

LEGEND

N/F	NOW OR FORMERLY	UT	UTILITY POLE
CB DH	CONCRETE BOUND WITH DRILL HOLE	FES	FLARED END SECTION
FND	FOUND	ELEV.	ELEVATION
EXIST.	EXISTING	BIT.	BITUMINOUS
PROP.	PROPOSED	CONC.	CONCRETE
INV.	INVERT	F.F.	FIRST FLOOR ELEVATION
R.C.P.	REINFORCED CONCRETE PIPE	B.F.	BASEMENT FLOOR ELEVATION
APPROX.	APPROXIMATE	G.F.	GARAGE FLOOR ELEVATION
HYDRANT	HYDRANT	BM.	BENCHMARK
SM	SEWER MANHOLE	FA	FIRE ALARM BOX
DM	DRAIN MANHOLE	WG	WATER GATE
SCB	STORMWATER CATCH BASIN	V.G.C.	VERTICAL GRANITE CURB
200	EXISTING CONTOUR LINE	TP	TEST PITS
200	PROPOSED CONTOUR LINE	ETC	ELECTRIC, TELEPHONE & CABLE
OHW	OVERHEAD WRES		
SPM	SEWER FORCE MAIN		
DTH	DEEP TEST HOLE		
DET.	DETENTION		

- NOTES:**
- EXISTING CONDITIONS, TOPOGRAPHY, & SITE PROPERTY BOUNDARIES ARE BASED ON AN ON-THE-GROUND SURVEY BY O'DRISCOLL LAND SURVEYING CO. DURING JUNE-JULY 2010 & SEPTEMBER-OCTOBER 2012.
 - ACTUAL WETLANDS / RIVERBANK LOCATIONS AND FLOOD PLAIN ELEVATION VERIFIED IN THE FIELD BY O'DRISCOLL LAND SURVEYING CO. VIA AN ON-THE-GROUND SURVEY DURING OCTOBER 2012.
 - AREAS OF 100-YEAR FLOOD SHOWN BASED ON F.I.R.M. FLOOD INSURANCE RATE MAP NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANELS 143 & 144 OF 430 MAP NUMBER 2502100143E & 2502100144E, EFFECTIVE DATE: JULY 17, 2012.
 - WETLANDS AND RIVER BANK LOCATIONS ARE ALSO SHOWN ON A PLAN PROVIDED BY THE APPLICANT ENTITLED "CHARLES RIVER ACROSS SPECIAL PERMIT CONCEPT PLANS - SITE CONTEXT AND ANALYSIS PLAN, PLAN OF LAND IN MEDWAY, MASSACHUSETTS" SHEET 2 OF 6, DATED MAY 16, 2008 PREPARED BY DUNN & MACKENZIE, INC.
 - THE PROPOSED PROJECT SHALL BE SERVICED BY TOWN WATER AND TOWN SEWER VIA EXISTING SERVICES IN VILLAGE STREET & CHARLES RIVER ROAD THROUGH NEELON LANE & CHEROKEE LANE. WATER & SEWER SERVICE WITHIN THE DEVELOPMENT WILL BE PRIVATELY OWNED AND MAINTAINED BY THE CONDOMINIUM ASSOCIATION.
 - NO CUTS OR FILLS GREATER THAN 8' OR SLOPES GREATER THAN 25% WILL BE NECESSARY FOR THIS PROJECT.

- GENERAL NOTES:**
- ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
 - ALL SEWER MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE TOWN OF MEDWAY WATER AND SEWER DEPARTMENT REGULATIONS.
 - CONTRACTOR TO CONTACT DIG-SAFE BEFORE PRIOR TO ANY CONSTRUCTION. (1-888-DIG-SAFE)
 - ALL SIGNS, INCLUDING STREET SIGNS, MUST CONFORM TO THE TOWN OF MEDWAY STANDARDS.
 - LOCATION OF ALL UTILITIES SHALL BE DETERMINED IN THE FIELD, BY THE RESPECTIVE UTILITY COMPANIES (ELECTRIC, CABLE, & TELECOM). THE APPLICANT "CHARLES RIVER VILLAGE, LLC" SHALL BE RESPONSIBLE TO ACCURATELY LOCATE THE UTILITIES DURING CONSTRUCTION, PRIOR TO BACKFILL, SUCH THAT THE ACTUAL LOCATION CAN BE ACCURATELY REPRESENTED ON THE AS-BUILT DRAWINGS.
 - ALL STORMWATER DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS SECTION 4.4.5.
 - THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT FOR A GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND THAT THEY ARE RESPONSIBLE FOR PREPARING AND IMPLEMENTING A STORMWATER POLLUTION PREVENTION PLAN IN FULL COMPLIANCE WITH THE EPA'S NPDES STORMWATER REGULATIONS (40 CFR PARTS 122, 123 & 124).
 - PROJECT SUBJECT TO "LONG TERM OPERATION AND MAINTENANCE PLAN" PREPARED AS A SEPARATE DOCUMENT BY FAIST ENGINEERING, INC., DATE NOVEMBER 2012 AND IS INCORPORATED BY REFERENCE FOR ALL COMPONENTS OF THE SITE'S STORMWATER MANAGEMENT SYSTEM SHOWN ON THESE PLANS.
 - OWNER/CONTRACTOR SHALL MINIMIZE THE DESTRUCTION OF MATURE TREES ON-SITE.
 - PLAN ENDORSEMENT IS SUBJECT TO THE CONDITIONS SET FORTH IN THE MEDWAY PLANNING BOARD CERTIFICATE OF ACTION DATED MAY 14, 2013. TO BE RECORDED WITH THE PLAN.
 - THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE THE REGISTRY OF DEEDS.
 - OPEN SPACE PARCEL "B" TO BE DEEDED TO THE TOWN OF MEDWAY CONSERVATION COMMISSION.
 - ALL WORK WITHIN TOWN RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MASS HIGHWAY HANDICAP REQUIREMENTS AND THE ADA/AB REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
 - MODIFICATION TO THE SPECIAL PERMIT - DATE APRIL 9, 2013 PLANNING BOARD DECISION REGARDING OSRD CONCEPT PLAN - REVISE DATE FEBRUARY 5, 2013 FOR THE "CHARLES RIVER VILLAGE" OPEN SPACE RESIDENTIAL DEVELOPMENT" IS RECORDED AS: DEED BK. 31288 PG. 334; MAY 1, 2013.
- DIG-SAFE NOTE**
- CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. CONTRACTOR TO NOTIFY "DIG-SAFE" AT 1-888-DIG-SAFE (1-888-344-7233).



LOCUS MAP
SCALE: 1"=200'

"CHARLES RIVER VILLAGE"
NEELON LANE - MEDWAY, MASSACHUSETTS
OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD)
DEFINITIVE PLANS

PROJECT ENGINEER:
DAVID T. FAIST, P.E.
FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
PH: (508) 864-6802

PROJECT SURVEYOR:
DANIEL A. O'DRISCOLL, P.L.S.
O'DRISCOLL LAND SURVEYING, CO.
46 COTTAGE STREET
MEDWAY, MA 02053
P: 1-508-533-3314

LANDSCAPE ARCHITECT:
W. PHILIP BARLOW, A.S.L.A.
JIM LEBLANC
TO DESIGN, LLC
114 WEST MAIN STREET
SUITE 201
NEW BRITAIN, CT
PH: (860) 612-1700

APPLICANT / PROPERTY INFORMATION:

ASSESSORS REFERENCE: MAP 1-7 PARCEL 1D/33
DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
BOOK 18973 PAGE 237
BOOK 05949 PAGE 353
CRPCD SEWER EASEMENT:
BOOK 05224 PAGE 185

APPLICANT:
CHARLES RIVER VILLAGE, LLC
P.O. BOX 1
MEDWAY, MA 02053
P. (508)-328-7505

RECORD OWNER(S):
LORI MORAN, PERSONAL REPRESENTATIVE OF THE ESTATE OF MICHAEL ACQUAFRESCA;
CHERYL RODRIGUEZ, PERSONAL REPRESENTATIVE OF THE ESTATE OF CAROL SUPERIOR

CONTACT(S):
TODD GATTONI, ATTORNEY FOR LORI MORAN, PERSONAL REPRESENTATIVE OF THE ESTATE OF MICHAEL ACQUAFRESCA
232 MAIN STREET, P.O. BOX 94
MILFORD, MA 01757 PHONE: (508) 473-2200
AUSTIN JOYCE, ATTORNEY FOR CHERYL RODRIGUEZ, PERSONAL REPRESENTATIVE OF THE ESTATE OF CAROL SUPERIOR
REARDON, JOYCE & AKERSON, P.C.
4 LANCASTER TERRACE
WORCESTER, MA 01609 PHONE: (508) 754-7285

WAIVER REQUESTS FROM TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS:

SECTION NO.	WAIVER DESCRIPTION:
5.5.14	ANRAD DETERMINATION FROM THE MEDWAY CONSERVATION COMMISSION
5.7.19	LAYOUT OF PROPOSED ELECTRIC, TELECOMMUNICATIONS, GAS, AND CABLE TV UTILITY LINES
5.20.2 (a)	WAYS AND SERVICES TO BE COMPLETE BEFORE SUCH LOT MAY BE BUILT UPON
6.4.1	ALLOW FOR ONE (1) BUILDING PERMIT WITH NO OCCUPANCY UNTIL COMPLETION OF DRIVEWAY BASE COAT
6.8.1	STREET ACCEPTANCE: LEGAL DESCRIPTION, DEEDS & EASEMENTS
6.8.2	STREET/INFRASTRUCTURE ACCEPTANCE FEE
6.8.3	STREET ACCEPTANCE PLAN
6.8.4	STREET ACCEPTANCE INSPECTION & REVIEW BY OTHER TOWN BOARDS
6.8.6	BOARD RECOMMENDATION
6.8.7	TOWN MEETING WARRANT
6.8.8	BOARD OF SELECTMAN ESTABLISH ROADWAY LAYOUT
6.8.10	APPROVAL OF STREET ACCEPTANCE PLANS
6.8.11	TOWN MEETING ACCEPTANCE
7.2 (p)	RECORDING OF STREET ACCEPTANCE PLAN
7.4 (d)	DETENTION BASIN & RELATED DRAINAGE STRUCTURES ON SEPARATE PARCEL
7.7.4 (e)	INDEPENDENT DRAINAGE SYSTEM FOR FOUNDATION DRAINS
7.8.1 (e)	NUMBER OF DWELLINGS ON A PRIVATE WAY
7.8.4 (c)	MINIMUM RIGHT OF WAY WIDTH = 50 FEET
7.9.5 (c)	PROPOSED CENTERLINE GRADE AT SITE ENTRANCE MINIMUM = 2%
7.9.6 (b)	DEAD END STREETS - MAXIMUM LENGTH 600 FT.
7.9.7 (g)	MINIMUM ROADWAY WIDTH FOR A LOCAL STREET = 26 FEET
7.10.2	SLOPED GRANITE EDGING (TYPE S-A) ROADWAY CURBING
7.11.2	CATCH BASIN LOCATIONS WITHIN 14 FEET OF DRIVEWAYS
7.13.2	SIDEWALKS SHALL EXTEND THE FULL LENGTH OF THE STREET
7.13.3	SIDEWALKS ALONG FRONTAGE ALONG EXISTING TOWN WAYS
7.17.1	FIRE ALARM SYSTEM OR PAYMENT IN LIEU OF INSTALLATION
7.19.2, 7.19.4	STREET TREES

WAIVER REQUESTS RELATING TO THE OSRD BY-LAW:

SECTION NO.	WAIVER DESCRIPTION:
T.8.(F)	5 FT. GARAGE SETBACKS FOR A MAXIMUM OF TWO (2) UNITS

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signature]
APPROVAL DATE: 5-14-13
6-11-13
ENDORSEMENT DATE

RESERVED FOR REGISTRY USE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

[Signature] June 12, 2013
TOWN CLERK DATE

ZONING INFORMATION TABLE

ZONING REQUIREMENTS FOR: AGRICULTURAL RESIDENTIAL II (AR-II) ZONING DISTRICT

LOT AREA=22,500 S.F. (MIN.)
LOT FRONTAGE=150' (MIN.)
FRONT YARD SETBACK=35' (MIN.)
REAR YARD SETBACK=15' (MIN.)
SIDE YARD SETBACK=15' (MIN.)
LOT SHAPE FACTOR RATIO:
LESS THAN OR EQUAL TO 22

MAXIMUM # OF OSRD DWELLING UNITS = 11 UNITS

AFFORDABLE DWELLING UNITS = TWO (2)-UNITS

*APPLICANT WILL PAY INTO AN AFFORDABLE HOUSING FUND BASED UPON THE FORMULA PRESENTED TO THE APPLICANT. A PAYMENT PLAN WILL BE PART OF THE DECISION ISSUED BY THE PLANNING AND ECONOMIC DEVELOPMENT BOARD.

OSRD SPECIAL PERMIT:
NOTICE OF PLANNING & ECONOMIC DEVELOPMENT BOARD DECISION "CHARLES RIVER VILLAGE" OPEN SPACE RESIDENTIAL DEVELOPMENT SPECIAL PERMIT, DATED MARCH 30, 2011.
DEED BK. 30700 PG. 541/PLAN BK. 617 PLANS 97-101

LAND USE AREA TABLE (SEC. 5.7.26)

TOTAL AREA TO BE SUBDIVIDED	= 331,648 S.F. (7.61 ACRES)
PARCEL "A"	= 149,568 S.F. (3.43 AC.)
PARCEL "B"	= 182,080 S.F. (4.18 AC.)
TOTAL PROJECT AREA	= 331,648 S.F. (7.61 AC.)
REQUIRED OPEN SPACE (50% TA)	= 165,745 S.F. (3.80 AC.)
TOTAL SITE WETLANDS (10 %)	= 33,105 S.F. (0.76 AC.)
REQUIRED UPLAND (90 % R.O.S.)	= 149,171 S.F. (3.42 AC.)
OPEN SPACE PROVIDED - PARCEL "A" & "B"	
PARCEL "A"	= 149,568 S.F. (3.43 AC.)
PARCEL "B"	= 182,080 S.F. (4.18 AC.)
TOTAL	= 331,648 S.F. (7.61 AC.)
UPLAND AREA	= 148,976 S.F. (3.42 AC.)
WETLAND AREA	= 33,105 S.F. (0.76 AC.)
ROADWAY & DRIVEWAYS	= 27,160 S.F.
BUILDING COVERAGE AREA	= 18,601 S.F.
LAWNS, LANDSCAPING, & WOODS	= 103,807 S.F.
OPEN SPACE PARCEL "B"	= 182,080 S.F.
TOTAL PROJECT AREA	= 331,648 S.F.

PLAN INDEX

SHEET 1: TITLE SHEET	SHEET 10: DETAIL SHEET - 1
SHEET 2: PROPERTY BOUNDARY SURVEY PLAN	SHEET 11: DETAIL SHEET - 2
SHEET 3: EXISTING CONDITIONS & TOPOGRAPHY PLAN	SHEET 12: DETAIL SHEET - 3
SHEET 4: DEFINITIVE OSRD LAYOUT PLAN	SHEET 13: DETAIL SHEET - 4
SHEET 5: GRADING & DRAINAGE PLAN	SHEET 14: LANDSCAPE PLAN
SHEET 6: UTILITIES PLAN	SHEET 15: LANDSCAPE DETAILS
SHEET 7: PLAN & PROFILE - 1	SHEET 16: CONCEPTUAL BUILDING ELEVATIONS
SHEET 8: PLAN & PROFILE - 2	SHEET 17: HOUSE STYLE D - ELEVATIONS
SHEET 9: EROSION & SEDIMENT CONTROL PLAN	

DEFINITIVE PLANS
"CHARLES RIVER VILLAGE"
OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD)
IN
MEDWAY, MASSACHUSETTS

DATE: NOVEMBER 20, 2012
REVISE DATES:
FEBRUARY 15, 2013
MAY 30, 2013

O'DRISCOLL LAND SURVEYING Co.
LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
Phone: (508) 864-6802
e-mail: dfaist@faisteng.com

SHEET 1 OF 17

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

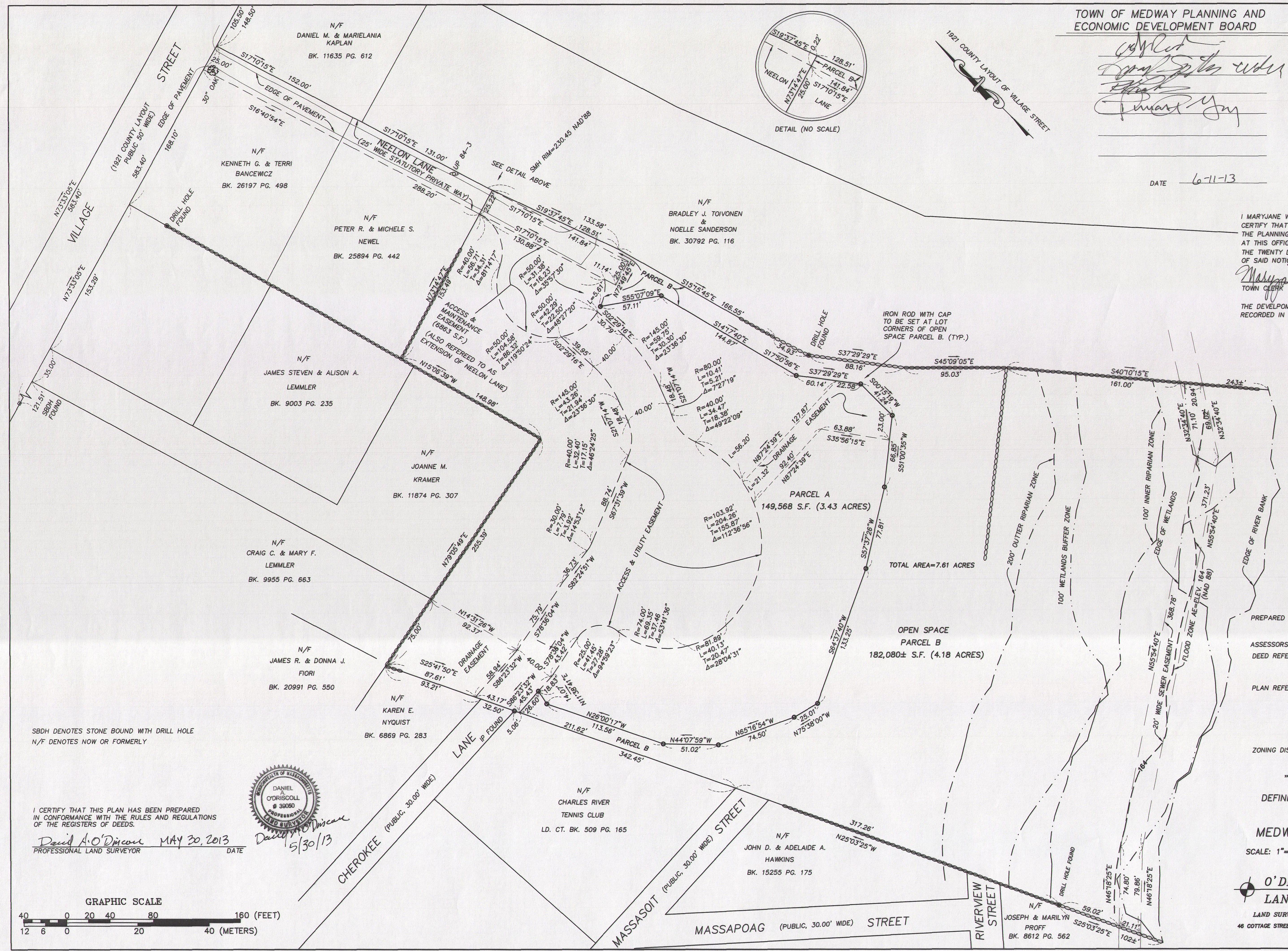
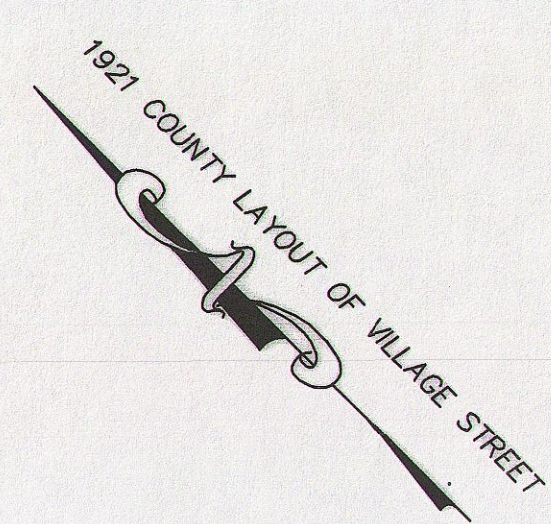
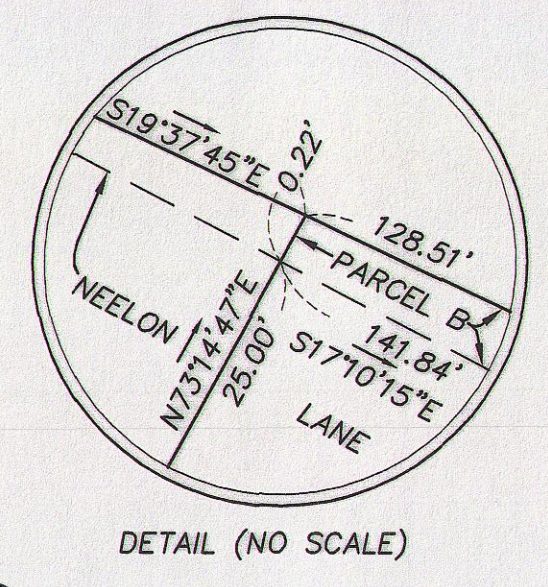
Maryanne White
 TOWN CLERK
 DATE 6-11-13

RESERVED FOR REGISTRY USE

I MARYANNE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

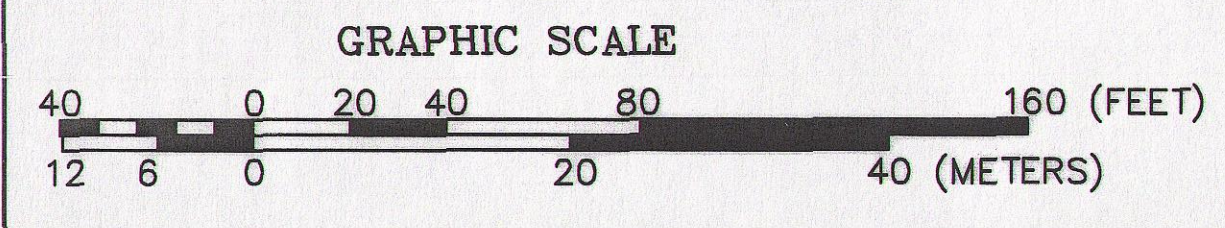
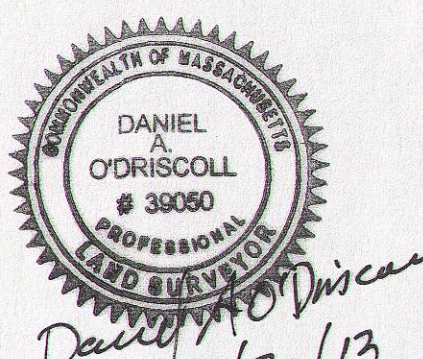
Maryanne White June 13 2013
 TOWN CLERK DATE

THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS.



SBDH DENOTES STONE BOUND WITH DRILL HOLE
 N/F DENOTES NOW OR FORMERLY

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
David A. O'Driscoll MAY 30, 2013
 PROFESSIONAL LAND SURVEYOR DATE

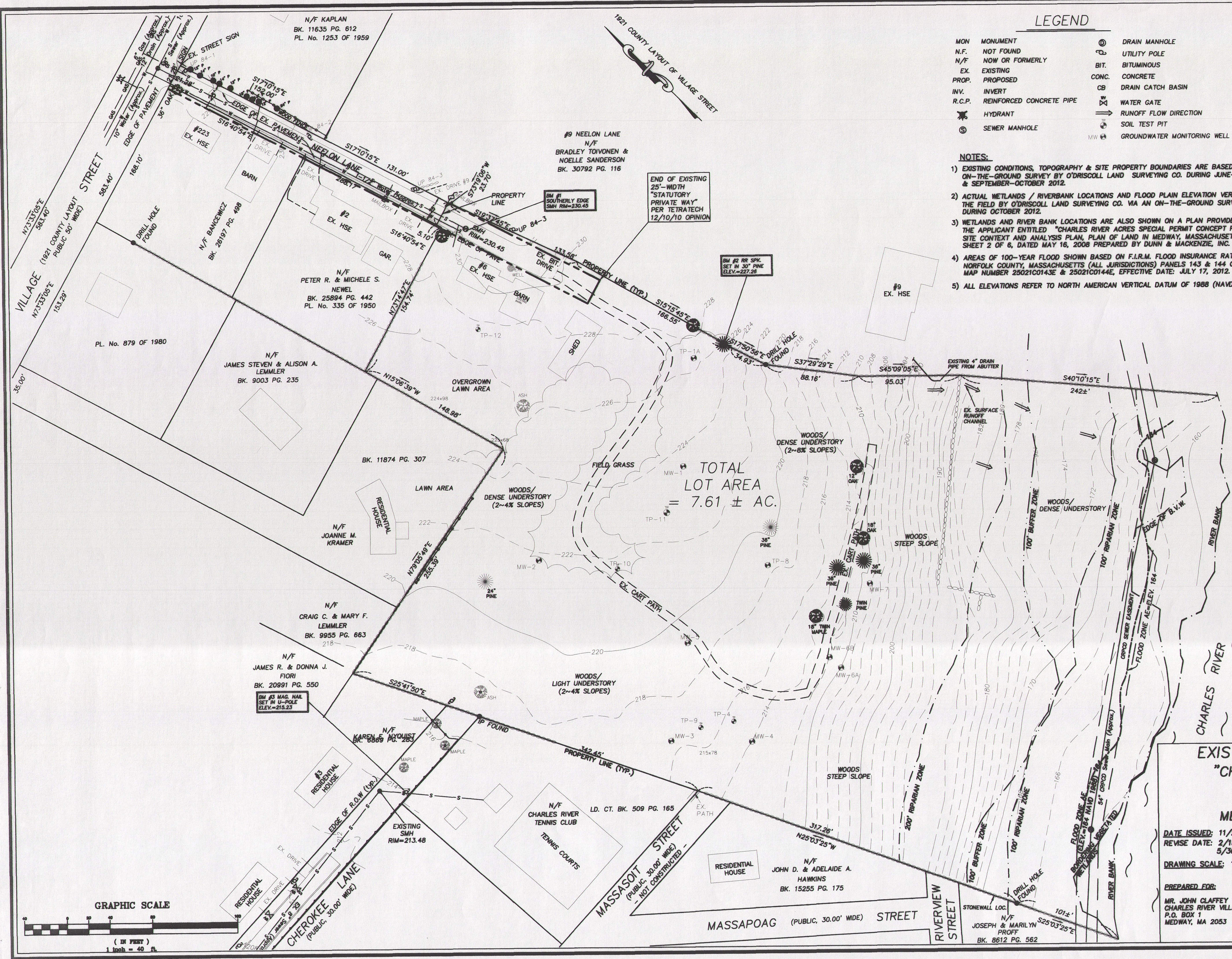


PREPARED FOR: CHARLES RIVER VILLAGE, LLC
 P.O. BOX 1
 MEDWAY, MA 02053
 ASSESSORS REFERENCE: MAP 1-7 PARCEL 1D/33
 DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
 BOOK 18973 PAGE 237
 BOOK 18240 PAGE 148

