



**LOCUS PLAN**  
SCALE: 1"=1000'±

# SITE PLAN SET

FOR



## 38 SUMMER STREET (ROUTE-126), MEDWAY, MA 02053

**ZONING CLASSIFICATION:**  
COMMERCIAL DISTRICT V (C-V)

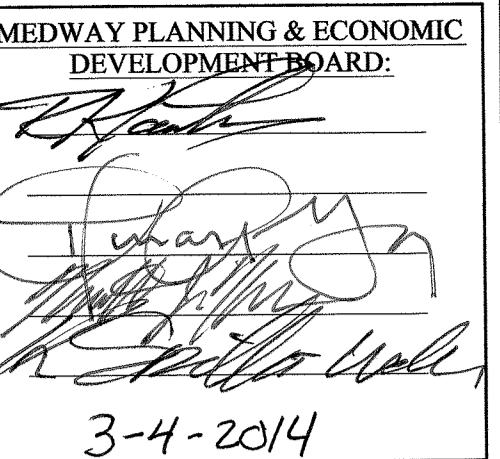
**GRANTED WAIVERS:**

A. PURSUANT TO SECTION 205-4D, THE APPLICANT WAS GRANTED A WAIVER FROM THE REQUIREMENTS TO RECHARGE GROUND WATER WITH SWALES AND DETENTION AREAS. AS EXPLAINED IN THE STORM WATER REPORT, DUE TO LEDGE ON THE SITE, RECHARGE IS NOT ACHIEVABLE. AS FURTHER EXPLAINED IN THE STORM WATER REPORT, THE APPLICANT WILL MITIGATE THE PEAK RATE OF RUNOFF BY MEANS OF A SUBSURFACE DETENTION SYSTEM.

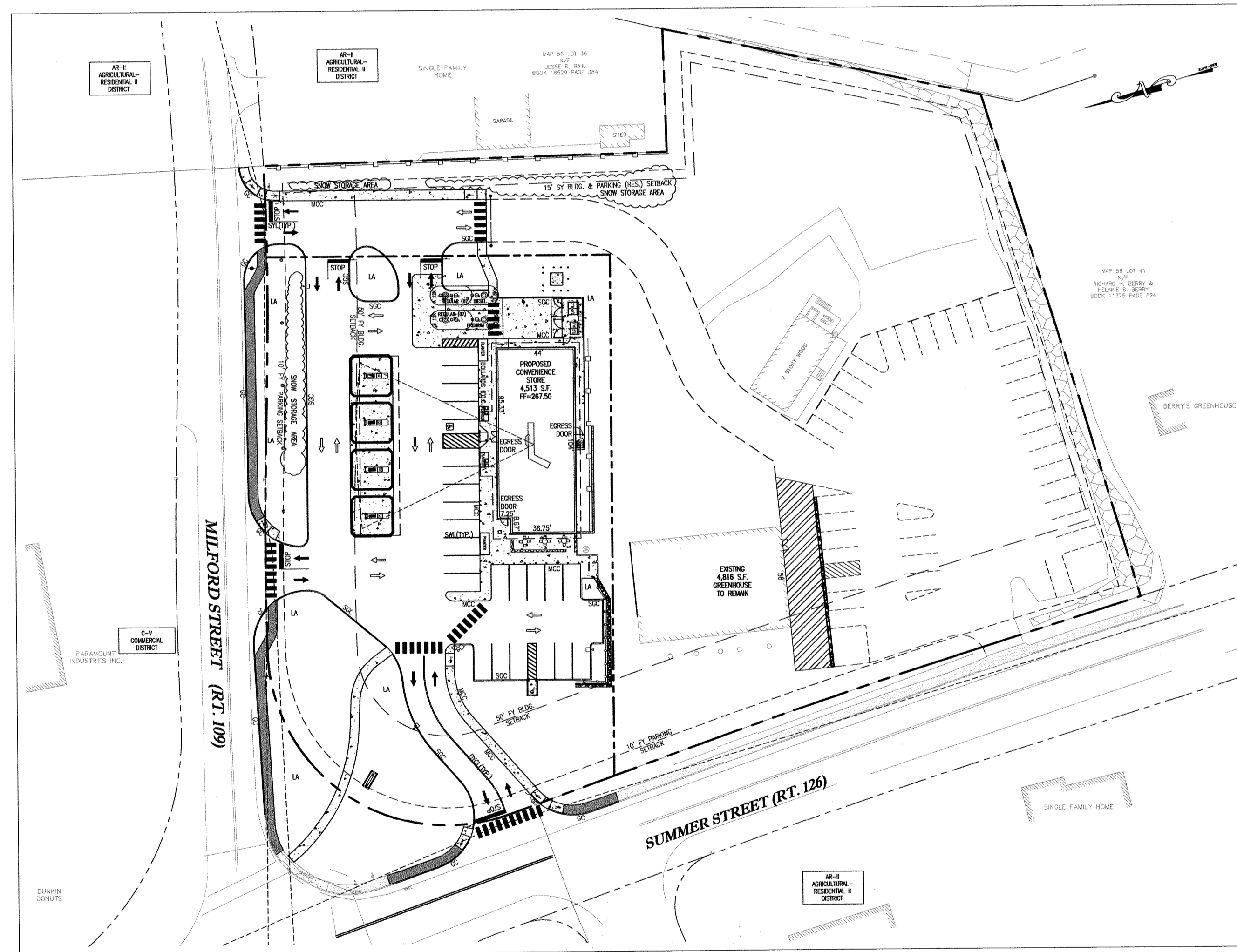
B. PURSUANT TO SECTION 205-3(C-1), THE APPLICANT WAS GRANTED A WAIVER FROM THE MAXIMUM ALLOWABLE SLOPE OF 2% FOR THE FIRST 25 FEET FROM THE CURB LINE. THE PLAN DEPICTS A 3% SLOPE FOR THE FIRST 25 FEET TO ACHIEVE A HIGHER ELEVATION WITHIN THE SITE, THEREBY, REDUCING THE AMOUNT OF LEDGE REMOVAL.

C. PURSUANT TO SECTION 204-5(C-3), THE APPLICANT WAS GRANTED A WAIVER FROM THE REQUIREMENT THAT STATES THAT AN EXISTING LANDSCAPE INVENTORY PLAN SHALL BE PREPARED BY A PROFESSIONAL LANDSCAPE ARCHITECT. THIS SITE IS PRIMARILY A REDEVELOPMENT PROJECT AND THE SURVEY INDICATES SIZE AND LOCATION OF APPROXIMATELY THREE (3) NOTEWORTHY TREES. THE PROPOSED LANDSCAPE PLAN INCLUDES OVER FIFTY (50) NEW TREES AND THREE-HUNDRED & FIFTY (350) NEW SHRUBS AND GROUNDCOVER.

D. PURSUANT TO SECTION 205-4C, THE APPLICANT WAS GRANTED A WAIVER AND A LICENSE TO CONNECT TO THE TOWN OF MEDWAY DRAINAGE SYSTEM RESULTING FROM NO SUITABLE MEANS OF DISCHARGING STORMWATER ON SITE.



DATE	DATE REVISED	SHEET NUMBER	SHEET DESCRIPTION
06-28-2013	02-13-2014	CFG1.0	COVER SHEET
06-10-2013	08-30-2013	CFG2.0	ALTA/ACSM LAND TITLE SURVEY
06-10-2013	08-30-2013	CFG2.1	ALTA/ACSM LAND TITLE SURVEY
06-28-2013	02-13-2014	CFG3.0	SITE DEMOLITION PLAN
06-28-2013	02-13-2014	CFG4.0	SITE PLAN
02-13-2014	-	CFG4.1	OFF-SITE MITIGATION PLAN
06-28-2013	02-13-2014	CFG5.0	SITE GRADING & DRAINAGE PLAN
06-28-2013	02-13-2014	CFG6.0	SITE EROSION & SEDIMENTATION CONTROL PLAN
06-28-2013	02-13-2014	CFG7.0	SITE UTILITY PLAN
06-28-2013	02-13-2014	CFG8.0	SITE LANDSCAPE PLAN
06-28-2013	02-13-2014	CFG9.0	SITE CONSTRUCTION DETAILS
06-28-2013	02-13-2014	CFG9.1	SITE CONSTRUCTION DETAILS
06-28-2013	02-13-2014	CFG9.2	SITE CONSTRUCTION DETAILS
06-28-2013	02-13-2014	CFG9.3	SITE CONSTRUCTION DETAILS
06-28-2013	02-13-2014	CFG9.4	SITE CONSTRUCTION DETAILS
06-06-2013	02-02-2014	CFG10.0	LIGHTING PROPOSAL
-	-	CFG10.1	FIXTURE SPECIFICATION SHEETS
08-21-2013	02-13-2014	CFG12.0	PROPOSED CANOPY ELEVATION
05-14-2013	02-13-2014	CFG13.0	PROPOSED SIGN DRAWING
08-20-2013	01-20-2014	A1.1	FLOOR PLAN
08-20-2013	01-20-2014	A3.1	EXTERIOR ELEVATIONS
08-20-2013	01-20-2014	A3.2	EXTERIOR ELEVATIONS



**OVERALL LAYOUT PLAN**  
SCALE: 1"=50'

**MUNICIPALITY CONTACTS**

DEPARTMENT	CONTACT	PHONE NUMBER	ADDRESS
TOWN ADMINISTRATOR	SUZANNE KENNEDY	508-533-3264	155 VILLAGE STREET, MEDWAY MA 02053
BUILDING DEPARTMENT	JOHN EMIDY	508-533-3253	155 VILLAGE STREET, MEDWAY MA 02053
PUBLIC WORKS	THOMAS HOLDER	508-533-3275	155 VILLAGE STREET, MEDWAY MA 02053
ASSESSOR	WILLIAM NASER	508-533-3203	155 VILLAGE STREET, MEDWAY MA 02053
FIRE	JEFFREY LYNCH	508-533-3213	44 MILFORD STREET, MEDWAY MA 02053
HEALTH	STEPHANIE BACON	508-321-4923	155 VILLAGE STREET, MEDWAY MA 02053
PLANNING & ECON. DEV. BOARD	SUSAN AFFLECK-CHILDS	508-533-3291	155 VILLAGE STREET, MEDWAY MA 02053
POLICE	ALLEN TINGLEY	508-533-3212	315 VILLAGE STREET, MEDWAY MA 02053
TOWN CLERK	MARYJANE WHITE	508-533-3204	155 VILLAGE STREET, MEDWAY MA 02053
BOARD OF SELECTMEN	ANDREW ESPINOSA	508-533-3264	155 VILLAGE STREET, MEDWAY MA 02053
DESIGN REVIEW COMMITTEE	MATT BUCKLEY	508-533-3291	155 VILLAGE STREET, MEDWAY MA 02053

**PREPARED FOR:**

**CUMBERLAND FARMS, INC.**  
100 CROSSING BOULEVARD  
FRAMINGHAM, MA 01702

**GBC**  
GERSHMAN BROWN CROWLEY INC.  
14 BREAKNECKHILL ROAD,  
SUITE 101  
LINCOLN, RI 02865  
p: 401-721-1600

**PREPARED BY:**

**CIVIL DESIGN GROUP, LLC**

21 HIGH STREET SUITE 300A  
NORTH ANDOVER, MA 01845  
www.cdengineering.com  
p: 978-794-5400  
f: 978-914-6161  
CONTACT: PHILIP HENRY, P.E.

**OWNER OF RECORD:**

**PROPERTY:**  
BOOK 547, PAGE 67  
MAP 56, LOTS 37, 38, 39 & 40  
OWNER: ONILLEVA REALTY TRUST, LLC

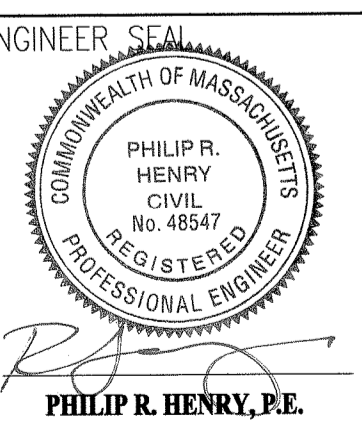
**CONSULTANTS:**

**SURVEY:**  
REED LAND SURVEYING, INC.  
109 RHODE ISLAND ROAD, SUITE 4A  
LAKEVILLE, MA 02347  
508-923-1181  
CONTACT: GLEN REED, P.L.S.

**LANDSCAPE ARCHITECT:**  
WILLIAM FLEMING ASSOCIATES, INC.  
375 MAIN STREET, SUITE 3  
STONEHAM, MA 02180  
781-438-3088  
CONTACT: WILLIAM FLEMING, RLA

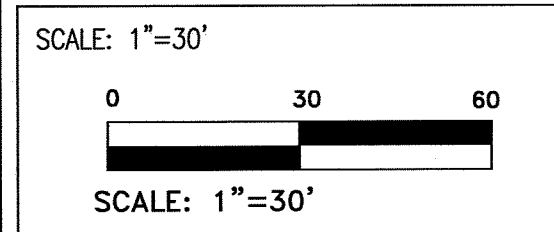
**ARCHITECT:**  
ALLEVATO ARCHITECTS INC.  
31 HAYWARD STREET  
FRANKLIN, MA 02038  
508-528-0770

**TRAFFIC ENGINEER:**  
TIGHE & BOND, INC.  
177 CORPORATE DRIVE  
PORTSMOUTH, NH 03801  
603-433-8818  
CONTACT: JASON PLOURDE, P.E.



ISSUED FOR 100% REVIEW	<b>COVER SHEET</b>
FINAL DATE: 02/13/2014	<b>CFG 1.0</b>
DATE: 06/28/2013	CDG PROJECT # 12027

NOT FOR CONSTRUCTION



REVISIONS:

REV	DATE	COMMENT
1	8/30/2013	REVISED PER PEER REVIEW COMMENTS AND PEDB HEARINGS.

PREPARED BY:

# Reed

Land Surveying, Inc.

109 RHODE ISLAND ROAD, SUITE 4A  
LAKEVILLE, MASSACHUSETTS 02347  
(508) 923-1181 FAX: (508) 923-1191  
© 2013 REED LAND SURVEYING, INC.

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD:

3-4-2014

PREPARED FOR:

## GBC

GERSHMAN BROWN CROWLEY INC.  
14 BREAKNECK HILL ROAD  
SUITE 101  
LINCOLN RI 02865

**Cumberland FARMs**  
100 CROSSING BOULEVARD  
FRAMINGHAM, MA 01702

PROJECT:

38 SUMMER STREET (ROUTE-126)  
@ MILFORD STREET (ROUTE-109)  
MEDWAY, MA 02053

STORE # TBD STATION # TBD

## Civil Design Group, LLC

21 HIGH STREET, SUITE 305B  
NORTH ANDOVER, MA 01845  
www.cdengineering.com  
p: 978-794-5400 f: 978-914-6161

SHEET: 1 OF 2

# ALTA/ACSM LAND TITLE SURVEY

## CFG 2.0

CDG PROJECT #: 12027

DATE: 06/10/2013

POSSIBLE ENCROACHMENTS (PE):  
(THE FOLLOWING ARE USES AND OCCUPATION OF LAND NOT IN CONFORMANCE WITH THE RECORD LINES OF TITLE)

1. A PORTION OF AN ADJOINING DRIVEWAY EXTENDS ONTO THE SUBJECT PROPERTY BY 10.4'
2. A PORTION OF LAWN MAINTAINED BY ADJOINER AND ACCOMPANYING TREES EXTEND BEYOND 18.7' TO 25.0' ONTO THE SUBJECT PROPERTY.
3. THE BOULDER RETAINING WALL IS CONSTRUCTED 0.2' ONTO THE ADJOINING LOT.
4. THE BOULDER RETAINING WALL IS CONSTRUCTED 0.9' ONTO THE ADJOINING LOT.
5. THE BOULDER RETAINING WALL IS CONSTRUCTED 13.7' ONTO THE ADJOINING LOT.
6. THE RAILROAD TIE CURBING IS CONSTRUCTED 3.0' OVER THE STREET LINE.
7. THE RAILROAD TIE CURBING IS CONSTRUCTED 2.0' OVER THE STREET LINE.
8. A CONCRETE RETAINING WALL IS CONSTRUCTED 5.5' OVER THE STREET LINE.
9. A PARKING LOT IS CONSTRUCTED PARTIALLY OVER THE STREET LINE.
10. A ISLAND & PLANTED AREA IS ENTIRELY WITHIN THE STREET LINE RIGHT OF WAY.
11. THE CHAIN LINK FENCE ALONG SUMMER STREET IS CONSTRUCTED UP TO 5.7' OVER THE STREET LINE.

NOTES REGARDING LINES OF TITLE:

1. THE TRIANGULAR SHAPED PIECE OF LAND SHOWN HEREON AS "POSSIBLE GORE" DOES NOT APPEAR TO BE INCLUDED IN THE FOUR PARCELS OF LAND IDENTIFIED IN THE TITLE COMMITMENT.

UTILITY LINE LEGEND

DRAINAGE	D
SEWER	S
WATER	W
GAS	G
OVERHEAD WIRES	OWH
UNDERGROUND ELECTRIC	UE

LEGEND

THESE STANDARD SYMBOLS WILL BE FOUND IN THE DRAWING

+	STREET SIGN
⊕	FIRE HYDRANT
⊙	DRAIN MANHOLE
⊗	SEWER MANHOLE
⊠	CATCH BASIN
⊞	ELECTRIC BOX/MTR
⊞	CABLE BOX
⊞	TELEPHONE BOX
⊞	GAS METER
⊞	WELL
⊞	GAS GATE
⊞	WATER GATE
⊞	UTILITY GATE
⊞	ELECTRIC HAND HOLE
⊞	SIGNAL HAND HOLE
⊞	TELEPHONE HAND HOLE
⊞	UTILITY POLE
⊞	LIGHT POLE
⊞	GUY POLE
⊞	GUY WIRE
⊞	YARD LIGHT
⊞	MAILBOX
⊞	BOUND W/ DRILL HOLE
⊞	DH/IP
⊞	BOULDER
⊞	POST/BOLLARD
⊞	BUSH/SHRUB
⊞	IRRIGATION CTRL BOX

TO:

CUMBERLAND FARMS, INC.,  
FIRST AMERICAN TITLE INSURANCE COMPANY AND  
HINKLEY, ALLEN & SNYDER, LLP

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6, 8, 11(B) AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 5, 2013.

GLEN D. REED, P.L.S. LICENSE NO. 40766  
AS AGENT FOR REED LAND SURVEYING, INC.  
NOT INDIVIDUALLY

August 30, 2013  
DATE

LOCUS DATA

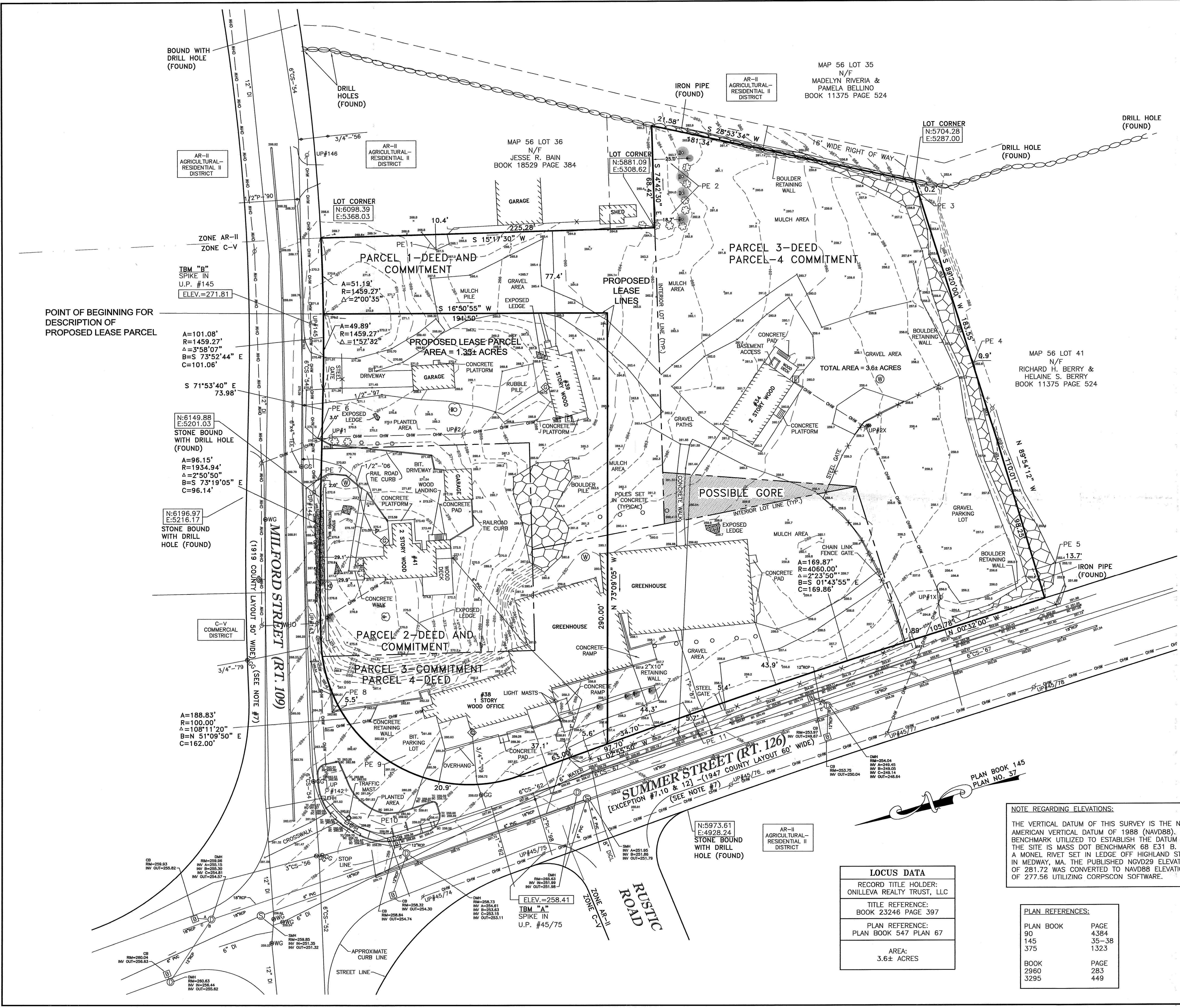
RECORD TITLE HOLDER:	ONILLEVA REALTY TRUST, LLC
TITLE REFERENCE:	BOOK 23246 PAGE 397
PLAN REFERENCE:	PLAN BOOK 547 PLAN 67
AREA:	3.6± ACRES

NOTE REGARDING ELEVATIONS:

THE VERTICAL DATUM OF THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88). THE BENCHMARK UTILIZED TO ESTABLISH THE DATUM ON THE SITE IS MASS DOT BENCHMARK 68 E31 B. IT IS A MONEL RIVET SET IN LEDGE OFF HIGHLAND STREET IN MEDWAY, MA. THE PUBLISHED NAVD29 ELEVATION OF 281.72 WAS CONVERTED TO NAVD88 ELEVATION OF 277.56 UTILIZING CORPSCON SOFTWARE.

