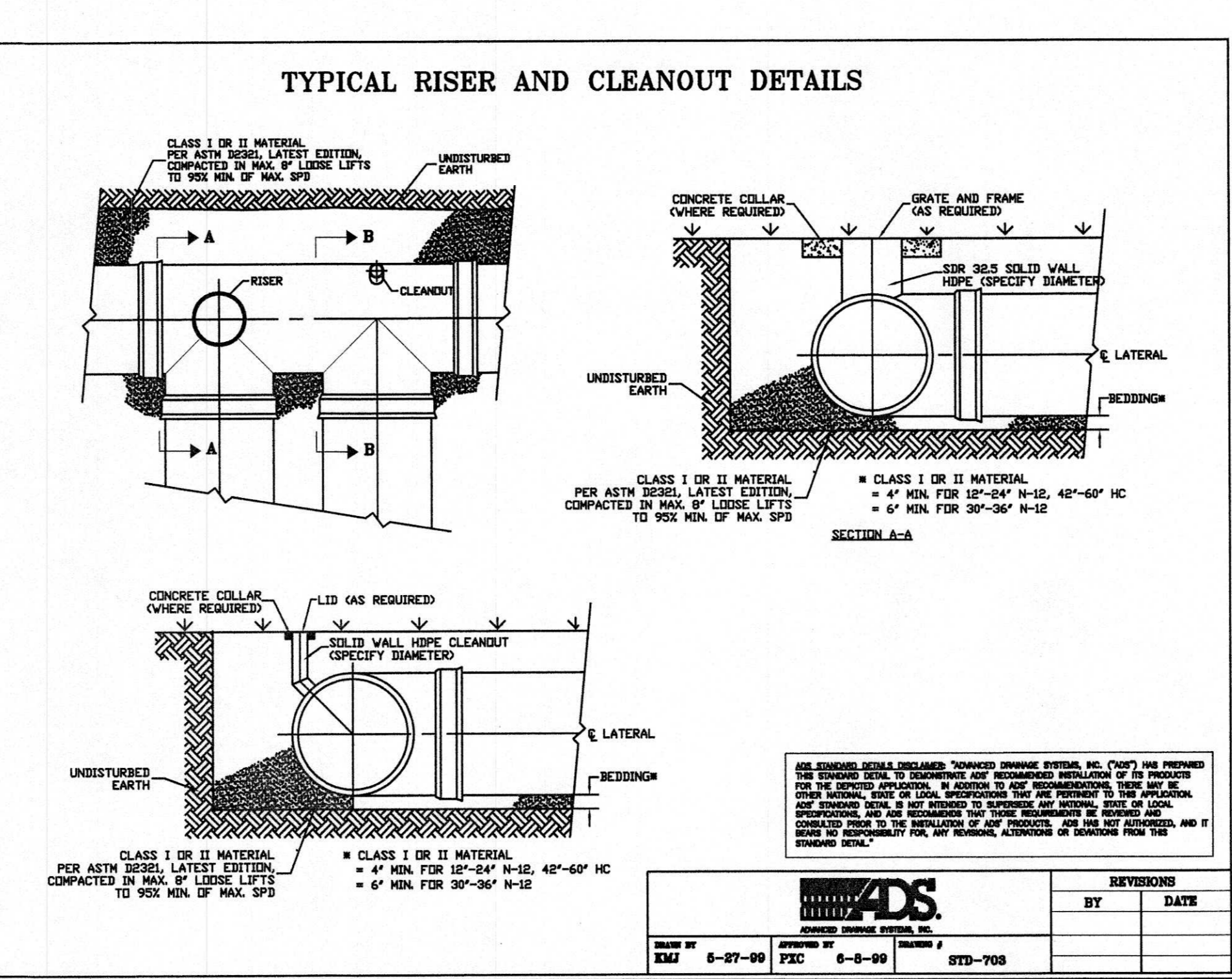


PARKING LOT - TREATMENT & RECHARGE SYSTEM
SEVEN (7) ROWS - 12" DIAMETER - PERFORATED ADS PIPE
(NOT TO SCALE)