PLAN REFERENCES: PLAN No. 1253 OF 1959 BK. 3776 PG. 530
 PLAN No. 2942 PL. BK. 51
 PLAN No. 879 OF 1980 BK. 5799 PG. 158
 PLAN No. 945 OF 1975 PL. BK. 253
 PLAN No. 335 OF 1950 BK. 2903 PG. 45
 1921 COUNTY LAYOUT OF VILLAGE STREET
 LAND COURT PLAN 35897 A

ZONING DISTRICT: AGRICULTURAL RESIDENTIAL II
 PLAN OF LAND
 "CHARLES RIVER VILLAGE"
 DEFINITIVE OSRD DEVELOPMENT PLAN
 IN
 MEDWAY, MASSACHUSETTS
 SCALE: 1"=40'
 NOVEMBER 20, 2012
 REVISED: FEBRUARY 15, 2013
 REVISED: MAY 30, 2013

O'DRISCOLL
 LAND SURVEYING Co.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314
 SHEET 2 OF 17 FILE No.1442



LEGEND

MON	MONUMENT	⊕	DRAIN MANHOLE
N.F.	NOT FOUND	⊕	UTILITY POLE
N/F	NOW OR FORMERLY	BIT.	BITUMINOUS
EX.	EXISTING	CONC.	CONCRETE
PROP.	PROPOSED	CB	DRAIN CATCH BASIN
INV.	INVERT	W.G.	WATER GATE
R.C.P.	REINFORCED CONCRETE PIPE	→	RUNOFF FLOW DIRECTION
HYDRANT	HYDRANT	⊕	SOIL TEST PIT
⊕	SEWER MANHOLE	MW	GROUNDWATER MONITORING WELL

- NOTES:**
- EXISTING CONDITIONS, TOPOGRAPHY & SITE PROPERTY BOUNDARIES ARE BASED ON AN ON-THE-GROUND SURVEY BY O'DRISCOLL LAND SURVEYING CO. DURING JUNE-JULY 2010 & SEPTEMBER-OCTOBER 2012.
 - ACTUAL WETLANDS / RIVERBANK LOCATIONS AND FLOOD PLAIN ELEVATION VERIFIED IN THE FIELD BY O'DRISCOLL LAND SURVEYING CO. VIA AN ON-THE-GROUND SURVEY DURING OCTOBER 2012.
 - WETLANDS AND RIVER BANK LOCATIONS ARE ALSO SHOWN ON A PLAN PROVIDED BY THE APPLICANT ENTITLED "CHARLES RIVER ACRES SPECIAL PERMIT PLANS - SITE CONTEXT AND ANALYSIS PLAN, PLAN OF LAND IN MEDWAY, MASSACHUSETTS" SHEET 2 OF 6, DATED MAY 16, 2008 PREPARED BY DUNN & MACKENZIE, INC.
 - AREAS OF 100-YEAR FLOOD SHOWN BASED ON F.I.R.M. FLOOD INSURANCE RATE MAP NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANELS 143 & 144 OF 430 MAP NUMBER 25021C0143E & 25021C0144E, EFFECTIVE DATE: JULY 17, 2012.
 - ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88')

RESERVED FOR REGISTRY USE

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

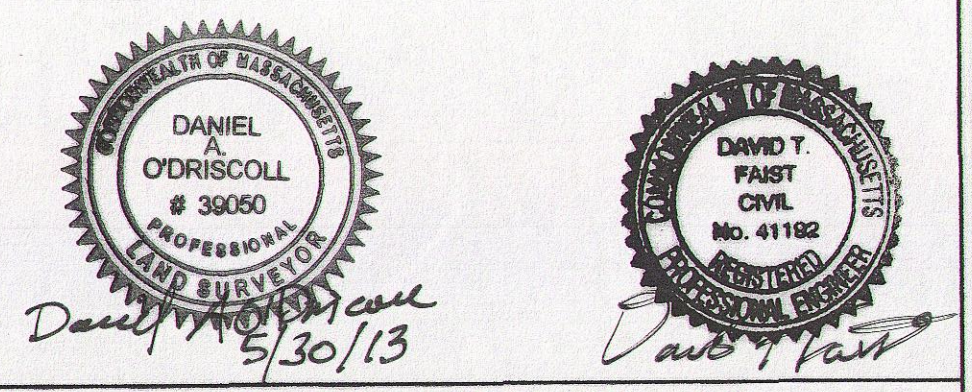
[Signatures]

6-11-13
DATE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

[Signature] June 11, 2013
TOWN CLERK

COVENANT:
THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE REGISTRY OF DEEDS.



EXISTING CONDITIONS PLAN
"CHARLES RIVER VILLAGE"
OSRD DEFINITIVE PLAN
 IN
MEDWAY, MASSACHUSETTS

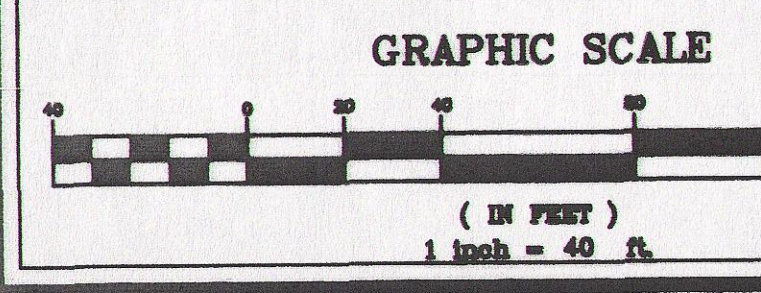
DATE ISSUED: 11/20/12
 REVISE DATE: 2/15/13
 5/30/13

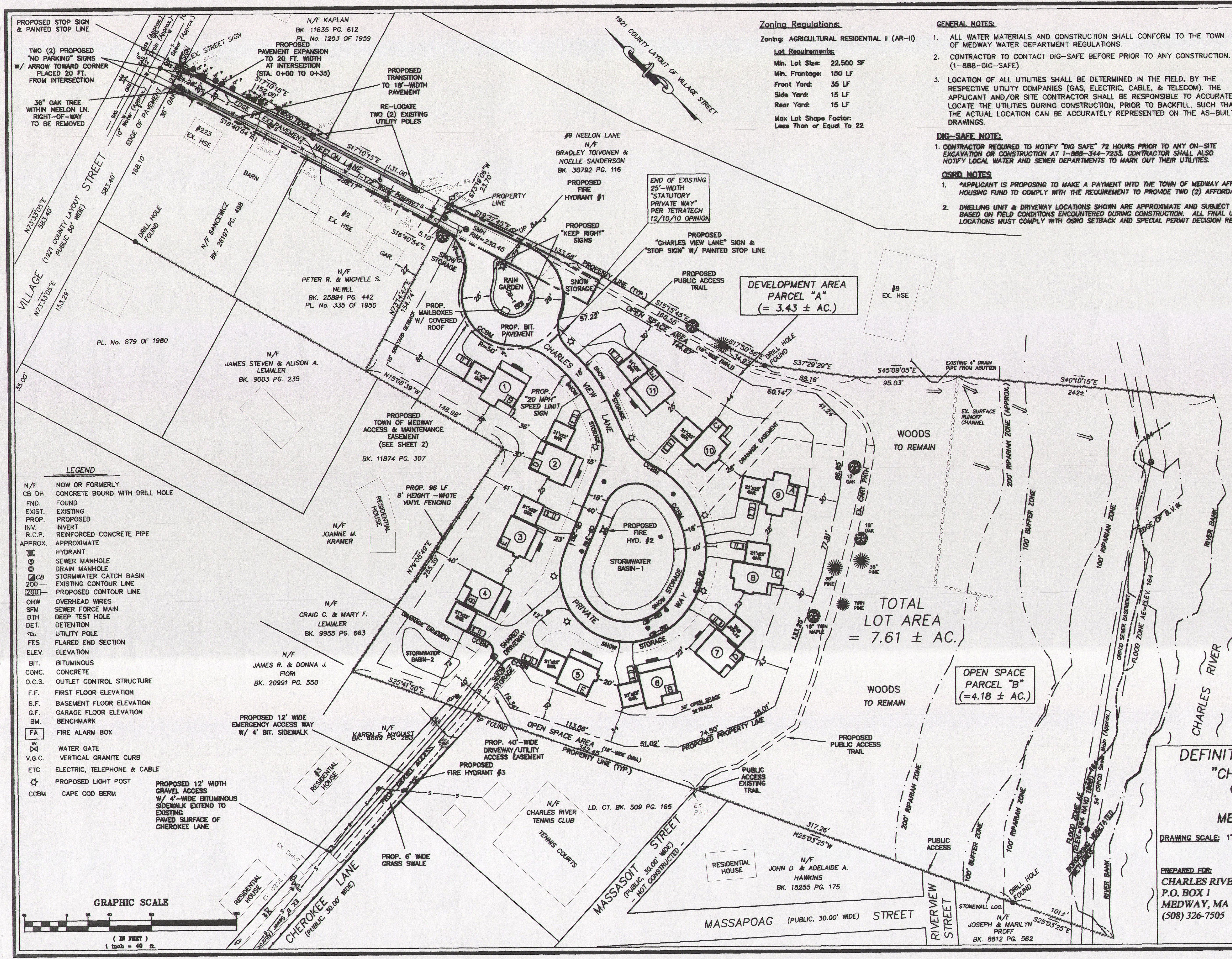
DRAWING SCALE: 1"=40'

PREPARED BY:
O'DRISCOLL
 LAND SURVEYING Co.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 45 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 533-3314

PREPARED FOR:
FAIST ENGINEERING, INC.
 MR. JOHN CLAFFEY
 CHARLES RIVER VILLAGE, LLC
 P.O. BOX 1
 MEDWAY, MA 2053
 67 HALL ROAD STURBRIDGE, MA 01566
 Phone: (508) 864-6802 E-mail: dfaist@faisteng.com

SHEET 3 OF 17
 CLA-2338





RESERVED FOR REGISTRY USE

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signature]
 TOWN CLERK

DATE: 6-1-13

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

[Signature]
 TOWN CLERK

DATE: 6-1-13

COVENANT: THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE REGISTRY OF DEEDS.



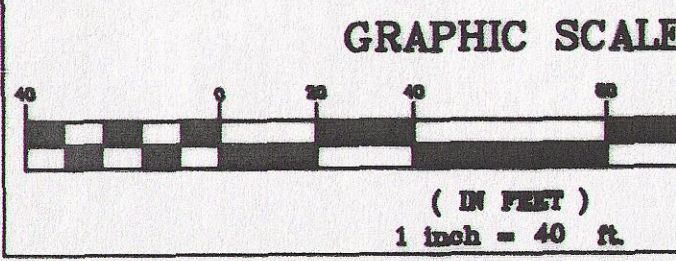
DEFINITIVE OSRD LAYOUT PLAN
"CHARLES RIVER VILLAGE"
OSRD DEFINITIVE PLAN
 IN
MEDWAY, MASSACHUSETTS

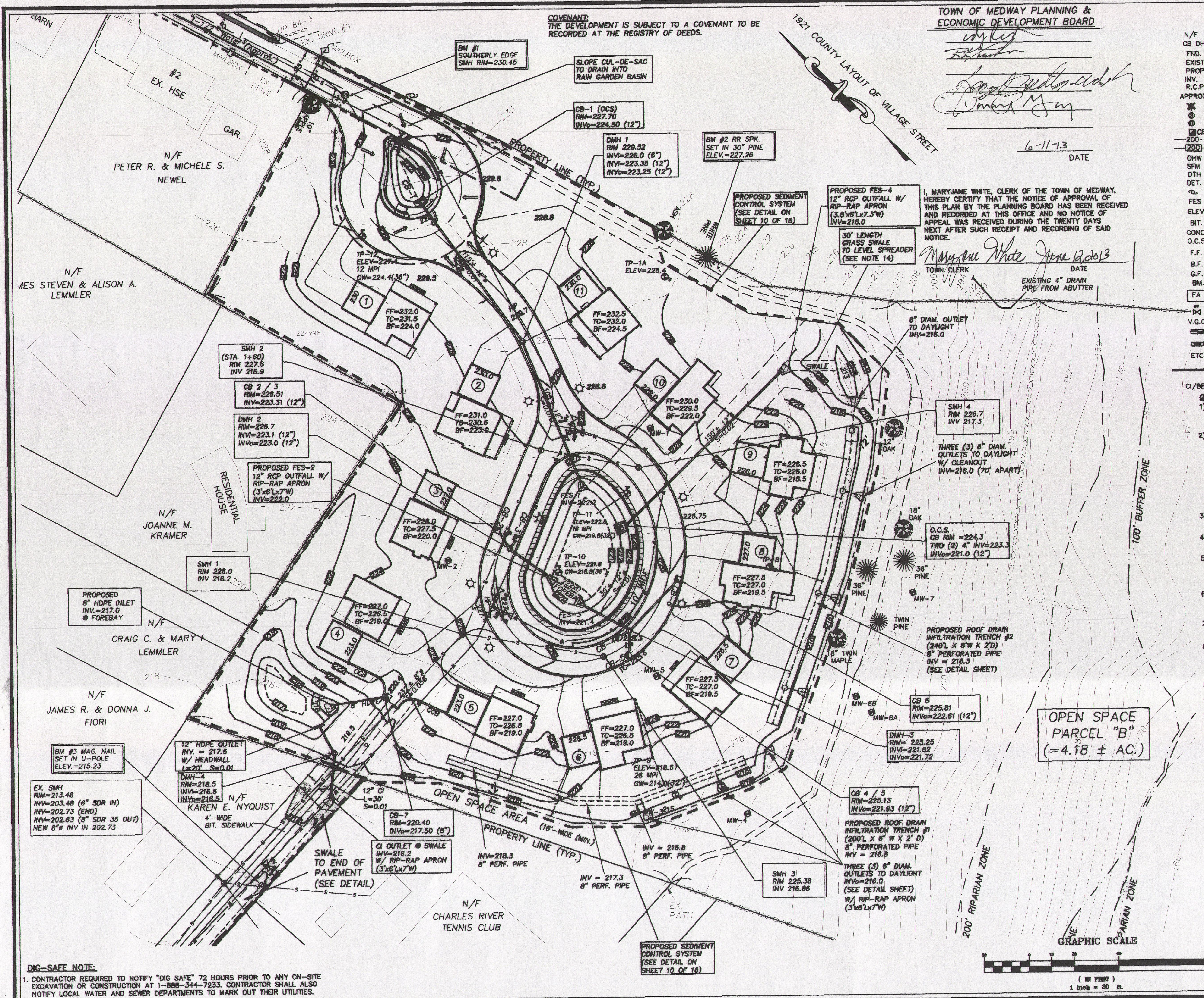
DRAWING SCALE: 1"=40'
 DATE ISSUED: NOVEMBER 20, 2012
 REVISE DATE: FEBRUARY 15, 2013
 MAY 30, 2013

PREPARED FOR:
 CHARLES RIVER VILLAGE, LLC
 P.O. BOX 1
 MEDWAY, MA 02053
 (508) 326-7505

PREPARED BY:
 FAIST ENGINEERING, INC.
 67 HALL ROAD
 STURBRIDGE, MA 01566
 Phone/Fax: (508) 864-6802
 E-mail: dfaist@faisteng.com

SHEET 4 OF 17





COVENANT:
THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE
RECORDED AT THE REGISTRY OF DEEDS.

TOWN OF MEDWAY PLANNING &
ECONOMIC DEVELOPMENT BOARD

[Signature]
[Signature]
DATE: 6-11-13

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY,
HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED
AND RECORDED AT THIS OFFICE AND NO NOTICE OF
APPEAL WAS RECEIVED DURING THE TWENTY DAYS
NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID
NOTICE.
[Signature]
TOWN CLERK DATE: June 12, 2013

LEGEND	
N/F	NOW OR FORMERLY
CB DH	CONCRETE BOUND WITH DRILL HOLE
FND.	FOUND
EXIST.	EXISTING
PROP.	PROPOSED
INV.	INVERT
R.C.P.	REINFORCED CONCRETE PIPE
APPROX.	APPROXIMATE
HYDRANT	HYDRANT
SM	SEWER MANHOLE
DMH	DRAIN MANHOLE
CB	STORMWATER CATCH BASIN
EXIST.	EXISTING CONTOUR LINE
PROP.	PROPOSED CONTOUR LINE
OHW	OVERHEAD WIRES
SFM	SEWER FORCE MAIN
DTH	DEEP TEST HOLE
DET.	DETENTION
UT	UTILITY POLE
FES	FLARED END SECTION
ELEV.	ELEVATION
BIT.	BITUMINOUS
CONC.	CONCRETE
O.C.S.	OUTLET CONTROL STRUCTURE
F.F.	FIRST FLOOR ELEVATION
B.F.	BASEMENT FLOOR ELEVATION
GB	GARBAGE FLOOR ELEVATION
BM	BENCHMARK
FA	FIRE ALARM BOX
WATER GATE	WATER GATE
V.G.C.	VERTICAL GRANITE CURB
OLD TEST PITS (PD-)	OLD TEST PITS (PD-)
NEW TEST PITS (DAO-2005)	NEW TEST PITS (DAO-2005)
ETC	ELECTRIC, TELEPHONE & CABLE
PROPOSED GEOMITT FILTER BERM EROSION & SEDIMENT CONTROL	PROPOSED GEOMITT FILTER BERM EROSION & SEDIMENT CONTROL
CI/BB	USE 8" CAST IRON OR "BLUE BRUTE" PIPING

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES FOUND IN THE FIELD.
 - CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. CONTRACTOR TO NOTIFY "DIG-SAFE" AT 1-888-344-7233.
 - THE CONTRACTOR SHALL INSTALL CATCH BASIN PROTECTION AS NECESSARY TO PROTECT AGAINST POTENTIAL EROSION. SEE DETAIL ON SHEET 10 OF 13.
 - ROOF DRAINS AND PERIMETER FOUNDATION DRAINS TO BE SEPARATE AS SHOWN ON THIS SHEET.
 - UNDERGROUND ROOF DRAIN PIPING TO BE 6" DIAMETER SCH-40 PVC OR APPROVED EQUAL AND DISCHARGE TO DRYWELL, DETENTION BASIN, OR GRASS SWALE AS SHOWN ON PLAN. SEE ARCHITECTS DRAWINGS FOR DOWNSPOUT LOCATIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - FOUNDATION PERIMETER DRAINS REQUIRED. SEE FOUNDATION PLAN FOR LOCATION, SIZE, AND TYPE. ALL PERIMETER DRAINS OUTLET TO DAYLIGHT. DO NOT INTERCONNECT WITH ROOF DRAINS.
 - 6" MINIMUM OF COMPACTED LOAM SHALL BE PROVIDED ON ALL ROADWAY SIDE SLOPES, GRASS STRIPS, AND HOUSING UNIT LAWN AREAS.
 - ALL FOUNDATION BASEMENT ELEVATIONS ARE REQUIRED TO BE SET A MINIMUM OF 6" ABOVE SEASONAL HIGH GROUNDWATER. FOUNDATION DRAINS, AS REQUIRED BY THE BUILDING INSPECTOR, ARE TO DISCHARGE TO DAYLIGHT AND NOT TO SUBSURFACE DRAINAGE STRUCTURES.
 - ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
 - ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH O.S.H.A. REQUIREMENTS.
 - ALL CATCH BASINS WILL BE CONSTRUCTED AS DEEP SUMP (4" BELOW INV.) W/ HOODS.
 - UNITS 2, 10, & 11 FRONT ROOF DRAINS TO CONNECT INTO STORMWATER BASIN #1.
 - APPLICANT IS RESPONSIBLE TO MONITOR THE STORMWATER DISCHARGE AT FES-4 DURING AND FOLLOWING CONSTRUCTION. IN THE EVENT THERE IS VISIBLE EROSION OF SURFACE SOILS IN THE VICINITY OF THE PROPOSED TRAIL RESULTING FROM FES-4, THE APPLICANT WILL BE RESPONSIBLE TO PROVIDE AND CONSTRUCT A PROPERLY ENGINEERED SOLUTION TO PREVENT LONG TERM EROSION OF THIS AREA.

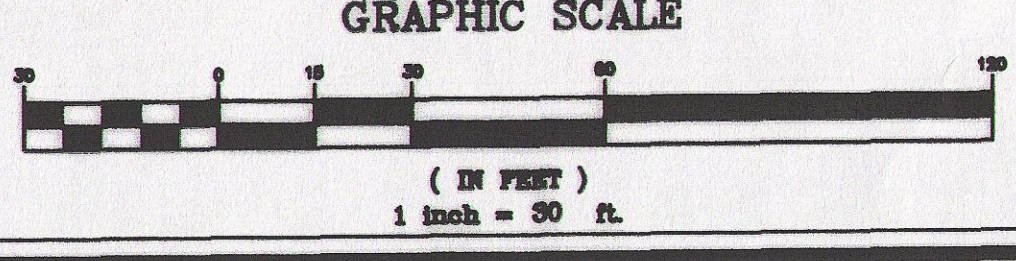
GRADING & DRAINAGE PLAN
"CHARLES RIVER VILLAGE"
OSRD DEFINITIVE PLAN
IN
MEDWAY, MASSACHUSETTS

DRAWING SCALE: 1"=30'
DATE ISSUED: NOVEMBER 20, 2012
REVISE DATE: FEBRUARY 15, 2013
MAY 30, 2013

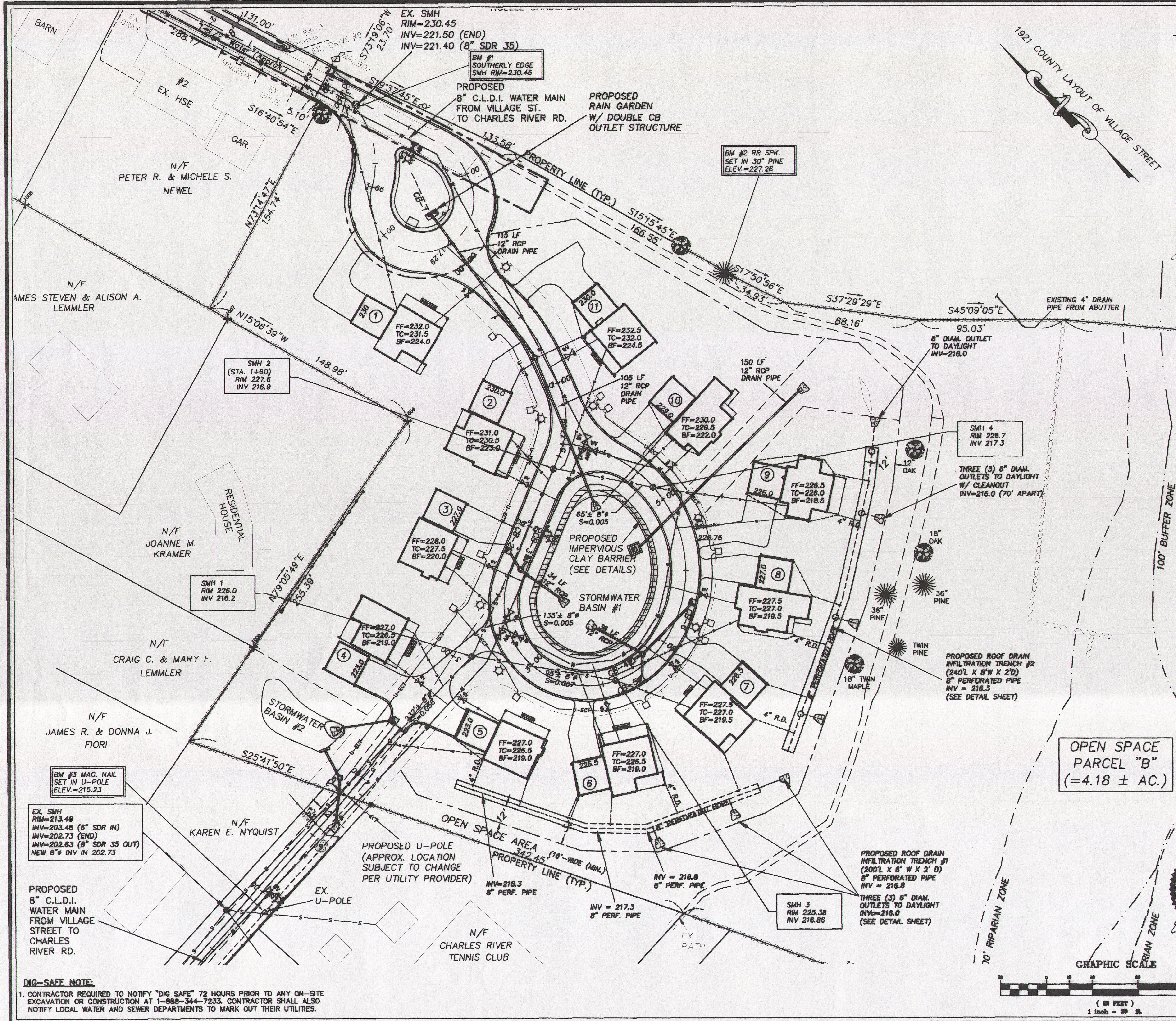
PREPARED FOR:
CHARLES RIVER VILLAGE, LLC
P.O. BOX 1
MEDWAY, MA 02053
(508) 326-7505

PREPARED BY:
FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
Phone/Fax: (508) 864-6802
E-mail: dfaist@faisteng.com

OPEN SPACE
PARCEL "B"
(= 4.18 ± AC.)



DIG-SAFE NOTE:
1. CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signature]
[Signature]
[Signature]

6-11-13
DATE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

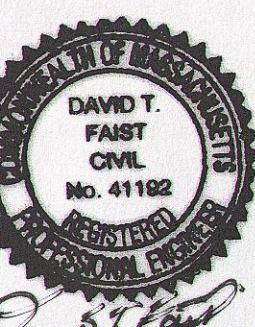
[Signature] June 12, 2013
TOWN CLERK DATE

COVENANT: THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE REGISTRY OF DEEDS.