PLAN REFERENCES:

PLAN BOOK	PAGE
90	4384
145	35-38
375	1323
BOOK	PAGE
2960	283
3295	449



POINT OF BEGINNING FOR DESCRIPTION OF PROPOSED LEASE PARCEL

A=101.08'  
R=1459.27'  
Δ=3°58'07"  
B=53°52'44" E  
C=101.06'

STONE BOUND WITH DRILL HOLE (FOUND)

A=96.15'  
R=1934.94'  
Δ=2°50'50"  
B=53°19'05" E  
C=96.14'

STONE BOUND WITH DRILL HOLE (FOUND)

A=188.83'  
R=100.00'  
Δ=108°11'20"  
B=N 51°09'50" E  
C=162.00'

STONE BOUND WITH DRILL HOLE (FOUND)

A=188.83'  
R=100.00'  
Δ=108°11'20"  
B=N 51°09'50" E  
C=162.00'

TBM "A" SPIKE IN U.P. #45/75

ELEV.=258.41

TBM "B" SPIKE IN U.P. #145

ELEV.=271.81

TBM "C" SPIKE IN U.P. #145

ELEV.=271.81

TBM "D" SPIKE IN U.P. #145

ELEV.=271.81

**RECORD LAND DESCRIPTIONS:**

NOTE: AS USED HEREIN "RECORDED" SHALL MEAN "RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS."

THE LAND REFERRED TO IN FIRST AMERICAN TITLE INSURANCE COMMITMENT NUMBER NCS-587250-HOU1 IS DESCRIBED AS FOLLOWS:

REAL PROPERTY IN THE TOWN OF MEDWAY, COUNTY OF NORFOLK, COMMONWEALTH OF MASSACHUSETTS, DESCRIBED AS FOLLOWS:

**PARCEL 1: 39 MILFORD STREET**

A CERTAIN PARCEL OF LAND WITH THE BUILDINGS THEREON SITUATED ON THE SOUTHERLY SIDE OF MILFORD STREET IN MEDWAY AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF THE GRANTED PREMISES ON THE SOUTHERLY SIDE OF SAID STREET AND AT LAND NOW OR FORMERLY OF NEIL, FORMERLY DRAKE; THENCE SOUTHWESTERLY BY SAID NEIL LAND 230 FEET; THENCE SOUTHEASTERLY BY SAID NEIL LAND 66 FEET MORE OR LESS TO LAND NOW OR FORMERLY OF ROTZEL; THENCE SOUTHWESTERLY BY SAID ROTZEL LAND 31 FEET MORE OR LESS, TO LAND NOW OR FORMERLY OF FOX ET AL FORMERLY OF HERBERT R. RUMRILL ET UX; THENCE WESTERLY BY SAID LAST MENTIONED LAND 230 FEET MORE OR LESS TO A POINT AND THENCE CONTINUING WESTERLY BY SAID LAST MENTIONED LAND 31 FEET MORE OR LESS TO LAND NOW OR FORMERLY OF ONE MOORE, FORMERLY OF HERBERT R. RUMRILL ET UX; THENCE NORTHERLY BY SAID MOORE LAND 91 FEET MORE OR LESS TO LAND NOW OR FORMERLY OF PARKER, FORMERLY OF RUMRILL; THENCE EASTERLY BY SAID PARKER LAND 72 FEET MORE OR LESS TO A POINT; THENCE NORTHERLY BY SAID PARKER LAND 140 FEET MORE OR LESS TO THE SOUTHERLY SIDE OF SAID STREET AND THENCE EASTERLY BY SAID STREET 142 FEET MORE OR LESS TO THE POINT OF BEGINNING.

CONTAINING BY ESTIMATION APPROXIMATELY ONE (1) ACRE.

THERE IS APPURTENANT TO THE ABOVE DESCRIBED PREMISES THE RIGHT TO MAINTAIN WATER PIPES FROM SAID PREMISES TO SUMMER STREET AS RESERVED IN DEED OF HERBERT R. RUMRILL ET UX TO SAID MOORE RECORDED WITH NORFOLK DEEDS.

BEING THE SAME PREMISES CONVEYED IN A DEED DATED AUGUST 24, 2004 AND RECORDED WITH NORFOLK DEEDS IN BOOK 21525, PAGE 224.

**PARCEL 2: 41 MILFORD STREET**

THE LAND WITH THE BUILDINGS THEREON, SITUATED ON THE SOUTHERLY SIDE OF MILFORD STREET IN THE TOWN OF MEDWAY, VILLAGE OF WEST MEDWAY, NORFOLK COUNTY, MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE GRANTED PREMISES AT A STAKE AT A STONE WALL AT OTHER LAND OF HERBERT R. RUMRILL ET UX; THENCE

EASTERLY ALONG LINE OF MILFORD STREET, ONE HUNDRED FORTY (140) FEET TO A STAKE; THENCE

SOUTHERLY ONE HUNDRED FORTY (140) FEET TO A STAKE; THENCE

WESTERLY ONE HUNDRED FORTY (140) FEET TO A STAKE; THENCE

NORTHERLY 140 FEET TO THE POINT OF BEGINNING; THE LAST THREE LINES BOUNDING ON OTHER LAND OF SAID RUMRILL.

ALL MEASUREMENTS BEING MORE OR LESS.

BEING THE SAME PREMISES CONVEYED IN A DEED DATED JANUARY 23, 1978, RECORDED WITH NORFOLK DEEDS, BOOK 5430, PAGE 122.

**PARCEL 3: 38 SUMMER STREET**

A CERTAIN PARCEL OF LAND SITUATED ON THE SOUTHEASTERLY CORNER OF SUMMER STREET AND MILFORD STREET IN MEDWAY, NORFOLK COUNTY, MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF THE GRANTED PREMISES ON THE SOUTHERLY SIDE OF MILFORD STREET AT A STONE BOUND AT A WALL AT LAND OF ONE PARKER; THENCE RUNNING

SOUTHERLY BY LAND OF SAID PARKER, ONE HUNDRED FORTY (140) FEET TO A STAKE; AND

EASTERLY BY LAST MENTIONED LAND, SIXTY SEVEN (67) FEET TO A STAKE AT OTHER LAND OF RUMRILL; THENCE AGAIN

SOUTHERLY BY OTHER LAND OF RUMRILL, TWO HUNDRED EIGHTEEN (218) FEET TO AN IRON PIPE TO LAND OF FOX AND

WADSWORTH; THENCE

WESTERLY ONE HUNDRED TWENTY SIX (126) FEET BY LAND OF SAID FOX AND WADSWORTH TO AN IRON PIPE AT SUMMER STREET;

THENCE

NORTHERLY TWO HUNDRED SEVENTY THREE (273) FEET ON SUMMER STREET TO A HIGHWAY BOUND; THENCE

NORTHEASTERLY BY A CURVED LINE FORMING THE JUNCTION OF SUMMER STREET AND MILFORD STREET; THENCE

EASTERLY ALONG MILFORD STREET TO LAND OF PARKER AND THE POINT OF BEGINNING.

BE AND ALL OF SAID MEASUREMENTS more or less.

SAID PREMISES ARE CONVEYED SUBJECT TO THE RELOCATION OF SUMMER STREET, SHOWN ON SAID PLAN RECORDED WITH NORFOLK DEEDS IN PLAN BOOK 145, SHEETS 35 TO 50 INCLUSIVE. THIS CONVEYANCE IS MADE SUBJECT TO ANY RESTRICTIONS OF RECORD, IF ANY THERE MAY BE.

BEING THE SAME PREMISES CONVEYED IN A DEED DATED FEBRUARY 5, 1998 AND RECORDED WITH NORFOLK DEEDS IN BOOK 12253, PAGE 483.

**PARCEL 4: 34 SUMMER STREET**

THE LAND THE BUILDINGS THEREON IN MEDWAY, NORFOLK COUNTY, MASSACHUSETTS, ON THE EASTERLY SIDE OF SUMMER STREET BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWESTERLY CORNER OF THE GRANTED PREMISES ON SAID SUMMER STREET AND LAND OF ROBERT J. HARRINGTON ET UX; THENCE RUNNING

EASTERLY BY LAND OF SAID HARRINGTON, 190.00 FEET TO A WALL AT LAND NOW OR FORMERLY OF ONE ROTZEL; THENCE TURNING AND RUNNING

NORTHERLY BY THE WALL AND THE LAND NOW OR FORMERLY OF SAID ROTZEL TO STAKE IN THE STONE WALL AT LAND NOW OR FORMERLY OF HERBERT R. RUMRILL ET UX; THENCE TURNING AND RUNNING

WESTERLY BOUNDED ON THE NORTH BY LAND NOW OR FORMERLY OF SAID RUMRILL, 233.00 FEET TO A STAKE; THENCE TURNING AND RUNNING

SOUTHERLY BY SAID RUMRILL LAND, 120.00 FEET THENCE TURNING AND RUNNING

WESTERLY BY SAID RUMRILL LAND, 125.00 FEET TO SUMMER STREET; AND THENCE TURNING AND RUNNING

SOUTHERLY BY SAID SUMMER STREET, 100.00 FEET TO THE POINT OF BEGINNING.

BEING SAME PREMISES CONVEYED IN A DEED DATED JUNE 1, 2004 AND RECORDED WITH NORFOLK COUNTY REGISTRY OF DEEDS IN BOOK 21101, PAGE 243.

**EXCEPTIONS FOR COMMITMENT NO. NCS-587250-HOU1:**

(NOTE: EXCEPTIONS 1 THROUGH 4 ARE NOT ITEMS THAT CAN BE SHOWN ON A SURVEY)

- 5. TAKING FOR THE RELOCATION OF SUMMER STREET RECORDED IN BOOK 2734, PAGE 291. (PARCEL I) THE LIMITS OF SUMMER STREET AS DESCRIBED THEREIN ARE SHOWN HEREON.
- 6. LOCUS HAS THE BENEFIT OF RIGHTS TO MAINTAIN WATER PIPES AS STATED IN DEED RECORDED IN BOOK 4256, PAGE 616. (PARCEL I) \*\*THE LOCATION OF SAID WATER PIPES ARE NOT DESCRIBED IN SAID DEED. THIS ITEM CANNOT BE PLOTTED AND THE LOCATION OF SAID PIPES IS UNCERTAIN. \*\*
- 7. WATER MAIN RESERVATION STATED IN DEED RECORDED IN BOOK 4256, PAGE 616. (PARCEL III) \*\*THE LOCATION OF SAID WATER PIPES ARE NOT DESCRIBED IN SAID DEED. THIS ITEM CANNOT BE PLOTTED AND THE LOCATION OF SAID PIPES IS UNCERTAIN. \*\*
- 8. TAKING FOR THE RELOCATION OF SUMMER STREET RECORDED IN BOOK 2734, PAGE 291. (PARCEL III) THE LIMITS OF SUMMER STREET AS DESCRIBED THEREIN ARE SHOWN HEREON
- 9. RELOCATION OF SUMMER STREET AS STATED ON DEED RECORDED IN BOOK 23246, PAGE 397. THE LIMITS OF SUMMER STREET AS SHOWN HEREON ARE BASED ON THE PLANS REFERENCED IN SAID DEED.

**SUGGESTED DESCRIPTION OF PROPOSED LEASE PARCEL**

A CERTAIN PARCEL OF LAND ON THE SOUTHERLY SIDE OF MILFORD STREET LOCATED IN THE TOWN OF MEDWAY, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY SIDELINE OF MILFORD STREET; THENCE

S 16° 50' 55" W, A DISTANCE OF ONE HUNDRED NINETY ONE AND 50/100 (191.50') FEET; THENCE

N 73° 09' 05" W, A DISTANCE OF TWO HUNDRED NINETY AND 00/100 (290.00') FEET; THENCE

N 02° 55' 50" W, A DISTANCE OF SIXTY THREE AND 00/100 (63.00') FEET; THENCE

NORTHEASTERLY MORE OR LESS, WITH A CURVE TO THE RIGHT, WITH AN ARC LENGTH OF ONE HUNDRED EIGHTY EIGHT AND 83/100 (188.83') FEET, WITH A RADIUS OF ONE HUNDRED AND 00/100 (100.00') FEET, WITH A CHORD BEARING OF N 51° 09' 50" E AND WITH A CHORD LENGTH OF ONE HUNDRED SIXTY TWO (162.00') FEET; THENCE

EASTERLY MORE OR LESS, WITH A COMPOUND CURVE TO THE RIGHT WITH AN ARC LENGTH OF NINETY SIX AND 15/100 (96.15') FEET, WITH A RADIUS OF ONE THOUSAND NINE HUNDRED THIRTY FOUR AND 94/100 (1934.94') FEET, WITH A CHORD BEARING OF S 73° 19' 05" E AND WITH A CHORD LENGTH OF NINETY SIX AND 14/100 (96.14') FEET, THENCE

S 71° 53' 40" E, A DISTANCE OF SEVENTY THREE AND 98/100 (73.98') FEET; THENCE

EASTERLY MORE OR LESS, WITH A CURVE LEFT WITH AN ARC LENGTH OF FORTY NINE AND 89/100 (49.89') FEET, WITH A RADIUS OF ONE THOUSAND FOUR HUNDRED FIFTY NINE AND 27/100 (1459.27') FEET, WITH A CHORD BEARING OF S 72° 52' 26" E AND WITH A CHORD LENGTH OF FORTY NINE AND 89/100 (49.89') TO THE POINT OF BEGINNING.

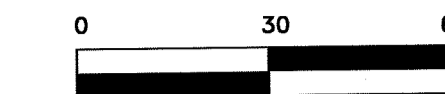
SAID PARCEL OF LAND CONTAINS ONE AND 33/100 (1.33) ACRES OF LAND, MORE OR LESS.

**NOTES:**

- 1. THE SUBJECT PARCEL IS LOCATED ENTIRELY IN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) AS INDICATED ON THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR NORFOLK COUNTY, MASSACHUSETTS, PANEL 139 OF 430 (MAP NUMBER 25021C0139E) WITH AN EFFECTIVE DATE OF JULY 7, 2012.
- 2. THE UNDERGROUND UTILITY LOCATIONS AND SIZES AS SHOWN HEREON ARE BASED ON AVAILABLE RECORD DATA AND FIELD EVIDENCE AND ARE APPROXIMATE. DIG SAFE SHOULD BE CALLED PRIOR TO ANY EXCAVATIONS.
- 3. LOT NUMBERS REFER TO THE TOWN OF MEDWAY ASSESSOR'S LOT NUMBERS AS SHOWN ON ASSESSOR'S MAP SHEET NUMBER 56. THE SUBJECT PROPERTY IS LOTS 37,38,39 AND 40 AS SHOWN ON SAID MAP.
- 4. THE SUBJECT PROPERTY IS LOCATED ENTIRELY IN THE COMMERCIAL V ZONING DISTRICT AS SHOWN ON THE TOWN OF MEDWAY ZONING MAP AS LAST REVISED ON APRIL 7, 2012.
- 5. THE REFERENCES SHOWN HEREON REFER TO INSTRUMENTS RECORDED AT THE NORFOLK COUNTY COUNTY REGISTRY OF DEEDS.
- 6. THE COORDINATES SHOWN HEREON ARE BASED ON AN ASSUMED COORDINATE SYSTEM. THE BASIS OF THE BEARINGS IS A PLAN RECORDED IN PLAN BOOK 145 AS PLAN 37 (SUMMER STREET LAYOUT).
- 7. ACCORDING TO THE MEDWAY TOWN CLERK'S RECORDS; MILFORD STREET AND SUMMER STREET ARE ACCEPTED PUBLIC WAYS.

NOT FOR CONSTRUCTION

SCALE: 1"=30'



SCALE: 1"=30'

**REVISIONS:**

REV	DATE	COMMENT
1	8/30/2013	REVISED PER PEER REVIEW COMMENTS AND PEDB HEARINGS.

PREPARED BY:

**Reed Land Surveying, Inc.**  
 109 RHODE ISLAND ROAD, SUITE 4A  
 LAKEVILLE, MASSACHUSETTS 02347  
 (508) 923-1181 FAX: (508) 923-1181  
 © 2013 REED LAND SURVEYING, INC.

**MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD:**

*[Signature]*  
*[Signature]*  
 3-4-2014

PREPARED FOR:

**GBC**  
 GERSHMAN BROWN CROWLEY INC.  
 14 BREAKNECK HILL ROAD  
 SUITE 101  
 LINCOLN RI 02865

**Cumberland FARMS**  
 100 CROSSING BOULEVARD  
 FRAMMINGHAM, MA 01702

PROJECT:

38 SUMMER STREET (ROUTE-126)  
@ MILFORD STREET (ROUTE-109)  
MEDWAY, MA 02053

STORE # TBD STATION # TBD

**CIVIL DESIGN GROUP, LLC**

21 HIGH STREET, SUITE 305B  
NORTH ANDOVER, MA 01845  
www.cdengineering.com  
p: 978-794-5400 f: 978-914-6161

SHEET: 2 OF 2

**ALTA/ACSM LAND TITLE SURVEY**

**CFG 2.1**

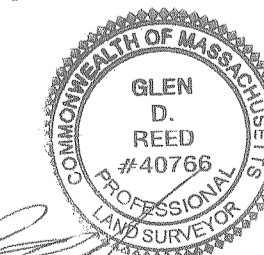
CDG PROJECT #: 12027

DATE: 6/10/2013

TO:

CUMBERLAND FARMS, INC.,  
FIRST AMERICAN TITLE INSURANCE COMPANY AND  
HINKLEY, ALLEN & SNYDER, LLP

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2,3,4,5,6,8,11(A),11(B) AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 5, 2013.



*[Signature]*  
 GLEN D. REED, P.L.S. LICENSE NO. 40766  
 AS AGENT FOR REED LAND SURVEYING, INC.  
 NOT INDIVIDUALLY

August 30, 2013  
DATE

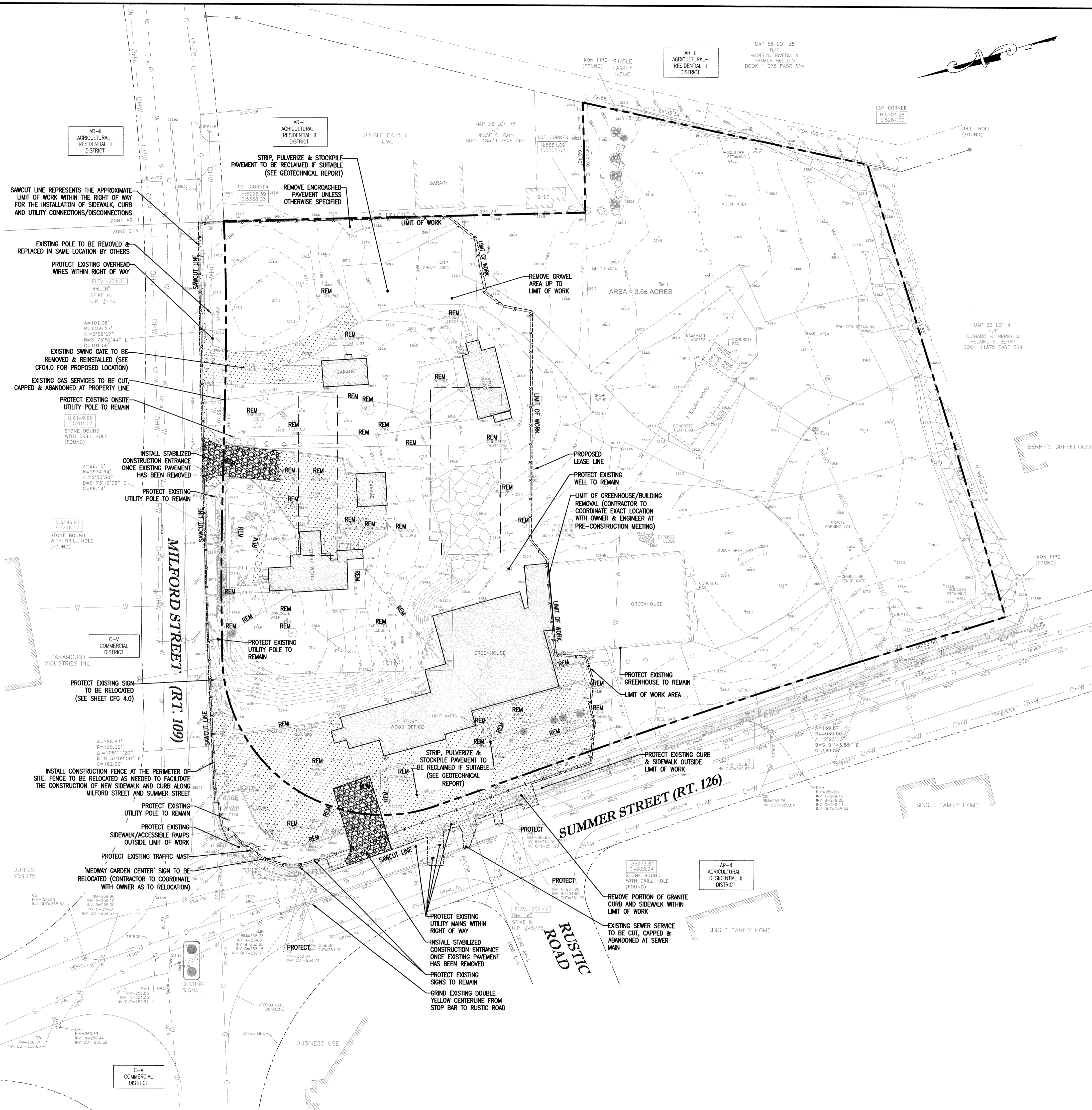
# SITE & DEMOLITION NOTES

- THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE PLANS ARE BASED ON MEASUREMENTS TAKEN IN THE FIELD AND DISCOVERED RECORDS FROM VARIOUS UTILITY COMPANIES AND/OR FROM THE MUNICIPALITY. THIS INFORMATION SHALL NOT BE CONSIDERED EXACT AND THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY "DIG SAFE" (811) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXISTING UTILITY MARK OUT LOCATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF EXISTING UTILITY LOCATIONS CONFLICT WITH THE PROPOSED DEVELOPMENT PROGRAM SO THAT A REMEDIAL ACTION CAN TAKE PLACE PRIOR TO ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR RELOCATING ALL EXISTING UTILITIES AS A RESULT OF THE PROPOSED DEVELOPMENT.
- THIS PROJECT INCLUDES THE PARTIAL DEMOLITION OF THE EXISTING MEDWAY GARDEN CENTER, A SINGLE FAMILY HOME, ADJACENT STRUCTURES BY OTHERS AND ASSOCIATED PARKING LOTS, DRIVEWAYS, UTILITY CONNECTIONS AND APPURTENANCES BY CONTRACTOR.
- EXISTING BASE INFORMATION INCLUDING STRUCTURES, UTILITIES AND TOPOGRAPHY ARE TAKEN FROM PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY, CFG 2.0" PREPARED BY REED LAND SURVEYING, DATED 06/10/2013.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
- THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SAWCUT LINES, WATTLE LINES, AND/OR CONSTRUCTION FENCE LINES. EXISTING FEATURES OUTSIDE LIMIT OF WORK LINE ARE TO REMAIN UNLESS OTHERWISE SPECIFIED AND THE EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE MUNICIPAL DEPARTMENTS INCLUDING THE BUILDING DEPARTMENT AT LEAST 48 HOURS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- ALL DISTURBED OFF-SITE AREAS SHALL BE RESTORED TO PRE CONSTRUCTION CONDITION.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER THE DETAIL WHEREVER CONSTRUCTION ACCESS EXISTS. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
- PEDESTRIAN AND VEHICULAR ACCESS WITHIN THE TOWN RIGHT-OF-WAY SHALL BE KEPT IN GOOD CONDITION THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND UTILITY CONNECTION/DISCONNECTION FEES RELATED TO THE PROJECT. CONTRACTOR SHALL NOTIFY AND COORDINATE ALL UTILITY WORK WITH THE APPLICABLE UTILITY COMPANIES AND/OR LOCAL DEPARTMENTS. ALL PERMITS SHALL BE KEPT WITHIN THE TRAILER AND CLEARLY VISIBLE.
- EXISTING SEWER SERVICES THAT ARE TO BE REMOVED SHALL BE CUT, CAPPED & ABANDONED AT THE MAIN IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- EXISTING WATER SERVICES THAT ARE TO BE REMOVED SHALL BE CUT, CAPPED & ABANDONED AT THE MAIN IN ACCORDANCE WITH LOCAL REQUIREMENTS. EXISTING WATER SERVICE DISCONNECTS SHALL BE INSPECTED BY THE MUNICIPAL WATER DEPARTMENT.
- THE OFFSITE DISPOSAL OF ALL DEMOLISHED MATERIALS SHALL COMPLY WITH THE APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES.
- EXISTING ONSITE BITUMINOUS PAVEMENT SHALL BE STRIPPED, PULVERIZED AND STOCKPILED ONSITE TO BE USED AS RECLAIMED ASPHALT PAVEMENT BORROW/Common FILL MATERIAL IF DEEMED SUITABLE BY THE GEOTECHNICAL RECOMMENDATIONS. IF EXISTING PAVEMENT IS NOT SUITABLE FOR REUSE, IT SHALL BE REMOVED OFFSITE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- CONSTRUCTION DUMPSTERS SHALL BE LOCATED ON A STABLE SURFACE AND SHALL BE PROPERLY MAINTAINED AND EMPTIED ON A REGULAR BASIS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE GENERAL UPKEEP OF THE SITE DURING THE CONSTRUCTION PROCESS.
- CONTRACTOR SHALL COORDINATE WITH THE LOCAL FIRE DEPARTMENT REGARDING BLASTING, BLASTING REGULATIONS AND PROCEDURES SHALL BE IN ACCORDANCE WITH BUT NOT LIMITED TO 527 CMR 13 EXPLOSIVES.
- CONTRACTOR SHALL STOCKPILE SELECTIVE BLAST ROCKS FOR DECORATIVE REUSE ONSITE.
- REFER TO SHEET "CFG6.0" FOR EROSION & SEDIMENTATION CONTROL INFORMATION, WHICH WILL NEED TO BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION.