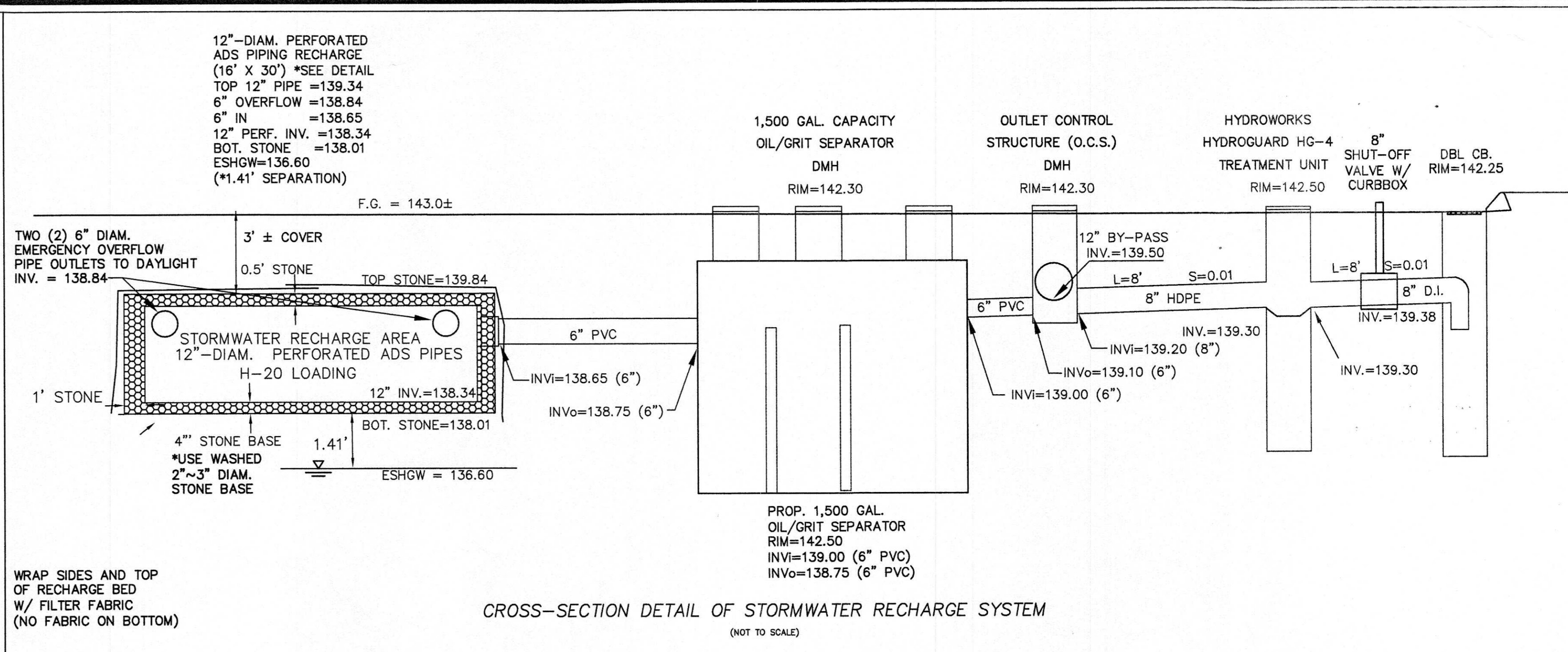


NOTES
FOR MORE DETAILED INFORMATION, SEE ADS TECHNICAL NOTE 2.120, "STORM WATER DETENTION/RETENTION SYSTEM DESIGN".
FOR INSERTABLE CAD BLOCKS, REFERENCE THE ADS STORM WATER DETENTION/RETENTION DESIGN TOOL CD ROM, AVAILABLE FROM YOUR LOCAL ADS SALES REPRESENTATIVE.
FOR ADDITIONAL DETAILS, SEE ADS STD-702 & STD-703.