UTILITY NOTES

1. LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY UTILITY CONNECTIONS OR CROSSING OF PROPOSED AND EXISTING UTILITIES. THEREFORE, THE CONTRACTOR MUST CONTACT "DIG-SAFE" AND THE RESPECTIVE PUBLIC AND PRIVATE UTILITY COMPANIES, SUCH AS ELECTRICITY, TELEPHONE, WATER, GAS, AND ANY SYSTEM OR SYSTEMS WHICH WILL BE AFFECTED BY THE WORK TO BE PERFORMED UNDER THIS CONTRACT.
2. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY THE TOWN OF MEDWAY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS FOR AND FOR PERFORMING ANY NECESSARY WORK INVOLVED IN CONNECTION WITH THE DISCONTINUANCE OF ANY UTILITIES OR WITHIN THE JURISDICTION OF ANY UTILITY COMPANIES, SUCH AS ELECTRICITY, TELEPHONE, WATER, GAS, AND ANY SYSTEM OR SYSTEMS WHICH WILL BE AFFECTED BY THE WORK TO BE PERFORMED UNDER THIS CONTRACT.
4. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENT, AND UTILITY COMPANIES, IN WRITING, AT LEAST 48 HOURS AND NOT MORE THAN 30-DAYS PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITIES AT THE SITE. CONSTRUCTION SHALL NOT INTERFERE WITH OR INTERRUPT UTILITIES WHICH ARE TO REMAIN IN OPERATION.
5. ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE TOWN OF MEDWAY, MA.
6. GAS, TELEPHONE, AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC, AND PLUMBING CONSULTANTS. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND DESIGN OF NEW UTILITIES WITH ELECTRIC, CABLE TELEVISION AND TELECOMMUNICATION UTILITIES.
7. INSTALL WATER LINES WITH A MINIMUM OF FIVE (5) FT. COVER AND MAXIMUM OF SEVEN (7) FT. COVER MATERIAL.
8. MAINTAIN 10 FT. HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LINES. WHENEVER THERE IS LESS THAN 10 FT. OF HORIZONTAL SEPARATION AND 18 IN. VERTICAL SEPARATION BETWEEN SEWER AND WATER UTILITIES, ENCASE BOTH UTILITIES IN CONCRETE.
9. UTILITY STRUCTURES TO BE ABANDONED SHALL BE REMOVED TO A DEPTH OF NO LESS THAN 3 FEET BELOW FINISHED GRADE. THE BOTTOMS OF THE STRUCTURES SHALL BE BROKEN AND THE STRUCTURES SHALL BE BACKFILLED WITH CLEAN, COMPACTED GRAVEL.
10. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED OR REMOVED AND DISPOSED (R&D).
11. CONTRACTOR IS RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR THE GAS LINE INSTALLATION.
12. CONTRACTOR SHALL JET CLEAN SITE DRAIN LINES AND VACUUM DRAIN STRUCTURES PRIOR TO DEMOLITION.
13. MAINTAIN 5 FT. HORIZONTAL SEPARATION BETWEEN GAS UTILITY SERVICE AND ALL OTHER UTILITIES.
14. ELECTRICAL, CABLE, & TELEPHONE UTILITY LAYOUT IS PRELIMINARY AND SUBJECT TO FINAL DESIGN BY THE UTILITY COMPANY. LOCATIONS SHOWN ARE FOR UTILITY LAYOUT PLANNING PURPOSES AND SUBJECT TO CHANGE IN THE FIELD BY EACH RESPECTIVE UTILITY COMPANY.
15. ALL SEWER LATERAL CONNECTIONS TO MAIN WILL USE WYE CONNECTION.

OPEN SPACE PARCEL "B" (=4.18 ± AC.)



UTILITIES PLAN
"CHARLES RIVER VILLAGE"
OSRD DEVELOPMENT
IN
MEDWAY, MASSACHUSETTS

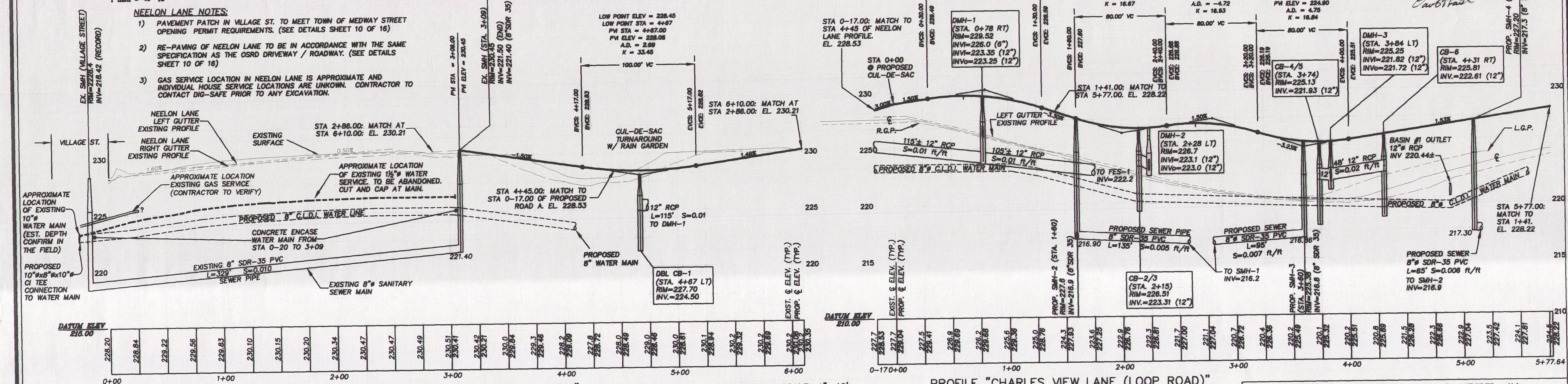
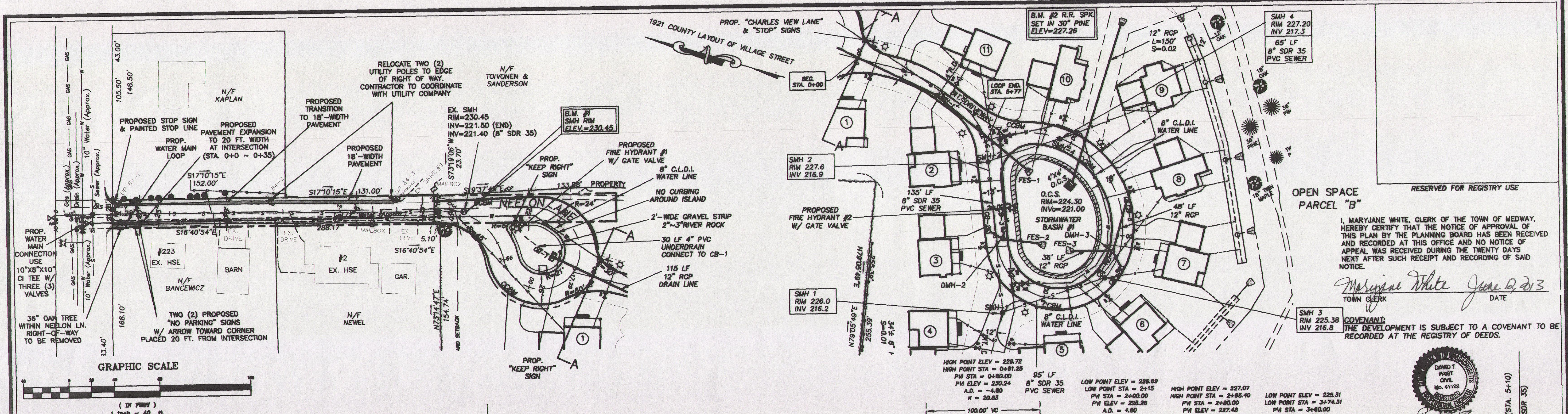
DRAWING SCALE: 1"=30'
DATE ISSUED: NOVEMBER 20, 2012
REVISE DATE: FEBRUARY 15, 2013
MAY 30, 2013

PREPARED FOR: CHARLES RIVER VILLAGE, LLC
P.O. BOX 1
MEDWAY, MA 02053
(508) 326-7505

PREPARED BY: FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
Phone/Fax: (508) 864-6802
E-mail: dfaist@faisteng.com

SHEET 6 OF 17
CLA-2388

DIG-SAFE NOTICE:
1. CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



RESERVED FOR REGISTRY USE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

MaryJane White
TOWN CLERK

DATE: JUN 20 2013

COVENANT: THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE REGISTRY OF DEEDS.

PLAN & PROFILE SHEET #1
"CHARLES RIVER VILLAGE"
OSRD DEVELOPMENT PLAN
IN
MEDWAY, MASSACHUSETTS

DRAWING SCALE: 1"=40'

DATE ISSUED: NOVEMBER 20, 2012
REVISE DATE: FEBRUARY 15, 2013
MAY 30, 2013

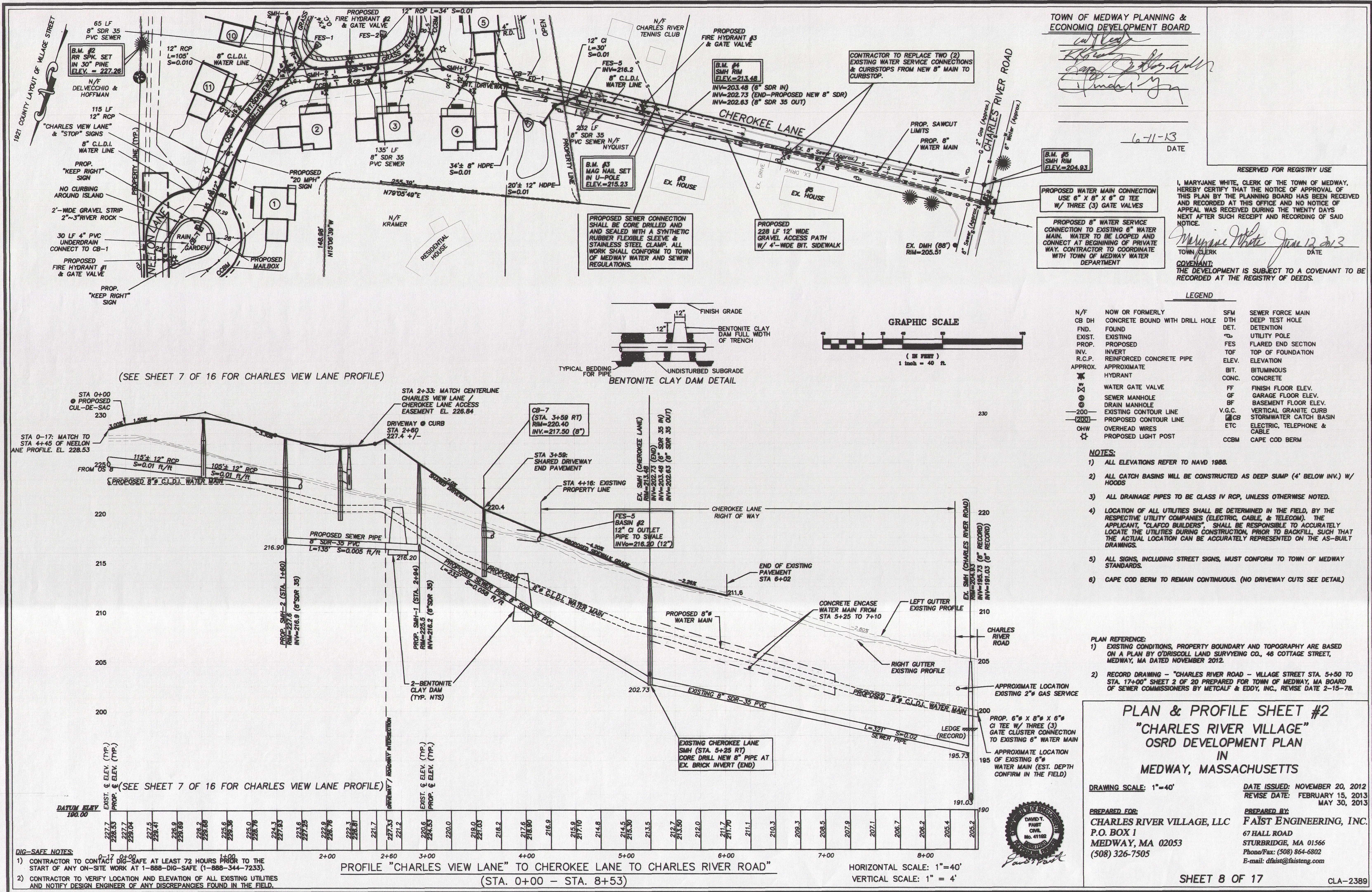
PREPARED FOR:
CHARLES RIVER VILLAGE, LLC
P.O. BOX 1
MEDWAY, MA 02053
(508) 326-7505

PREPARED BY:
FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
Phone/Fax: (508) 864-6802
E-mail: dfaist@faisteng.com

DATE: 6-11-13

SHEET 7 OF 17

CLA-2389



TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

6-11-13 DATE

RESERVED FOR REGISTRY USE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

MaryJane White June 12, 2013
TOWN CLERK DATE

COVENANT: THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE REGISTRY OF DEEDS.

LEGEND

N/F	NOW OR FORMERLY	SFM	SEWER FORCE MAIN
OB DH	CONCRETE BOUND WITH DRILL HOLE	DTH	DEEP TEST HOLE
FND.	FOUND	DET.	DETENTION
EXIST.	EXISTING	UP	UTILITY POLE
PROP.	PROPOSED	FES	FLARED END SECTION
INV.	INVERT	TOF	TOP OF FOUNDATION
R.C.P.	REINFORCED CONCRETE PIPE	ELEV.	ELEVATION
APPROX.	APPROXIMATE	BIT.	BITUMINOUS CONC.
HYDRANT	HYDRANT	FF	FINISH FLOOR ELEV.
WATER GATE VALVE	WATER GATE VALVE	GF	GARAGE FLOOR ELEV.
SEWER MANHOLE	SEWER MANHOLE	BF	BASEMENT FLOOR ELEV.
DRAIN MANHOLE	DRAIN MANHOLE	V.G.C.	VERTICAL GRANITE CURB
EXISTING CONTOUR LINE	EXISTING CONTOUR LINE	CS	STORMWATER CATCH BASIN
PROPOSED CONTOUR LINE	PROPOSED CONTOUR LINE	ETC	ELECTRIC, TELEPHONE & CABLE
OVERHEAD WIRES	OVERHEAD WIRES	CCBM	CAPE COD BERM
PROPOSED LIGHT POST	PROPOSED LIGHT POST		

- NOTES:
- 1) ALL ELEVATIONS REFER TO NAVD 1988.
 - 2) ALL CATCH BASINS WILL BE CONSTRUCTED AS DEEP SUMP (4' BELOW INV.) W/ HOODS
 - 3) ALL DRAINAGE PIPES TO BE CLASS IV RCP, UNLESS OTHERWISE NOTED.
 - 4) LOCATION OF ALL UTILITIES SHALL BE DETERMINED IN THE FIELD, BY THE RESPECTIVE UTILITY COMPANIES (ELECTRIC, CABLE & TELECOM). THE APPLICANT, "CLAYCO BUILDERS", SHALL BE RESPONSIBLE TO ACCURATELY LOCATE THE UTILITIES DURING CONSTRUCTION, PRIOR TO BACKFILL, SUCH THAT THE ACTUAL LOCATION CAN BE ACCURATELY REPRESENTED ON THE AS-BUILT DRAWINGS.
 - 5) ALL SIGNS, INCLUDING STREET SIGNS, MUST CONFORM TO TOWN OF MEDWAY STANDARDS.
 - 6) CAPE COD BERM TO REMAIN CONTINUOUS. (NO DRIVEWAY CUTS SEE DETAIL)

PLAN REFERENCE:

- 1) EXISTING CONDITIONS, PROPERTY BOUNDARY AND TOPOGRAPHY ARE BASED ON A PLAN BY O'DRISCOLL LAND SURVEYING CO., 46 COTTAGE STREET, MEDWAY, MA DATED NOVEMBER 2012.
- 2) RECORD DRAWING - "CHARLES RIVER ROAD - VILLAGE STREET STA. 5+50 TO STA. 17+00" SHEET 2 OF 20 PREPARED FOR TOWN OF MEDWAY, MA BOARD OF SEWER COMMISSIONERS BY METCALF & EDDY, INC., REVISE DATE 2-15-78.

PLAN & PROFILE SHEET #2
"CHARLES RIVER VILLAGE"
OSRD DEVELOPMENT PLAN
IN
MEDWAY, MASSACHUSETTS

DRAWING SCALE: 1"=40'
DATE ISSUED: NOVEMBER 20, 2012
REVISE DATE: FEBRUARY 15, 2013
MAY 30, 2013

PREPARED FOR:
CHARLES RIVER VILLAGE, LLC
P.O. BOX 1
MEDWAY, MA 02053
(508) 326-7505

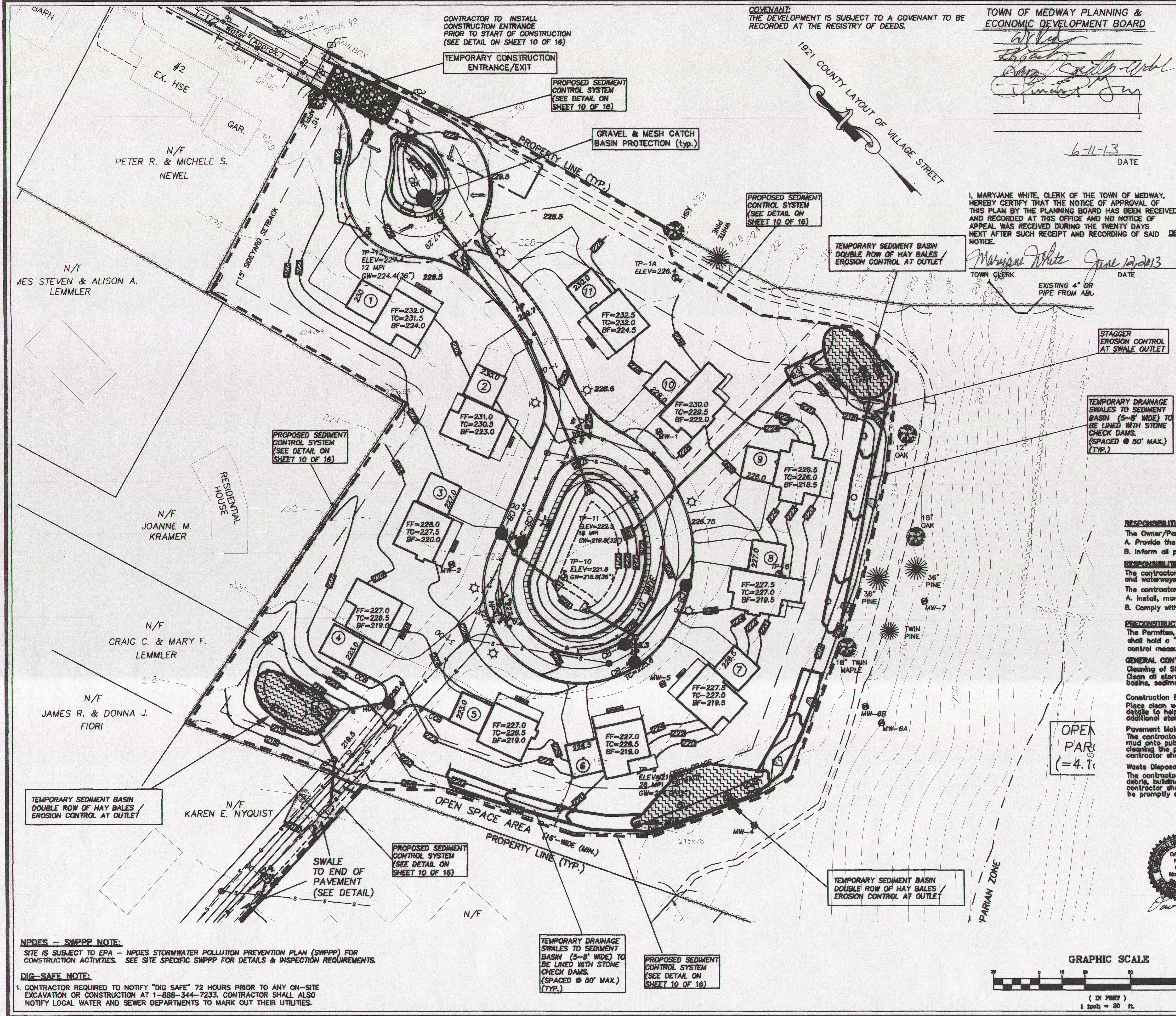
PREPARED BY:
FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
Phone/Fax: (508) 864-6802
E-mail: dfaist@faisteng.com

SHEET 8 OF 17
CLA-2389

- DIG-SAFE NOTES:
- 1) CONTRACTOR TO CONTACT DIG-SAFE AT LEAST 72 HOURS PRIOR TO THE START OF ANY ON-SITE WORK AT 1-888-DIG-SAFE (1-888-344-7233).
 - 2) CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES FOUND IN THE FIELD.

PROFILE "CHARLES VIEW LANE" TO CHEROKEE LANE TO CHARLES RIVER ROAD"
(STA. 0+00 - STA. 8+53)

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'



TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signature]
 TOWN CLERK

6-11-13 DATE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

[Signature]
 TOWN CLERK

6-11-13 DATE

- GENERAL CONDITIONS**
- If erosion control measures are damaged by construction vehicles, acts of vandalism, or severe weather conditions, the contractor shall immediately remove sediment in the vicinity of the erosion control measures and repair these measures to a functional condition.
 - If, during or after construction, it becomes apparent that existing erosion control measures are incapable of controlling erosion, the engineer or the Town may require additional control measures including, but not limited to, additional hay bales, silt fences, sediment basins, mechanically anchored matting, or enhanced desanding filtration.
 - No construction shall proceed until a written proposal of methods to prevent construction debris, paint, spent blast materials, or other materials from entering a storm sewer, the wetland, or watercourse has been submitted by the Contractor to the Owner and approved by the Owner, and such methods have been implemented as the Owner directs. These materials shall be collected and disposed of in an environmentally safe manner in accordance with all applicable Federal and State laws and regulations. The Owner may order the Contractor to cease such activity temporarily if, in the judgment of the Owner, wind or storm conditions threaten to cause the deposit of such materials into a waterway.
 - All temporary silt shall be stabilized during use to prevent erosion and shall be suitably contained to prevent sediment or other particulates matter from reentering a wetland or watercourse. All areas affected by temporary silt must be restored to their original contours or as directed by the Owner, and revegetated. The great extent of temporary silt or excavation shall be confined to that area necessary to perform the work, as approved by the Owner.
 - Dumping of oil, chemicals or other deleterious materials on the ground is forbidden. The contractor shall provide a means of collecting, retaining, and properly disposing of drained oils, removed oil filters, or other deleterious material. All spills of such materials shall be reported immediately by the Contractor to appropriate Town and State Agencies.
 - All renting of construction equipment is to take place outside of 100-foot wetlands buffer zone.
 - SITE IS SUBJECT TO EPA - NPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR CONSTRUCTION ACTIVITIES. SEE SITE SPECIFIC SWPPP FOR DETAILS & INSPECTION REQUIREMENTS.**

- DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES**
- TEMPORARY STABILIZATION MEASURES**
- Sediment Control System (Sediment Filter):**
 Install sediment silt fence/barricade at various locations as shown on the plans and details. Embed the silt fence into the ground and firmly anchor it as shown in the details. Remove sediment once levels have reached 1/4 of the effective fence-height. Repair and/or replace silt fence immediately if damaged or deteriorated.
- Stooping or Storage of Excavated Materials:**
 Completely surround temporary material stockpiles with silt fence to prevent transportation of sediment.
- Dust Control:**
 Take precautions to prevent dust from becoming a nuisance to adjoining property owners. Break up pavements adjoining the excavation on a daily basis. Cover and/or keep moist all earth stockpiles at all times. Use calcium chloride to control dust over certain areas of the site, as directed by the engineer or shown on the plans. Calcium chloride shall conform to ASTM D-691, Type 1. The contractor shall maintain and inspect, on a daily basis, the adequacy of dust control measures and correct any deficiencies immediately.
- Temporary Stabilization:**
 Top soil stockpiles and disturbed portions of the site where construction activity ceases for at least 21 days shall be stabilized with temporary seed and mulch no later than 14 days from the last construction activity in that area. The temporary seed and mulch procedures and specifications shall be in accordance with the landscape architect's recommendations. Areas of the site which are to be paved shall be temporarily stabilized by seeding grasses and stone mulch until permanent pavement can be applied.

- TEMPORARY STRUCTURAL MEASURES**
- Catch Basin Protection, Stone Filter:**
 Surround the catch basins with a barrier of 3/8"-high stone as shown on the plans and details. The barrier shall be 12 inches high and 4 to 5 feet wide. Cover the stone with filter fabric and weigh it down with large stones. Remove the sediment when it reaches 1/4 of the height of the barrier. Replace the fabric when it becomes clogged with sediment.
- PERMANENT STABILIZATION MEASURES (SEE LANDSCAPE PLAN)**
- Disturbed portions of the site where construction activities permanently cease shall be stabilized with permanent seed and mulch no later than 14 days after the last construction activity. The permanent seed and mulch specifications and procedures shall be in accordance with the landscape architect's recommendations.
- The contractor shall be responsible for all landscaped areas. If topsoil, seed, and/or mulch is washed away by rainfall, the contractor shall restore the area.

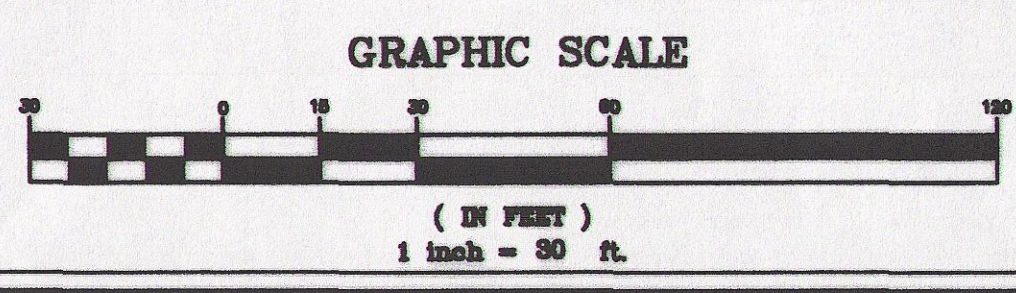
- RESPONSIBILITIES OF OWNER/PERMITEE**
- The Owner/Permittee shall:
- Provide the contractor with copies of land-use permits that owner has acquired.
 - Inform all parties involved with the proposed site work of this plan's objectives and requirements.
- RESPONSIBILITIES OF CONTRACTOR**
- The contractor is responsible for preventing erosion of the site and for protecting adjacent storm sewers and waterways from sedimentation.
- The contractor shall:
- Install, monitor, and maintain of the soil erosion and sediment control measures as shown on this plan.
 - Comply with all permit requirements.
- PRECONSTRUCTION CONFERENCE - Prior to Construction, Following Installation of Erosion Control**
- The Permittee, Owner-of-record, Contractor, Engineer, and Town Representatives (Planning Board) shall hold a "pre-construction" conference at the site to review the proposed soil erosion and sediment control measures.
- GENERAL CONTROLS**
- Cleaning of Stormwater Structures:**
 Clean all stormwater structures, including, but not limited to pipes, swales, subsurface retention basins, sediment traps, and riprap aprons of sediment upon completion of the project.
- Construction Entrance:**
 Place clean washed stone at the site entrance to the length, width and depth indicated on the plans and details to help remove mud and/or clog of soil from construction vehicles exiting from the site. Add additional stone as necessary to maintain adequate serviceability.
- Pavement Maintenance:**
 The contractor shall sweep paved roadways adjacent to the site on a routine basis to prevent tracking of mud onto public roadways and washing of mud into waterways. If the contractor's schedule for cleaning the pavement is found to be inadequate by the Owner, Owner's Representative, or Town, the contractor shall increase the frequency at no additional cost to the owner.
- Waste Disposal:**
 The contractor shall provide an adequate number of covered waste containers to ensure that no litter, debris, building materials, or similar materials are discharged to wetlands or watercourses. The contractor shall instruct subcontractors to use the containers for waste material. The containers shall be promptly emptied when full.

NPDES - SWPPP NOTE:
 SITE IS SUBJECT TO EPA - NPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR CONSTRUCTION ACTIVITIES. SEE SITE SPECIFIC SWPPP FOR DETAILS & INSPECTION REQUIREMENTS.

DIG-SAFE NOTE:
 1. CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

TEMPORARY DRAINAGE SWALES TO SEDIMENT BASIN (5'-8' WIDE) TO BE LINED WITH STONE CHECK DAMS. (SPACED @ 50' MAX.) (TYP.)