GENERAL ABBREVIATIONS		
EDGE OF PAVEMENT ON CENTER	EOP	
VERTICAL GRANITE CURB	OC	
BITUMINOUS CONCRETE	BIT. CONC	
CONCRETE SURFACE	CONC	
CHAIN LINK SURFACE	C.L.F.	
FINISHED FLOOR ELEVATION	FF	
SOLID WHITE EDGE LINE	SWEL	
SOLID WHITE LINE	SWL	
DOUBLE YELLOW CENTERLINE	DYCL	
UTILITY POLE	UP	
NOW OR FORMERLY ASSESSORS PARCEL	N/F A.P.	

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
(Symbol)	(Symbol)	PROPERTY/LEASE LINE
(Symbol)	(Symbol)	DRAIN MANHOLE
(Symbol)	(Symbol)	CATCH BASIN
(Symbol)	(Symbol)	SEWER MANHOLE
(Symbol)	(Symbol)	DRAIN PIPE
(Symbol)	(Symbol)	GAS LINE
(Symbol)	(Symbol)	OVERHEAD WIRES
(Symbol)	(Symbol)	WATER LINE
(Symbol)	(Symbol)	SEWER LINE
(Symbol)	(Symbol)	HYDRANT
(Symbol)	(Symbol)	SIGN
(Symbol)	(Symbol)	SITE LIGHT
(Symbol)	(Symbol)	BOLLARD/POST
(Symbol)	(Symbol)	ELECTRIC BOX/MTR
(Symbol)	(Symbol)	UTILITY POLE
(Symbol)	(Symbol)	LIGHT POLE
(Symbol)	(Symbol)	GUY POLE
(Symbol)	(Symbol)	GUY WIRE
(Symbol)	(Symbol)	BOUND W/ DRILL HOLE
(Symbol)	(Symbol)	DH/ IP
(Symbol)	(Symbol)	BOULDER
(Symbol)	(Symbol)	BUSH/ SHRUB
(Symbol)	(Symbol)	IRRIGATION CTRL BOX
(Symbol)	(Symbol)	CABLE BOX
(Symbol)	(Symbol)	TELEPHONE BOX
(Symbol)	(Symbol)	GAS METER
(Symbol)	(Symbol)	WELL
(Symbol)	(Symbol)	GAS GATE
(Symbol)	(Symbol)	WATER GATE
(Symbol)	(Symbol)	UTILITY GATE
(Symbol)	(Symbol)	ELECTRIC HAND HOLE
(Symbol)	(Symbol)	SIGNAL HAND HOLE
(Symbol)	(Symbol)	TELEPHONE HAND HOLE
(Symbol)	(Symbol)	INDEX CONTOUR
(Symbol)	(Symbol)	MINOR CONTOUR
(Symbol)	(Symbol)	CONCRETE SIDEWALK
(Symbol)	(Symbol)	BITUMINOUS CONCRETE SIDEWALK
(Symbol)	(Symbol)	CONSTRUCTION FENCE
(Symbol)	(Symbol)	EXISTING BUILDINGS & APPURTENANCES TO BE DEMOLISHED BY OWNER PRIOR TO CONSTRUCTION
(Symbol)	(Symbol)	PROPOSED BUILDING PAD FOOTPRINT
(Symbol)	(Symbol)	PAVEMENT TO BE RECLAIMED (IF SUITABLE)
(Symbol)	(Symbol)	STABILIZED CONSTRUCTION ENTRANCE

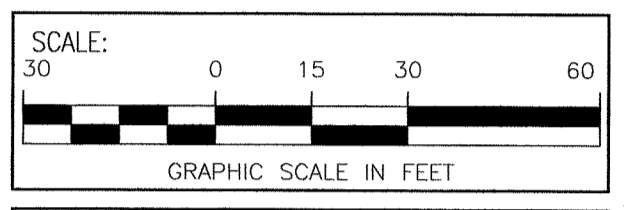


## MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

3-4-2014

### CONSTRUCTION PLANS

REVISIONS:		
REV	DATE	COMMENT
1	08-30-13	REVISED PER PEER REVIEW COMMENTS & PEDB HEARINGS
2	10-30-13	REVISED PER FINAL PB & DRC COMMENTS
3	02-13-14	ISSUED FOR 100% REVIEW



DESIGNED BY: MAL  
CHECKED BY: PRH

SEAL:  
PHILIP R. HENRY, P.E.

PREPARED FOR:  
**GBC**  
GERSHMAN BROWN CROWLEY INC.  
14 BREAKNECK HILL ROAD  
SUITE 101  
LINCOLN RI 02865

**Cumberland Farms**  
100 CROSSING BOULEVARD  
FRAMINGHAM, MA 01702

PROJECT:  
38 SUMMER STREET (ROUTE-126)  
@ MILFORD STREET (ROUTE-109)  
MEDWAY, MA 02053  
STORE # TBD STATION # TBD

PREPARED BY:  
**CIVIL DESIGN GROUP, LLC**  
21 HIGH STREET, SUITE 300A  
NORTH ANDOVER, MA 01845  
www.cdengineering.com  
p: 978-794-5400 f: 978-914-6161

SHEET:  
**SITE DEMOLITION PLAN**  
**CFG 3.0**

CDG PROJECT #: 12027  
DATE: 06/28/2013

### GENERAL NOTES

- ZONING DISTRICT INFORMATION OBTAINED FROM TOWN OF MEDWAY ZONING MAP, DATED APRIL 17, 2012, AND THE TOWN OF MEDWAY ZONING BYLAWS, DATED APRIL 17, 2012.
- THE PROJECT INCLUDES THE CONSTRUCTION OF A 4,513 SQUARE FOOT CONVENIENCE STORE WITH FOUR (4) MULTI-PRODUCT FUEL DISPENSERS AND TWENTY-FOUR (24) PARKING SPACES ON A 1.33 ACRE LEASED AREA.
- THE PROJECT LIES WITHIN COMMERCIAL DISTRICT V (C-V) ON LOTS 37, 38 & 39 ON MAP 56 AS SHOWN ON THE TOWN OF MEDWAY ASSESSOR'S MAP.
- MODIFICATIONS TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES SHALL BE APPROVED BY THE ENGINEER.
- THIS SITE LIES ENTIRELY WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD RATE INSURANCE MAP (FIRM), NORFOLK COUNTY, COMMUNITY PANEL 139 OF 430 (MAP #2502100139E), WITH AN EFFECTIVE DATE OF JULY 7, 2012.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS, AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
- THE PROPOSED MEDWAY GARDEN CENTER LAYOUT IS SHOWN FOR CONCEPTUAL PURPOSES ONLY AND TO ILLUSTRATE DIMENSIONAL COMPLIANCE. THE REDEVELOPMENT OF THE MEDWAY GARDEN CENTER IS NOT PART OF THIS APPLICATION NOR IS THE APPLICANT SEEKING APPROVAL OF THE SAME.

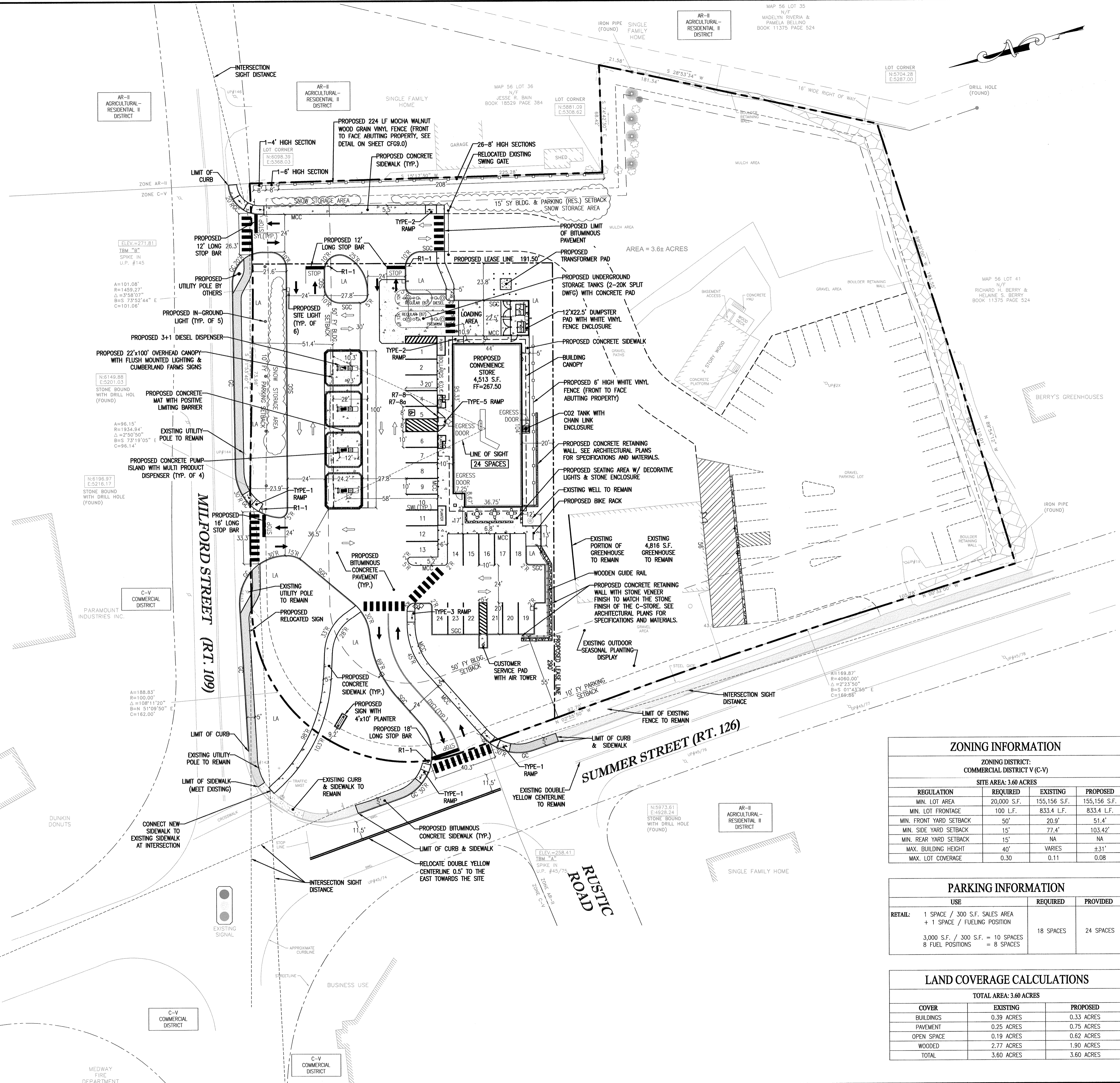
### SITE LAYOUT NOTES

- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND EXTERIOR FEATURES INCLUDING UTILITY METERS, BOLLARDS, DOORS, PLASTERS, RAMPS, ETC.
- ALL LIMITS OF PAVEMENT SHALL BE CURBED, UNLESS OTHERWISE NOTED.
- GRANITE CURB SHALL BE INSTALLED WITHIN THE RIGHT OF WAY AND SHALL TERMINATE AT THE ACCESSIBLE RAMPS AS SHOWN ON THE PLAN.
- CURB WITHIN THE SITE LIMITS SHALL BE SLOPED GRANITE UNLESS OTHERWISE NOTED.
- PARKING SPACE DIMENSIONS SHALL BE 10' WIDE X 20' LONG, UNLESS OTHERWISE NOTED.
- ACCESS AISLES SHALL BE A MINIMUM OF 24' WIDE.
- PAVEMENT MARKINGS AND STRIPING SHALL PAINTED WITH 2 COATS OF PAINT (WHITE OR YELLOW) PER FEDERAL SPECIFICATION T1-P-115 TYPE 1: ALKYD.
- PAVEMENT LETTERS SHALL BE 2" WIDE X 8" LONG.
- STOP BARS SHALL BE 8" WIDE AND SOLID LINES SHALL BE 4" IN WIDTH (SEE SITE PLAN FOR LENGTH).
- ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE LATEST EDITION OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS SHOWN ON THE SITE LAYOUT PLAN.
- DIRECTIONAL AND ACCESSIBLE SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR COLOR AND SIZE.
- ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO TOWN/STATE STANDARDS.
- SNOW PILES SHALL NOT EXCEED 6 FEET IN HEIGHT WITHIN THE DESIGNATED SNOW STORAGE AREAS. EXCESS SNOW SHALL BE REMOVED OFFSITE IN ACCORDANCE WITH TOWN REGULATIONS.
- REFER TO ARCHITECTURAL PLANS FOR SITE LIGHT POLE BASE DETAILS AND SPECIFICATIONS.
- REPLACEMENT PAVEMENT AS A RESULT OF UTILITY AND DRAINAGE TRENCHING WITHIN THE RIGHT-OF-WAY SHALL MATCH EXISTING PAVEMENT THICKNESS.
- BLAST ROCKS SHALL BE SELECTIVELY PLACED AT THE WESTERLY ENTRANCE ON ROUTE-109 OUTSIDE SIGHT DISTANCE TRIANGLES.

GENERAL ABBREVIATIONS		MUTCD REFERENCE	SIGN
EDGE OF PAVEMENT	EOP		
EDGE OF GRAVEL	EOG		
ON CENTER	OC		
VERTICAL GRANITE CURB	CC	R1-1	
EXTRUDED CONCRETE CURB	ECC		
MONOLITHIC CONCRETE CURB	MCC		
FINISHED FLOOR ELEVATION	FF		
SOLID WHITE EDGE LINE	SWEL		
DOUBLE YELLOW CENTERLINE	DYCL	R7-8	
LANDSCAPED AREA	LA		
FRONT YARD	FY		
SIDE YARD	SY		
REAR YARD	RY		
DUAL WALL FIBERGLASS UTILITY POLE	DWFG		
UTILITY POLE	UP	R7-8a	
NOW OR FORMERLY ASSESSOR'S PARCEL	N/F A.P.		

LEGEND		DESCRIPTION
	EXISTING	PROPERTY LINE
	PROPOSED	BUILDING SETBACK
	PROPOSED	PARKING SETBACK
	PROPOSED	PARKING SPACE
	PROPOSED	CURB RADIUS
	PROPOSED	HANDICAP PARKING PAINT
	PROPOSED	SIGN
	PROPOSED	IN-GROUND SITE LIGHT
	PROPOSED	SITE LIGHT
	PROPOSED	FENCE
	PROPOSED	HYDRANT
	PROPOSED	UTILITY POLE
	PROPOSED	CROSSWALK
	PROPOSED	BUILDING COLUMN
	PROPOSED	PAINTED ARROW
	PROPOSED	TRAFFIC FLOW ARROW (NOT TO BE PAINTED)
	PROPOSED	CONCRETE SIDEWALK
	PROPOSED	BITUMINOUS CONCRETE SIDEWALK
	PROPOSED	BOUND W/ DRILL HOLE
	PROPOSED	IRON PIPE/IRON PIN



### ZONING INFORMATION

ZONING DISTRICT: COMMERCIAL DISTRICT V (C-V)			
SITE AREA: 3.60 ACRES			
REGULATION	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	20,000 S.F.	155,156 S.F.	155,156 S.F.
MIN. LOT FRONTAGE	100 L.F.	833.4 L.F.	833.4 L.F.
MIN. FRONT YARD SETBACK	50'	20.9'	51.4'
MIN. SIDE YARD SETBACK	15'	77.4'	103.42'
MIN. REAR YARD SETBACK	15'	NA	NA
MAX. BUILDING HEIGHT	40'	VARIES	+31'
MAX. LOT COVERAGE	0.30	0.11	0.08

### PARKING INFORMATION

USE	REQUIRED	PROVIDED
RETAIL: 1 SPACE / 300 S.F. SALES AREA + 1 SPACE / FUELING POSITION	18 SPACES	24 SPACES
3,000 S.F. / 300 S.F. = 10 SPACES		
8 FUEL POSITIONS = 8 SPACES		

### LAND COVERAGE CALCULATIONS

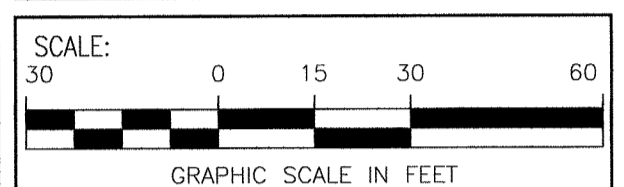
TOTAL AREA: 3.60 ACRES		
COVER	EXISTING	PROPOSED
BUILDINGS	0.39 ACRES	0.33 ACRES
PAVEMENT	0.25 ACRES	0.75 ACRES
OPEN SPACE	0.19 ACRES	0.62 ACRES
WOODED	2.77 ACRES	1.90 ACRES
TOTAL	3.60 ACRES	3.60 ACRES

### MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD:

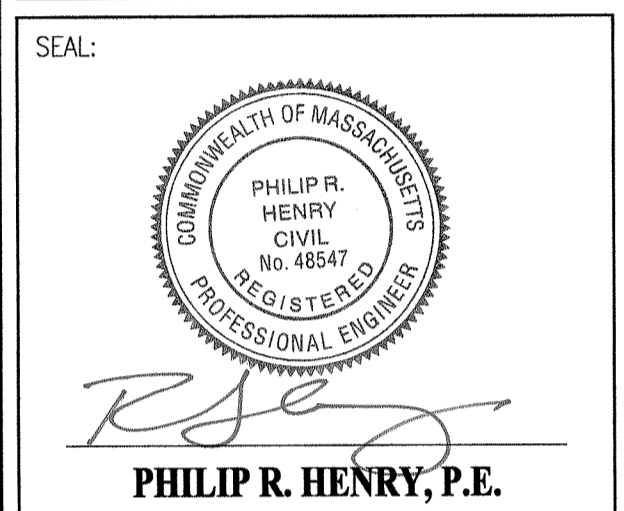
*[Signatures]*  
3-4-2014

### CONSTRUCTION PLANS

REV	DATE	COMMENT
1	08-30-13	REVISED PER PEER REVIEW COMMENTS & PDEB HEARINGS
2	10-30-13	REVISED PER FINAL PB & DRC COMMENTS
3	02-13-14	ISSUED FOR 100% REVIEW



DESIGNED BY: MAL  
CHECKED BY: PRH



PREPARED FOR:  
**GBC**  
GERSHMAN BROWN CROWLEY INC.  
14 BREAKNECK HILL ROAD  
SUITE 101  
LINCOLN RI 02865



PROJECT:  
38 SUMMER STREET (ROUTE-126)  
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STORE # TBD STATION # TBD

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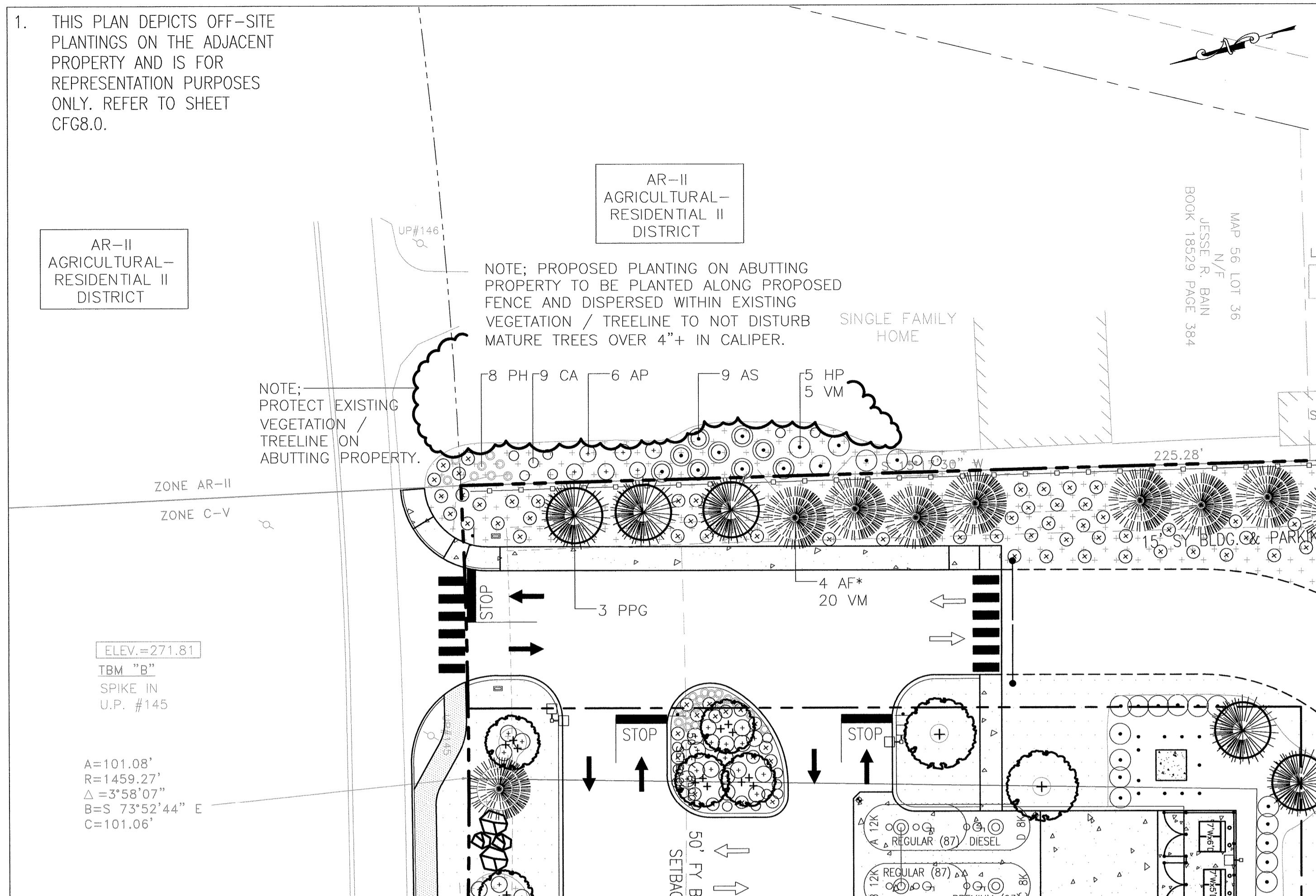
SHEET:

### SITE PLAN

# CFG 4.0

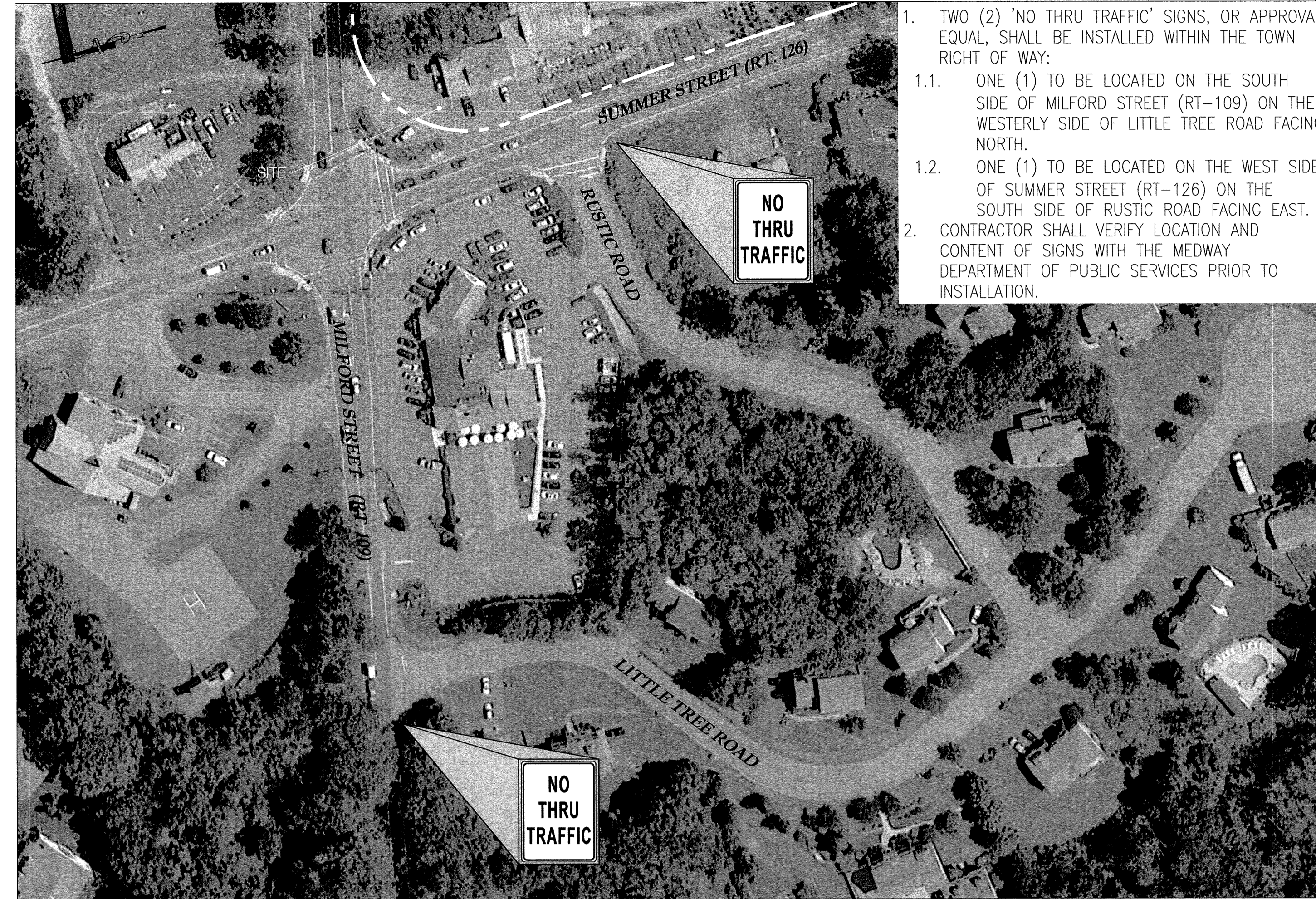
CDG PROJECT #: 12027

DATE: 06/28/2013



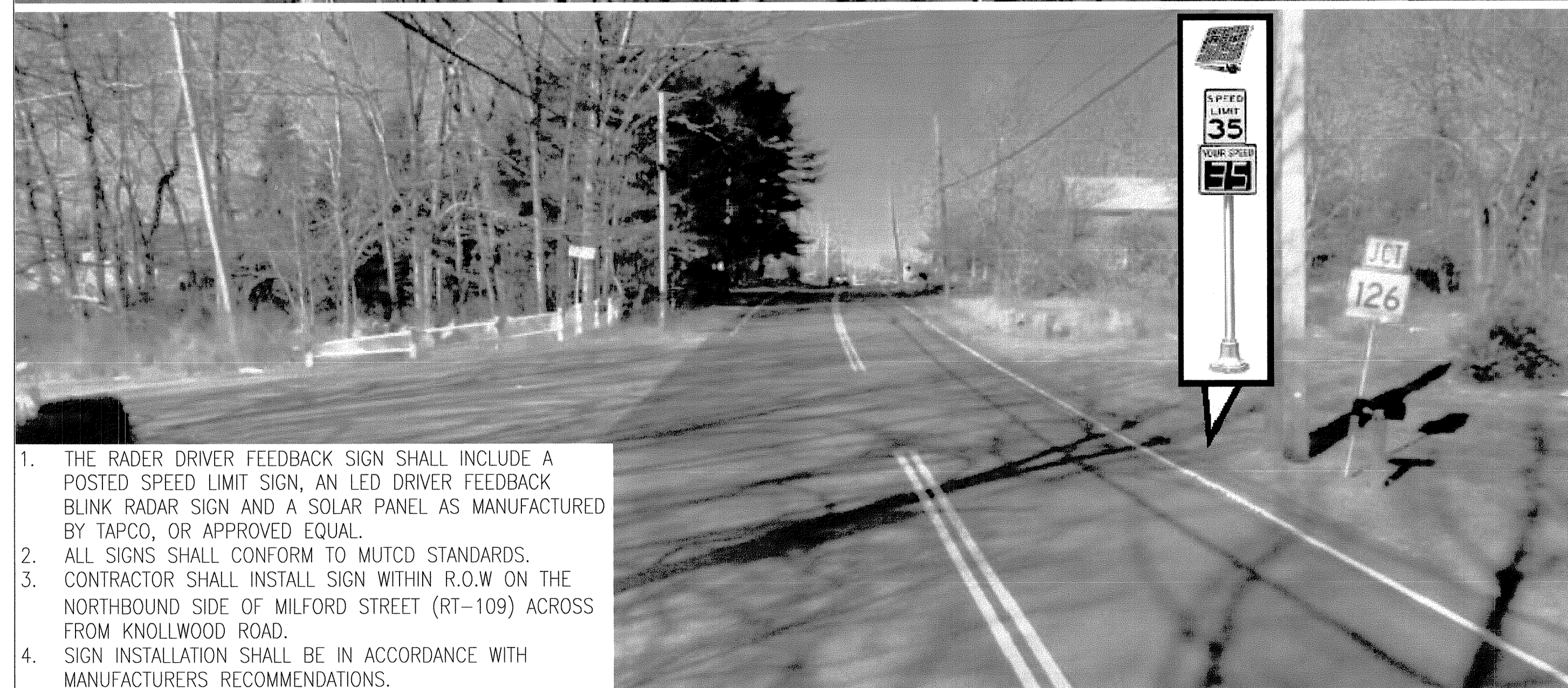
**OFF-SITE LANDSCAPE PLAN**

SCALE: 1"=20'



**NO THRU TRAFFIC SIGNAGE PLAN**

NOT TO SCALE



**DRIVER FEEDBACK SIGNAGE PLAN**

NOT TO SCALE

**PEDESTRIAN PUSH BUTTON SPECIFICATIONS**

THE FOLLOWING IS A LIST OF THE SPECIFICATIONS FOR THE INSTALLATION OF EIGHT (8) ACCESSIBLE PEDESTRIAN SIGNAL (APS) PUSH BUTTONS AT THE INTERSECTION OF RT-109 & RT-126, SUBJECT TO MASSDOT APPROVAL.

1. PEDESTRIAN PUSH BUTTON CONTROLS SHALL BE RAISED FROM OR FLUSH WITH THEIR HOUSINGS AND SHALL BE A MINIMUM OF 2" IN THE SMALLEST DIMENSION. THE FORCE REQUIRED TO ACTIVATE THE CONTROLS SHALL BE NO GREATER THAN 5LBS.
2. EACH PUSH BUTTON SHALL BE COMPLEMENTED WITH AN AUDIBLE AND VIBRO-TACTILE INDICATION WITH LED CONFIRMATION LIGHT. EACH SEPARATELY PHASED PEDESTRIAN MOVEMENT SHALL HAVE ITS OWN DISTINCTIVE AUDIBLE EMANATION IN ORDER FOR VISUALLY IMPAIRED PEDESTRIANS TO DISCRIMINATE WHICH PHASE IS APPROPRIATE GIVEN HIS OR HER DESTINATION AND/OR DIRECTION OF TRAVEL.
3. THE AUDIBLE EMANATION SHALL BE A PERCUSSION TYPE SOUND. NO BUZZER OR RINGING TYPE SOUNDS WILL BE ACCEPTABLE. THE OUTPUT LEVEL OF THE AUDIBLE PEDESTRIAN SIGNAL SHALL VARY IN INTENSITY WITH SIGNIFICANT FLUCTUATIONS IN AMBIENT NOISE CONDITIONS. AT A MINIMUM, THE OUTPUT LEVEL SHALL VARY IN INTENSITY FROM DAYTIME TO NIGHTTIME OPERATIONS.
4. PEDESTRIAN PUSH BUTTONS SHALL BE LOCATED AS CLOSE AS PRACTICABLE TO THE SIDEWALK CURB RAMP SERVING THE CONTROLLED CROSSING AND SHALL PERMIT OPERATION FROM A CLEAR GROUND SPACE. IF TWO CROSSWALKS, ORIENTED IN DIFFERENT DIRECTIONS, END AT OR NEAR THE SAME LOCATION, THE POSITIONING OF PEDESTRIAN PUSH BUTTONS AND/OR LEGENDS ON THE PEDESTRIAN PUSH BUTTON SIGNS SHOULD CLEARLY INDICATE WHICH CROSSWALK SIGNAL IS ACTUATED BY EACH PEDESTRIAN PUSH BUTTON.
5. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE CORRECT ARROW ORIENTATION OF THE "R10-3E" SIGN AND OR PEDESTRIAN PUSH BUTTON.
6. A MAXIMUM MOUNTING HEIGHT OF 42 INCHES ABOVE THE FINISH SIDEWALK GRADE SHALL BE USED FOR PEDESTRIAN PUSH BUTTONS.

**ACCESSIBLE PEDESTRIAN SIGNAL (APS) PUSH BUTTON DETAILS**

NOT TO SCALE

*[Signatures]*  
3-4-2014

**CONSTRUCTION PLANS**

REVISIONS:

REV	DATE	COMMENT

SCALE: **NOT TO SCALE**

DESIGNED BY: MAL  
CHECKED BY: PRH

SEAL:

PHILIP R. HENRY, P.E.

PREPARED FOR:

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SHEET: **OFF-SITE MITIGATION PLAN**  
**CFG 4.1**

CDG PROJECT #: 12027

DATE: 02/13/2014

# GRADING & DRAINAGE NOTES

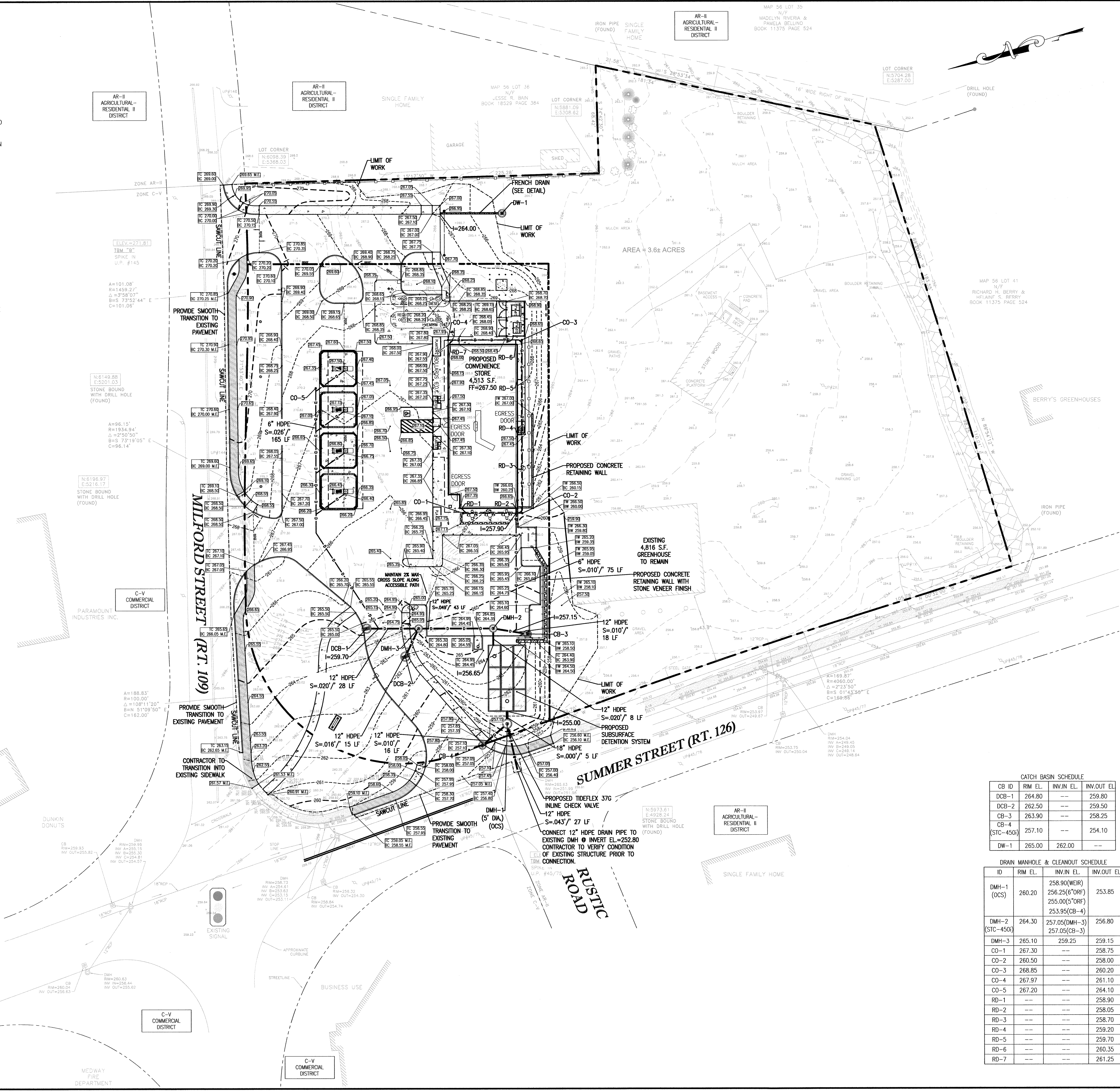
- THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON THE DATUM REFERENCE ON THE EXISTING CONDITIONS PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND ELEVATION BENCHMARKS THROUGHOUT CONSTRUCTION.
- EXTERIOR ELEVATIONS ALONG EACH BUILDING SIDE MAY VARY IN ORDER TO ACHIEVE GRADE IN CERTAIN AREAS. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING.
- NEW SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0% AND A MAXIMUM RUNNING SLOPE OF 5.0% UNLESS AN ADA COMPLIANT RAMP IS PROVIDED. RAMP SLOPE SHALL NOT EXCEED AN 8.0% RUNNING SLOPE AND SHALL NOT EXCEED A 6" RISE UNLESS A HANDRAIL IS PROVIDED. FURTHERMORE, ACCESSIBLE PARKING SPACES AND PROXIMATE ACCESS AREAS SHALL BE SLOPED AT A MAXIMUM OF 2.0% IN ALL DIRECTIONS. SHOULD ANY DISCREPANCIES WITH THESE REQUIREMENTS ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
- CONTRACTOR SHALL NOTIFY ENGINEER IF THE ILLUSTRATED GRADES CANNOT BE ACHIEVED WITHIN ACCESSIBLE AREAS, INCLUDING PARKING SPACES, ROUTES AND RAMPS.
- UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
- PROPOSED BOTTOM OF CURB ELEVATIONS ALONG EXISTING STREETS ARE BASED ON EXISTING CONDITIONS INFORMATION AND SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL MATCH EXISTING EDGE OF PAVEMENT GRADE.
- EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
- ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO TOWN/STATE STANDARDS.
- EXISTING TREES OUTSIDE OF THE LIMIT OF WORK SHALL BE PROTECTED DURING CONSTRUCTION.
- ALL DISTURBED AREAS OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED IN KIND.
- NEW CATCH BASINS SHALL INCLUDE ELIMINATOR HOODS AS SPECIFIED IN THE DETAILS.
- NEW DRAINAGE PIPE SHALL BE DUAL WALL CORRUGATED HDPE (ADS N-12 OR APPROVED EQUAL), UNLESS OTHERWISE SPECIFIED.
- ROOF DRAIN LEADERS SHALL BE 6" HDPE PIPE, UNLESS OTHERWISE SPECIFIED.
- C-STORE & GAS CANOPY DRAIN LEADERS SHALL BE INSTALLED WITH A MINIMUM COVER OF 2' AND SHALL MAINTAIN POSITIVE PITCH TOWARDS THEIR RESPECTIVE CONNECTION POINTS.
- ELEVATION OF LANDSCAPED AREAS ARE GIVEN AT PLANTED/SOD GRADE.

**GENERAL ABBREVIATIONS**

MATCH EXISTING	ME
TOP OF CURB	TC
BOTTOM OF CURB	BC
TOP OF WALL	TW
BOTTOM OF WALL	BW
CATCH BASIN	CB
DRAIN MANHOLE	DMH
ROOF DRAIN	RD
CLEANOUT	CO
EDGE OF PAVEMENT	EOP
RIM ELEVATION	R=
INVERT ELEVATION	I=
HIGH DENSITY	HDPE
POLYETHYLENE PIPE	OCS
OUTLET CONTROL STRUCTURE	FF=
FINISHED FLOOR ELEVATION	DWL
DASHED WHITE LINE	DYCL
DOUBLE YELLOW CENTERLINE	UP
UTILITY POLE	LF
LINEAL FEET	N/F
NOW OR FORMERLY	N/A
INVERT NOT AVAILABLE	N/A

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
⊙	⊙	DRAIN MANHOLE
⊕	⊕	CATCH BASIN
D	D	DRAIN PIPE
100	101	INTERMEDIATE CONTOUR
101	100	INDEX CONTOUR
tc=	bc=	TOP/BOTTOM CURB ELEVATION
1057		SPOT ELEVATION
		ACCESSIBLE PAVEMENT MARKINGS
		SIGN
		SITE LIGHT
		VINYL FENCE
		UTILITY POLE
		BUILDING COLUMN
		CONCRETE SIDEWALK /PAD
		BITUMINOUS CONCRETE SIDEWALK
		BOUND W/ DRILL HOLE
		IRON PIPE/IRON PIN



**CATCH BASIN SCHEDULE**

CB ID	RIM EL.	INVERT EL.	INVERT EL.
DCB-1	264.80	---	259.80
DCB-2	262.50	---	259.50
CB-3	263.90	---	258.25
CB-4 (STC-450)	257.10	---	254.10
DW-1	265.00	262.00	---

**DRAIN MANHOLE & CLEANOUT SCHEDULE**

ID	RIM EL.	INVERT EL.	INVERT EL.
DMH-1 (OCS)	260.20	256.25(6"ORF) 255.00(5"ORF) 253.95(CB-4)	253.85
DMH-2 (STC-450)	264.30	257.05(DMH-3) 257.05(CB-3)	256.80
DMH-3	265.10	259.25	259.15
CO-1	267.30	---	258.75
CO-2	260.50	---	258.00
CO-3	268.85	---	260.20
CO-4	267.97	---	261.10
CO-5	267.20	---	264.10
RD-1	---	---	258.90
RD-2	---	---	258.05
RD-3	---	---	258.70
RD-4	---	---	259.20
RD-5	---	---	259.70
RD-6	---	---	260.35
RD-7	---	---	261.25

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

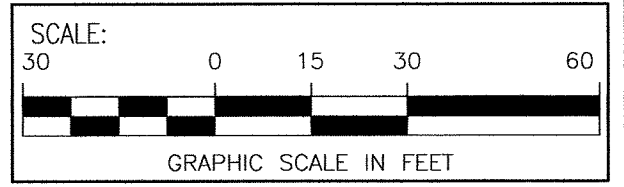
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3-4-2014

**CONSTRUCTION PLANS**

**REVISIONS:**

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1	08-30-13	REVISED PER PEER REVIEW COMMENTS & PEDB HEARINGS
2	10-30-13	REVISED PER FINAL PB & DRC COMMENTS
3	02-13-14	ISSUED FOR 100% REVIEW



DESIGNED BY: MAL  
CHECKED BY: PRH

SEAL:

PHILIP R. HENRY, P.E.