REVISIONS			
BY	DATE	DESCRIPTION	DATE
KMJ	5-27-99	FXC	6-8-99
			STD-701

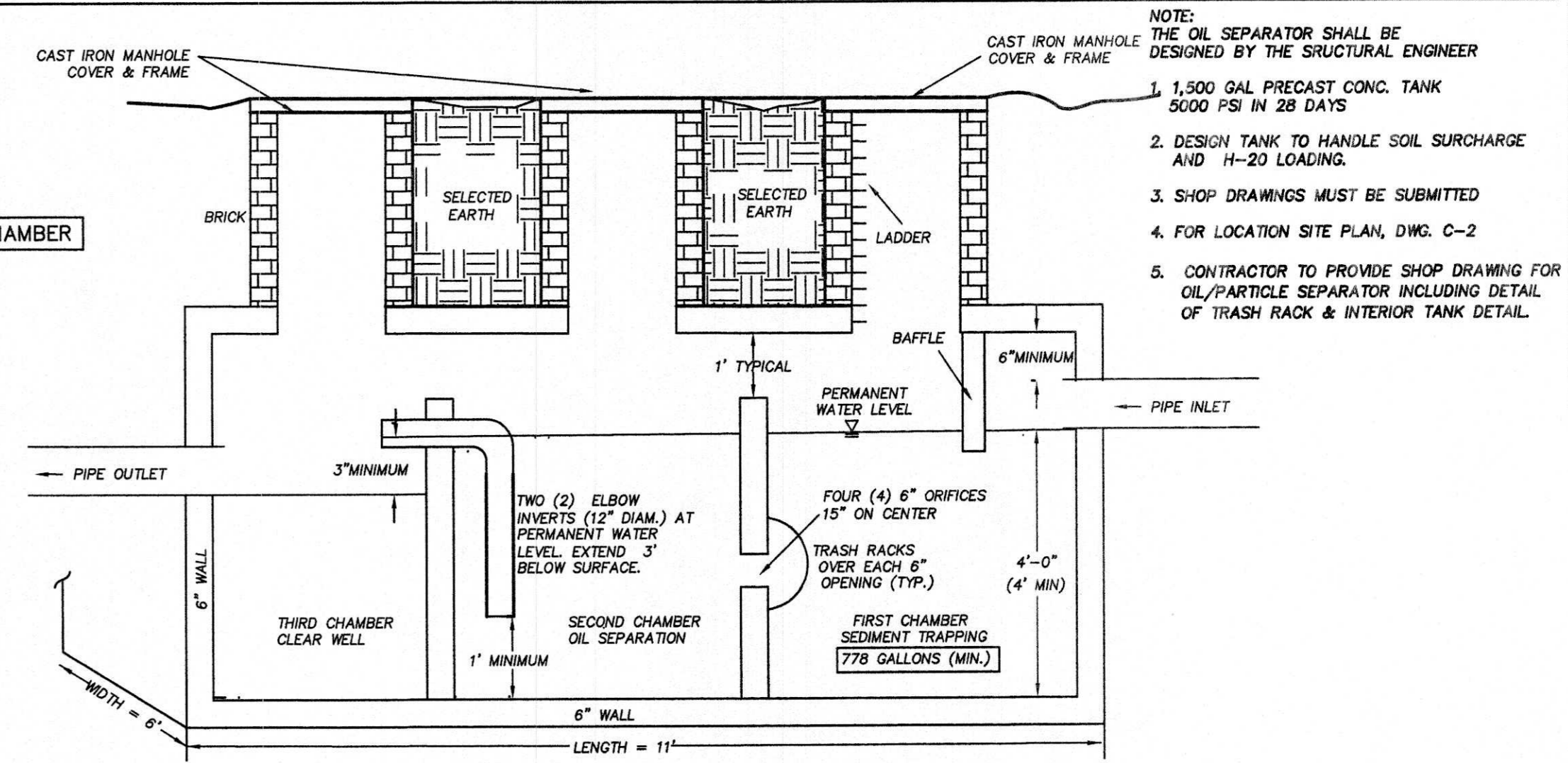


REVISIONS			
BY	DATE	DESCRIPTION	DATE
KMJ	5-27-99	FXC	6-8-99
			STD-703



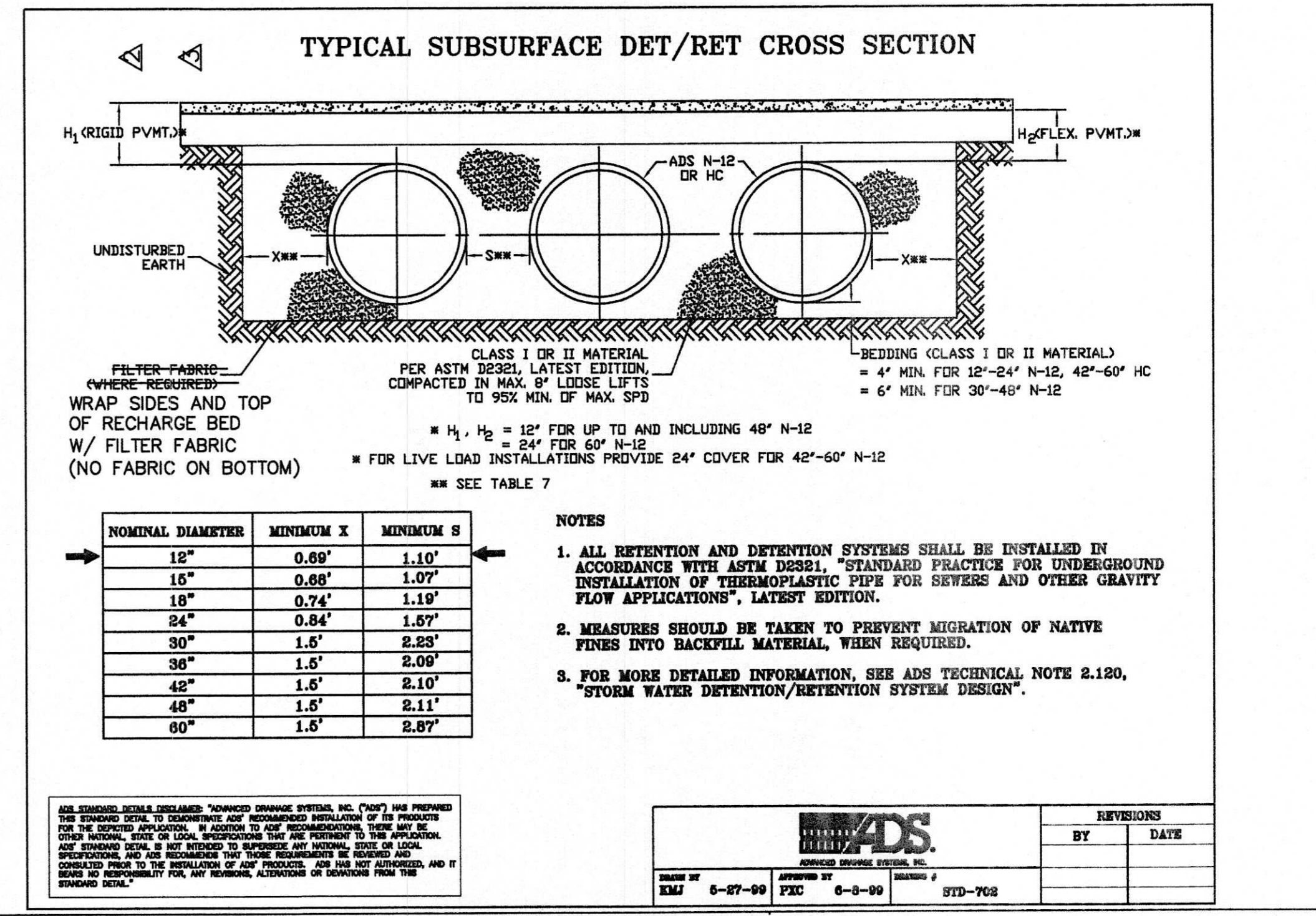
CROSS-SECTION DETAIL OF STORMWATER RECHARGE SYSTEM
(NOT TO SCALE)

OIL / GRIT SEPARATOR SIZING:
DESIGN CAPACITY = 400 C.F. / ACRE IMPERVIOUS
7.4805 GAL/CF X 400 CF = 2,992 GAL/ACRE
PROPOSED PAVEMENT AREA = 11,258 S.F. = 0.26 ACRE
2,992 GAL / ACRE X 0.26 ACRE = 778 GAL = VOLUME OF 1ST CHAMBER



SIDEVIEW
1,500 GAL. THREE (3) CHAMBER
OIL & PARTICLE SEPARATOR SCHEMATIC DETAIL
(NOT TO SCALE)