PROPOSED SEDIMENT CONTROL SYSTEM (SEE DETAIL ON SHEET 10 OF 16)



EROSION & SEDIMENT CONTROL PLAN
"CHARLES RIVER VILLAGE"
OSRD DEFINITIVE PLAN
 IN
MEDWAY, MASSACHUSETTS

DRAWING SCALE: 1"=30'

DATE ISSUED: NOVEMBER 20, 2012
REVISE DATE: FEBRUARY 15, 2013
MAY 30, 2013

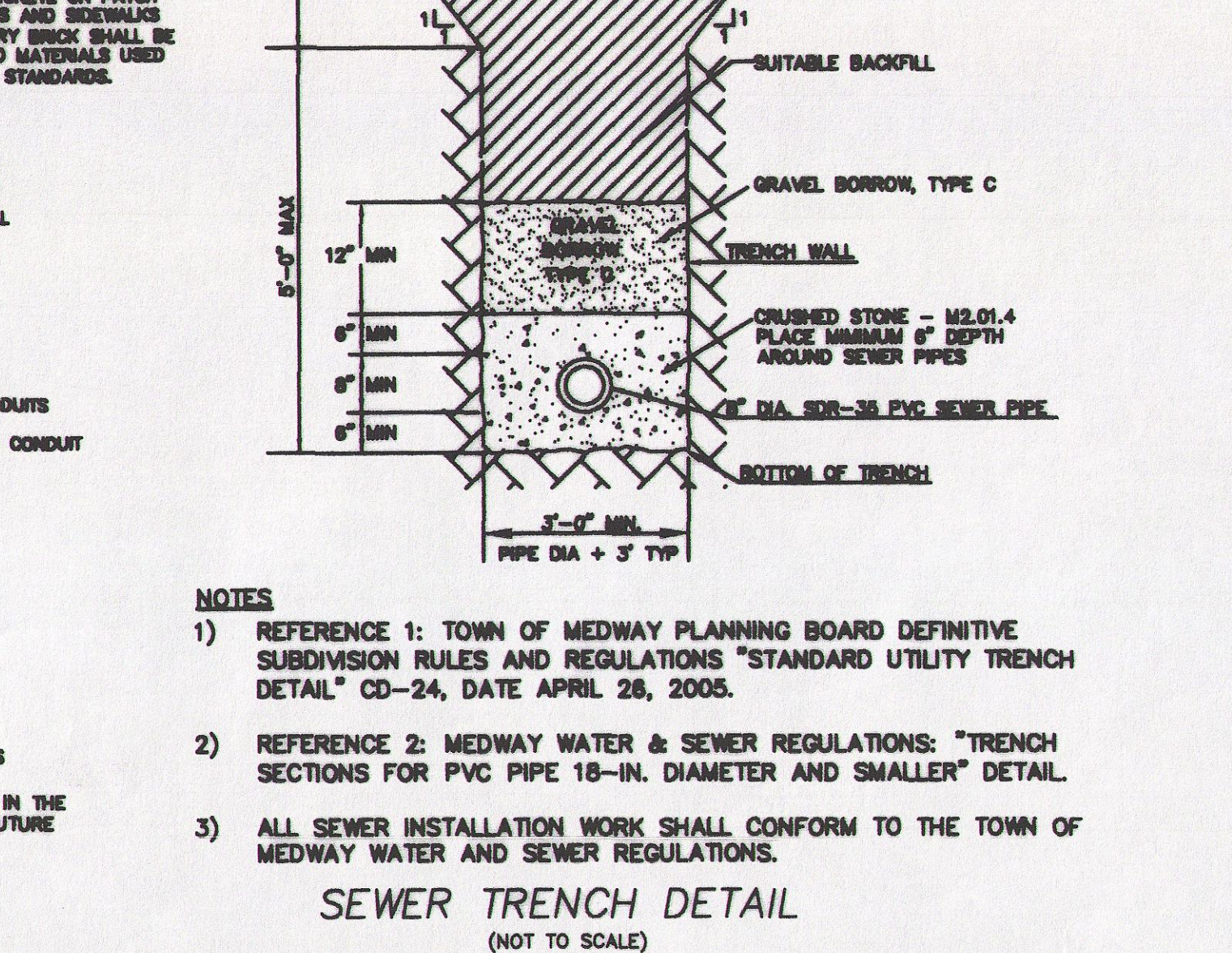
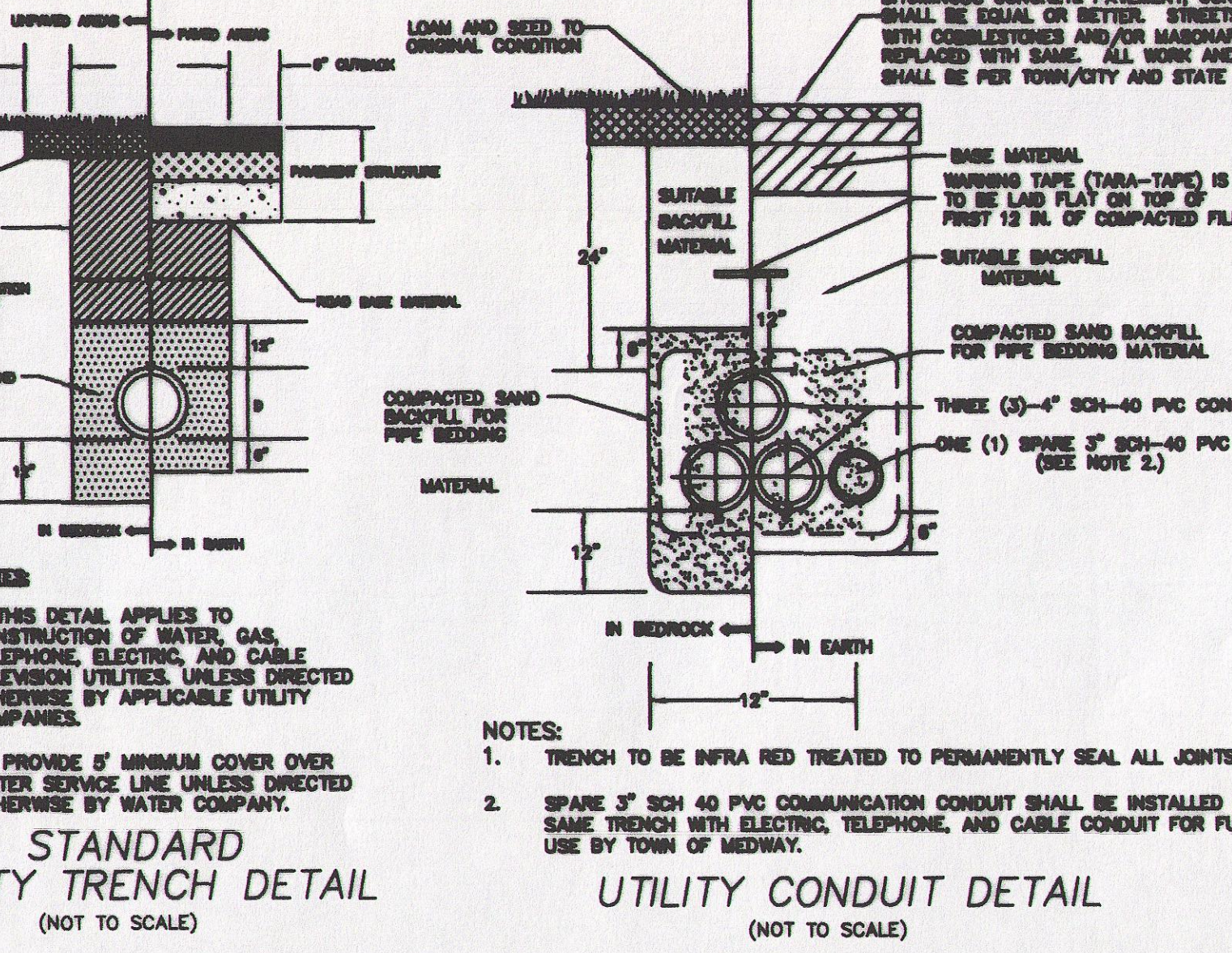
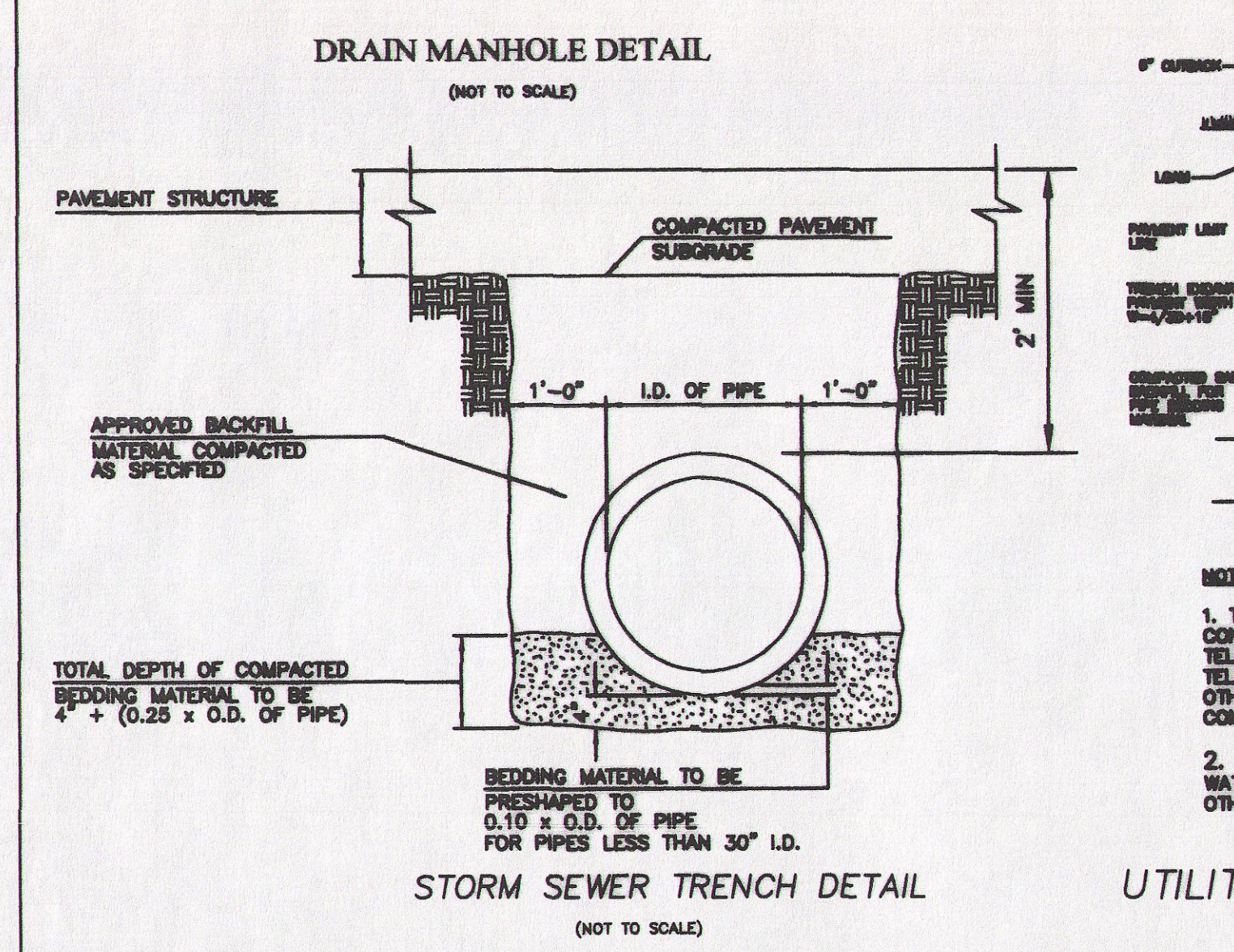
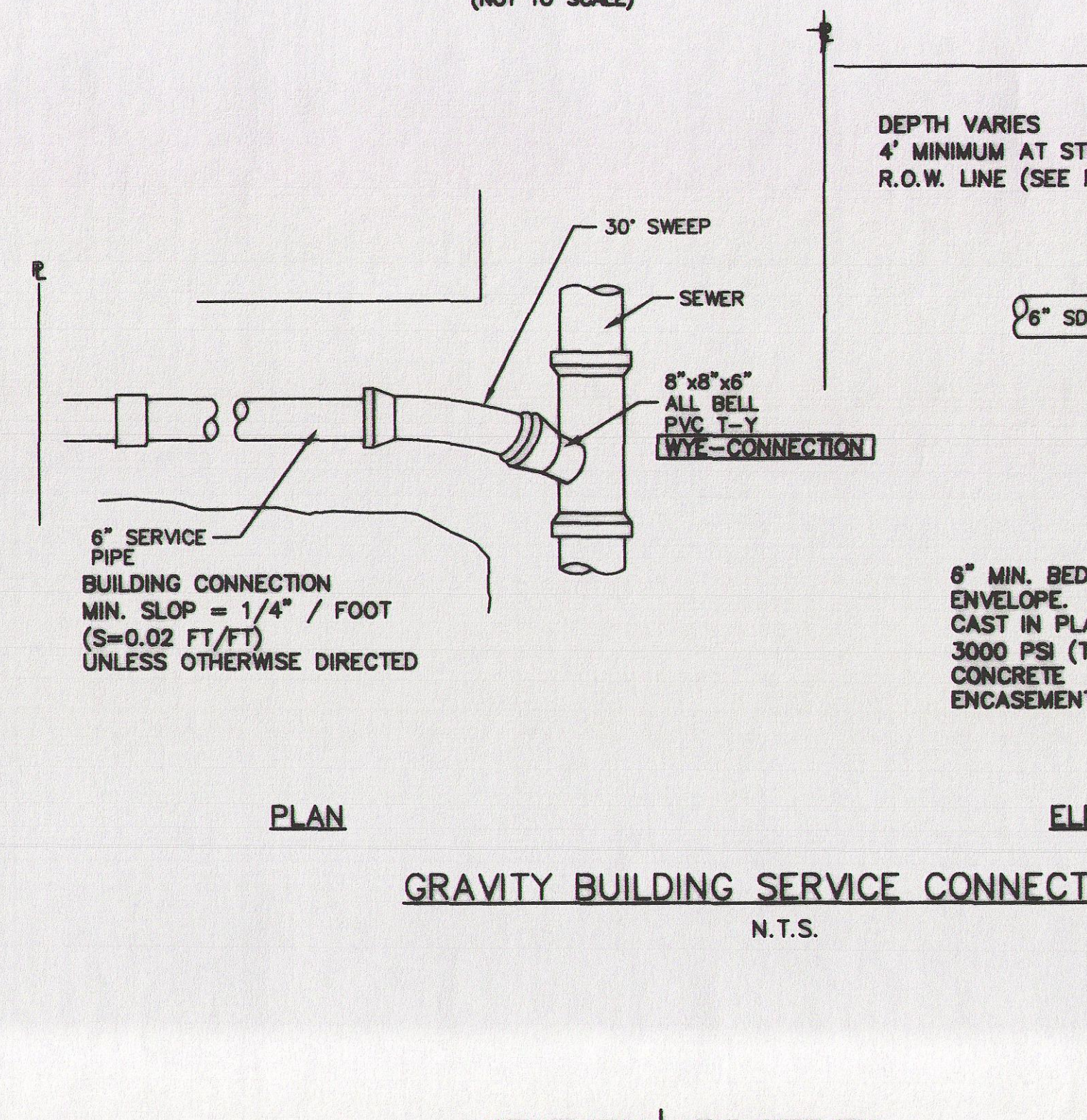
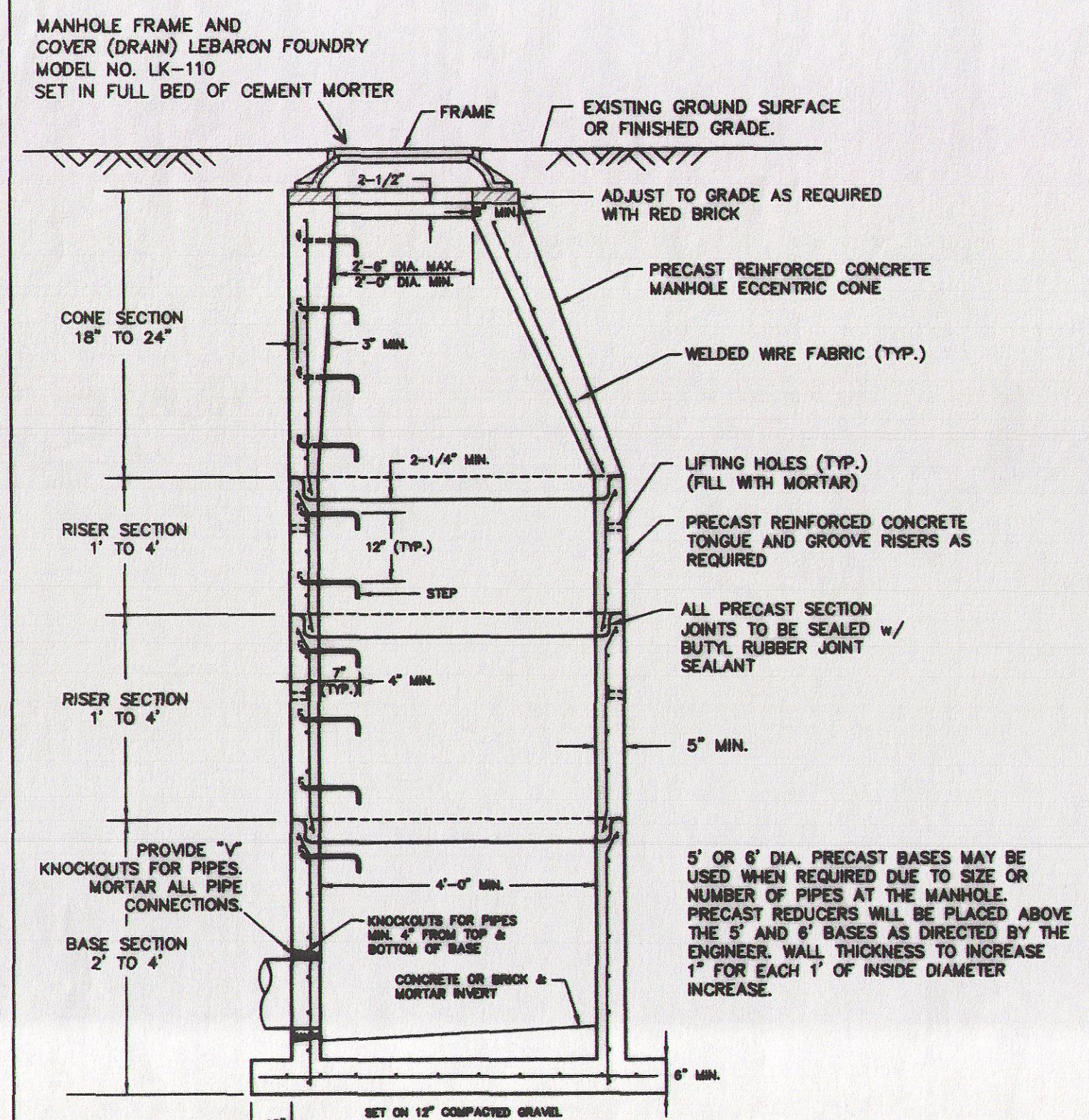
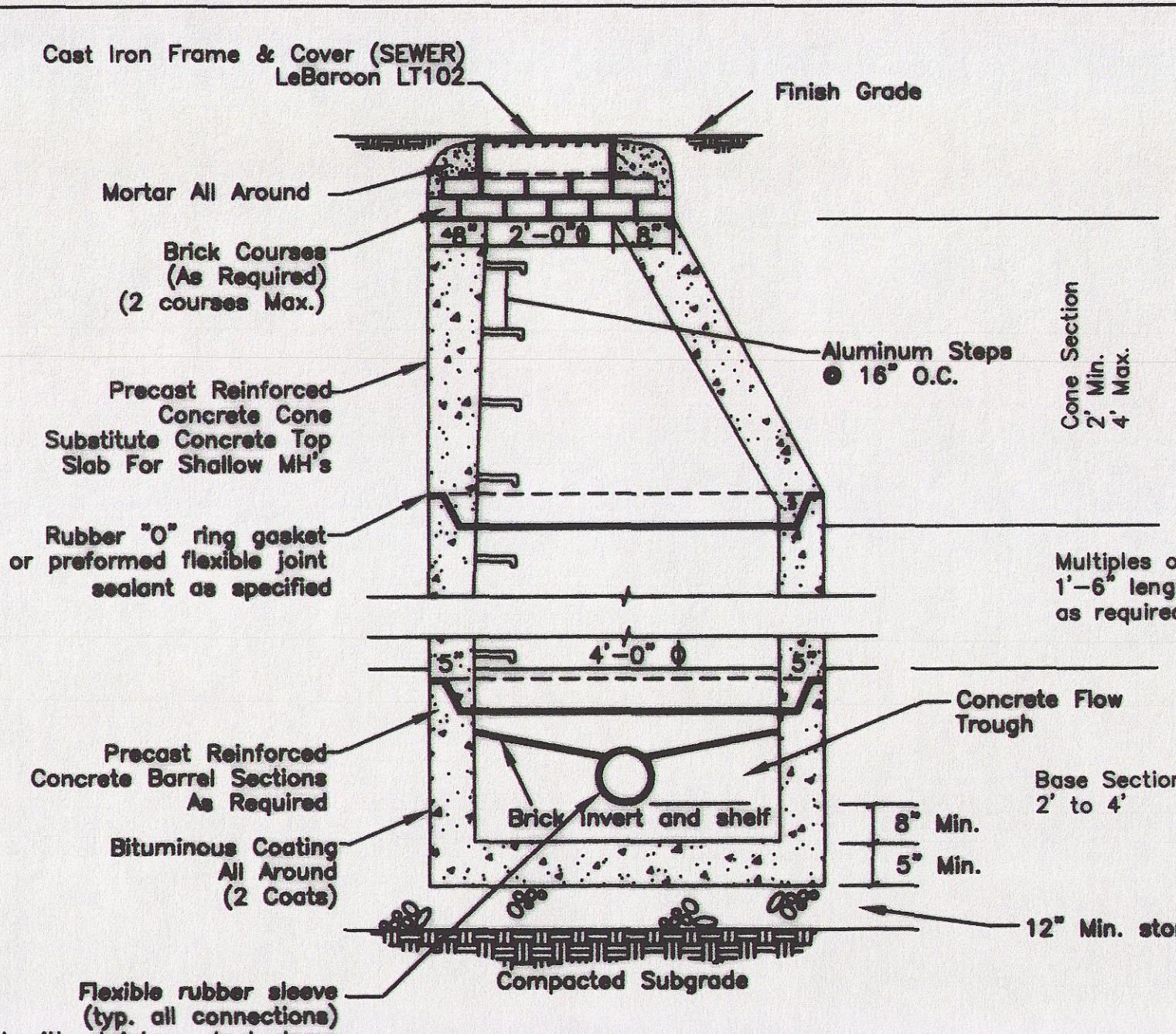
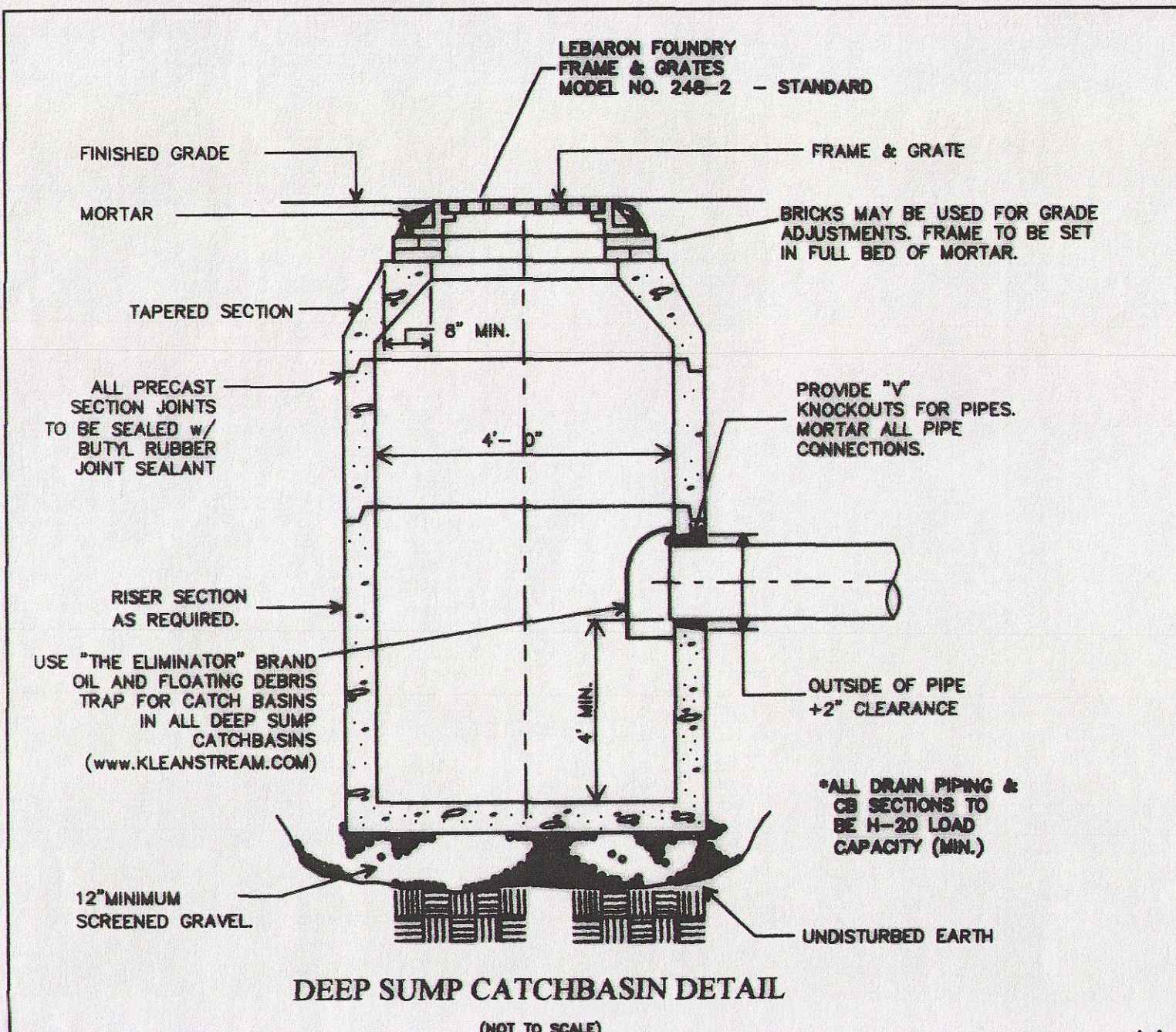
PREPARED FOR:
CHARLES RIVER VILLAGE, LLC
 P.O. BOX 1
 MEDWAY, MA 02053
 (508) 326-7505

PREPARED BY:
FAIST ENGINEERING, INC.
 67 HALL ROAD
 STURBRIDGE, MA 01566
 Phone/Fax: (508) 864-6802
 E-mail: dfaist@faisteng.com

GRAPHIC SCALE
 (IN FEET)
 1 inch = 30 ft.

SHEET 9 OF 17

CLA-2389



TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

Calvin...
...
...

6-11-13 DATE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

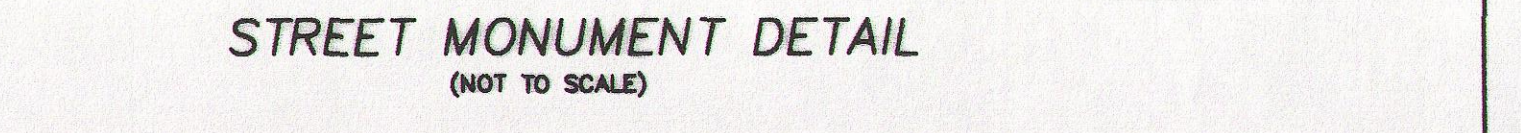
MaryJane White June 12, 2013 TOWN CLERK DATE

COMMENTS: THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE REGISTRY OF DEEDS.