PREPARED FOR:

**GBC**  
GERSHMAN BROWN CROWLEY INC.  
14 BREAKNECK HILL ROAD  
SUITE 101  
LINCOLN RI 02865

**Cumberland FARMS**  
100 CROSSING BOULEVARD  
FRAMINGHAM, MA 01702

PROJECT:

38 SUMMER STREET (ROUTE-126)  
@ MILFORD STREET (ROUTE-109)  
MEDWAY, MA 02053

STORE # TBD STATION # TBD

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SHEET:

**SITE GRADING & DRAINAGE PLAN**

**CFG 5.0**

CDG PROJECT #: 12027

DATE: 06/28/2013

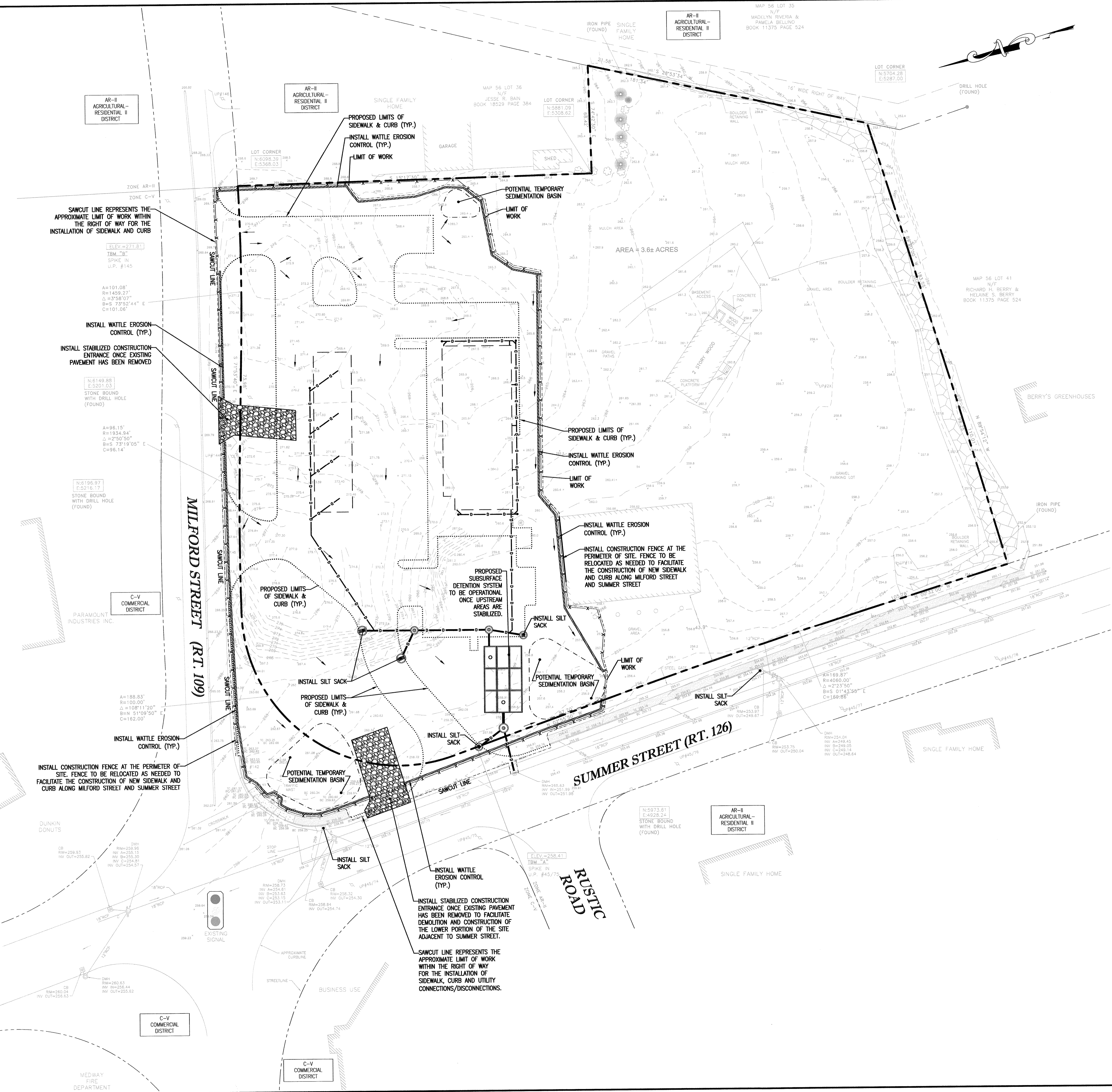
# SOIL EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
- EXISTING BASE INFORMATION INCLUDING STRUCTURES, UTILITIES AND TOPOGRAPHY ARE TAKEN FROM PLAN ENTITLED "ATA/ACSM LAND TITLE SURVEY, CFG 2.0" PREPARED BY REED LAND SURVEYING, DATED 06/10/2013.
- IN ACCORDANCE WITH THE EPA NPDES CONSTRUCTION GENERAL PERMIT RULES AND REGULATIONS, THE CONTRACTOR SHALL ADHERE TO PROCEDURES OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), PREPARED BY THE ENGINEER AND IS RESPONSIBLE FOR MAINTAINING A WEEKLY REPORT OF THE STATUS OF EROSION AND SEDIMENT CONTROL MEASURES INCLUDING ANY CORRECTIVE ACTIONS PERFORMED. THESE REPORTS INCLUDING THE SWPPP SHALL BE KEPT ONSITE AT ALL TIMES AND SHALL BE SHOWN TO LOCAL, STATE AND/OR FEDERAL OFFICIALS UPON REQUEST. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT OF 0.25 INCHES OR GREATER FOR FUNCTIONALITY.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PER THE PLANS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS. THESE MEASURES SHALL BE FUNCTIONING PRIOR TO ANY EARTH DISTURBANCE INCLUDING DEMOLITION AND SHALL REMAIN IN PLACE UNTIL UPSTREAM SITE WORK IS COMPLETE AND THE GROUND COVER IS STABILIZED.
- THE CONTRACTOR SHALL PERFORM ALL WORK, AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
- CONTRACTOR SHALL IMPLEMENT TEMPORARY AND PERMANENT STABILIZATION METHODS IN ACCORDANCE WITH SECTION 2.2 "STABILIZATION REQUIREMENTS" IN THE 2012 NPDES GENERAL PERMIT FOR DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- THE SITE SHALL BE GRADED AND MAINTAINED SUCH THAT STORMWATER RUNOFF IS DIVERTED TO TEMPORARY SEDIMENTATION BASINS TO THE MAXIMUM EXTENT PRACTICABLE. TEMPORARY SEDIMENTATION BASINS SHALL BE RELOCATED AS NEEDED AS THE PROJECT EVOLVES.
- THE PROPOSED ONSITE DRAINAGE SYSTEM SHALL BE INSTALLED AS PRACTICABLE. ALL EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED WITH A SILT SACK (SEE DETAIL).
- ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT BASIN TO ALLOW FOR SUFFICIENT SETTLING PRIOR TO DISCHARGE.
- DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO LOCAL, STATE AND FEDERAL STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
- ABUTTING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS FROM THIS PROJECT AT ALL TIMES. WORK ON ABUTTING PROPERTY SHALL REQUIRE WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO ANY LAND DISTURBANCE.
- THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SAWCUT LINES, WATTLE LINES, AND/OR CONSTRUCTION FENCE LINES. EXISTING FEATURES OUTSIDE LIMIT OF WORK LINE ARE TO REMAIN UNLESS OTHERWISE SPECIFIED AND THE EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
- THE EROSION CONTROL MEASURES ILLUSTRATED IN THIS PLAN SET SHALL BE THE MINIMUM REQUIRED CONTROLS IMPLEMENTED. THE CONTRACTOR SHALL KEEP ADDITIONAL EROSION CONTROL MEASURES SUCH AS WATTLES ONSITE AT ALL TIMES TO RELOCATE OR ADD SUCH MEASURES AS THE PROJECT EVOLVES OR AN UNFORESEEN CONDITION OCCURS.
- STOCKPILES SHALL BE LOCATED ONSITE OUTSIDE OF ALL RESOURCE AREA BUFFER ZONES. EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE FOOT OF THE STOCKPILE AND SHALL BE COVERED TO PREVENT WASHOUT.
- ALL PROPOSED SLOPES 3:1 AND STEEPER SHALL BE STABILIZED WITH AN EROSION CONTROL MATTING AND SHALL BE HYDROSEEDDED.

GENERAL ABBREVIATIONS		
EDGE OF PAVEMENT ON CENTER	EOP	OC
VERTICAL GRANITE CURB	BIT. CONC	CONC.
CONTINUOUS CONCRETE	C.L.F.	FF=
CHAIN LINK SURFACE	SWEL	SWL
SOLID WHITE EDGE LINE	DYCL	UP
SOLID WHITE LINE	N/F	A.P.
DOUBLE YELLOW CENTERLINE		
UTILITY POLE		
NOW OR FORMERLY ASSESSORS PARCEL		

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
(Symbol)	(Symbol)	PROPERTY/LEASE LINE
(Symbol)	(Symbol)	DRAIN MANHOLE
(Symbol)	(Symbol)	CATCH BASIN
(Symbol)	(Symbol)	SEWER MANHOLE
(Symbol)	(Symbol)	DRAIN PIPE
(Symbol)	(Symbol)	GAS LINE
(Symbol)	(Symbol)	OVERHEAD WIRES
(Symbol)	(Symbol)	WATER LINE
(Symbol)	(Symbol)	SEWER LINE
(Symbol)	(Symbol)	HYDRANT
(Symbol)	(Symbol)	SIGN
(Symbol)	(Symbol)	SITE LIGHT
(Symbol)	(Symbol)	BOLLARD/POST
(Symbol)	(Symbol)	ELECTRIC BOX/MTR
(Symbol)	(Symbol)	UTILITY POLE
(Symbol)	(Symbol)	LIGHT POLE
(Symbol)	(Symbol)	GUY POLE
(Symbol)	(Symbol)	GUY WIRE
(Symbol)	(Symbol)	BOUND W/ DRILL HOLE
(Symbol)	(Symbol)	DH/ IP
(Symbol)	(Symbol)	BOULDER
(Symbol)	(Symbol)	BUSH/ SHRUB
(Symbol)	(Symbol)	IRRIGATION CTRL. BOX
(Symbol)	(Symbol)	CABLE BOX
(Symbol)	(Symbol)	TELEPHONE BOX
(Symbol)	(Symbol)	GAS METER
(Symbol)	(Symbol)	WELL
(Symbol)	(Symbol)	GAS GATE
(Symbol)	(Symbol)	WATER GATE
(Symbol)	(Symbol)	UTILITY GATE
(Symbol)	(Symbol)	ELECTRIC HAND HOLE
(Symbol)	(Symbol)	SIGNAL HAND HOLE
(Symbol)	(Symbol)	TELEPHONE HAND HOLE
(Symbol)	(Symbol)	INDEX CONTOUR
(Symbol)	(Symbol)	MINOR CONTOUR
(Symbol)	(Symbol)	CONCRETE SIDEWALK
(Symbol)	(Symbol)	BITUMINOUS CONCRETE SIDEWALK
(Symbol)	(Symbol)	CONSTRUCTION FENCE
(Symbol)	(Symbol)	WATTLES
(Symbol)	(Symbol)	PROPOSED BUILDING & GAS PAD FOOTPRINT
(Symbol)	(Symbol)	STABILIZED CONSTRUCTION ENTRANCE

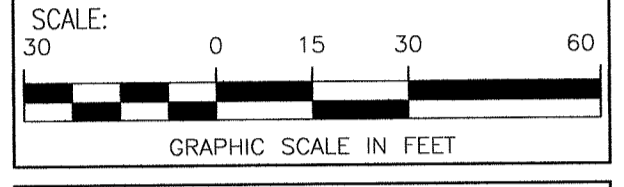


## MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD:

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SHEET:  
**SITE EROSION & SEDIMENTATION CONTROL PLAN**  
**CFG 6.0**

CDG PROJECT #: 12027  
DATE: 06/28/2013



# UTILITY NOTES

- ALL WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM 5' AND A MAXIMUM OF 6' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
- ALL WATER SERVICE INSTALLATION METHODS AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
- PROPOSED GAS SERVICE LOCATION IS APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION, BACKFILL AND COMPACTION FOR THE GAS LINE.
- DUE TO THE SCALE OF THE SITEWORK DRAWINGS, THE EXACT LOCATION OF UTILITY SERVICES TO THE BUILDING SHALL BE VERIFIED WITH THE BUILDING DRAWINGS.
- ALL UTILITIES, PIPE MATERIALS, STRUCTURES, AND INSTALLATION METHODS SHALL CONFORM TO AWWA & MUNICIPALITY STANDARDS AND REQUIREMENTS.
- SUITABLE, TEMPORARY PLUGS SHALL BE INSTALLED IN THE OPEN ENDS OF UTILITY SERVICES TO THE BUILDING PRIOR TO BACKFILLING. STUB LOCATIONS SHALL BE MARKED IN THE FIELD SO THAT THEY MAY BE EASILY LOCATED.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR LIGHT POLE BASE DETAILS AND SPECIFICATIONS.
- SEWER AND WATER SERVICE CONNECTIONS SHALL BE INSPECTED BY THE MUNICIPAL SEWER AND WATER DEPARTMENTS.
- CONTRACTOR TO VERIFY IF EXISTING SEWER AND WATER SERVICES ARE SUITABLE FOR REUSE AND NOTIFY THE ENGINEER OF THE SAME FOR POTENTIAL PLAN MODIFICATION. IF EXISTING SEWER AND WATER SERVICES ARE NOT SUITABLE FOR REUSE, THEY ARE TO BE CUT, CAPPED AND ABANDONED AT THE MAINS. CONTRACTOR SHALL VERIFY WITH DEPARTMENT OF PUBLIC WORKS.
- EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
- CONTRACTOR SHALL COORDINATE UTILITY INSTALLATION WITH WALL INSTALLATION.

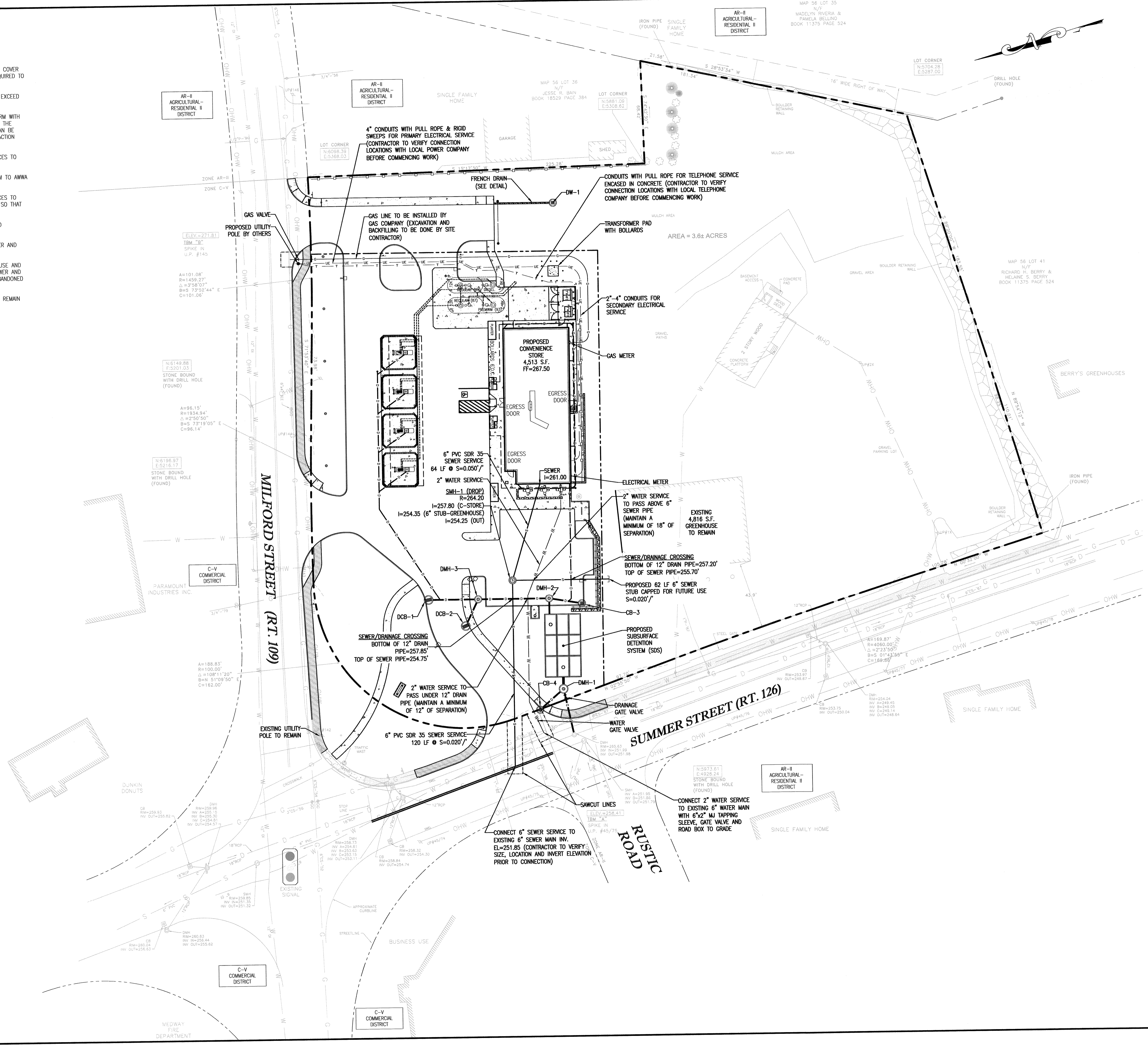
**GENERAL ABBREVIATIONS**

CATCH BASIN	CB
DRAIN MANHOLE	DMH
EDGE OF PAVEMENT	EOP
INVERT ELEVATION	I=
GAS METER	GM
HIGH DENSITY POLYETHYLENE PIPE	HDPE
FINISHED FLOOR ELEVATION	FF=
SOLID WHITE EDGE LINE	SWEL
DOUBLE YELLOW CENTERLINE	DPCL
UTILITY POLE	UP
LINEAL FEET	LF
NOW OR FORMERLY	N/F
INVERT NOT AVAILABLE	N/A

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		DRAIN MANHOLE
		CATCH BASIN
		SEWER MANHOLE
		DRAIN PIPE
		GAS LINE
		OVERHEAD WIRES
		UNDERGROUND ELECTRIC
		WATER LINE
		SEWER LINE
		TELEPHONE LINE
		ACCESSIBLE PAVEMENT MARKINGS
		SIGN
		SITE LIGHT
		FENCE
		UTILITY POLE
		HYDRANT
		CONCRETE SIDEWALK
		BITUMINOUS CONCRETE SIDEWALK
		BOUND W/ DRILL HOLE
		IRON PIPE/IRON PIN



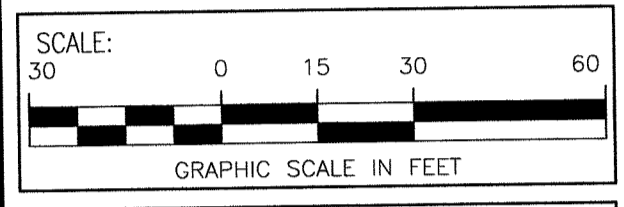
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SHEET:

**SITE UTILITY PLAN**

**CFG 7.0**

CDG PROJECT #: 12027  
DATE: 06/28/2013

**GENERAL NOTES:**

- CONTRACTOR SHALL MAKE A SITE VISIT PRIOR TO BIDDING TO EXAMINE EXISTING CONDITIONS FOR THEMSELVES. CONTRACTOR TO FAMILIARIZE THEMSELVES W/ DESIGN DOCUMENTS NOTES & DETAILS AND THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS & BRIDGES, CURRENT EDITION.
- CONTRACTOR SHALL NOTIFY / COORDINATE WITH THE TOWN OF MEDWAY, PRIOR TO PLANT MATERIAL INSTALLATION.
- CONTRACTOR SHALL COORDINATE WITH THE TOWN OF MEDWAY.
- PRIOR TO THE PRE-CONSTRUCTION MEETING THE CONTRACTOR SHALL CONTACT DIG SAFE @ 1-888-344-7233 TO HAVE THE EXISTING UTILITIES MARKED.
- All contractors shall inspect site prior to bidding to verify existing conditions for themselves.
- The Contractor shall supply all plant material in quantities sufficient to complete the planting shown on the drawings. See specifications.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc. ANSI Z60.1-Current Edition.
- All plants to be balled in burlap or container grown. No plastic burlap.
- All plants to be approved by the Landscape Architect.
- Stake location of all proposed plant material for approval of Landscape Architect prior to commencement of planting.
- The landscape contractor shall guarantee all plant materials for one (1) full year from date of acceptance.
- Heal all construction scars with naturalized grass, lawn or mulch as indicated by drawings and/or as directed by Landscape Architect.
- "Dry Roots" shall be added to all new tree planting pits. All new loam shall be tested and amended as stated in the loam report provided by loam supplier.
- Landscape Contractor shall submit a watering schedule program for the (60) day maintenance period for review by the Landscape Architect & to Owner for all proposed plant material.
- Protect existing plant material within construction limits. Provide watering program for all proposed plant material during construction.