- NOTE: THE OIL SEPARATOR SHALL BE DESIGNED BY THE STRUCTURAL ENGINEER
- 1,500 GAL PRECAST CONC. TANK 5000 PSI IN 28 DAYS
 - DESIGN TANK TO HANDLE SOIL SURCHARGE AND H-20 LOADING.
 - SHOP DRAWINGS MUST BE SUBMITTED
 - FOR LOCATION SITE PLAN, DWG. C-2
 - CONTRACTOR TO PROVIDE SHOP DRAWING FOR OIL/PARTICLE SEPARATOR INCLUDING DETAIL OF TRASH RACK & INTERIOR TANK DETAIL



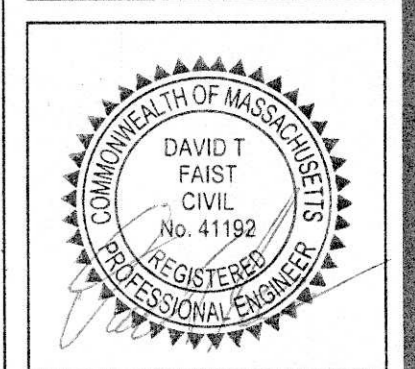
NOMINAL DIAMETER	MINIMUM X	MINIMUM S
12"	0.69'	1.10'
18"	0.89'	1.07'
24"	0.74'	1.19'
30"	1.6'	2.23'
36"	1.5'	2.09'
42"	1.5'	2.10'
48"	1.5'	2.11'
60"	1.5'	2.87'

- NOTES
- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D3621, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
 - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
 - FOR MORE DETAILED INFORMATION, SEE ADS TECHNICAL NOTE 2.120, "STORM WATER DETENTION/RETENTION SYSTEM DESIGN".

FOR MORE DETAILED INFORMATION, SEE ADS TECHNICAL NOTE 2.120, "STORM WATER DETENTION/RETENTION SYSTEM DESIGN".

REVISIONS			
BY	DATE	DESCRIPTION	DATE
KMJ	5-27-99	FXC	6-8-99
			STD-702

FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
Phone: (508) 864-6802
e-mail: dfaist@faisteng.com



PREPARED FOR/APPLICANT:
JOHN SOLARI
#18 WINTHROP STREET
MEDWAY, MA 02053
Phone: 508-533-2800

DATE:	5/12/15
REVISIONS PER:	SAND FILTER & PAVE RECHARGE
6/03/15 C.C. SITE WALK / COMMENTS	
8/11/15 PLANNING BOARD DECISION	

DATE ISSUED:	5/12/15
DWG. SCALE:	N.T.S.
DRAWN BY:	DTF
REVIEWED BY:	DTF
PROJECT NO:	JOH-2436

DETAIL SHEET #4
RECHARGE
SYSTEM
5,000 S.F. COMMERCIAL BUILDING
#25 JAYAR ROAD MEDWAY, MA

GENERAL SITE NOTES:

- SITE EXISTING CONDITIONS, WETLANDS LOCATIONS, AND TOPOGRAPHY ARE BASED ON AN ON THE GROUND SURVEY BY O'DRISCOLL LAND SURVEYING CO., MEDWAY MA, AS SHOWN ON A PLAN ENTITLED "EXISTING CONDITIONS, 25 JAYAR ROAD, MEDWAY, MA" DATE JULY 2014.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- SITE IS NOT WITHIN AN AREA OF 100-YEAR FLOOD BASED ON F.I.R.M. FLOOD INSURANCE RATE MAP NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 142 OF 430 MAP NUMBER 25021C0142E, EFFECTIVE DATE: JULY 17, 2012.
- ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAD '88)

CURRENT OWNER:
 JOHN J. & CAROLINE C. SOLARI
 18 WINTHROP STREET
 MEDWAY, MA 02053
 PHONE: (508) 533-2800

ASSESSOR'S MAP ID: 24-013 DEED: BK 14144 PG 371

ZONING: INDUSTRIAL I & GROUNDWATER PROTECTION DISTRICT
 EXISTING USE: PARKING AREA FOR ADJACENT AUTO REPAIR BUSINESS

LEGEND

- MON MONUMENT
- BC BOUNDARY CORNER
- N.F. NOT FOUND
- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- 200 EXISTING CONTOUR LINE
- UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- C.C.B. CAPE COD BERM
- CB DRAIN CATCH BASIN
- ☆ LIGHT POST