- DRAINAGE NOTES:**
- 1) ALL CATCH BASINS WILL BE CONSTRUCTED AS DEEP SUMP (4' BELOW INV.) W/ HOODS (SEE DETAIL).
 - 2) DRAINAGE FACILITIES SHALL BE PROVIDED AS INDICATED ON THE PLANS AND IN CONFORMITY WITH THE REQUIREMENTS OF SECTION 200, 220, AND 230 OF THE TOWN OF MEDWAY STANDARD SPECIFICATIONS. (P & Z SECTION 4.4.5)
 - 3) MANHOLES SHALL BE CONSTRUCTED TO THE REQUIRED DEPTH AT EACH JUNCTION POINT AND AS SHOWN ON THE PLAN. PIPE CULVERT AND PIPE DRAINS SHALL BE IN CONFORMITY WITH THE REQUIREMENTS OF THE TOWN OF MEDWAY STANDARD SPECIFICATIONS SECTION 230 FOR INSTALLATION OF PIPES.
 - 4) ALL DRAIN PIPES (EXCEPT SUB-DRAINS) SHALL BE CLASS IV REINFORCED CONCRETE PIPE (LATEST REQUIREMENTS OF ASTM-C78 OR AASHTO-M170) AND SHALL BE INSTALLED ACCORDING TO THE SIZE SHOWN ON THE PLANS.
 - 5) NO BACKFILLING OF PIPES SHALL BE DONE UNTIL THE INSTALLATION HAS BEEN INSPECTED BY THE PLANNING BOARD'S AGENT.
 - 6) ALL DRAINAGE TRENCHES SHALL BE PROVIDED WITH CRUSHED STONE PIPE BEDDING AND FILLED WITH CLEAN GRAVEL BORROWS IN ACCORDANCE WITH SECTION 150.
 - 7) WHERE SUB-DRAINS ARE REQUIRED, THEY SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 280 OF THE STANDARD SPECIFICATIONS. SUCH SUB-DRAINS MAY BE REQUIRED BY THE BOARD OR THE BOARD'S AGENT FOLLOWING CLEARING AND GRUBBING OPERATIONS.
 - 8) NO DRAINAGE PIPES FROM ROOF DRAINS, BASEMENT DRAINS, DRIVEWAY DRAINS OR OTHER ON-LOT SOURCES SHALL BE CONNECTED TO THE STREET DRAINAGE SYSTEM.
 - 9) CAST IRON MANHOLE COVERS AND CATCH BASIN GRATES SHALL BE AS MANUFACTURED BY OR EQUIVALENT, AS DETERMINED BY THE BOARD OR BOARD'S AGENT, TO E.L. LEBARON FOUNDRY MODEL NO'S LK-110 FOR MANHOLES, LK-248-2 FOR CATCH BASINS. FOR CATCH BASINS AT THE END OR ON 5% OR GREATER GRADIENT ROADS NO. LK-120 A (CASCADE GRATE) SHALL BE USED.
 - 10) LOCATION OF ALL UTILITIES SHALL BE DETERMINED IN THE FIELD, BY THE RESPECTIVE UTILITY COMPANIES (ELECTRIC, CABLE, & TELECOM). THE APPLICANT, "CLARIFIED BUILDERS," SHALL BE RESPONSIBLE TO ACCURATELY LOCATE THE UTILITIES DURING CONSTRUCTION, PRIOR TO BACKFILL SUCH THAT THE ACTUAL LOCATION CAN BE ACCURATELY REPRESENTED ON THE AS-BUILT DRAWINGS.

- NOTES:**
- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES FOUND IN THE FIELD.
- THE CONTRACTOR SHALL INSTALL CATCH BASIN PROTECTION AS NECESSARY TO PROTECT AGAINST POTENTIAL EROSION. SEE DETAIL ON SHEET 10 OF 13.
- ROOF DRAINS AND PERIMETER FOUNDATION DRAINS TO BE SEPARATE AS SHOWN ON THIS SHEET.
- UNDERGROUND ROOF DRAIN PIPING TO BE 8" DIAMETER SCH-40 PVC OR APPROVED EQUAL AND DISCHARGE TO DRYWELL, DETENTION BASIN, OR GRASS SWALE AS SHOWN ON PLAN. SEE ARCHITECTS DRAWINGS FOR DOWNSPOUT LOCATIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
- FOUNDATION PERIMETER DRAINS REQUIRED. SEE FOUNDATION PLAN FOR LOCATION, SIZE, AND TYPE. ALL PERIMETER DRAINS OUTLET TO DAYLIGHT. DO NOT INTERCONNECT WITH ROOF DRAINS.
- CONTRACTOR TO NOTIFY FAST ENGINEERING OF ANY DISCREPANCIES FROM THIS PLAN AS FOUND IN THE FIELD DURING ON-SITE CONSTRUCTION ACTIVITIES.

- MONUMENTS:**
- MONUMENTS INSTALLED ALONG THE STREET SHALL BE A GRANITE OR CONCRETE BOUND NOT LESS THAN THREE FEET IN LENGTH AND NOT LESS THAN FIVE INCHES SQUARE AND SHALL HAVE A 3/8" DIAMETER DRILL HOLE IN THE CENTER OF THE TOP SURFACE.
- MONUMENTS SET AT THE DRAIN EASEMENT CORNERS SHALL BE A REBAR OR IRON ROD 1/2" DIAMETER MINIMUM AND AT LEAST 30 INCHES IN LENGTH. IRON RODS SHALL BE SET SO THAT THE TOP IS AT A MAXIMUM ONE INCH ABOVE THE FINISH GRADE.
- MONUMENTS SHALL BE SET AT ALL EASEMENT CORNERS AND ANGLE POINTS. DRILL HOLES SHALL BE MADE AT ALL EASEMENT CORNERS LOCATED ON A STONE WALL.

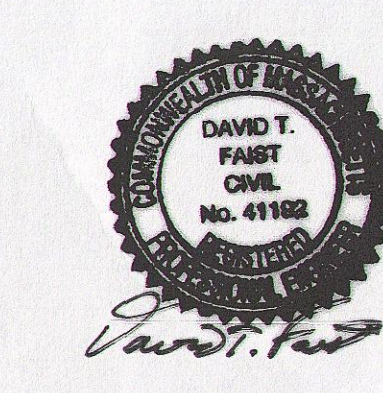


DETAIL SHEET #2
"CHARLES RIVER VILLAGE"
OSRD DEFINITIVE PLAN
IN
MEDWAY, MASSACHUSETTS

SCALE: NOT TO SCALE DATE ISSUED: NOVEMBER 20, 2012
REVISE DATE: FEBRUARY 15, 2013

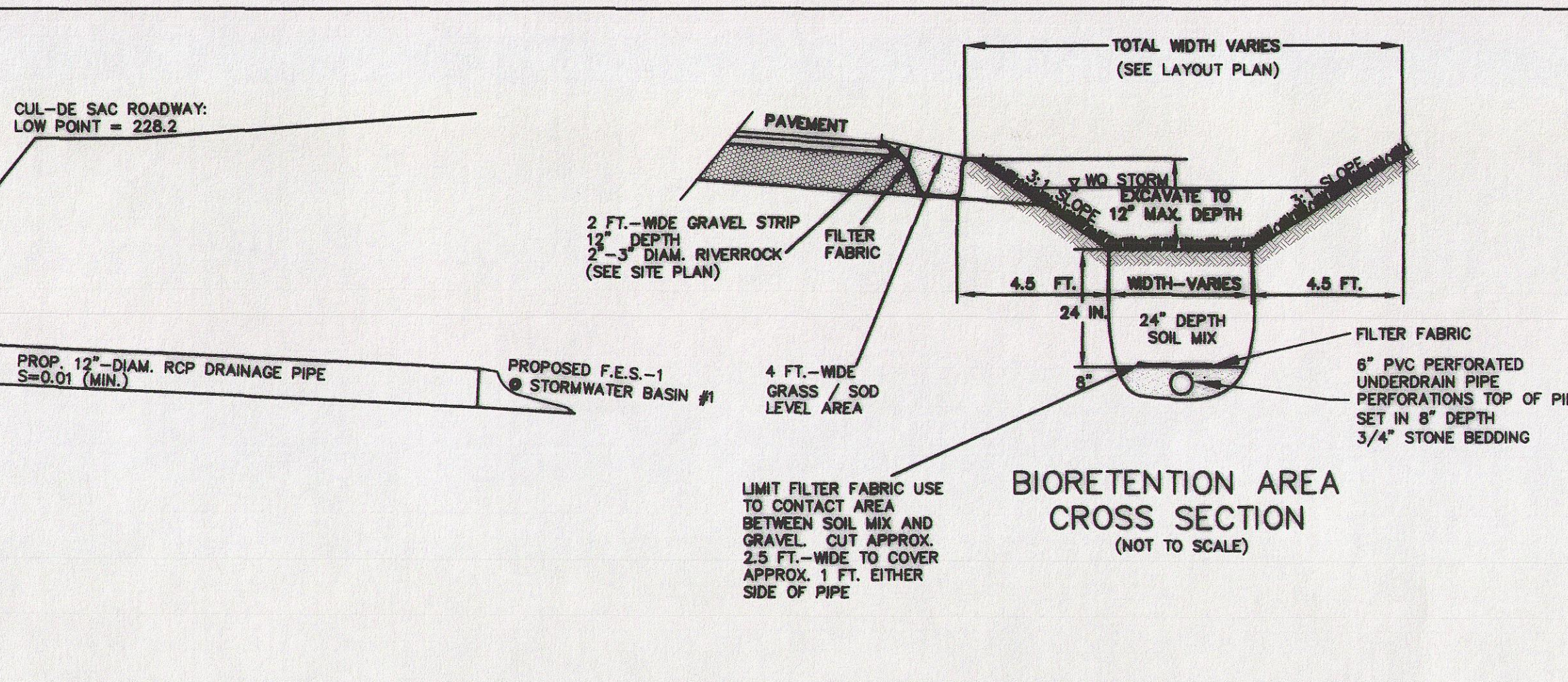
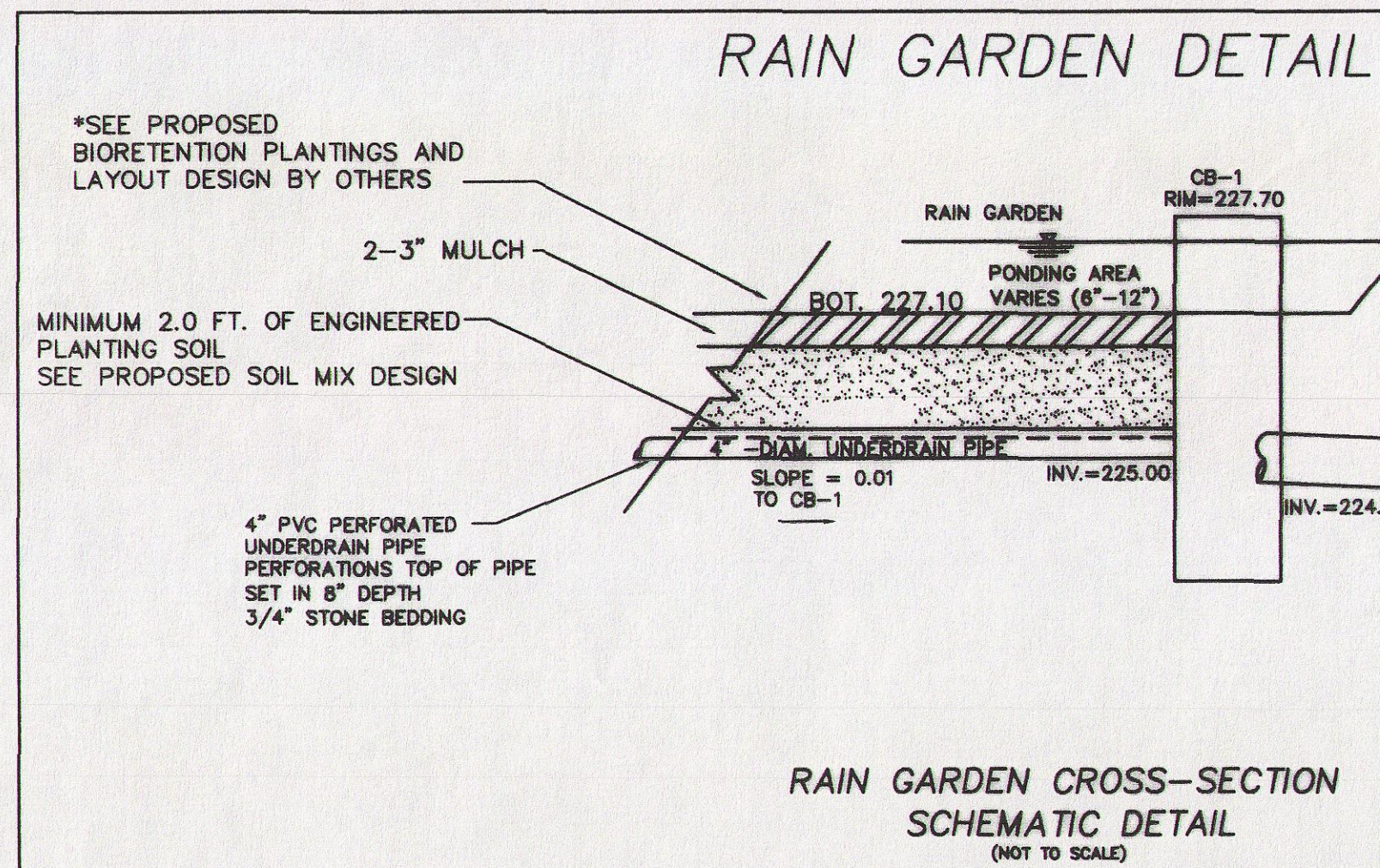
PREPARED FOR: CHARLES RIVER VILLAGE, LLC PREPARED BY: FAIST ENGINEERING, INC.
P.O. BOX. 1 67 HALL ROAD
MEDWAY, MA 02053 STURBRIDGE, MA 01566
(508) 326-7505 Phone: (508) 864-6802
E-mail: dfaist@faisteng.com

SHEET 11 OF 17



CLA-2389

CLA-2389



ENGINEERED SOIL MIX FOR BIORETENTION SYSTEM

1. THE SOIL MIX FOR BIORETENTION AREAS SHOULD BE A MIXTURE OF SAND, COMPOST, AND SOIL. 40% SAND, 20-30% TOP SOIL, 30-40% COMPOST
2. SOIL MIX MUST BE UNIFORM, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN 2 INCHES. CLAY CONTENT SHOULD NOT EXCEED 5%.
3. SOIL PH SHOULD GENERALLY BE BETWEEN 5.5 - 6.5
4. USE SOILS WITH 1.5% TO 3% ORGANIC CONTENT AND MAXIMUM 500-PPM SOLUBLE SALTS
5. SAND COMPONENT SHOULD BE GRAVELLY SAND THAT MEETS ASTM D422:

SEIVE SIZE	PERCENT PASSING
2-INCH	100
3/4-INCH	70-100
1/4-INCH	50-80
U.S. NO. 40	15-40
U.S. NO 200	0-3
6. TOPSOIL COMPONENT SHALL BE A SANDY LOAM, LOAMY SAND OR LOAM TEXTURE
7. COMPOST COMPONENT MUST BE PROCESSED FROM YARD WASTE. COMPOST SHALL NOT CONTAIN BIOSOLIDS AND PREFERABLY BE COMPOSTED LEAF MULCH.
8. ON-SITE SOIL MIXING OR PLACEMENT IS NOT ALLOWED IF SOIL IS SATURATED OR SUBJECT TO WATER WITHIN 48 HOURS. COVER AND STORE SOIL TO PREVENT WETTING OR SATURATION.
9. TEST SOIL FOR FERTILITY AND MICRO-NUTRIENTS AND, ONLY IF NECESSARY, AMEND MIXTURE TO CREATE OPTIMUM CONDITIONS FOR PLANT ESTABLISHMENT AND EARLY GROWTH.
10. GRADE THE AREA TO ALLOW A PONDING DEPTH OF 12 INCHES PER GRADING PLAN.
11. COVER SOIL WITH 2-3 INCHES OF "AGED" FINE-SHREDDED HARDWOOD MULCH W/ NO PINE BARK NUGGETS.
12. AVOID SOIL COMPACTION (BEFORE AND AFTER CONSTRUCTION) AND SEALING OF EXCAVATED BOTTOM WITH MACHINE BUCKET.

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

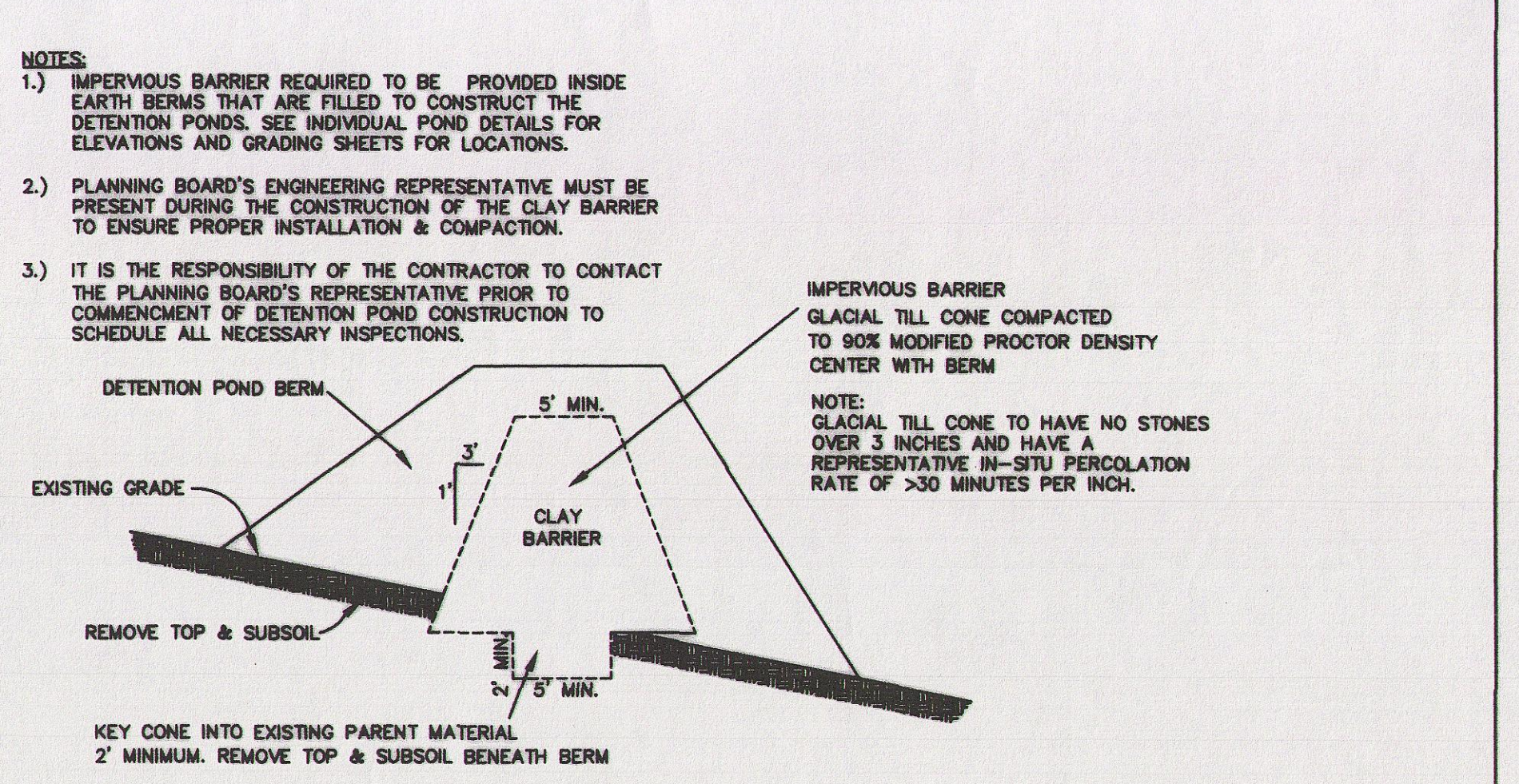
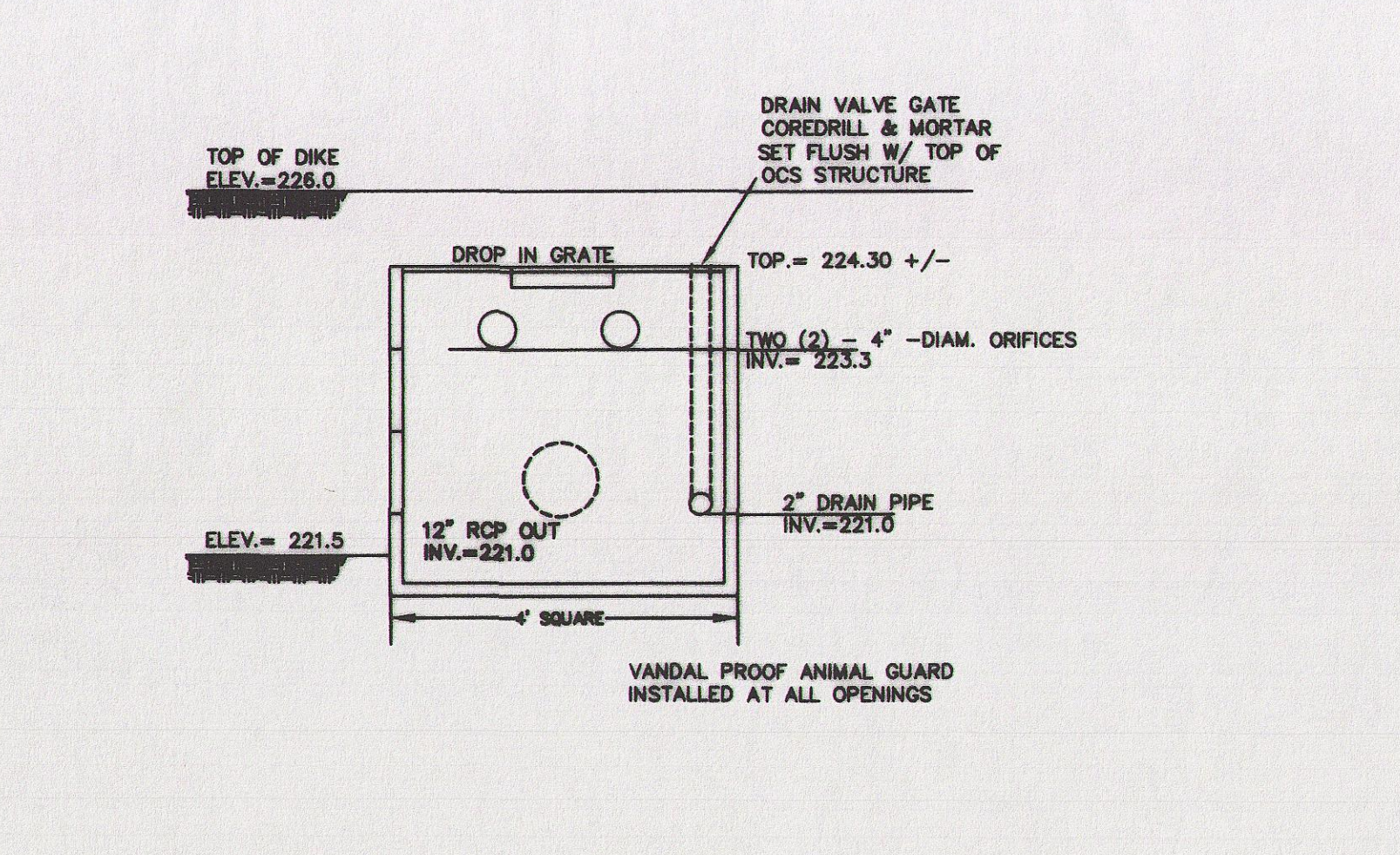
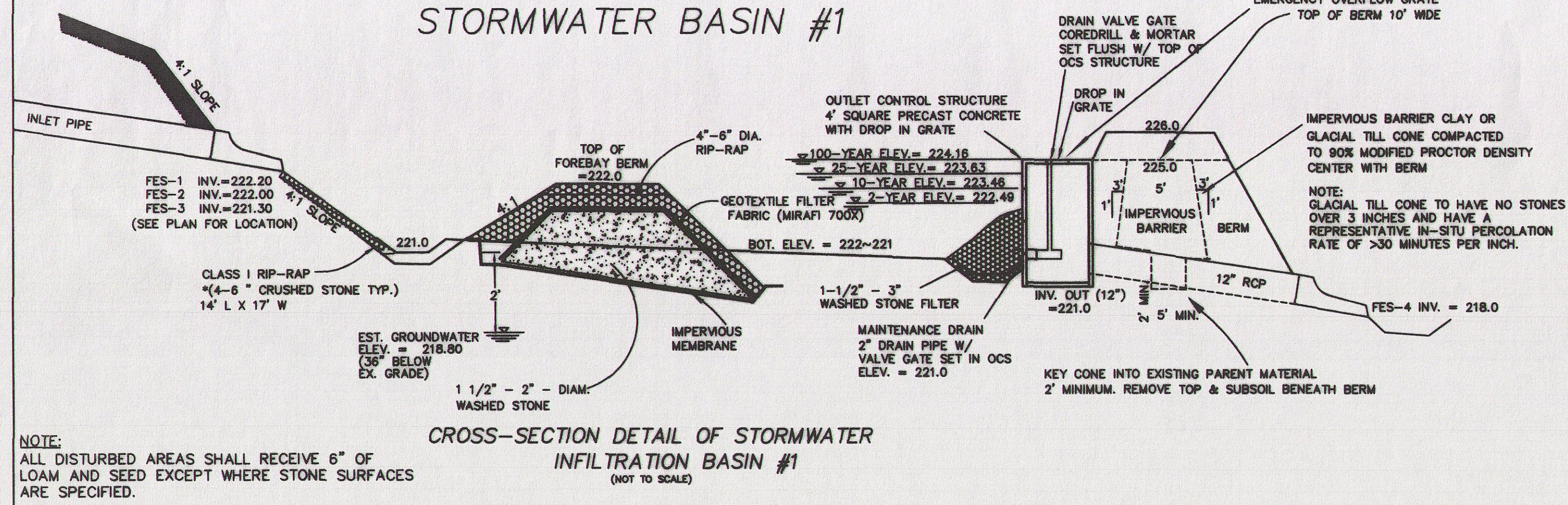
[Signature]

DATE: 6-11-13

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

[Signature] June 12, 2013
TOWN CLERK

COVENANT: THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE REGISTRY OF DEEDS.