**GRAPHIC LEGEND**

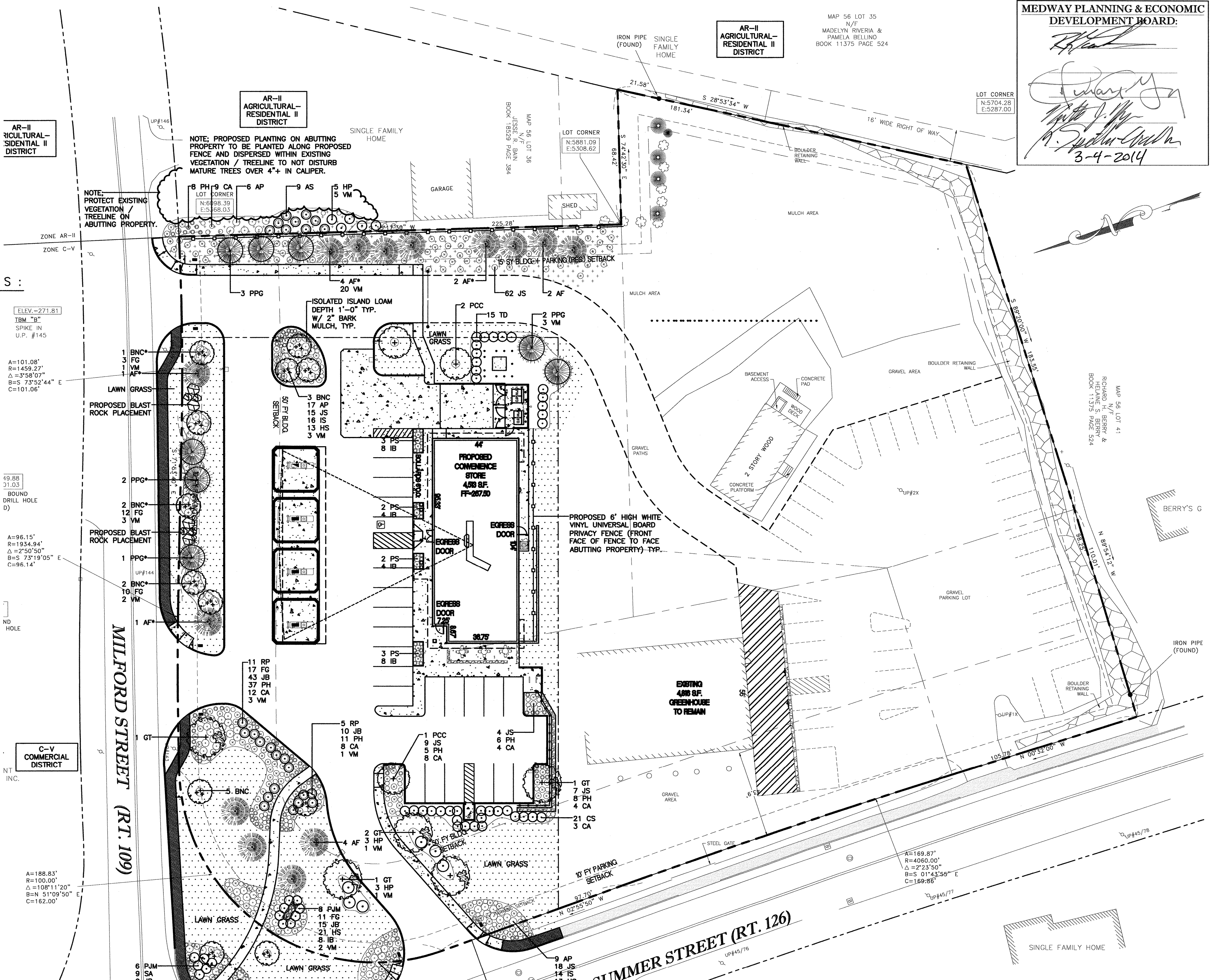
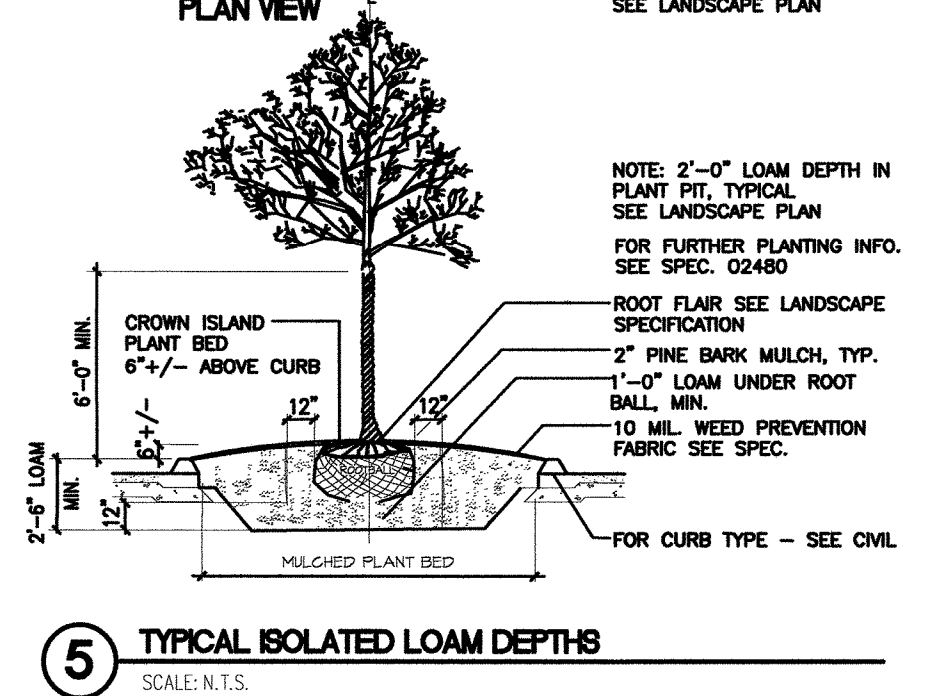
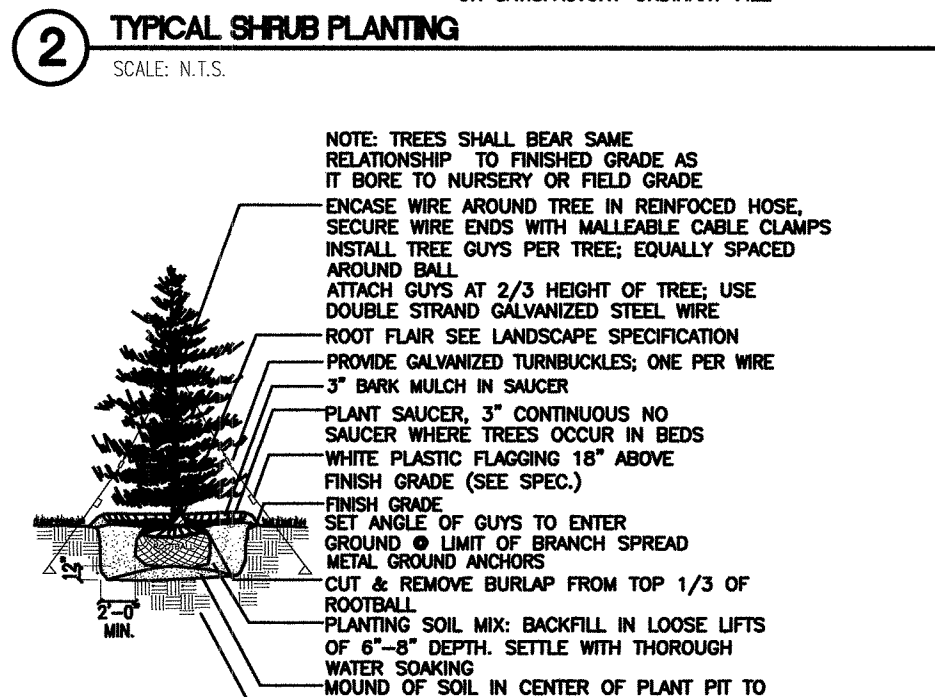
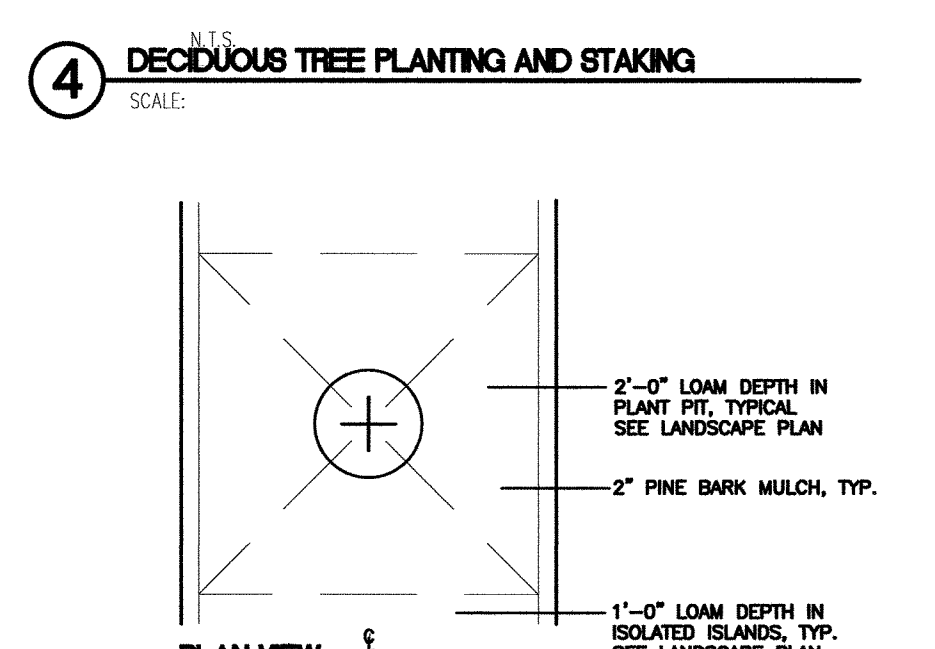
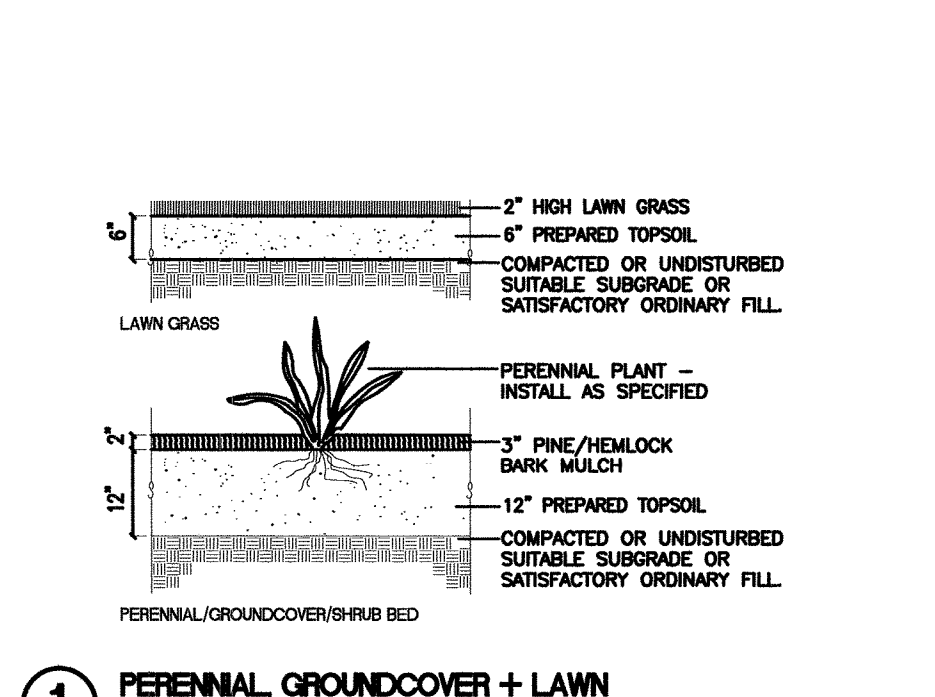
- PROTECT EXISTING TREELINE / VEGETATION TO REMAIN, TYP.
- PROPOSED BLAST ROCK PLACEMENT
- EVERGREEN TREES (DRIP OR MIST HEAD IRRIGATION)
- DECIDUOUS SHADE TREES (DRIP OR MIST HEAD IRRIGATION)
- ORNAMENTAL & FLOWERING TREES (DRIP OR MIST HEAD IRRIGATION)
- EVERGREEN SHRUBS (DRIP OR MIST HEAD IRRIGATION)
- DECIDUOUS SHRUBS (DRIP OR MIST HEAD IRRIGATION)
- PERENNIALS (DRIP OR MIST HEAD IRRIGATION)
- SEEDED LAWN (SPRAY-HEAD IRRIGATION)
- GROUND COVER (DRIP OR MIST HEAD IRRIGATION)

**GENERAL IRRIGATION NOTES:**

- The design/build irrigation sub-contractor shall provide a complete system for the irrigation areas shown on the plan, which includes new existing transplanted plant materials. Shop drawings shall be provided at a suitable scale to illustrate that the designated plant materials will be irrigated by either spray heads, mist heads or drip irrigation tubing.
- Irrigation to be coordinated with General Contractor to locate the necessary PVC sleeving to complete irrigation program.
- All lawn grass shall be spray head irrigated. The heads shall be located for head to head coverage with absolutely no over spray onto the pavement.
- All trees, shrubs and ground cover shall be drip irrigated / irrigated with shrub mist heads.
- The irrigation layout and all of the components shall conform to the specifications. The specifications call for shop drawings to be submitted for approval, as well as conformance to the materials specified.
- The Contractor shall be extremely careful during the installation process not to disturb new or existing plant materials. The Contractor is to coordinate his work with other sub-contractors. Sleeving under pavements must be available and in the proper location prior to paving.
- The irrigation Contractor shall conform to any local codes or ordinances that may be required to complete the work.
- This irrigation alternate shall include the cost of connecting to either the building water mains down stream of the back flow preventer of the irrigation well.
- The irrigation contractor shall test water source for water quality including minerals that may cause staining of concrete and granite pavement and curbs.
- Irrigation Contractor shall coordinate with the Town of Medway for sewer abatement meter requirements, model type and locations prior to shop drawing preparation.

**LANDSCAPE NOTES:**

- LOAM DEPTHS SHALL BE AS FOLLOWS:
- LAWN AREAS - 6" ROLLED THICKNESS
  - PLANT BEDS - 1'-0" LOAM DEPTH IN THE PLANTED AREA WITH 2" MULCH.
  - ISOLATED PLANTED ISLANDS - 1'-0" LOAM DEPTH
- LAWN GRASS (VALLEY GREEN SEED, LTD. WILMINGTON, MA.)  
LANDSCAPE/UTILITY MIXTURE FOR SUN/SHADE:  
ENCHANTED PERENNIAL RYEGRASS  
CREeping RED FESCUE  
GOLDRUSH KENTUCKY BLUEGRASS



**PLANT MATERIAL LIST**

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>EVERGREEN TREES</b>						
TD	15	THUJA O. 'DEGROOTS SPIRE'	DEGROOTS SPIRE ARBORVITAE	5'-6"	B&B	
AF	8	ABIES FRASERI	FRASER FIR	18" MIN.	B&B	SPECIMEN
AF	6	ABIES FRASERI	FRASER FIR	8'-10'	B&B	NATURAL SHAPE, UNSHEARED
PPG	5	PICEA P. 'GLAUCA'	COLORADO BLUE SPRUCE	8'-10'	B&B	NATURAL SHAPE, UNSHEARED
PPG	3	PICEA P. 'GLAUCA'	COLORADO BLUE SPRUCE	18" MIN.	B&B	SPECIMEN
<b>DECIDUOUS AND ORNAMENTAL TREES</b>						
PCC	3	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER FLOWERING PEAR	2 1/2"-3"	B&B	6' HIGH BRANCHING
BNC	8	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	8'-10'	B&B	(3) STEM TIGHT CLUMP SPECIMEN
BNC	5	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	22" MIN.	B&B	(3) STEM TIGHT CLUMP SPECIMEN
GT	5	GLEDITSIA T. I. 'SKYLINE'	SKYLINE HONEYLOCUST	2 1/2"-3"	B&B	6' HIGH BRANCHING
<b>SHRUBS</b>						
HP	11	HYDRANGEA PANICULATA 'QUICK FIRE'	QUICK FIRE HYDRANGEA	2 1/2"-3"	B&B	
JS	133	JUNIPERUS CHINENSIS 'SARGENTII'	SARGENT'S JUNIPER	18-24"	CAN	
PJM	87	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	18-24"	CAN	
PJM	21	RHODODENDRON 'PJM'	PJM RHODODENDRON	2 1/2"-3"	B&B	
CS	21	CORNUS SERICEA 'ALLMANS COMPACTA'	ALLMANS COMPACT DOGWOOD	#5	CAN	
SA	19	SPIREA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	2 1/2"-3"	B&B	
AP	40	AZALEA PERICLYMENOIDES	PINKERBLUOM AZALEA	2 1/2"-3"	B&B	
AS	9	AZALEA 'STEWARTSONIAN'	STEWARTSONIAN AZALEA	2 1/2"-3"	B&B	
FG	53	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	2 1/2"-3"	B&B	
RP	16	RHODODENDRON 'POHJOLA'S DAUGHTER'	POHJOLA'S DAUGHTER RHODY	2 1/2"-3"	B&B	MALE
<b>PERENNIALS, ANNUALS, GROUND COVER AND GRASSES</b>						
HS	63	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILIES	1 GAL.	GAL.	YELLOW
IS	70	IRIS SIBERICA 'CAESAR'S BROTHER'	CAESAR'S BROTHERS IRIS	1 GAL.	GAL.	
PH	75	PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#1	POT.	
VM	51	VINCA MINOR	MYRTLE	FLAT	FLAT	(1) FLAT = (100) INDIVIDUAL VM'S
CA	46	CALAMAGROSTIS A. 'KARL FOERSTER'	FEATHER REED GRASS	#2	POT.	
PS	10	PENNISETUM SETACEUM 'PURPUREUM'	FOUNTAIN GRASS	#2	POT.	ROTATIONAL ANNUAL
IB	32	IPOMOEA BATATA	SWEET POTATO	1 GAL.	GAL.	ROTATIONAL ANNUAL

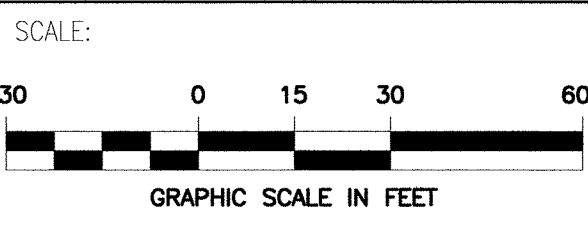
**MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD:**

MAP 56 LOT 35  
N/F  
MADELYN RIVERIA & PAMELA BELLINO  
BOOK 11375 PAGE 524

3-4-2014

**REVISIONS:**

REV	DATE	COMMENT
1	08/30/13	REVISED PER PEER REVIEW COMMENTS & PEDB COMMENTS
2	09/24/13	REVISED PER DRC COMMENTS
3	10/25/13	REVISED PER DRC COMMENTS
4	02/13/14	ISSUED FOR 100% REVIEW



DESIGNED BY: WJF  
CHECK BY: WJF  
SEAL: WILLIAM J. FLEMING, L.A.

PREPARED FOR:  
**GBC**  
GERSHMAN BROWN HILLERY INC.  
14 BREAKNECK HILL ROAD  
SUITE 101  
LINCOLN RI 02865

**Cumberland FARMS**  
100 CROSSING BOULEVARD  
FRAMINGHAM, MA 01702

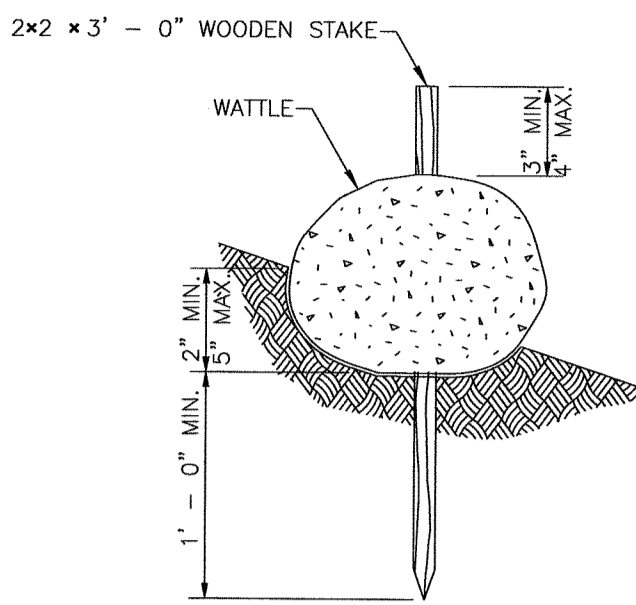
PROJECT:  
38 SUMMER STREET (ROUTE-126)  
@ MILFORD STREET (ROUTE-109)  
MEDWAY, MA 02053  
STORE # TBD STATION # TBD

CIVIL ENGINEER:  
**CIVIL DESIGN GROUP, LLC**  
21 HIGH STREET, SUITE 305B  
NORTH ANDOVER, MA 01845  
www.cdengineering.com  
p: 978-794-5400 f: 978-914-6161

PREPARED BY:  
**WILLIAM FLEMING ASSOCIATES**  
INCORPORATED  
LANDSCAPE ARCHITECTURE PLANNING  
375 MAIN ST.  
SUITE #3  
STONHAM, MA 02180  
P: 781-450-3008  
F: 781-450-3611  
W: www.williamflaming.com

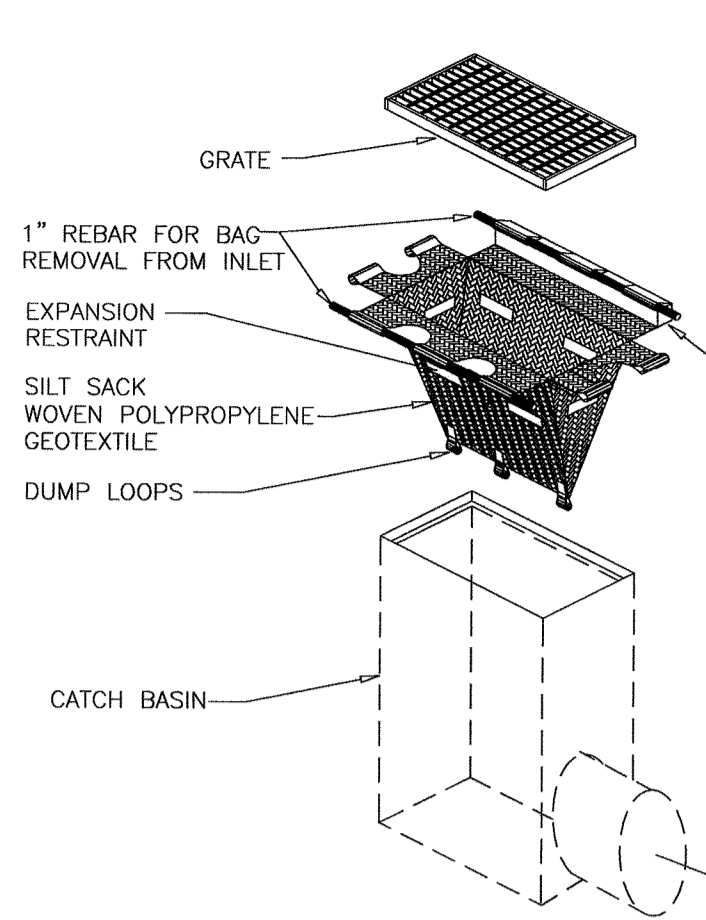
SHEET: **SITE LANDSCAPE PLAN**  
**CFG 8.0**  
WFA PROJECT #: 1313  
DATE: 06/28/2013

- NOTES:
1. WATTLES SHALL BE A MACHINE PRODUCED CONSISTING OF MULCH.
  2. THE NETTING SHALL CONSIST OF SEAMLESS HIGH DENSITY POLYETHYLENE AND ETHYL VINYL ACETATE AND CONTAIN ULTRA VIOLET INHIBITORS.
  3. SECURELY KNOT EACH END OF WATTLE.
  4. ABUT ADJACENT WATTLES TIGHTLY WITHOUT OVERLAPPING ENDS.
  5. WOODEN STAKES SHALL BE USED FOR STABILIZED INSTALLATION.
  6. WATTLES SHALL BE INSPECTED REGULARLY AND IMMEDIATELY AFTER RAINFALL EVENTS.