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

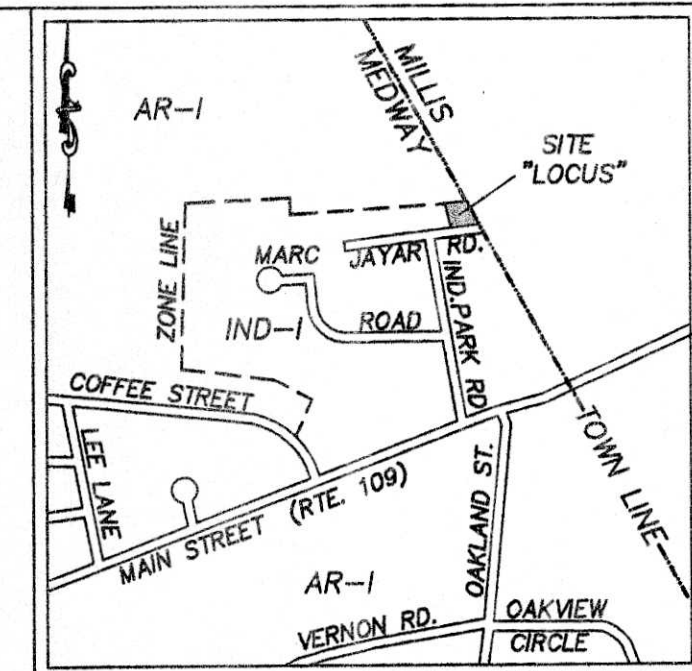
[Signatures]
 Richard J. DiJulio

8-11-15
 APPROVAL DATE
 9-8-15
 ENDORSEMENT DATE

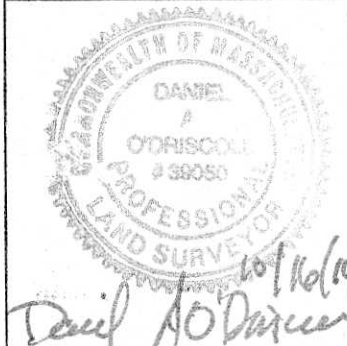
N/F
 JOHN R. & MARY A. LALLY

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

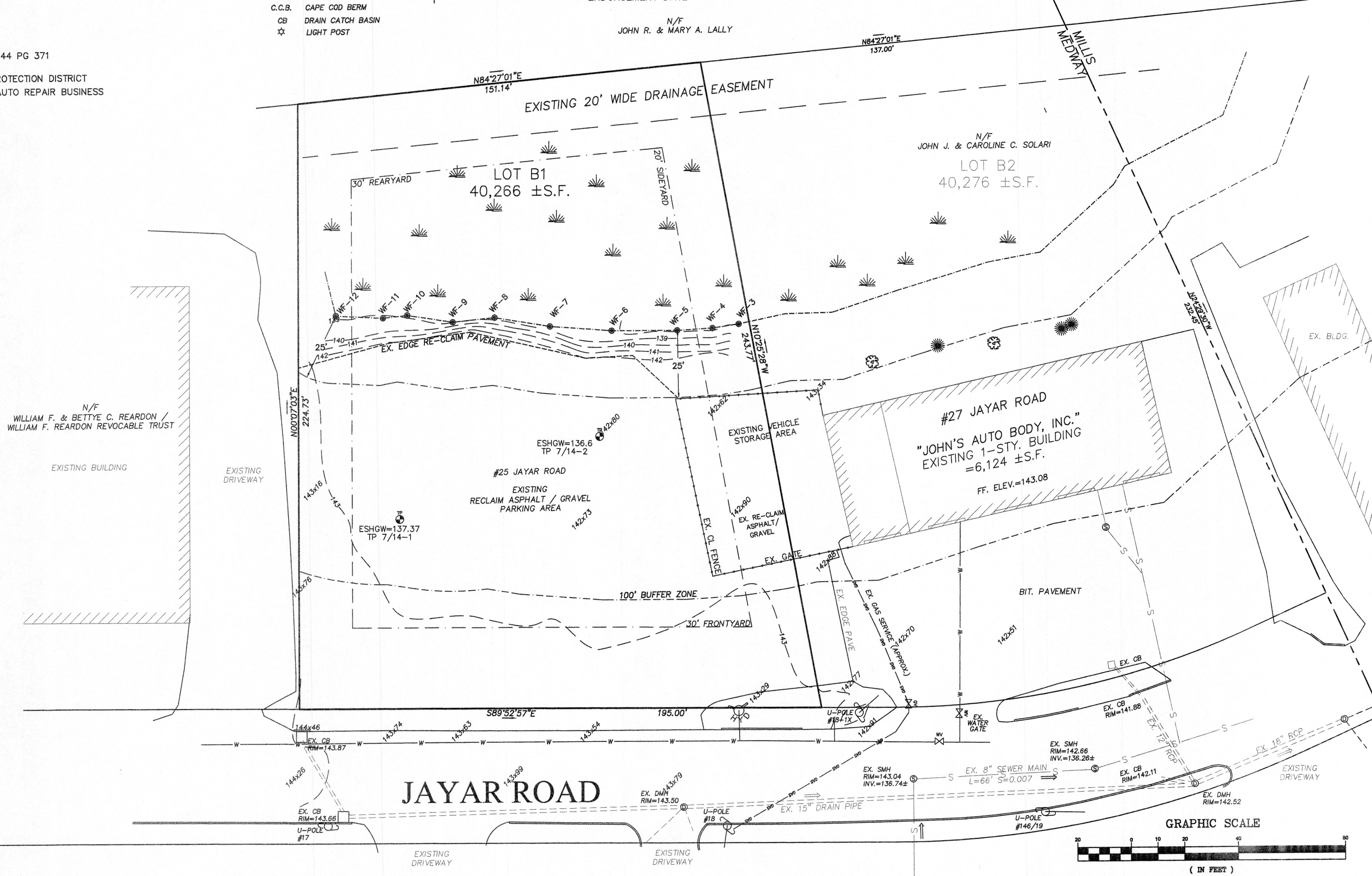
MaryJane White
 TOWN CLERK
 Sept 9 2015
 DATE



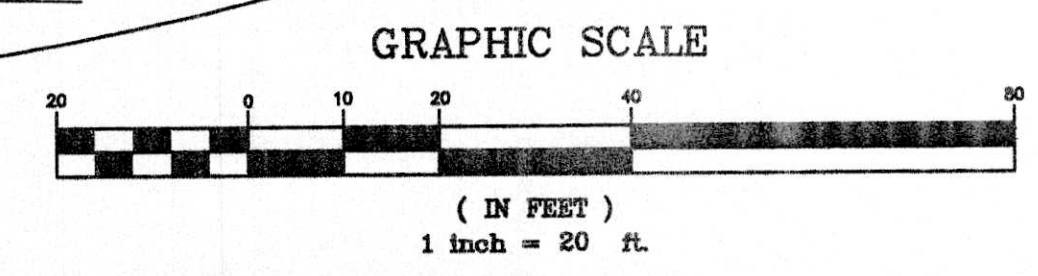
FAIST ENGINEERING, INC.
 STURBRIDGE, MA 01566
 Phone (508) 864-6802 e-mail: dfaist@faisteng.com
 O'DRISCOLL LAND SURVEYING Co.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 46 OTTAWA STREET MEDWAY, MASSACHUSETTS 02053