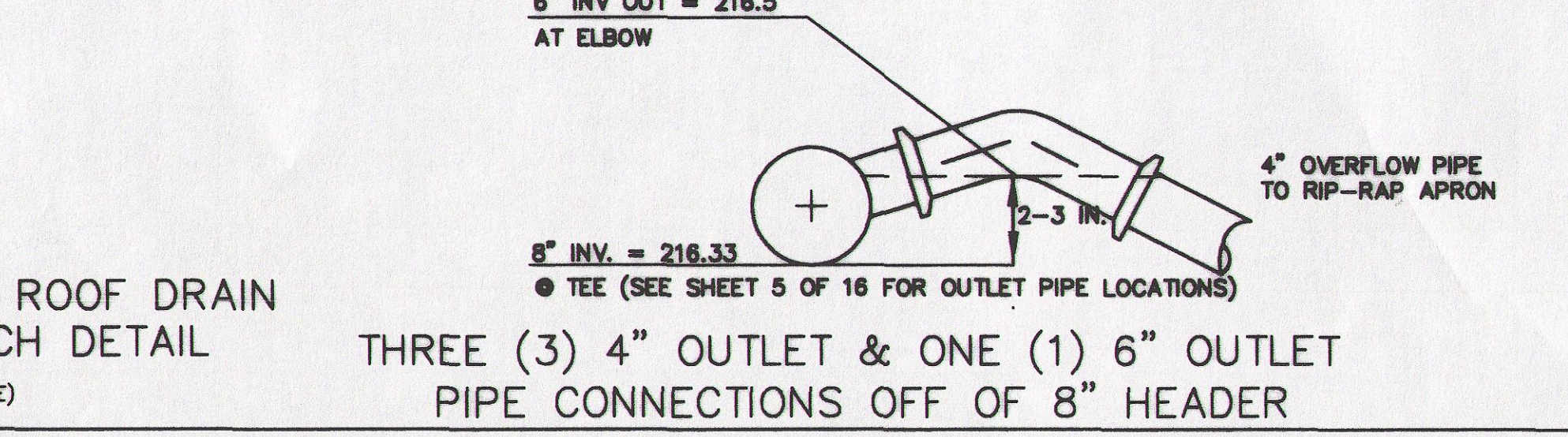
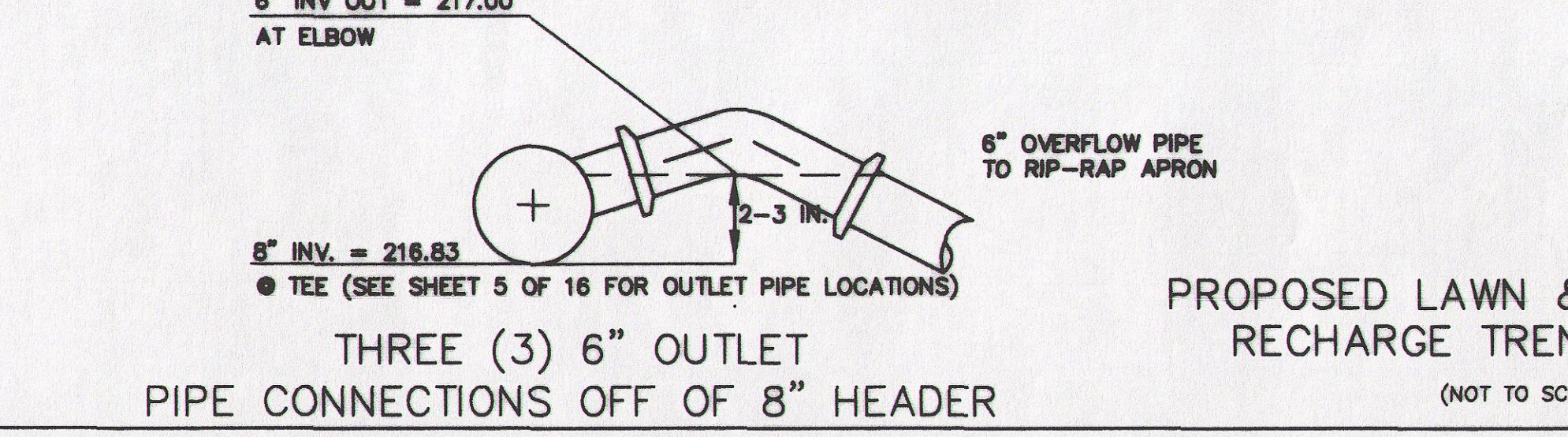
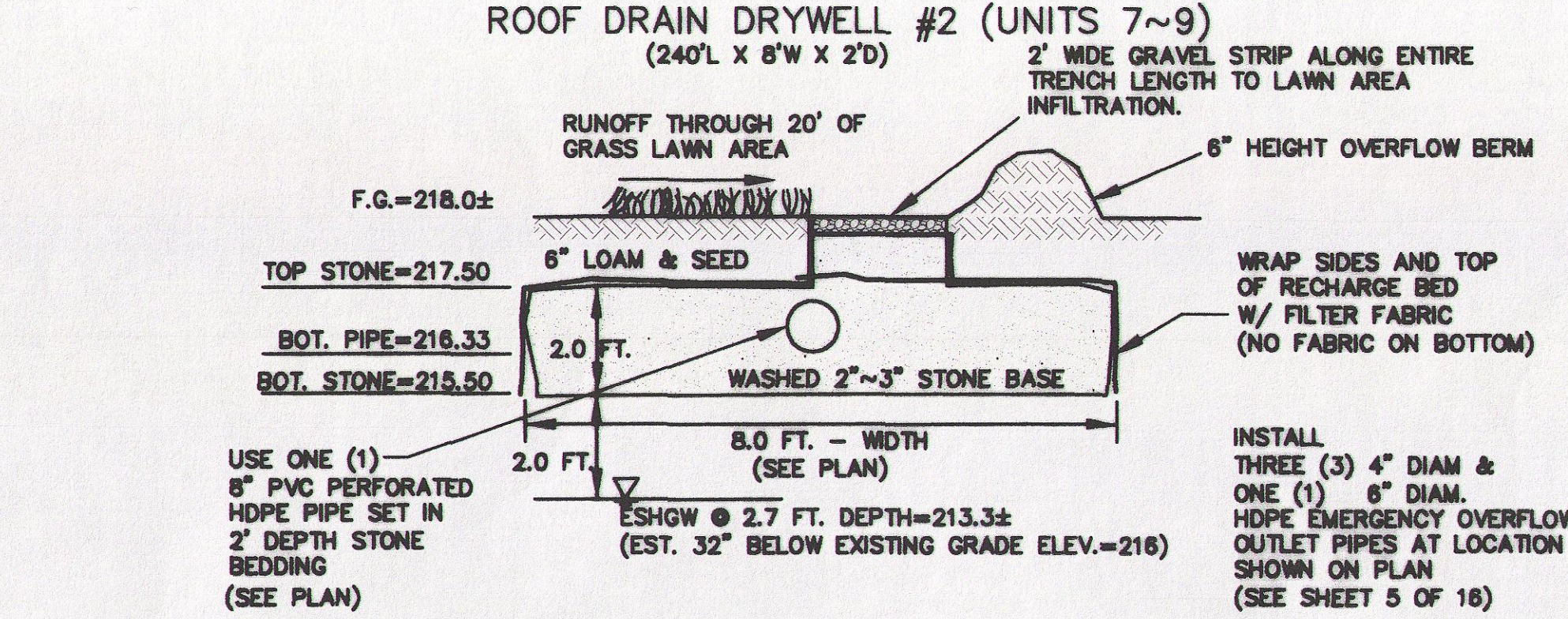
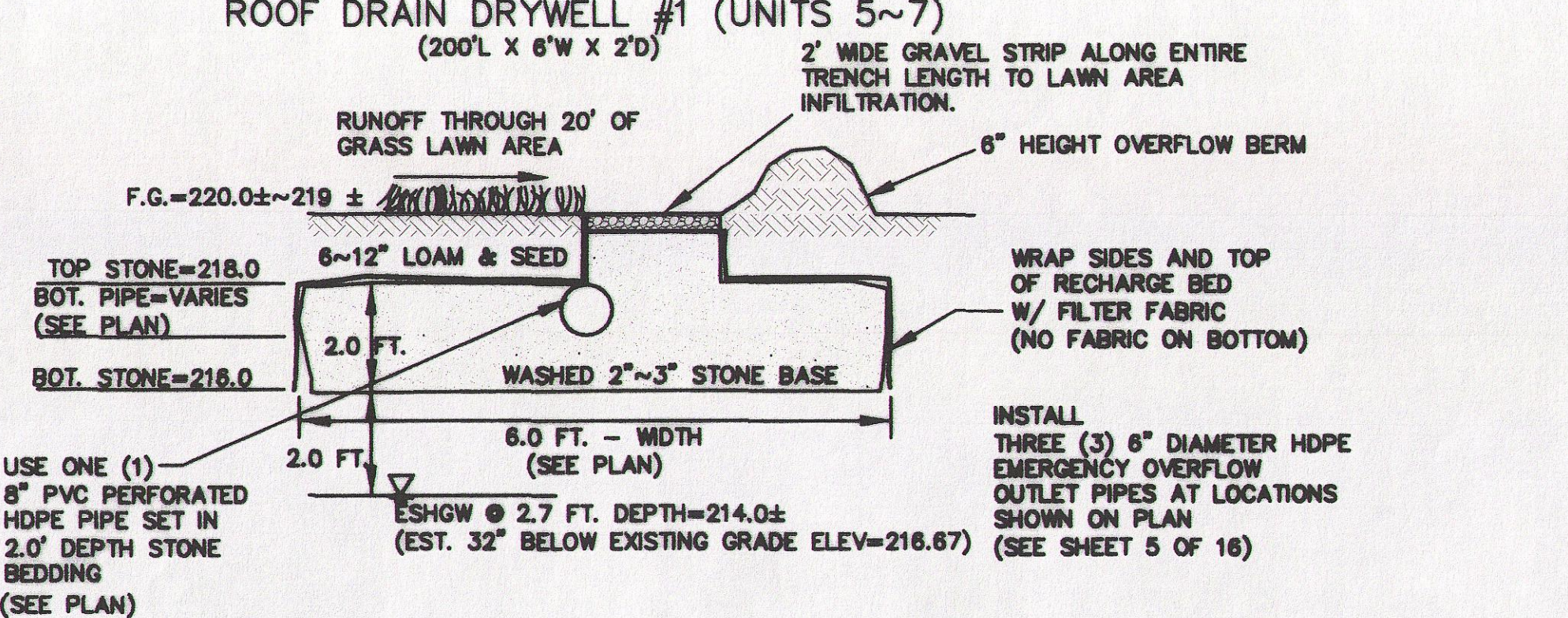
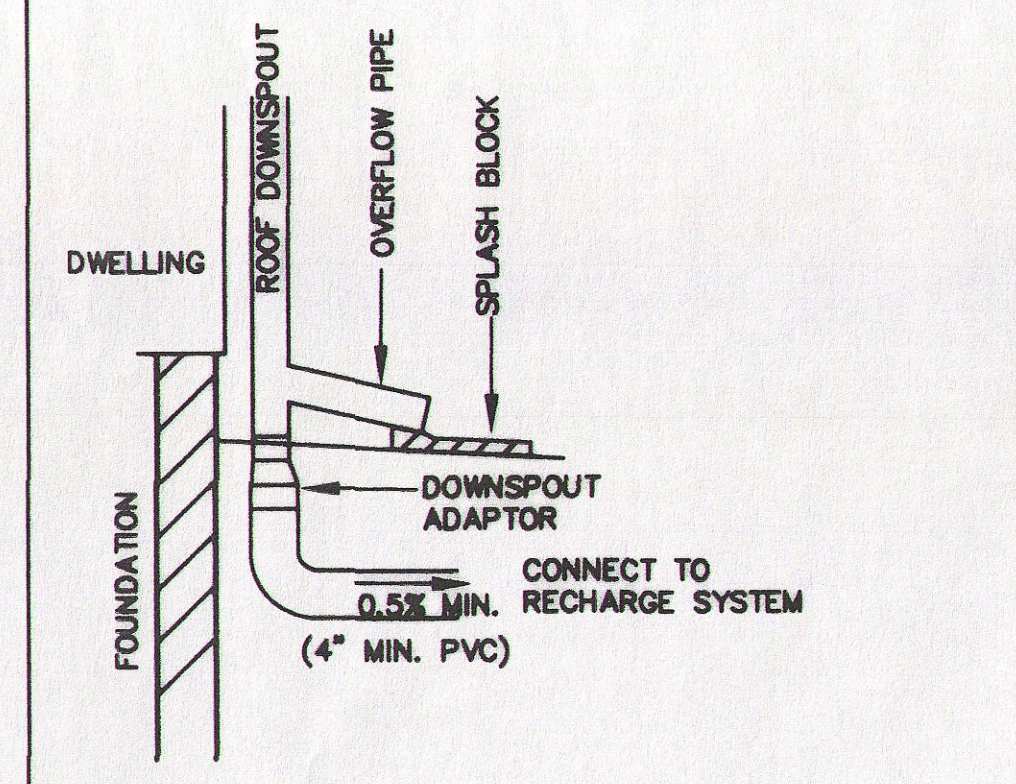
NOTE: ALL DISTURBED AREAS SHALL RECEIVE 6" OF LOAM AND SEED EXCEPT WHERE STONE SURFACES ARE SPECIFIED.

ALL DETENTION PONDS AND DISTURBED SLOPES SHALL BE TREATED WITH GROUNDCOVERS EXPRESS INC. (GE) NEW ENGLAND CONSERVATION / WILDLIFE MIX. THE NEW ENGLAND CONSERVATION / WILDLIFE MIX PROVIDES A PERMANENT COVER OF GRASSES, WILDOVERNS, LEGUMES, AND GRASSES TO PROVIDE BOTH EROSION CONTROL AND WILDLIFE HABITAT. THIS MIX IS DESIGNED TO PRODUCE A LOW MAINTENANCE COVER, AND IS AN APPROPRIATE APPLICATION FOR CUT AND FILL SLOPES, DETENTION BASINS, AND DISTURBED AREAS ADJACENT TO COMMERCIAL AND RESIDENTIAL PROJECTS.

APPLICATION RATE: 25 lbs./ACRE 1743 SQ. FT. / lb.

SPECIES:

BIG BLUESTEM (ANDROPOGON GERARDII), SWITCHGRASS (PANICUM VIRGATUM), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARUM), CANADA WILD RYE (ELYMUS CANADENSIS), FOX SEDGE (CAREX MUPHONDEA), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), FRINGED BROMEGRASS (BROMUS OLIATUS), PENNSYLVANIA SMARTWEED (POLYGONUM PENNSYLVANICUM), COMMON MILKWEED (ASCLEPIAS SYRIACA), HOODING BURN-MARIGOLD (BIDENS CERNUA), SHOWY TICK-TREFOIL (DESMODIUM CANADENSE), SILKY SMOOTH ASTER (ASTER LAEVIS), FLAT-TOP ASTER (ASTER UMBELLATUS).



DETAIL SHEET #3

"CHARLES RIVER VILLAGE" OSRD DEFINITIVE PLAN

IN
MEDWAY, MASSACHUSETTS

SCALE: NOT TO SCALE

DATE ISSUED: NOVEMBER 20, 2012
REVISE DATE: FEBRUARY 15, 2013
MAY 30, 2013

PREPARED FOR:
CHARLES RIVER VILLAGE, LLC
P.O. BOX. 1
MEDWAY, MA 02053
(508) 326-7505

PREPARED BY:
FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
Phone: (508) 864-6802
E-mail: dfaist@faisteng.com

SHEET 12 OF 17

CLA-2389

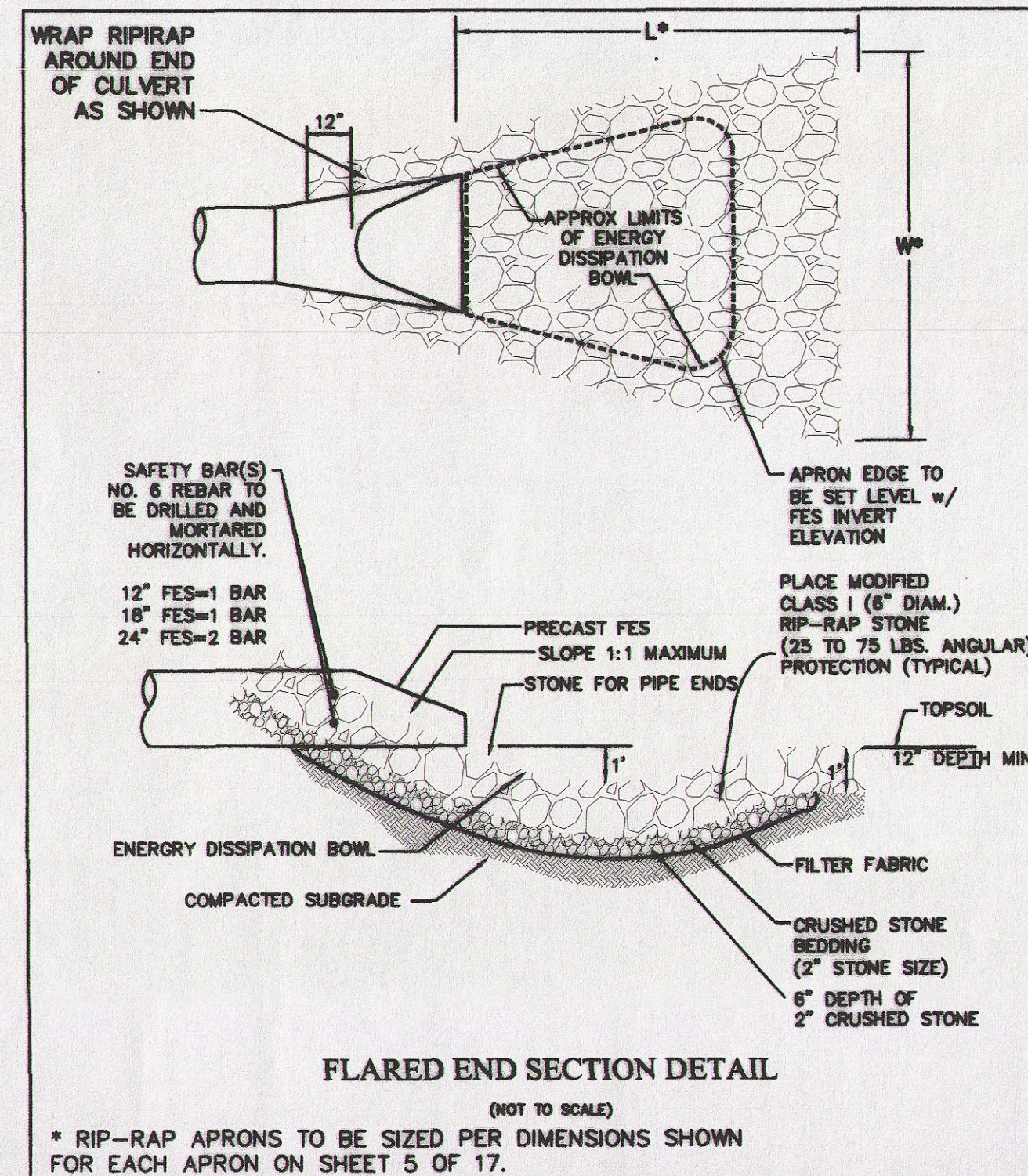
[Signature]
 DATE

6-11-13
 DATE

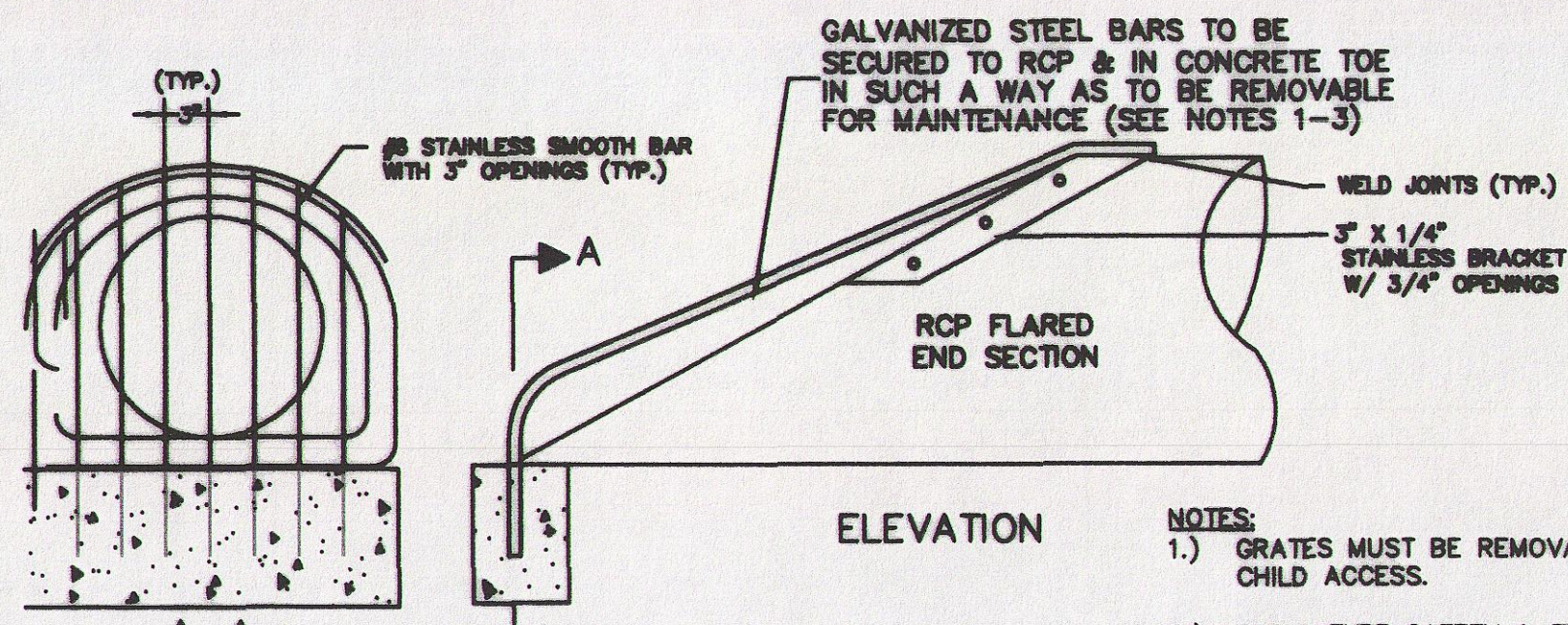
I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

MaryJane White June 12 2013
 TOWN CLERK DATE

CONVEYANCE: THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE REGISTRY OF DEEDS.



* RIP-RAP APRONS TO BE SIZED PER DIMENSIONS SHOWN FOR EACH APRON ON SHEET 5 OF 17.

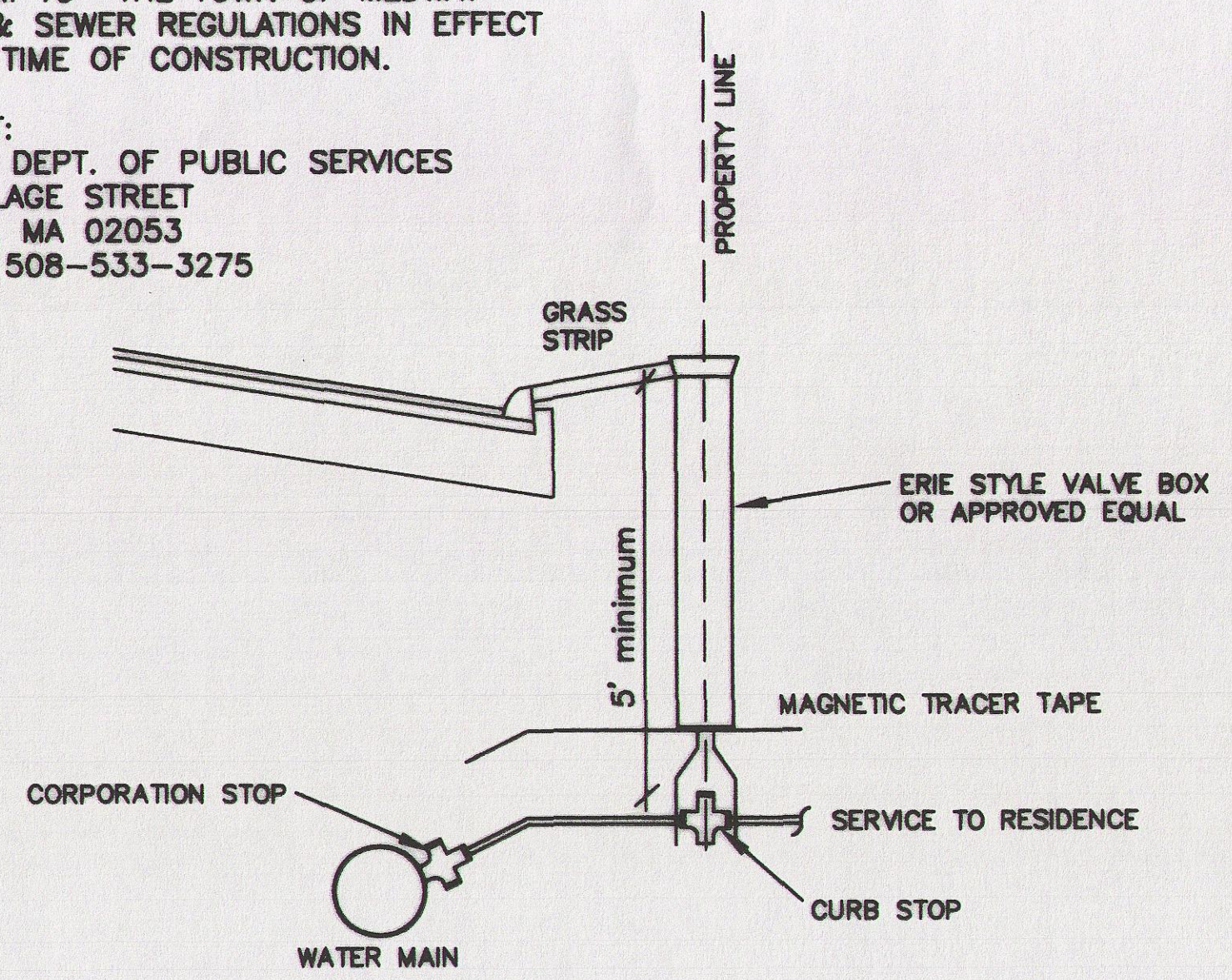


FLARED END SAFETY GRATE

- NOTES:
- 1.) GRATES MUST BE REMOVABLE BUT SECURE TO PREVENT CHILD ACCESS.
 - 2.) SWING TYPE SAFETY & TRASH GRATE UNITS ARE REQUIRED TO ALLOW LARGE OBJECTS TO BE WASHED OUT AND SECURE UPON CLOSING TO PREVENT CHILD ACCESS.
 - 3.) CONTRACTOR IS TO SUBMIT A SHOP DRAWING TO DESIGN ENGINEER (FAIST ENGINEERING) FOR APPROVAL PRIOR TO INSTALLATION.

NOTE: ALL MATERIALS AND CONSTRUCTION TO CONFORM TO THE TOWN OF MEDWAY WATER & SEWER REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION.