**TYPICAL WATTLE DETAIL**

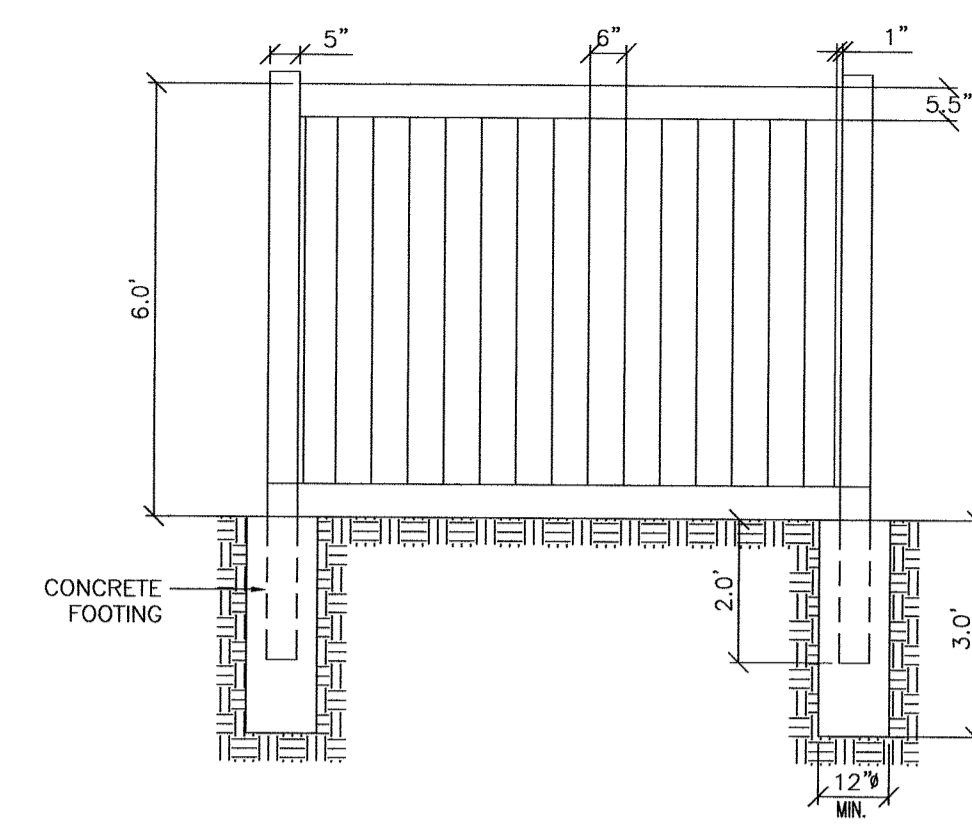
NOT TO SCALE



- NOTES:
1. SILTSACK MANUFACTURED BY SI GEOSOLUTION (800-621-0444); INSTALL AND REMOVE PER MANUFACTURER'S RECOMMENDATIONS.
  2. SILT SACK TO BE REMOVED WHEN SITE IS STABILIZED.
  3. SILT SACK SHALL BE EMPTIED WHEN YELLOW RESTRAINT CORD IS NO LONGER VISIBLE.

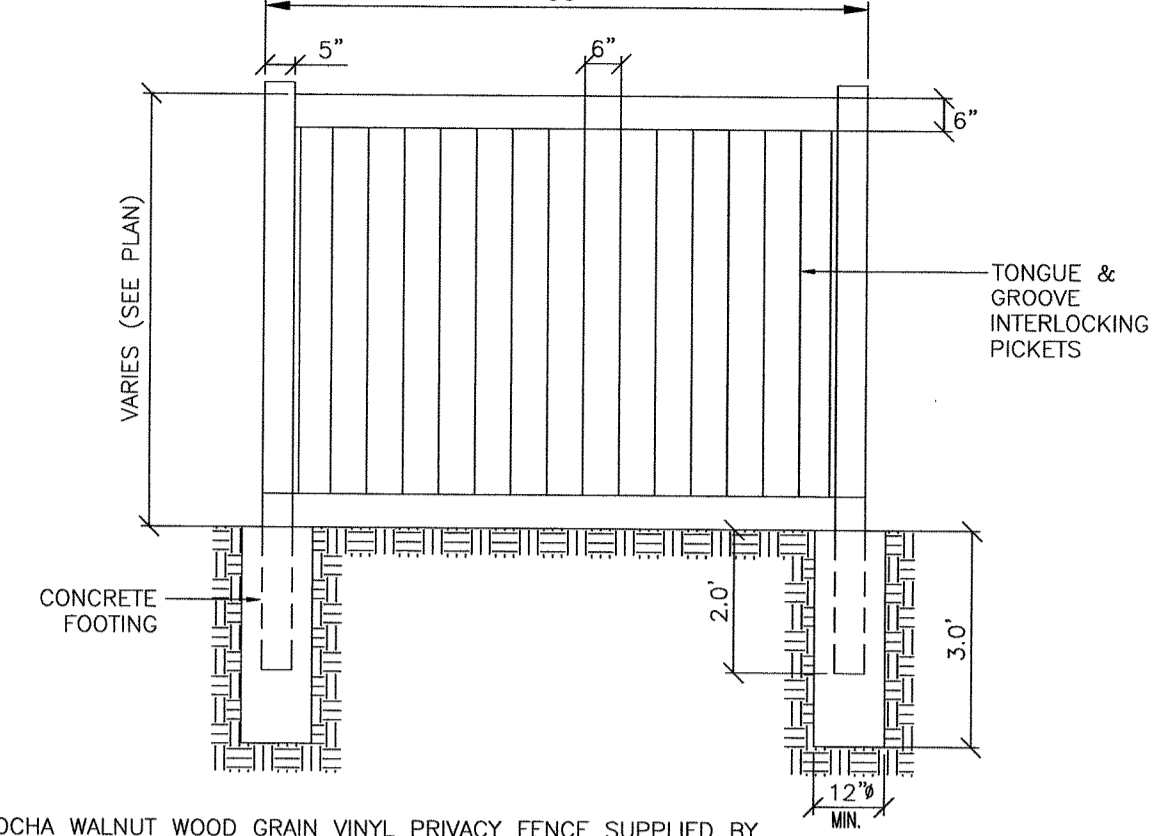
**TYPICAL SILT SACK DETAIL**

NOT TO SCALE



**TYPICAL WHITE VINYL FENCE DETAIL**

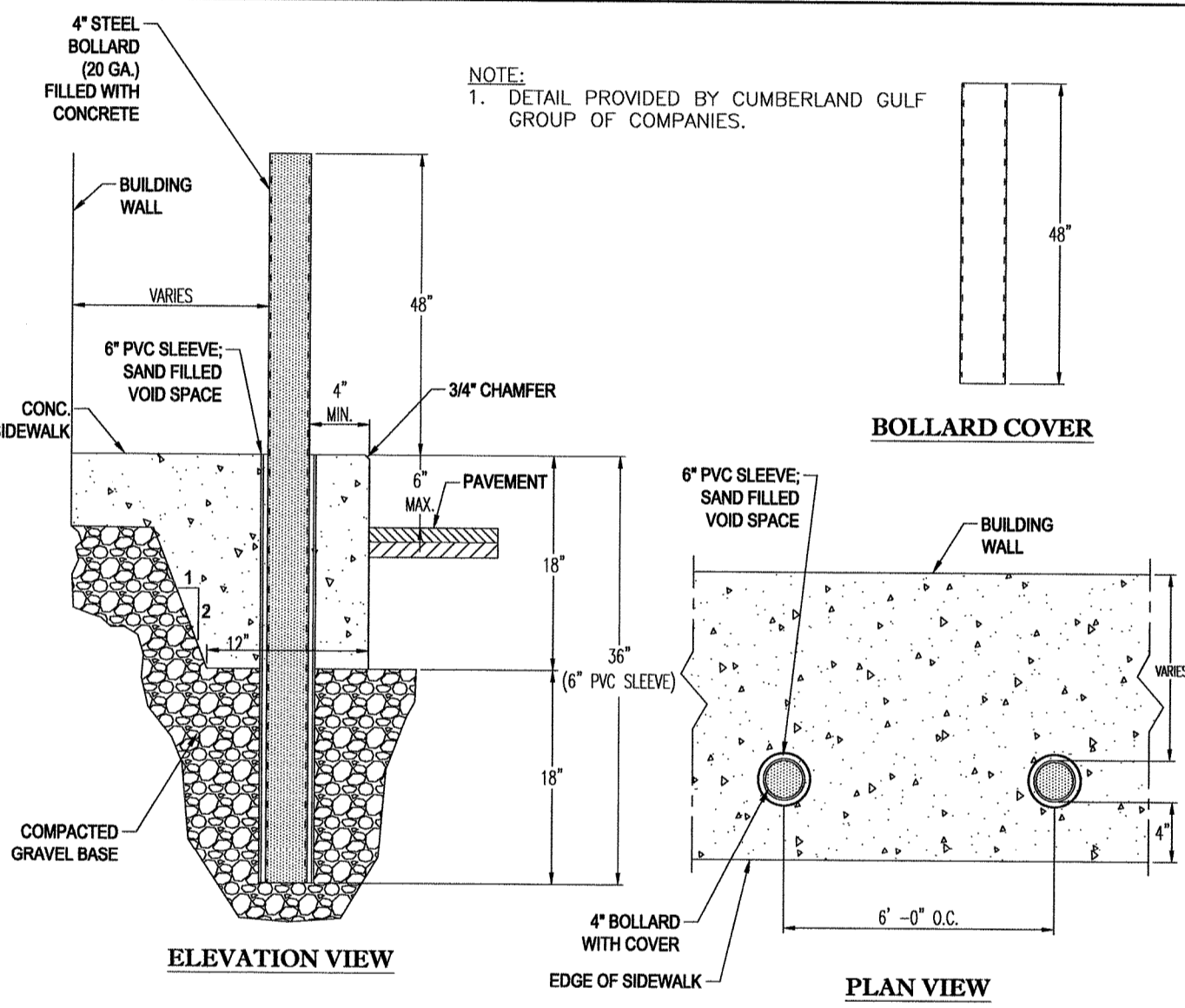
NOT TO SCALE



**TYPICAL MOCHA WALNUT WOOD GRAIN VINYL FENCE DETAIL**

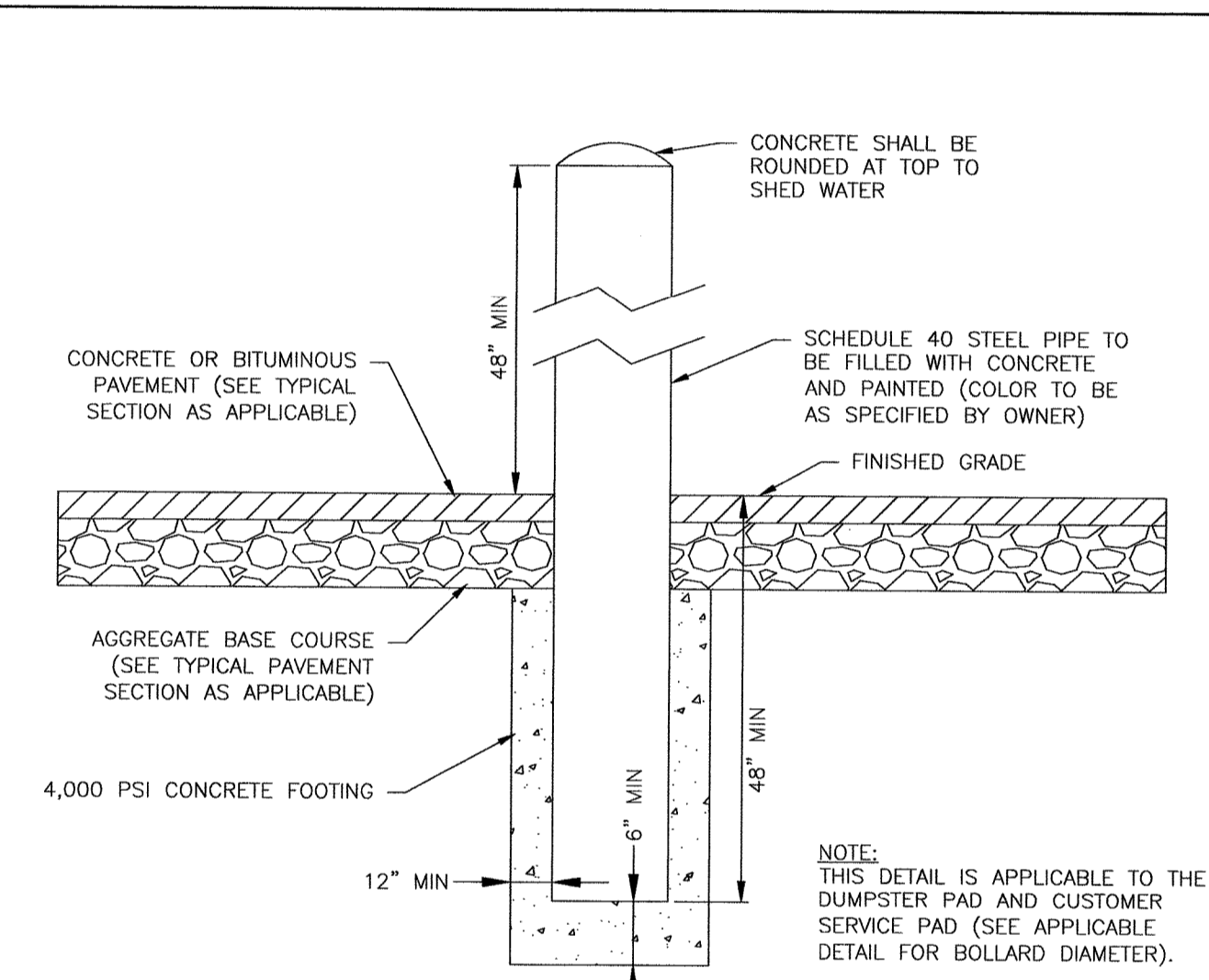
NOT TO SCALE

- NOTES:
1. MOCHA WALNUT WOOD GRAIN VINYL PRIVACY FENCE SUPPLIED BY WWW.VINYLFENCEANDDECK.COM CONTACT: KELLY HANSEN, 507-206-4154.
  2. FENCE IS COMPRISED OF 1'-4" HIGH SECTION, 1'-6" HIGH SECTION, AND 26'-8" HIGH SECTIONS.



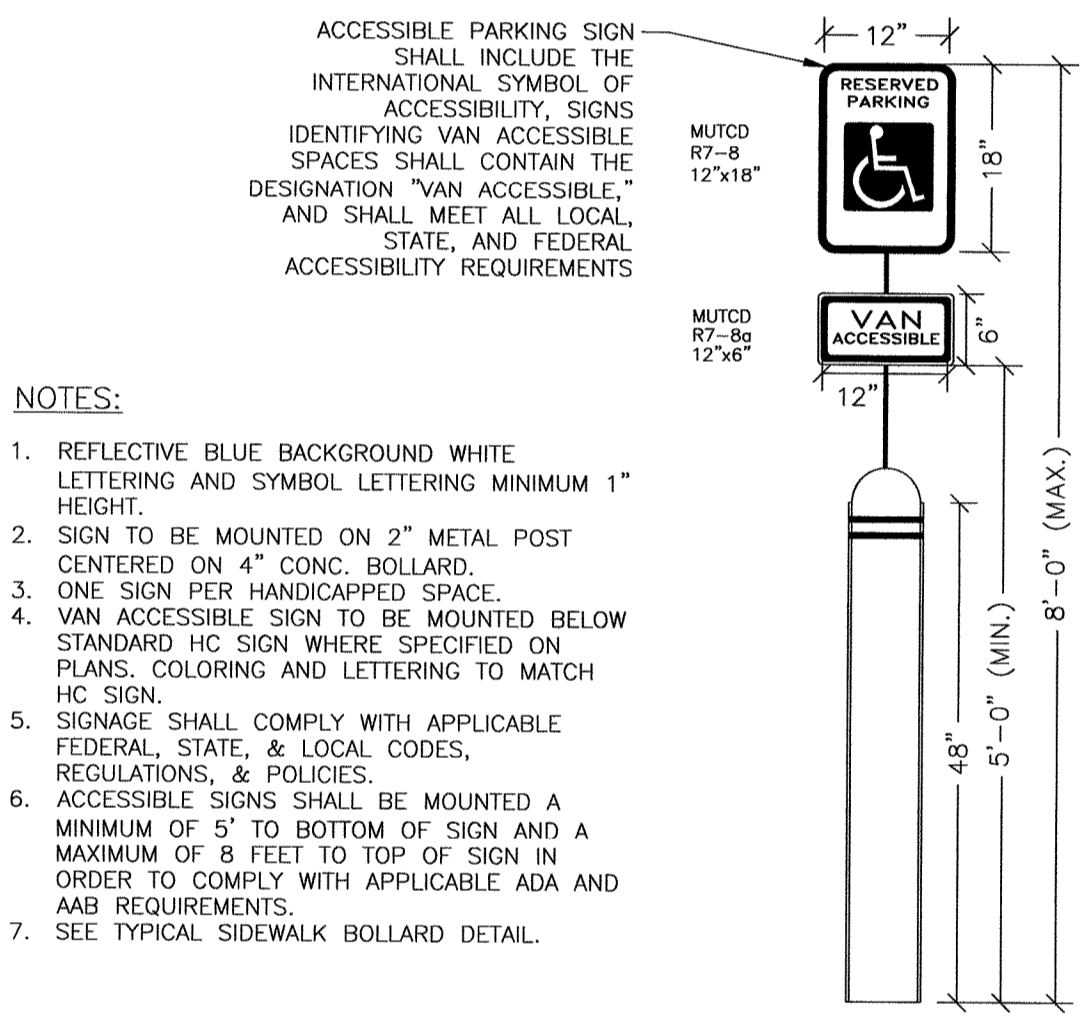
**TYPICAL SIDEWALK BOLLARD DETAIL**

NOT TO SCALE



**TYPICAL TRANSFORMER PAD BOLLARD DETAIL**

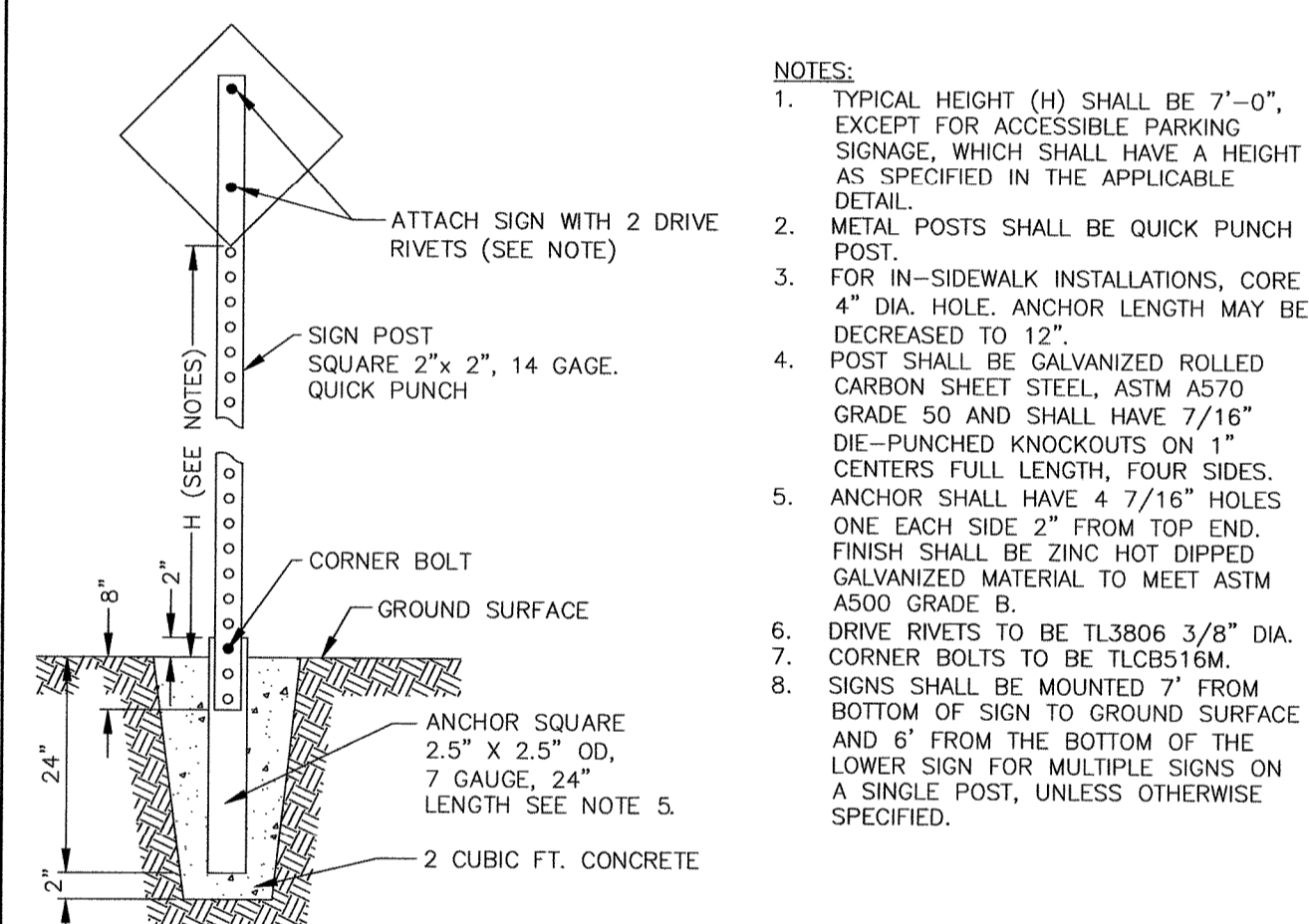
NOT TO SCALE



**ACCESSIBLE PARKING SIGNAGE DETAIL**

NOT TO SCALE

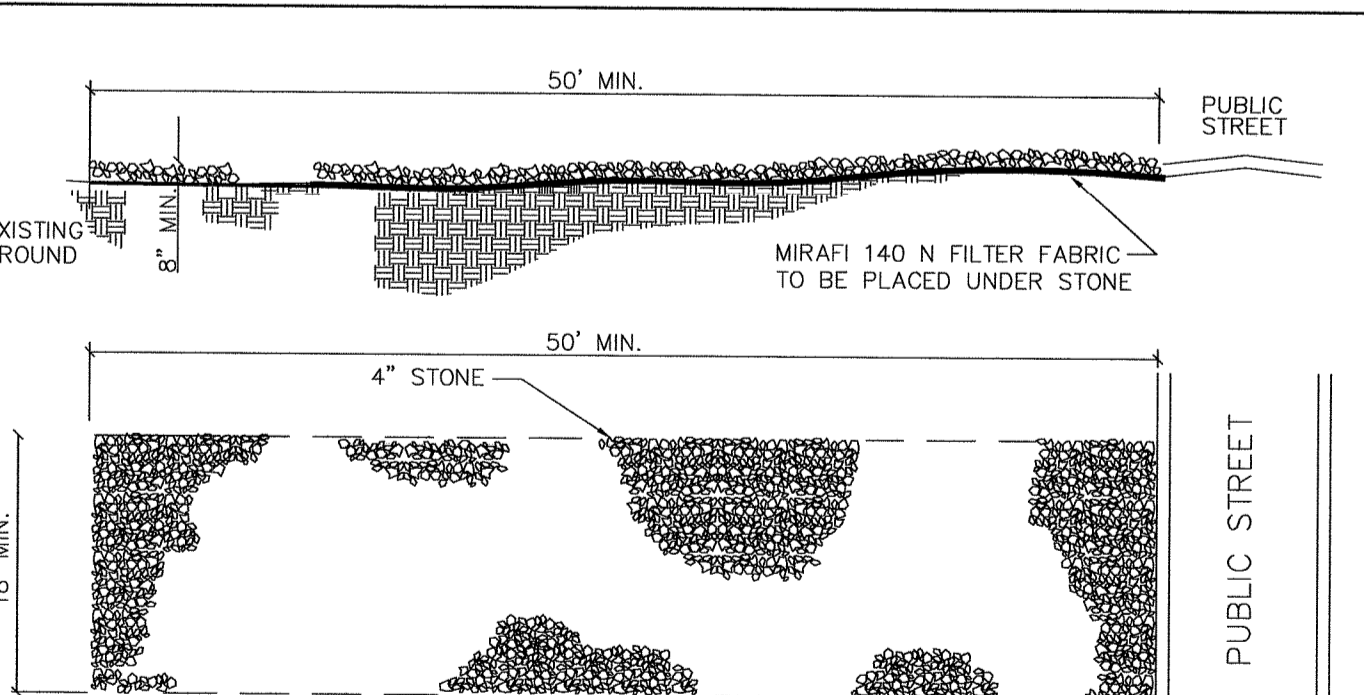
- NOTES:
1. REFLECTIVE BLUE BACKGROUND WHITE LETTERING AND SYMBOL LETTERING MINIMUM 1" HEIGHT.
  2. SIGN TO BE MOUNTED ON 2" METAL POST CENTERED ON 4" CONC. BOLLARD.
  3. ONE SIGN PER HANDICAPPED SPACE.
  4. VAN ACCESSIBLE SIGN TO BE MOUNTED BELOW STANDARD HC SIGN WHERE SPECIFIED ON PLANS. COLORING AND LETTERING TO MATCH HC SIGN.
  5. SIGNAGE SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, & LOCAL CODES, REGULATIONS, & POLICIES.
  6. ACCESSIBLE SIGNS SHALL BE MOUNTED A MINIMUM OF 5" TO BOTTOM OF SIGN AND A MAXIMUM OF 8 FEET TO TOP OF SIGN IN ORDER TO COMPLY WITH APPLICABLE ADA AND AAB REQUIREMENTS.
  7. SEE TYPICAL SIDEWALK BOLLARD DETAIL.