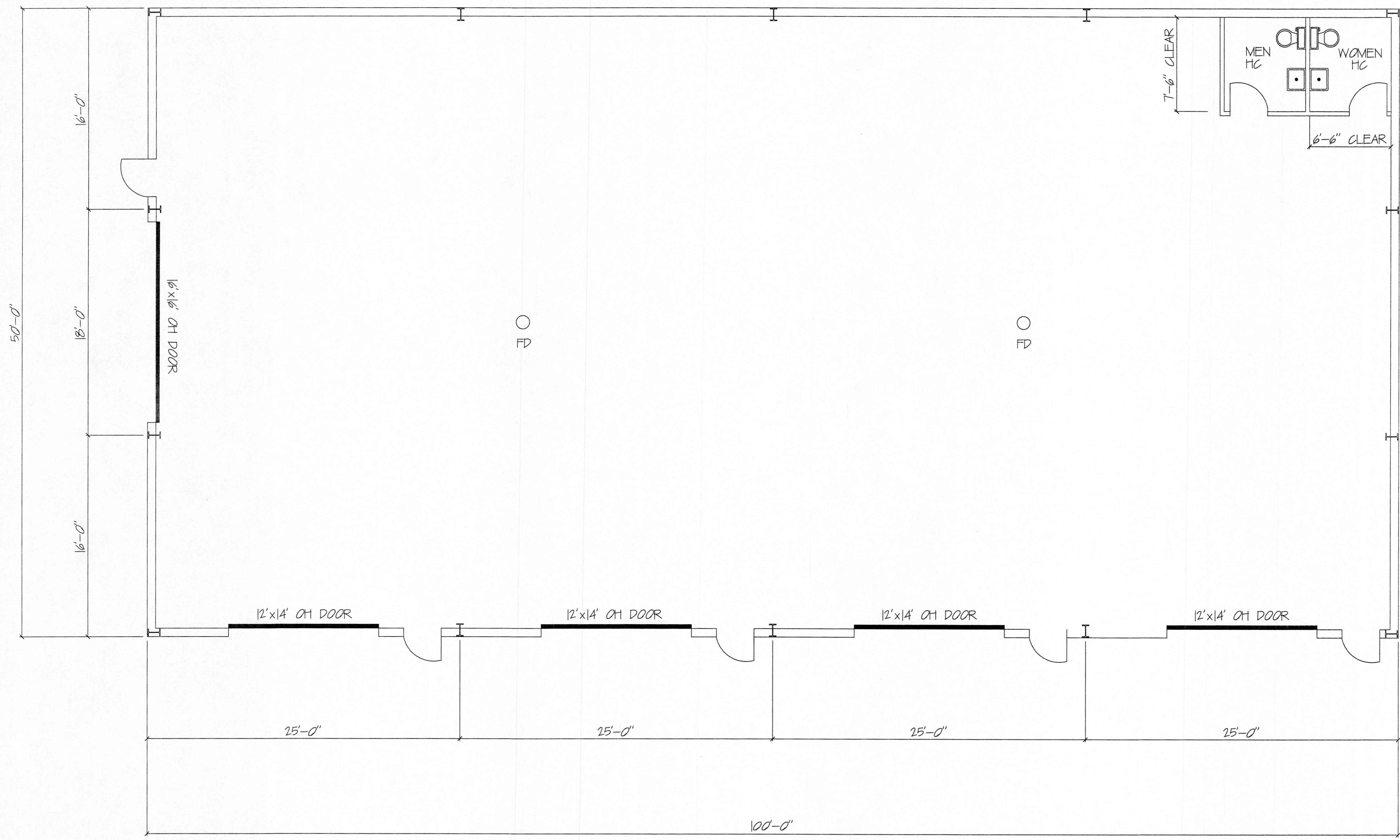


DATE:	
REVISIONS PER:	
DATE ISSUED:	10/16/14
DWG. SCALE:	1" = 20'
DRAWN BY:	DO/DF
REVIEWED BY:	DIT
PROJECT NO:	JOH-2014



EXISTING CONDITIONS
 #25 JAYAR ROAD
 MEDWAY, MA





FLOOR PLAN

General Notes

TED GREENLAW
183 COLUMBIA STREET
HANOVER, MA

TOWN OF MEDWAY PLANNING &
ECONOMIC DEVELOPMENT BOARD
[Signature]

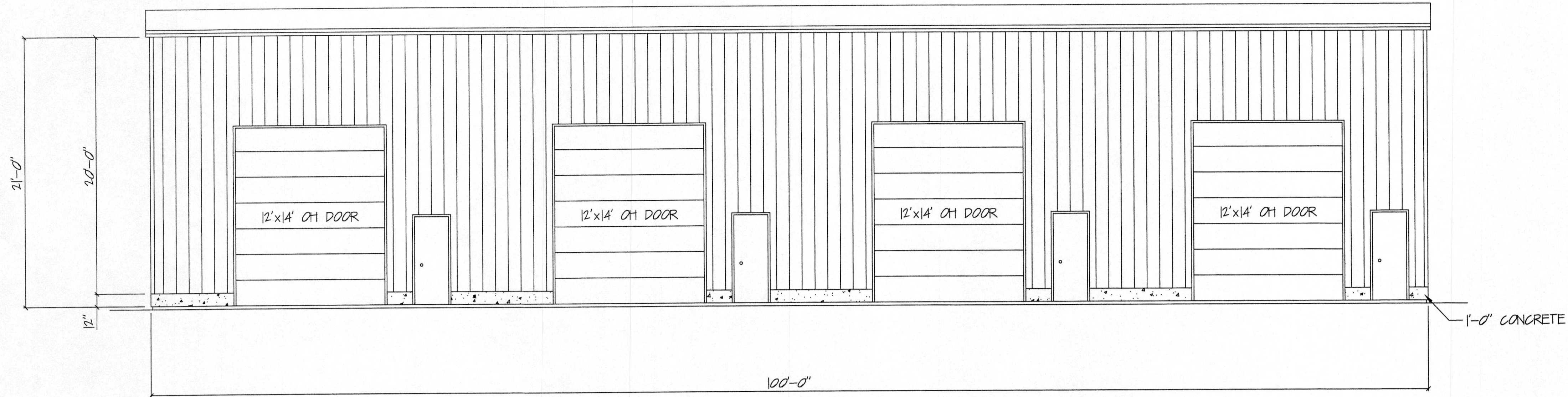
8-11-15
APPROVAL DATE
9-8-15
ENDORSEMENT DATE