CONTACT: MEDWAY DEPT. OF PUBLIC SERVICES
 155 VILLAGE STREET
 MEDWAY, MA 02053
 PHONE: 508-533-3275

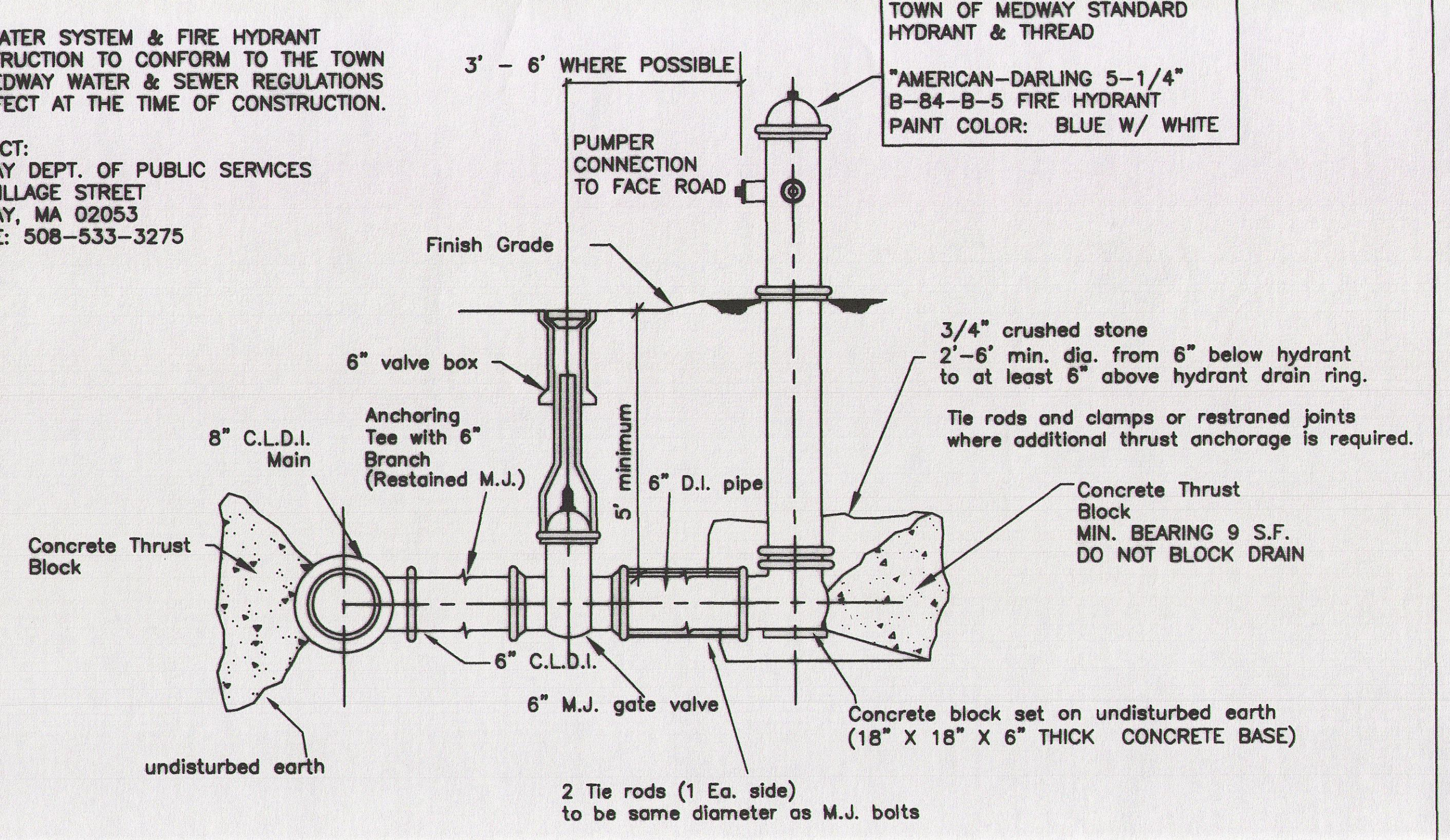


MAIN TO CURB STOP:
 1\"/>

WATER SERVICE DETAIL (NOT TO SCALE)

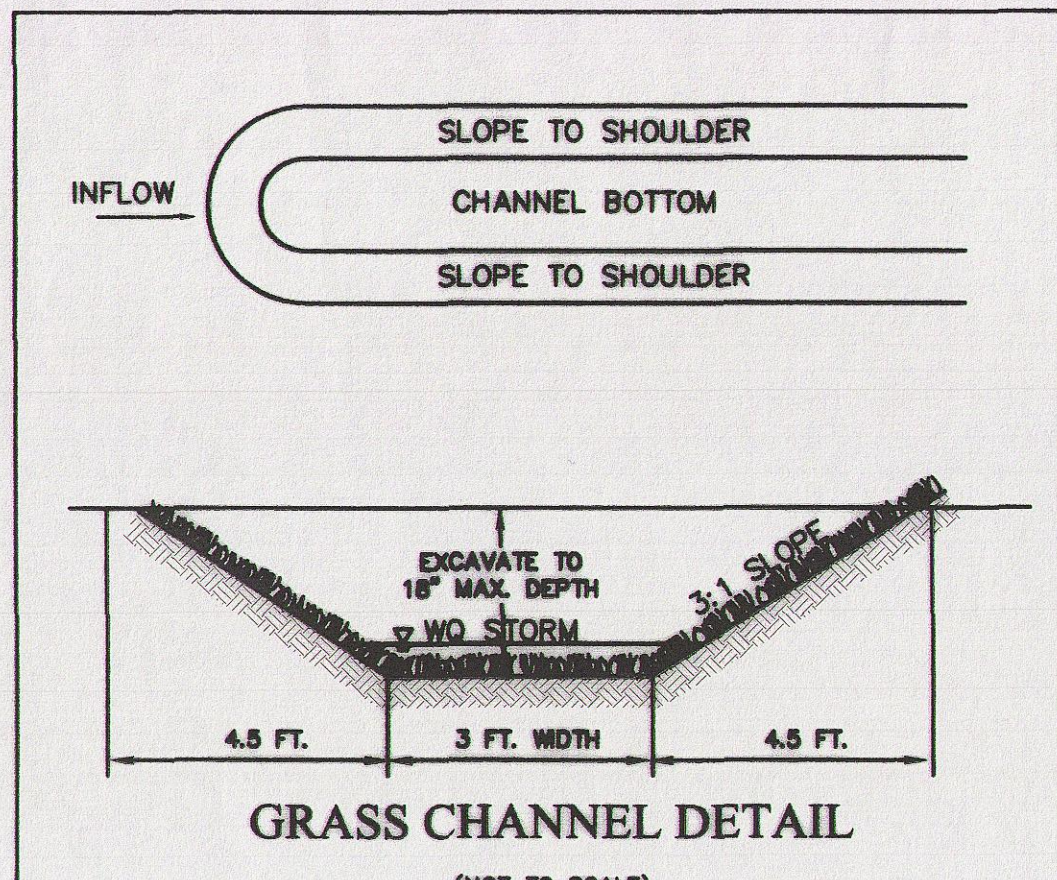
NOTE: ALL WATER SYSTEM & FIRE HYDRANT CONSTRUCTION TO CONFORM TO THE TOWN OF MEDWAY WATER & SEWER REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION.

CONTACT: MEDWAY DEPT. OF PUBLIC SERVICES
 155 VILLAGE STREET
 MEDWAY, MA 02053
 PHONE: 508-533-3275



HYDRANT ASSEMBLY DETAIL (NOT TO SCALE)

TOWN OF MEDWAY STANDARD HYDRANT & THREAD
 "AMERICAN-DARLING 5-1/4\"/>



- NOTES:
- 1.) ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6\"/>
 - 2.) INSTALL "NORTH AMERICAN GREEN-SC250" COMPOSITE TURF REINFORCEMENT MAT OR APPROVED EQUAL FOLLOWING PREPARATION OF SOIL (LOAM AND SEED) IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

DETAIL SHEET #4
 "CHARLES RIVER VILLAGE"
 OSRD DEFINITIVE PLAN
 IN
 MEDWAY, MASSACHUSETTS

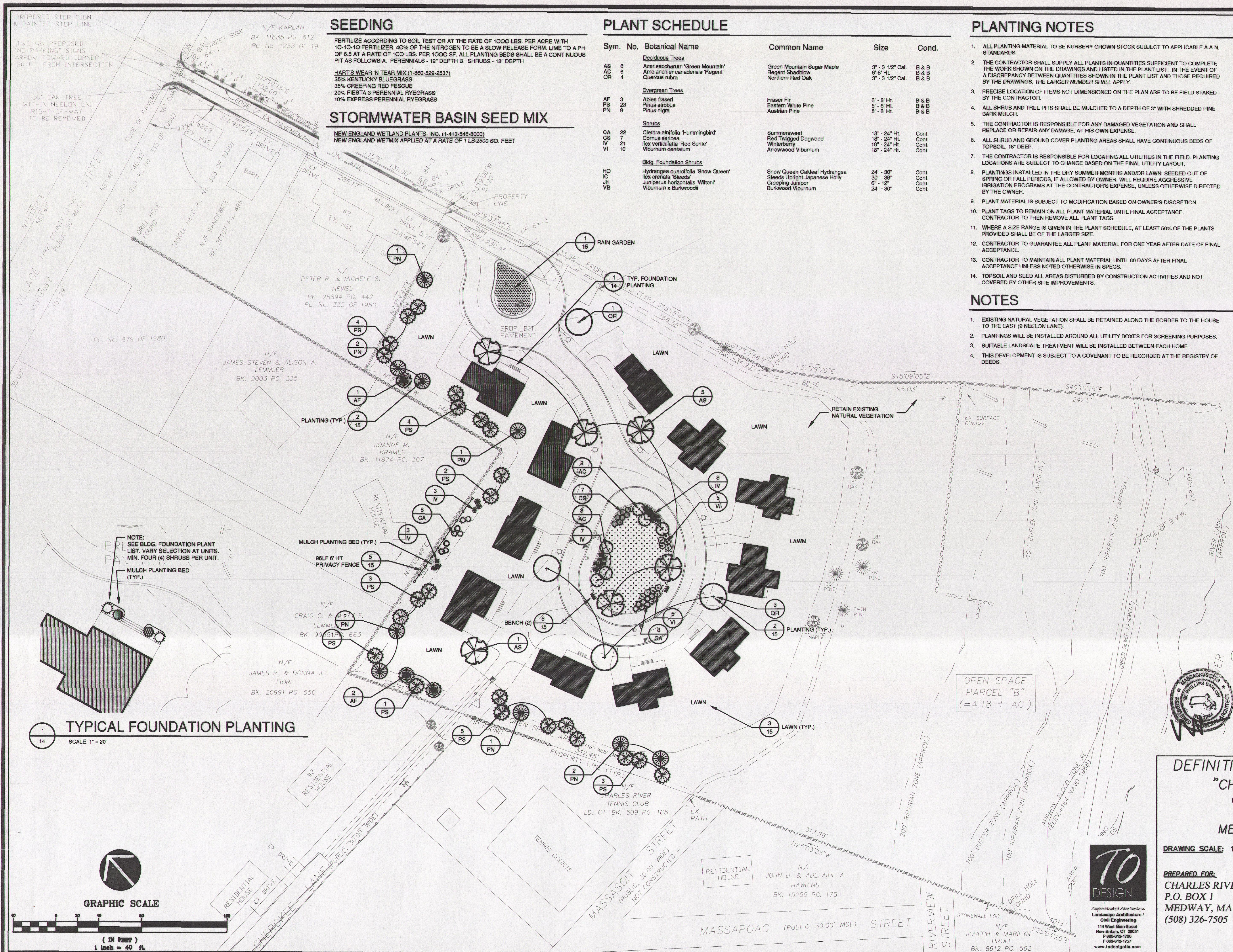
SCALE: NOT TO SCALE
 DATE ISSUED: NOVEMBER 20, 2012
 REVISE DATE: FEBRUARY 15, 2013
 MAY 30, 2013

PREPARED FOR: CHARLES RIVER VILLAGE, LLC
 P.O. BOX 1
 MEDWAY, MA 02053
 (508) 326-7505

PREPARED BY: FAIST ENGINEERING, INC.
 67 HALL ROAD
 STURBRIDGE, MA 01566
 Phone: (508) 864-6802
 E-mail: dfaist@faisteng.com

SHEET 13 OF 17
 CLA-2389





SEEDING

FERTILIZER ACCORDING TO SOIL TEST OR AT THE RATE OF 1000 LBS. PER ACRE WITH 10-10-10 FERTILIZER. 40% OF THE NITROGEN TO BE A SLOW RELEASE FORM. LIME TO A PH OF 6.5 AT A RATE OF 100 LBS. PER 1000 SF. ALL PLANTING BEDS SHALL BE A CONTINUOUS PIT AS FOLLOWS A. PERENNIALS - 12" DEPTH B. SHRUBS - 18" DEPTH

HART'S WEAR 'N' TEAR MIX (1-800-529-2537)
 35% KENTUCKY BLUEGRASS
 35% CREEPING RED FESCUE
 20% FIESTA 3 PERENNIAL RYEGRASS
 10% EXPRESS PERENNIAL RYEGRASS

STORMWATER BASIN SEED MIX

NEW ENGLAND WETLAND PLANTS, INC. (1-413-548-8000)
 NEW ENGLAND WETMIX APPLIED AT A RATE OF 1 LB/2500 SQ. FEET

PLANT SCHEDULE

Sym. No.	Botanical Name	Common Name	Size	Cond.
Deciduous Trees				
AS 8	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	3" - 3 1/2" Cal.	B & B
AC 6	Ameiropsis canadensis 'Regent'	Regent Shadbush	6" - 8" Ht.	B & B
OR 4	Quercus rubra	Northern Red Oak	3" - 3 1/2" Cal.	B & B
Evergreen Trees				
AF 3	Abies fraseri	Fraser Fir	6" - 8" Ht.	B & B
PS 29	Pinus strobus	Eastern White Pine	6" - 8" Ht.	B & B
PN 9	Pinus nigra	Austrian Pine	6" - 8" Ht.	B & B
Shrubs				
CA 22	Celastrus scilloides 'Hummingbird'	Summerweet	18" - 24" Ht.	Cont.
CS 7	Cornus sericea	Red Twigged Dogwood	18" - 24" Ht.	Cont.
IV 21	Ilex verticillata 'Red Sprite'	Winterberry	18" - 24" Ht.	Cont.
VI 10	Viburnum dentatum	Aronwood Viburnum	18" - 24" Ht.	Cont.
Single Foundation Shrubs				
HC	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	24" - 30"	Cont.
IC	Ilex ornata 'Suecia'	Suecia Upright Japanese Holly	30" - 36"	Cont.
JH	Juniperus horizontalis 'Wilton'	Creeper Juniper	6" - 12"	Cont.
VB	Viburnum x Burkwoodii	Burkwood Viburnum	24" - 30"	Cont.

PLANTING NOTES

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR.
- ALL SHRUBS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
- ALL SHRUBS AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 18" DEEP.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. PLANTING LOCATIONS ARE SUBJECT TO CHANGE BASED ON THE FINAL UTILITY LAYOUT.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDLINGS OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- PLANT MATERIAL IS SUBJECT TO MODIFICATION BASED ON OWNER'S DISCRETION.
- PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
- WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPEC.
- CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPEC.
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.

NOTES

- EXISTING NATURAL VEGETATION SHALL BE RETAINED ALONG THE BORDER TO THE HOUSE TO THE EAST (N NEELON LANE).
- PLANTINGS WILL BE INSTALLED AROUND ALL UTILITY BOXES FOR SCREENING PURPOSES.
- SUITABLE LANDSCAPE TREATMENT WILL BE INSTALLED BETWEEN EACH HOME.
- THIS DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE REGISTRY OF DEEDS.

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signature]
 TOWN CLERK

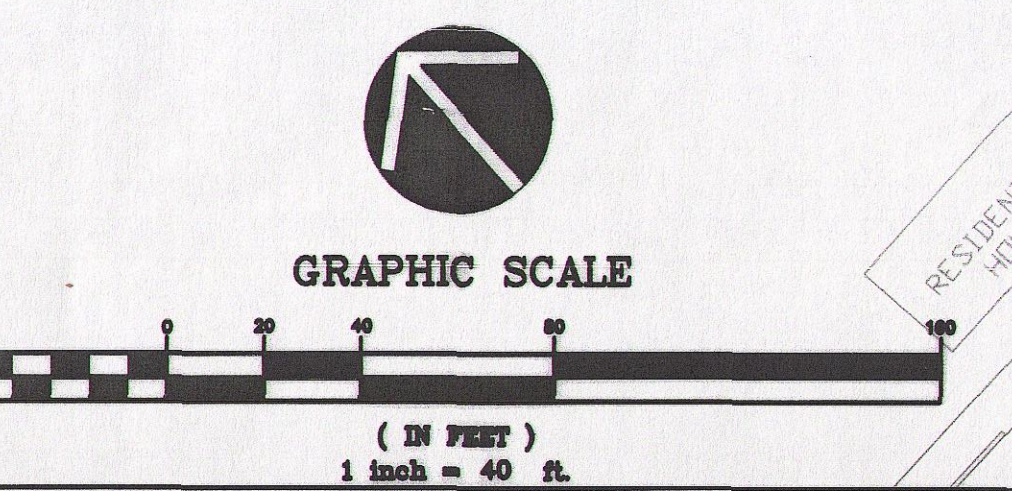
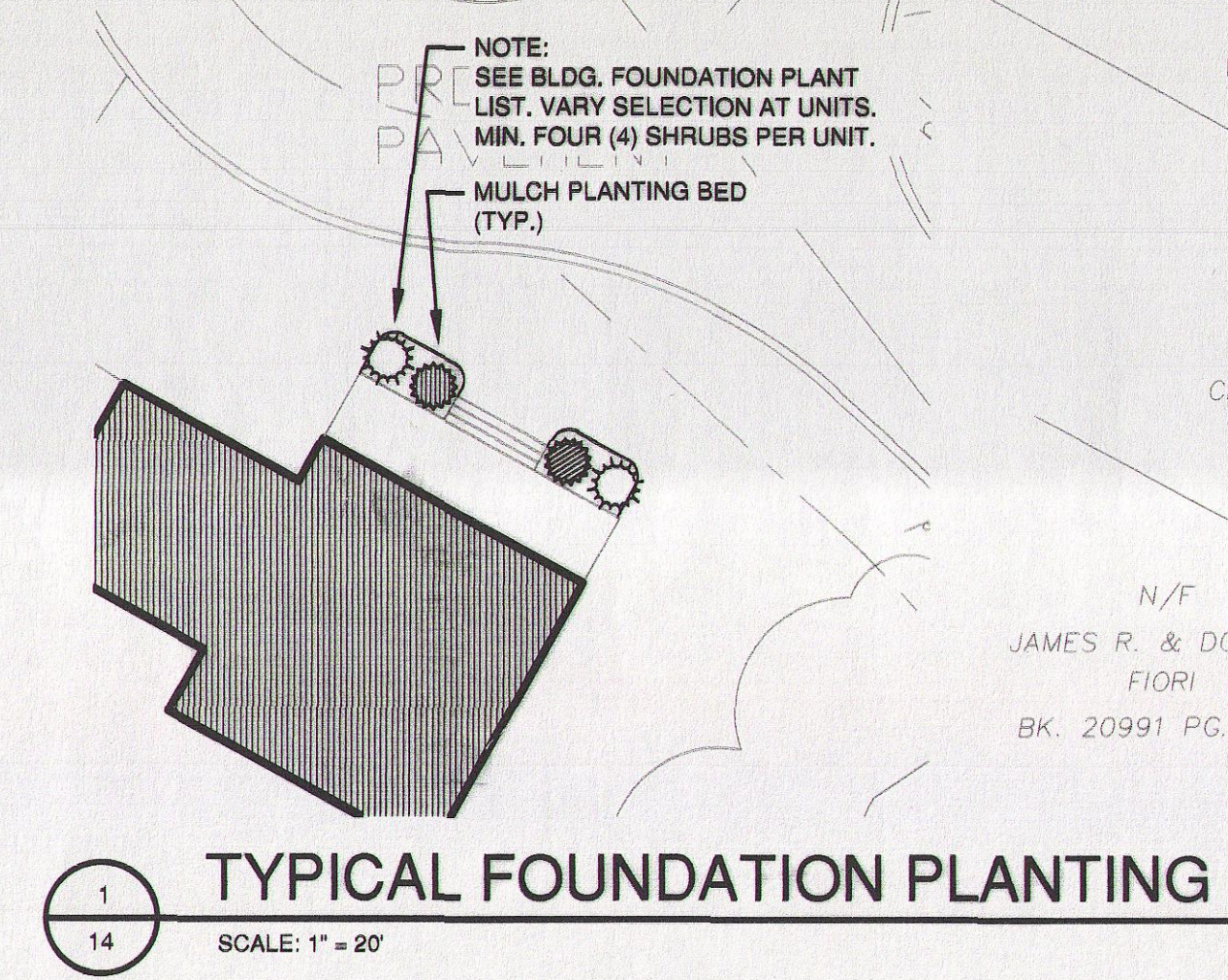
6-11-13
 DATE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

[Signature]
 TOWN CLERK

LEGEND

- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- STORMWATER CATCH BASIN
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- UTILITY POLE
- WATER GATE
- PROPOSED LIGHT POST
- EXISTING TREES
- STONE WALL
- PROPOSED DECIDUOUS TREES
- PROPOSED EVERGREEN TREES
- PROPOSED SHRUBS
- PROPOSED RAIN GARDEN
- PROPOSED STORMWATER BASIN
- PROPOSED FENCE
- PROPOSED BENCH



ORIGINAL INK MYLAR
 PREPARED BY
 TO DESIGN

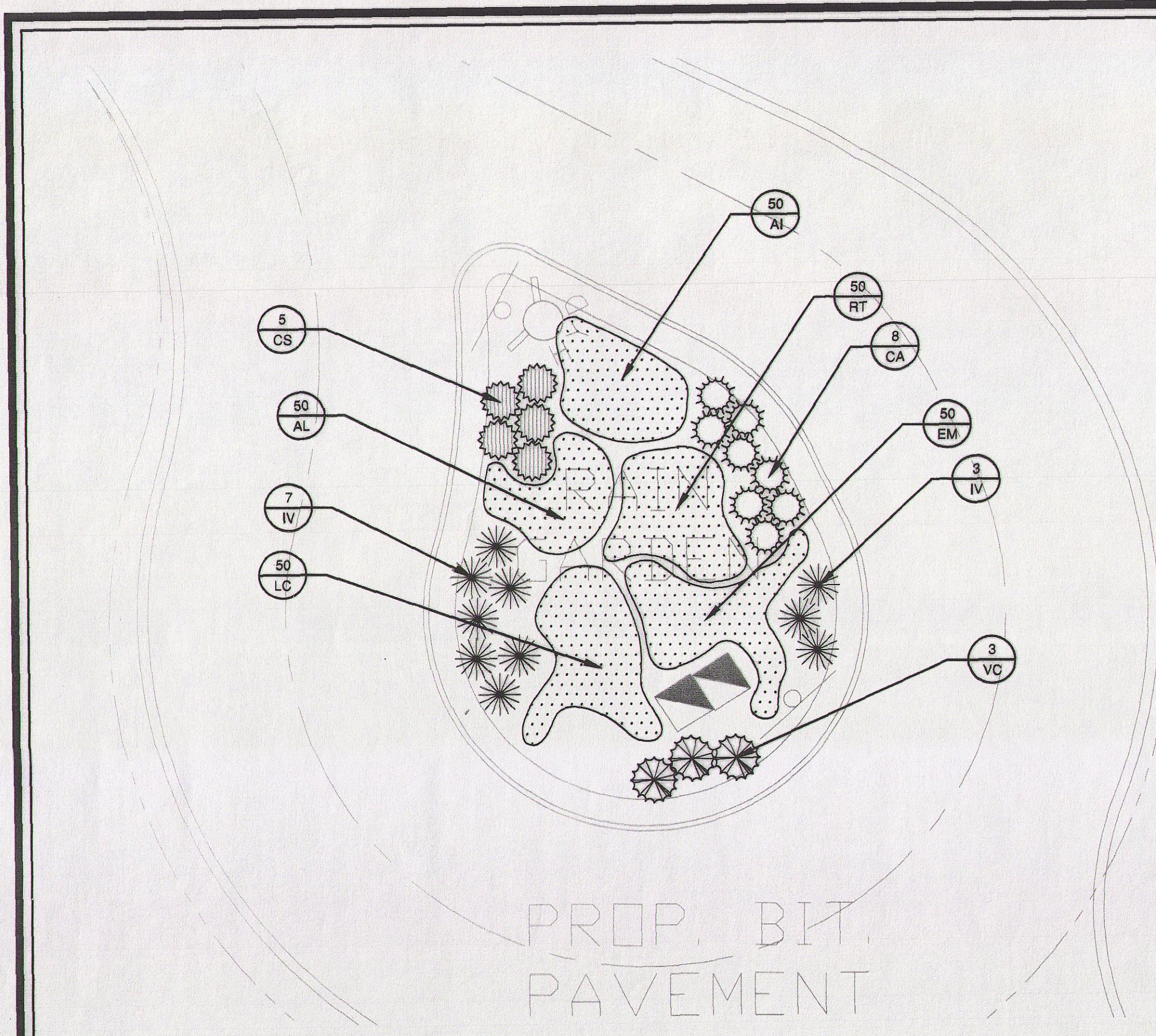
DEFINITIVE OSRD PLANTING PLAN
"CHARLES RIVER VILLAGE"
OSRD DEFINITIVE PLAN
IN
MEDWAY, MASSACHUSETTS

DRAWING SCALE: 1"=40' DATE ISSUED: NOVEMBER 20, 2012
 JANUARY 22, 2013
 FEBRUARY 6, 2013
 FEBRUARY 15, 2013
 MAY 30, 2013