No.	Revision/Issue	Date

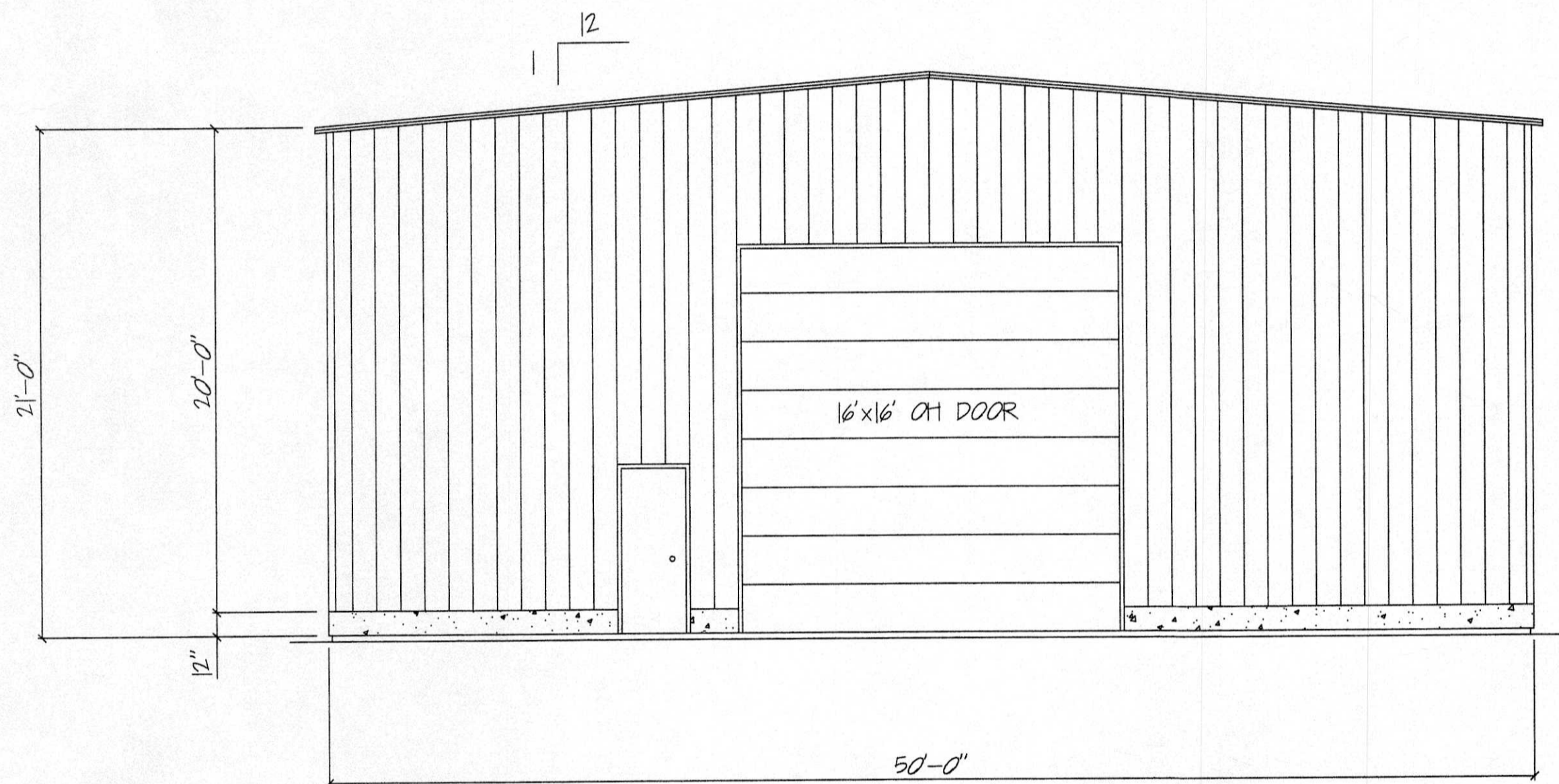
Firm Name and Address
PRIGGEN STEEL
133 FRANKLIN STREET
WRENTHAM, MA

Project Name and Address
JOHNS AUTOBODY
25 JAYAR ROAD
MEDWAY, MA

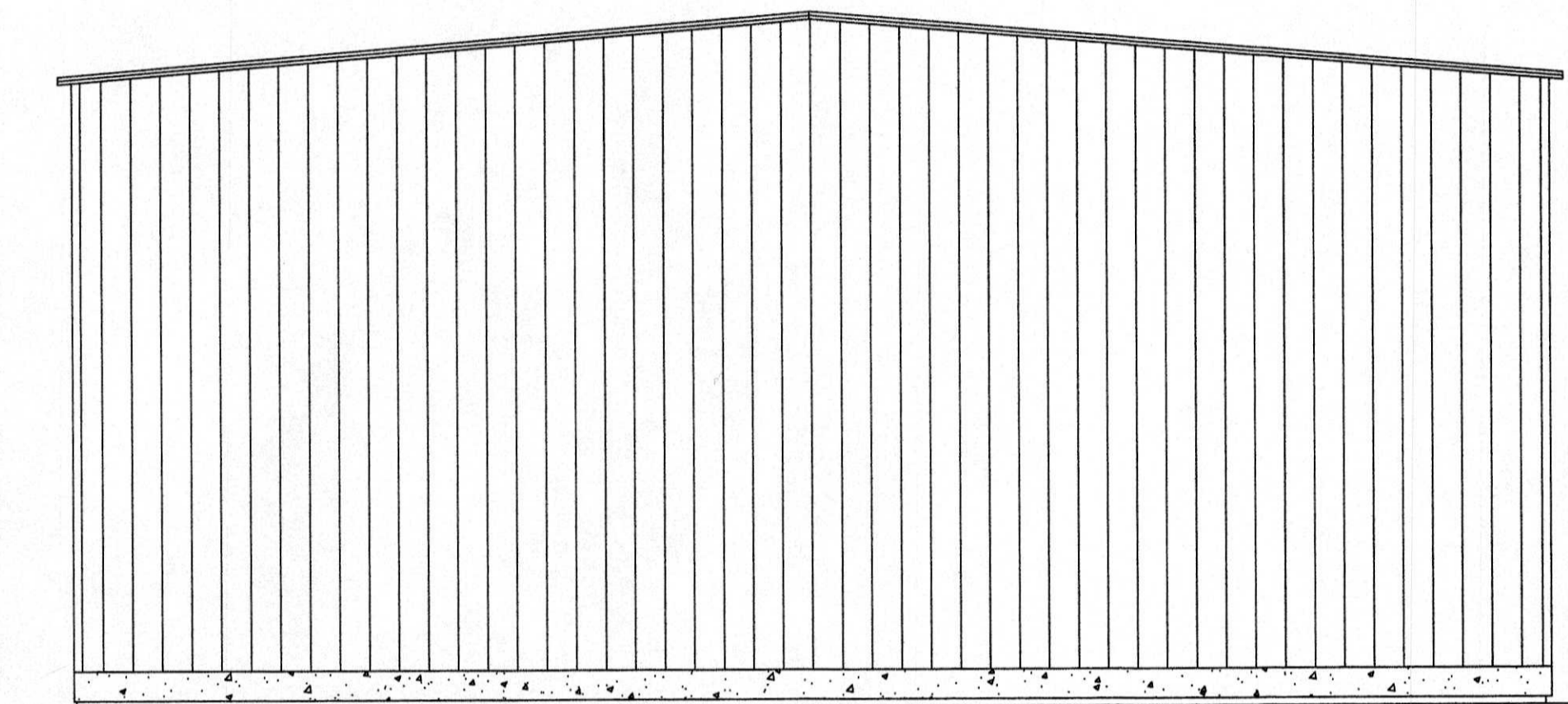
Project FLOOR	Sheet S-1
Date 10/15/14	
Scale 1/4" = 1'-0"	



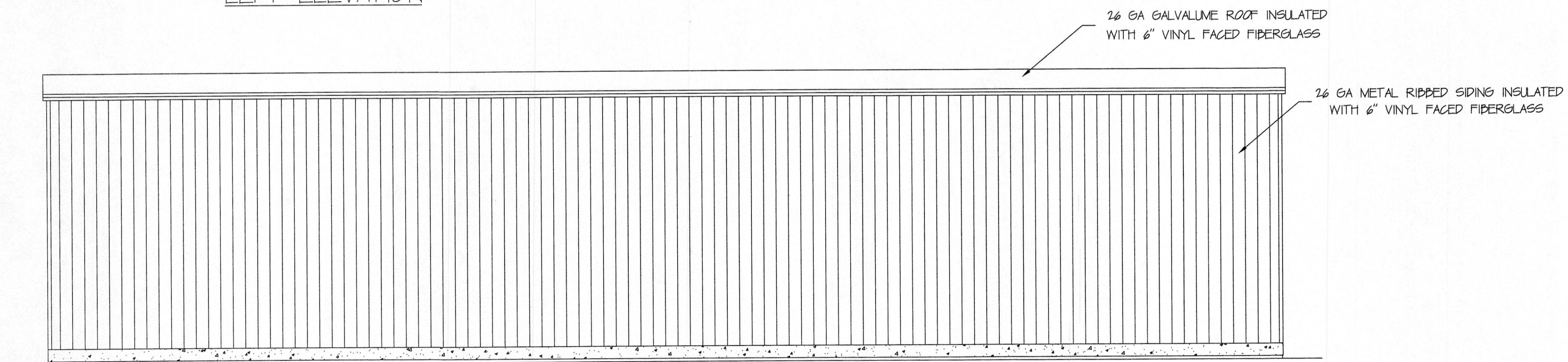
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

General Notes

TED GREENLAW
183 COLUMBIA STREET
HANOVER, MA

TOWN OF MEDWAY PLANNING &
ECONOMIC DEVELOPMENT BOARD

[Handwritten signatures]

8-11-15
APPROVAL DATE
9-8-15
ENDORSEMENT DATE

No.	Revision/Issue	Date

Firm Name and Address
FRIGGEN STEEL
133 FRANKLIN STREET
WRENTHAM, MA

Project Name and Address
JOHNS AUTOBODY
25 JAYAR ROAD
MEDWAY, MA

Project ELEVATION	Sheet S-2
Date 10/15/14	
Scale 3/16" = 1'-0"	