PREPARED FOR:
CHARLES RIVER VILLAGE, LLC
 P.O. BOX 1
 MEDWAY, MA 02053
 (508) 326-7505

PREPARED BY: TO DESIGN, LLC
 DRAWN BY: JLP
 REVIEWED BY: WBP
 PROJECT NO.: 5446-L

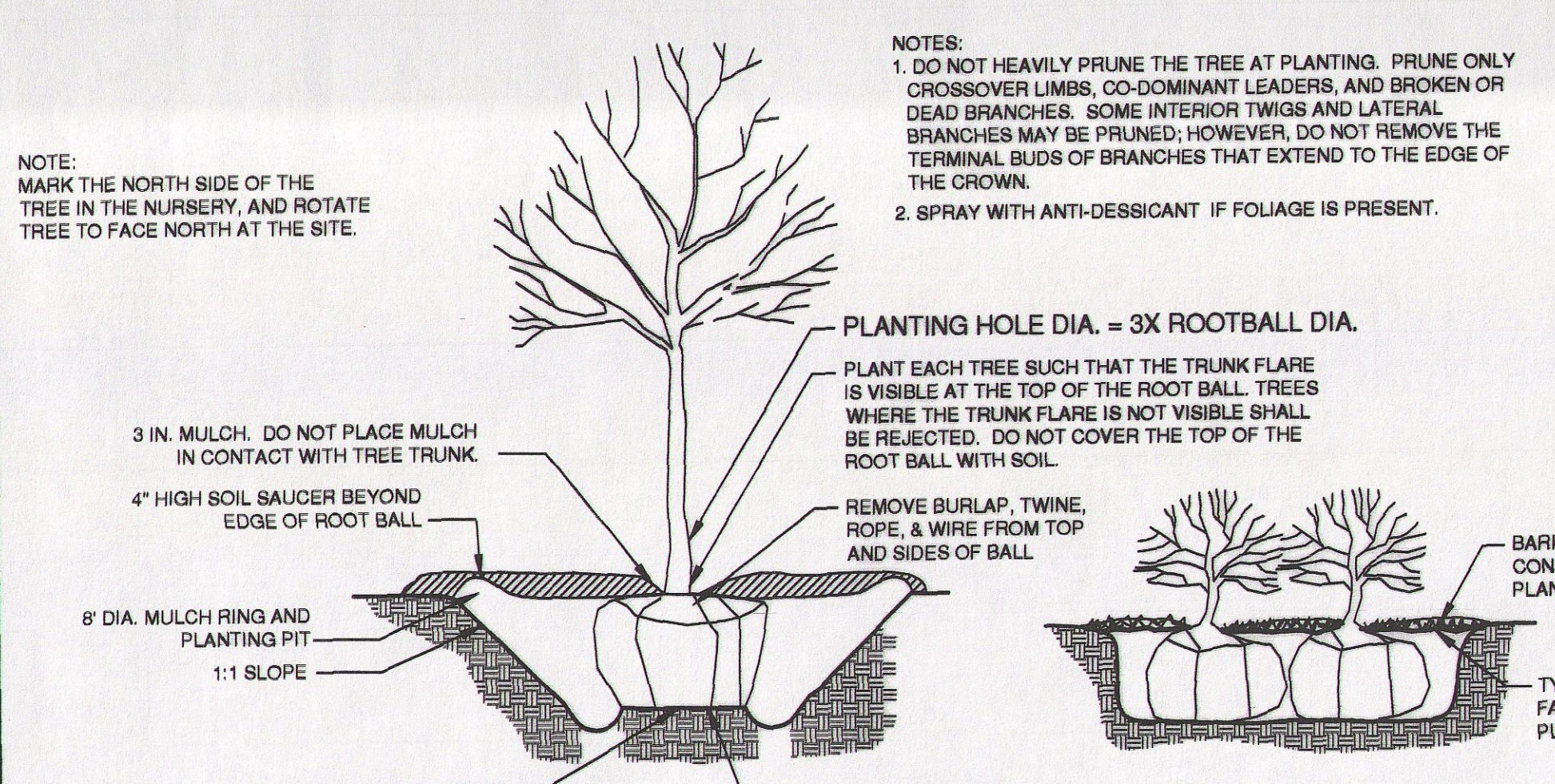




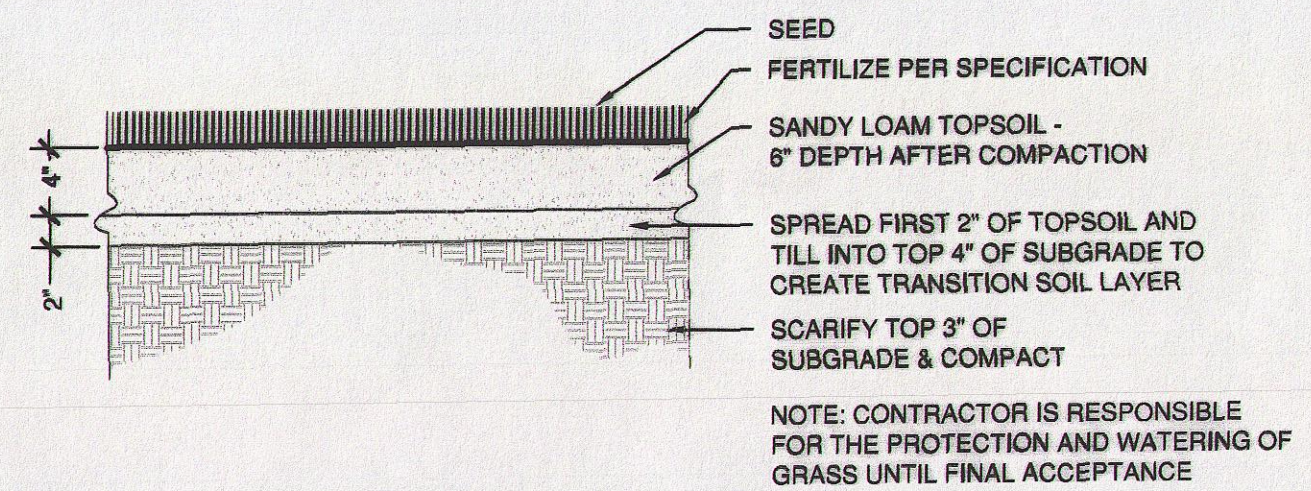
RAIN GARDEN PLANT SCHEDULE

Sym.	No.	Botanical Name	Common Name	Size	Cond.
Shrubs					
CA	8	<i>Clethra alnifolia</i>	Summersweet Clethra	18" - 24" Ht.	Cont.
CS	5	<i>Cornus sericea</i>	Red Twigged Dogwood	18" - 24" Ht.	Cont.
IV	10	<i>Ilex verticillata 'Red Sprite'</i>	Winterberry	18" - 24" Ht.	Cont.
VC	3	<i>Vaccinium corymbosum</i>	Highbush Blueberry	18" - 24" Ht.	Cont.
Herbaceous Plants					
AI	50	<i>Asclepias incarnata</i>	Swamp Milkweed	2" Plug - 18" Spacing	
AL	50	<i>Aster laevis</i>	Smooth Aster	2" Plug - 18" Spacing	
EM	50	<i>Equisetum maculatum</i>	Joe Pye Weed	2" Plug - 18" Spacing	
LC	50	<i>Lobelia cardinalis 'Cranberry Crush'</i>	Cardinal Flower	2" Plug - 18" Spacing	
RT	50	<i>Rudbeckia hirta</i>	Black-Eyed Susan	2" Plug - 18" Spacing	

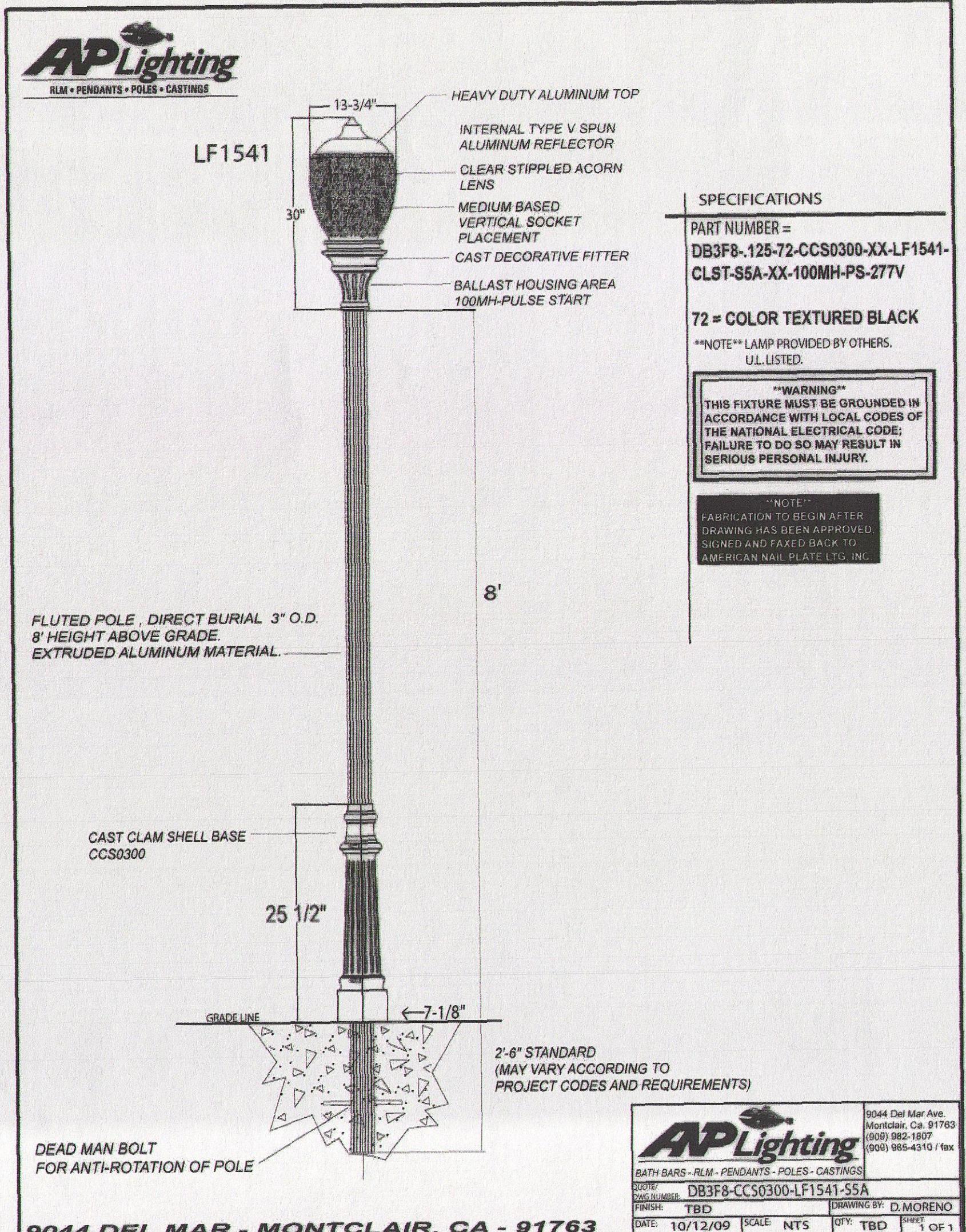
1 RAIN GARDEN
SCALE: 1" = 10'



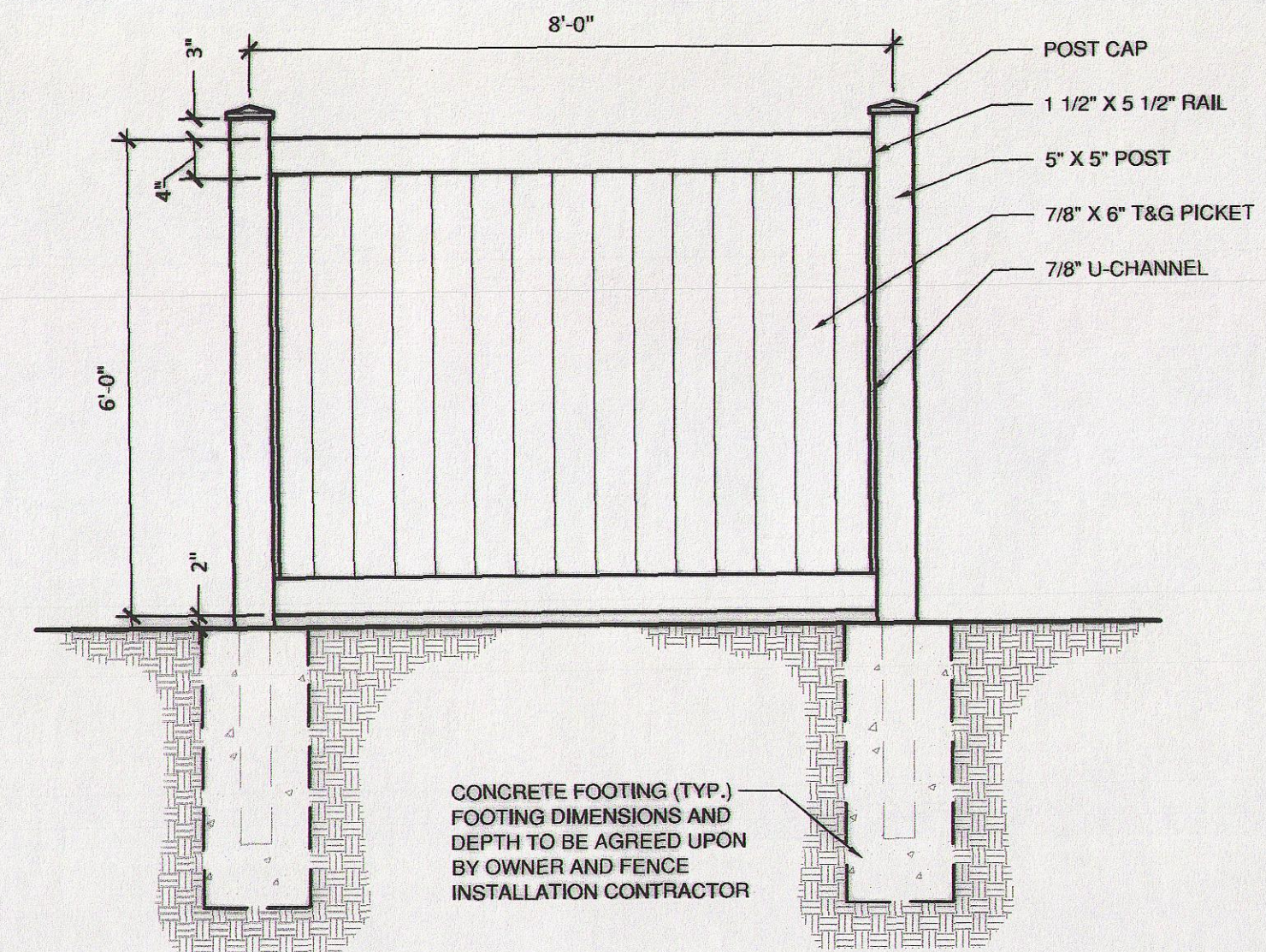
- 2 TREE / SHRUB PLANTING**
NOT TO SCALE
- NOTES:**
- IMPROVED SOIL MIX: 55% TOPSOIL, 25% EXCAVATED MATERIAL, 20% COMPOST.
 - WORK WITH CORRIHALZ FUNGUS & SOIL POLYMERS INTO SOIL PER SPECIFICATIONS.
 - TREES KNOWN TO BE A FALL PLANTING HAZARD SHALL BE PLANTED IN THE SPRING/EARLY SUMMER ONLY.
- NOTE:** PLANTING EXCAVATION TO BE CONTINUOUS FOR THE ENTIRE LENGTH AND WIDTH OF THE PLANTING BED.



3 TOPSOIL/LAWN
SCALE 1" = 10'



4 LIGHT POLE
NOT TO SCALE



5 6' VINYL FENCE
SCALE: NTS



6 6' CEDAR BENCH
NOT TO SCALE

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signatures]

6-11-13
DATE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

[Signature]
TOWN CLERK DATE

NOTES

- THIS DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE REGISTRY OF DEEDS.



DEFINITIVE OSRD SITE DETAILS
"CHARLES RIVER VILLAGE"
OSRD DEFINITIVE PLAN
IN
MEDWAY, MASSACHUSETTS

DRAWING SCALE: AS NOTED
DATE ISSUED: NOVEMBER 20, 2012
JANUARY 22, 2013
FEBRUARY 6, 2013
FEBRUARY 15, 2013
MAY 30, 2013

PREPARED FOR:
CHARLES RIVER VILLAGE, LLC
P.O. BOX 1
MEDWAY, MA 02053
(508) 326-7505

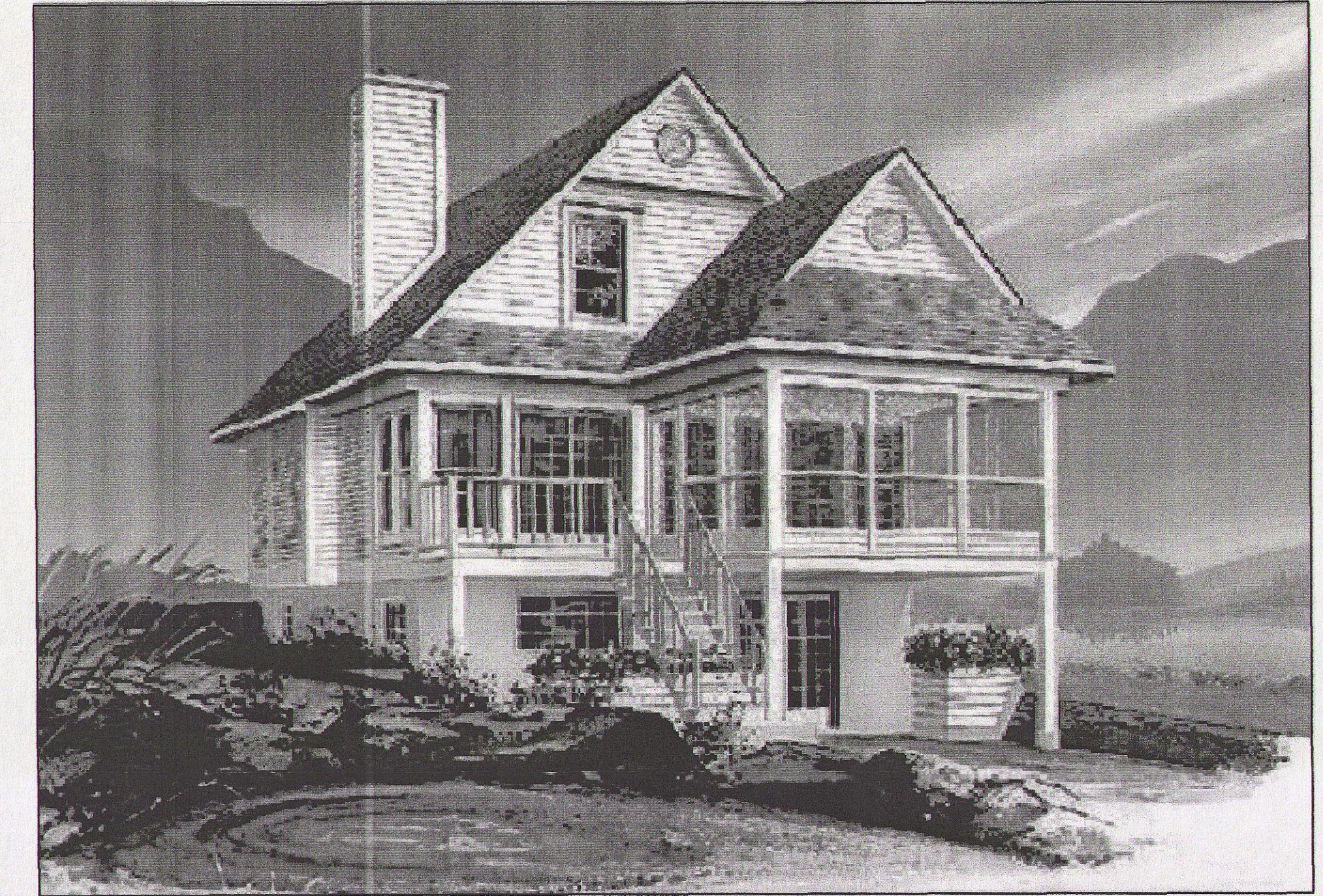
PREPARED BY: TO DESIGN, LLC
DRAWN BY: JTL
REVIEWED BY: WPB
PROJECT NO.: 5446-L



HOUSE STYLE "A"



HOUSE STYLE "B"



HOUSE STYLE "C"



HOUSE STYLE "D"



HOUSE STYLE "E"

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

[Handwritten signatures]

6-11-13
DATE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

Maryjane White June 12, 2013
TOWN CLERK DATE

COVENANT: THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE REGISTRY OF DEEDS.

CONCEPTUAL BUILDING ELEVATIONS
"CHARLES RIVER VILLAGE"
OSRD DEFINITIVE PLAN
IN
MEDWAY, MASSACHUSETTS

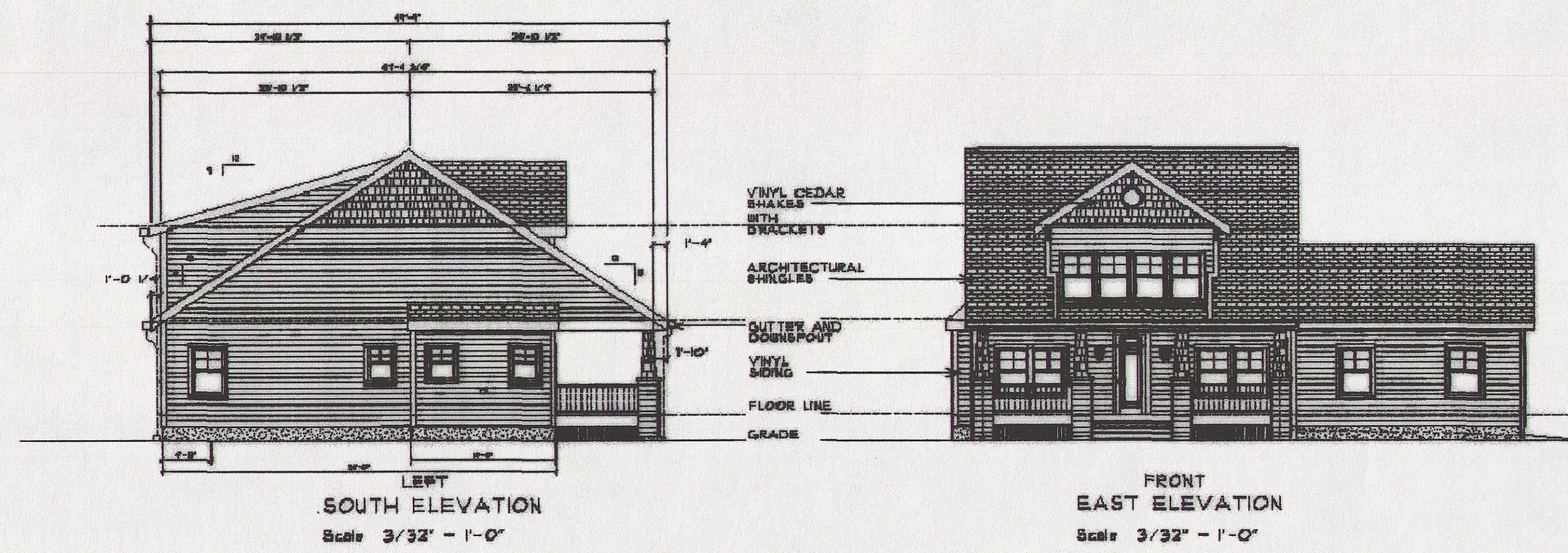
DATE ISSUED: NOVEMBER 20, 2012 REVISE DATES: FEBRUARY 15, 2013
MAY 30, 2013

PREPARED FOR:
CHARLES RIVER VILLAGE, LLC
P.O. BOX 1
MEDWAY, MA 02053
(508) 326-7505

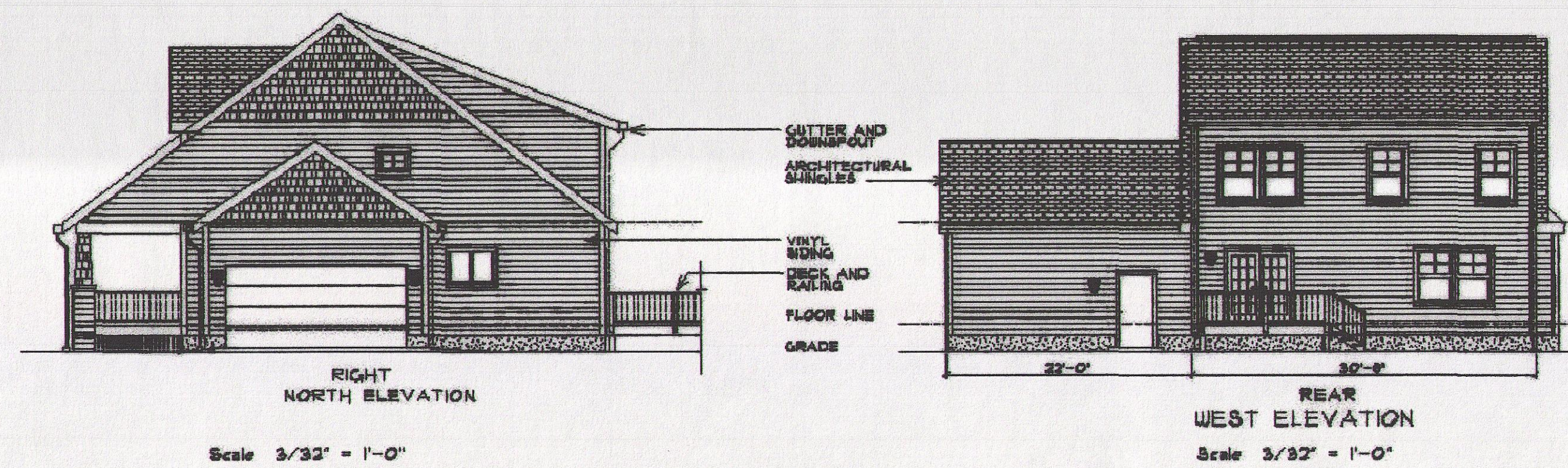
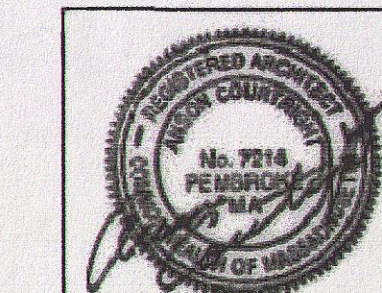
NOTE:
CONCEPTUAL PROPOSED BUILDING ELEVATIONS SHOWN ARE PROVIDED BY CHARLES RIVER VILLAGE, LLC AND ARE BEING SHOWN AS REQUIRED BY THE TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD IN ACCORDANCE WITH THEIR MARCH 20, 2011 "PLANNING & ECONOMIC DEVELOPMENT BOARD DECISION CHARLES RIVER VILLAGE - OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD) SPECIAL PERMIT.

APPROVED SIDING
GEORGIA PACIFIC FOREST EDGE VINYL SIDING (OR EQUIVALENT).

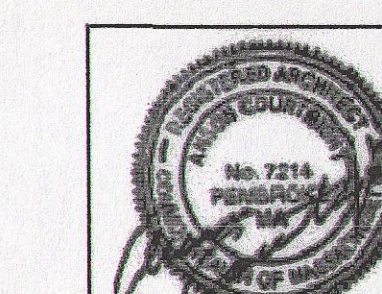
AUTHORIZED COLORS
ALL STANDARD AND PREMIUM COLORS NOTED EXCEPT PEARL AND CREAM.
VARIED COLOR COMBINATIONS TO BE USED FOR SIDING, SHUTTERS, AND TRIM.



Prepared For: Charles River Village, LLC P.O. Box 1 MEDWAY, MA 02053	Project Name: Charles River Village MEDWAY, MA Residence 1 Style "D" Siding	Architect: AC - ARCHITECT Anson Courtright AIA 11 Federal Drive Plymouth MA 02361 W0264100	Drawing Name: ELEVATION FRONT & LEFT	Date: 4-25-2013	Drawing #: A-6
---	---	---	--	--------------------	-------------------



Prepared For: Charles River Village, LLC P.O. Box 1 MEDWAY, MA 02053	Project Name: Charles River Village MEDWAY, MA Residence 1 Style "D" Siding	Architect: AC - ARCHITECT Anson Courtright AIA 11 Federal Drive Plymouth MA 02361 W0264100	Drawing Name: ELEVATION RIGHT & REAR	Date: 4-25-2013	Drawing #: A-7
---	---	---	--	--------------------	-------------------



APPROVED SIDING
GEORGIA PACIFIC FOREST EDGE VINYL SIDING (OR EQUIVALENT).

AUTHORIZED COLORS
ALL STANDARD AND PREMIUM COLORS NOTED EXCEPT PEARL AND CREAM.
VARIED COLOR COMBINATIONS TO BE USED FOR SIDING, SHUTTERS, AND TRIM.

NOTE:
PROPOSED BUILDING ELEVATIONS SHOWN ARE PROVIDED BY CHARLES RIVER VILLAGE, LLC AND ARE BEING SHOWN AS REQUIRED BY THE TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD IN ACCORDANCE WITH THEIR MAY 14, 2013 "PLANNING & ECONOMIC DEVELOPMENT BOARD CERTIFICATE OF ACTION CHARLES RIVER VILLAGE - OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD) DEFINITIVE PLAN.

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

Mary Jane White
TOWN CLERK

6-11-13
DATE

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

Mary Jane White
TOWN CLERK
June 12, 2013
DATE

COVENANT:
THE DEVELOPMENT IS SUBJECT TO A COVENANT TO BE RECORDED AT THE REGISTRY OF DEEDS.

HOUSE STYLE D - ELEVATIONS
"CHARLES RIVER VILLAGE"
OSRD DEFINITIVE PLAN
IN
MEDWAY, MASSACHUSETTS

DATE ISSUED: MAY 30, 2013

PREPARED FOR:
CHARLES RIVER VILLAGE, LLC
P.O. BOX 1
MEDWAY, MA 02053
(508) 326-7505

SHEET 17 OF 17

CLA-2389