**TYPICAL SIGN POST DETAIL**

NOT TO SCALE

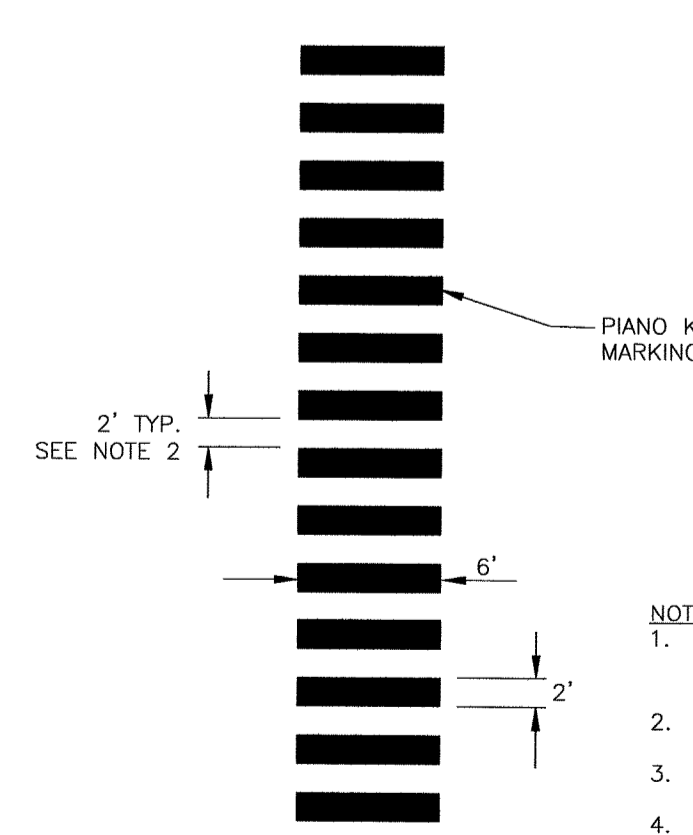
- NOTES:
1. TYPICAL HEIGHT (H) SHALL BE 7'-0", EXCEPT FOR ACCESSIBLE PARKING SIGNAGE, WHICH SHALL HAVE A HEIGHT AS SPECIFIED IN THE APPLICABLE DETAIL.
  2. METAL POSTS SHALL BE QUICK PUNCH POST.
  3. FOR IN-SIDEWALK INSTALLATIONS, CORE 4" DIA. HOLE. ANCHOR LENGTH MAY BE DECREASED TO 12".
  4. POST SHALL BE GALVANIZED ROLLED CARBON SHEET STEEL, ASTM A570 GRADE 50 AND SHALL HAVE 7/16" DIE-PUNCHED KNOCKOUTS ON 1" CENTERS FULL LENGTH, FOUR SIDES. ANCHOR SHALL HAVE 4 7/16" HOLES ONE EACH SIDE 2" FROM TOP END. FINISH SHALL BE ZINC HOT DIPPED GALVANIZED MATERIAL TO MEET ASTM A500 GRADE B.
  5. DRIVE RIVETS TO BE TL3806 3/8" DIA. CORNER BOLTS TO BE TLCS16M.
  6. SIGN SHALL BE MOUNTED 7" FROM BOTTOM OF SIGN TO GROUND SURFACE AND 6" FROM THE BOTTOM OF THE LOWER SIGN FOR MULTIPLE SIGNS ON A SINGLE POST, UNLESS OTHERWISE SPECIFIED.



**TYPICAL STABILIZED CONSTRUCTION ENTRANCE DETAIL**

NOT TO SCALE

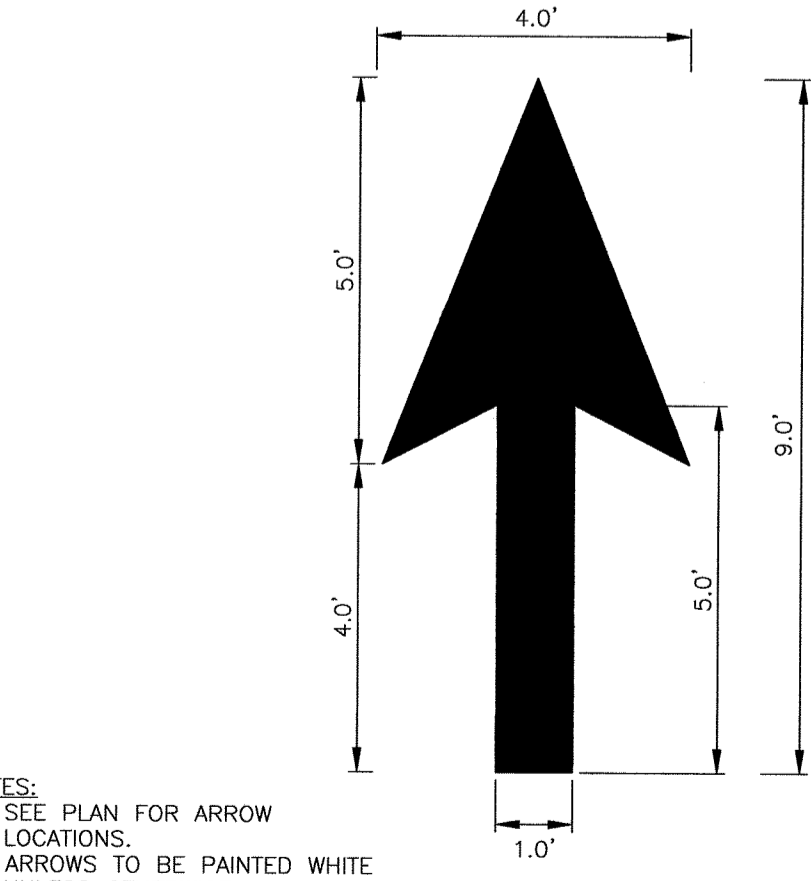
- NOTES:
1. A STABILIZED CONSTRUCTION ENTRANCE COMPRISED OF 4" CRUSHED STONE SHALL BE LOCATED WHERE CONSTRUCTION RELATED VEHICLES WILL ACCESS THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
  2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR ADJACENT LAND. ADDITIONAL STONE SHALL BE ADDED AS CONDITIONS WARRANT.
  3. ANY SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED IMMEDIATELY.
  4. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET, IF APPLICABLE. WHEEL WASHING SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS TO A DESIGNATED SEDIMENT TRAP.



**TYPICAL CROSSWALK DETAIL**

NOT TO SCALE

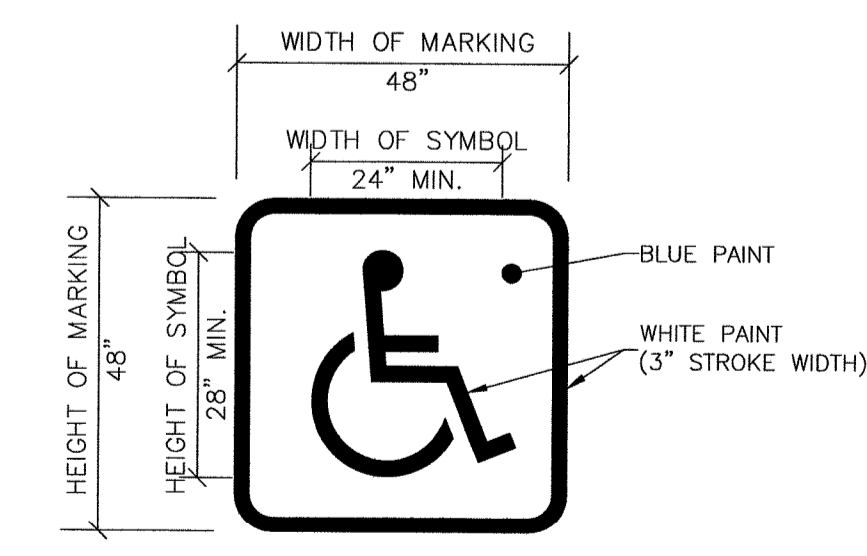
- NOTES:
1. MATERIAL SHALL BE THERMOPLASTIC, HOT APPLIED OR HEAT FUSED PREFORMED (90 MIL. MIN.), UNLESS OTHERWISE APPROVED BY THE ENGINEER.
  2. GAP WIDTH MAY BE ADJUSTED BETWEEN 12" AND 60" TO AVOID WHEEL PATHS.
  3. RAMP PORTION OF WHEELCHAIR CURB RAMP TO BE LOCATED WITHIN CROSSWALK, WHERE APPLICABLE.
  4. CROSSWALK LENGTH WILL VARY.



**TYPICAL PAINTED ARROW DETAIL**

NOT TO SCALE

- NOTES:
1. SEE PLAN FOR ARROW LOCATIONS.
  2. ARROWS TO BE PAINTED WHITE UNLESS OTHERWISE NOTED.



**TYPICAL ACCESSIBLE PARKING SPACE MARKING DETAIL**

NOT TO SCALE

3-4-2014

**CONSTRUCTION PLANS**

REVISIONS:

REV	DATE	COMMENT
1	08-30-13	REVISED PER PEER REVIEW COMMENTS & PEDD HEARINGS
2	10-30-13	REVISED PER FINAL PB & DRC COMMENTS
3	02-13-14	ISSUED FOR 100% REVIEW

SCALE: **NOT TO SCALE**

DESIGNED BY: MAL  
CHECKED BY: PRH

SEAL:  
PHILIP R. HENRY, P.E.  
REGISTERED PROFESSIONAL ENGINEER  
No. 48547

PREPARED FOR:  
**GBC**  
GERSHMAN BROWN CROWLEY INC.  
14 BREAKNECK HILL ROAD  
SUITE 101  
LINCOLN RI 02865

**Cumberland FARMS**  
100 CROSSING BOULEVARD  
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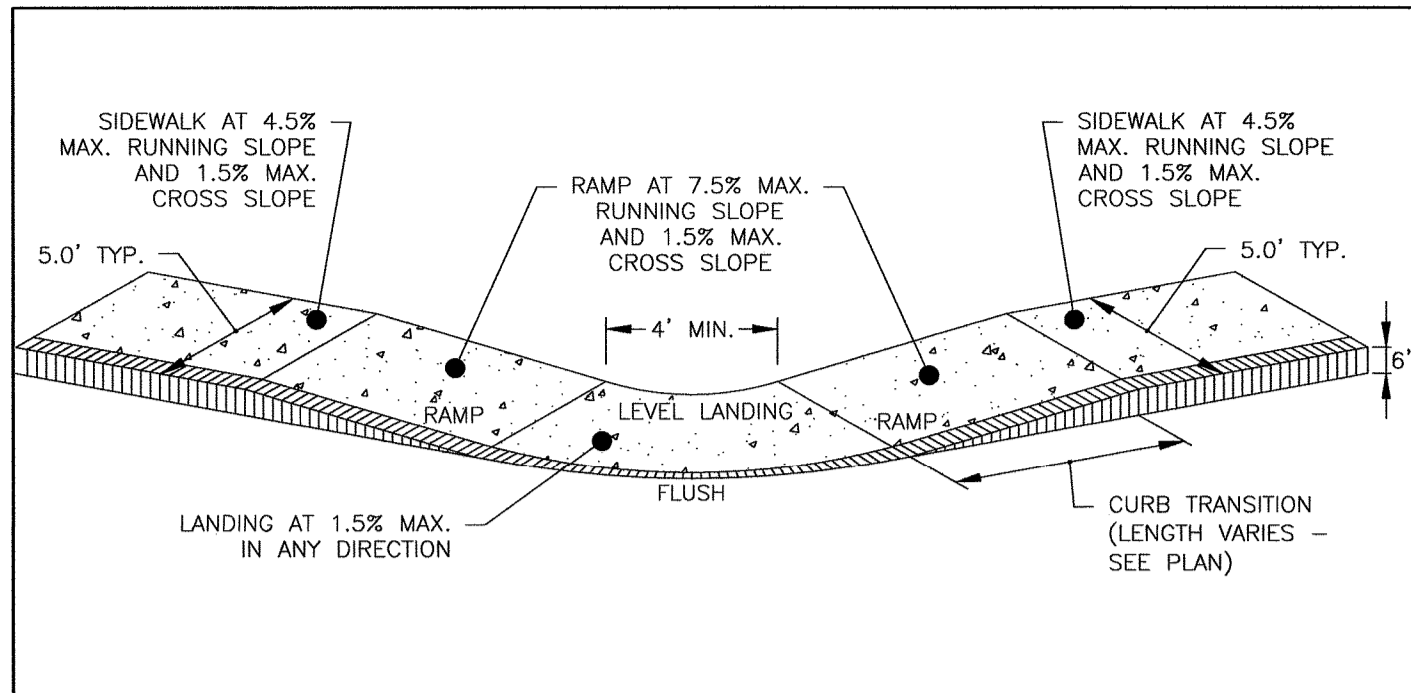
PROJECT:  
38 SUMMER STREET (ROUTE-126)  
@ MILFORD STREET (ROUTE-109)  
MEDWAY, MA 02053

STORE # TBD STATION # TBD

PREPARED BY:  
**CIVIL DESIGN GROUP, LLC**  
21 HIGH STREET, SUITE 300A  
NORTH ANDOVER, MA 01845  
www.cdengineering.com  
p: 978-794-5400 f: 978-914-6161

SHEET: **SITE CONSTRUCTION DETAILS**  
**CFG 9.0**

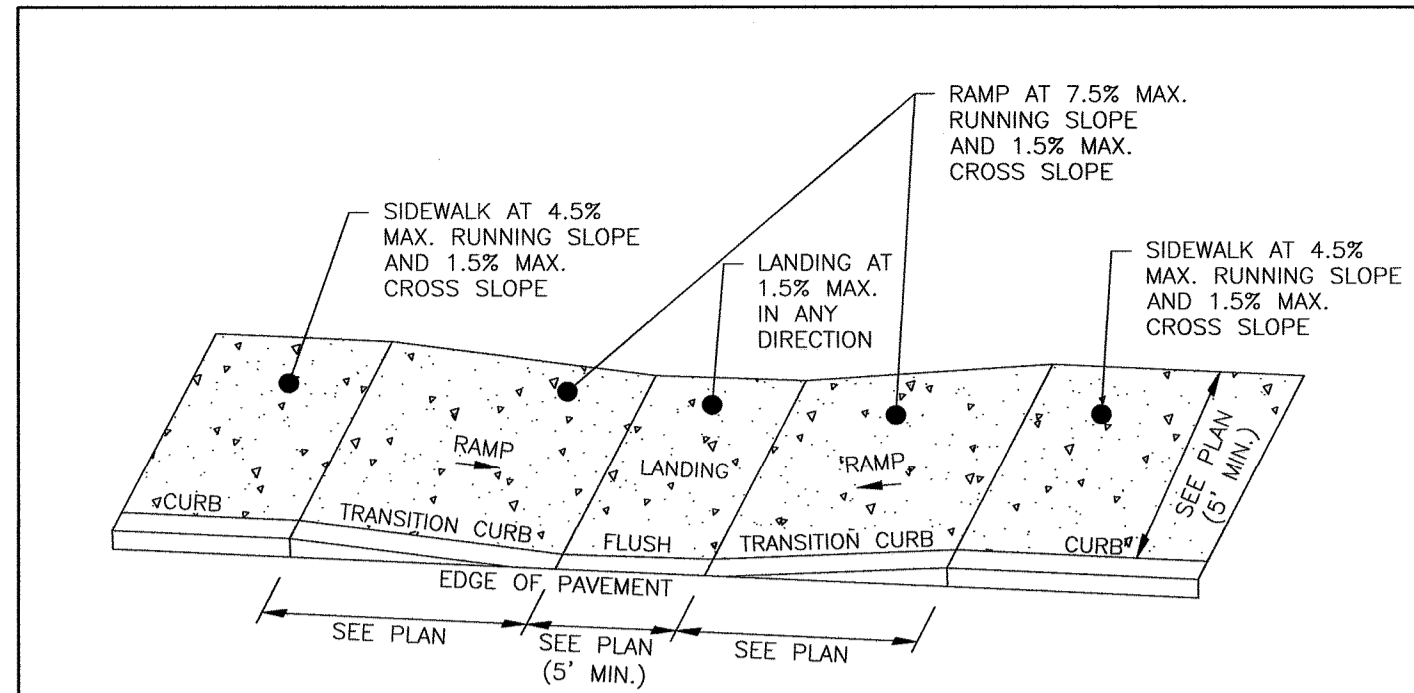
CDG PROJECT #: 12027  
DATE: 06/28/2013



- NOTES:**
- SEE PLAN TO DETERMINE IF RAMP PROPOSED ON ONE OR BOTH SIDES OF LANDING.
  - CURBS AND WALKS ALONG ACCESSIBLE ROUTES SHALL MEET OR EXCEED THE APPLICABLE REQUIREMENTS SET FORTH IN THE FEDERAL AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND APPLICABLE STATE REGULATIONS.
  - THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (0.5% MIN.).
  - THE MAXIMUM ALLOWABLE RUNNING SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 4.5%.
  - THE MAXIMUM ALLOWABLE SLOPE OF RAMP AND WING SLOPES SHALL BE 7.5%.
  - MAINTAIN A MINIMUM OF 3 FEET CLEAR AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS ETC.).
  - THE SURFACE OF THE RAMP SHALL BE FLUSH WITH THE FLOW LINE OF THE CURB AND GUTTER.
  - RAMP CONSTRUCTION SHALL CONFORM TO THE TYPICAL SIDEWALK SECTION.
  - ALL RAMP SHALL BE CEMENT CONCRETE WITH BROOM FINISHED NON-SLIP SURFACE.

**TYPICAL ACCESSIBLE CURB RAMP DETAIL (TYPE-1)**

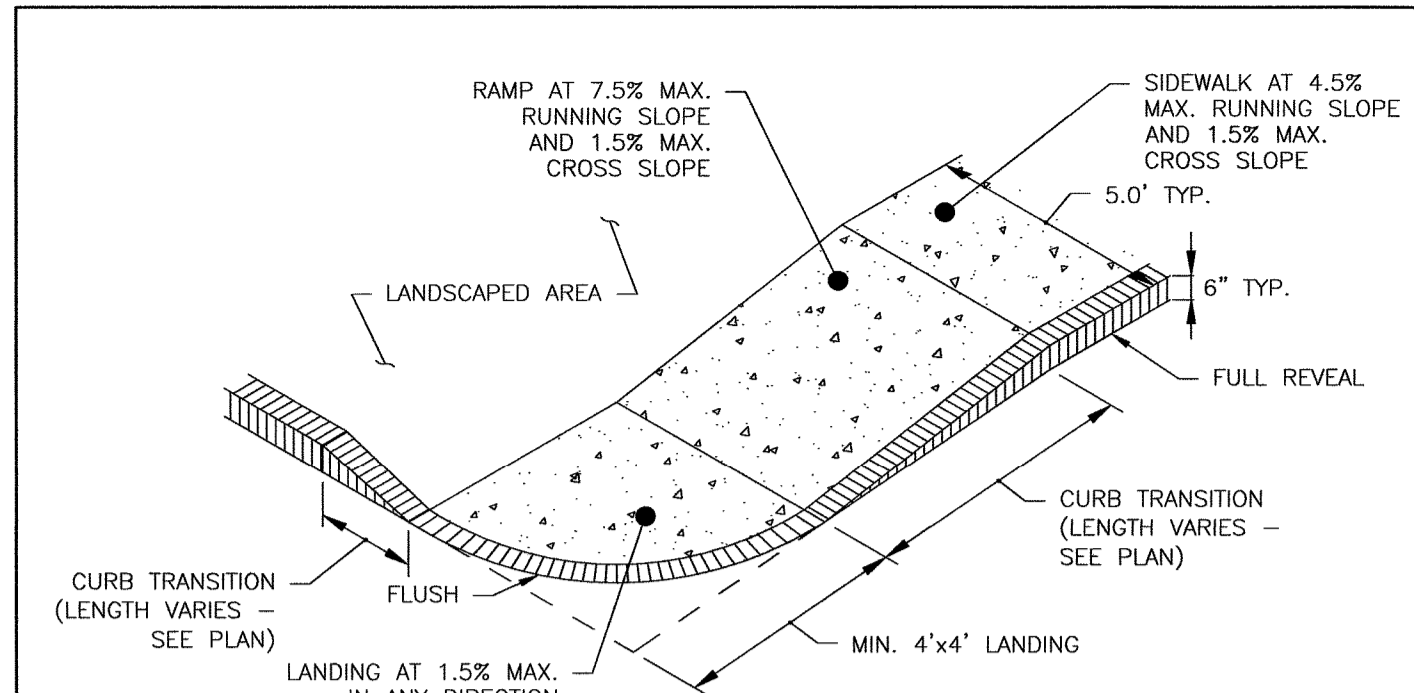
NOT TO SCALE



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  - ALL RAMP SHALL BE CEMENT CONCRETE WITH BROOM FINISHED NON-SLIP SURFACE.

**TYPICAL ACCESSIBLE CURB RAMP DETAIL (TYPE-2)**

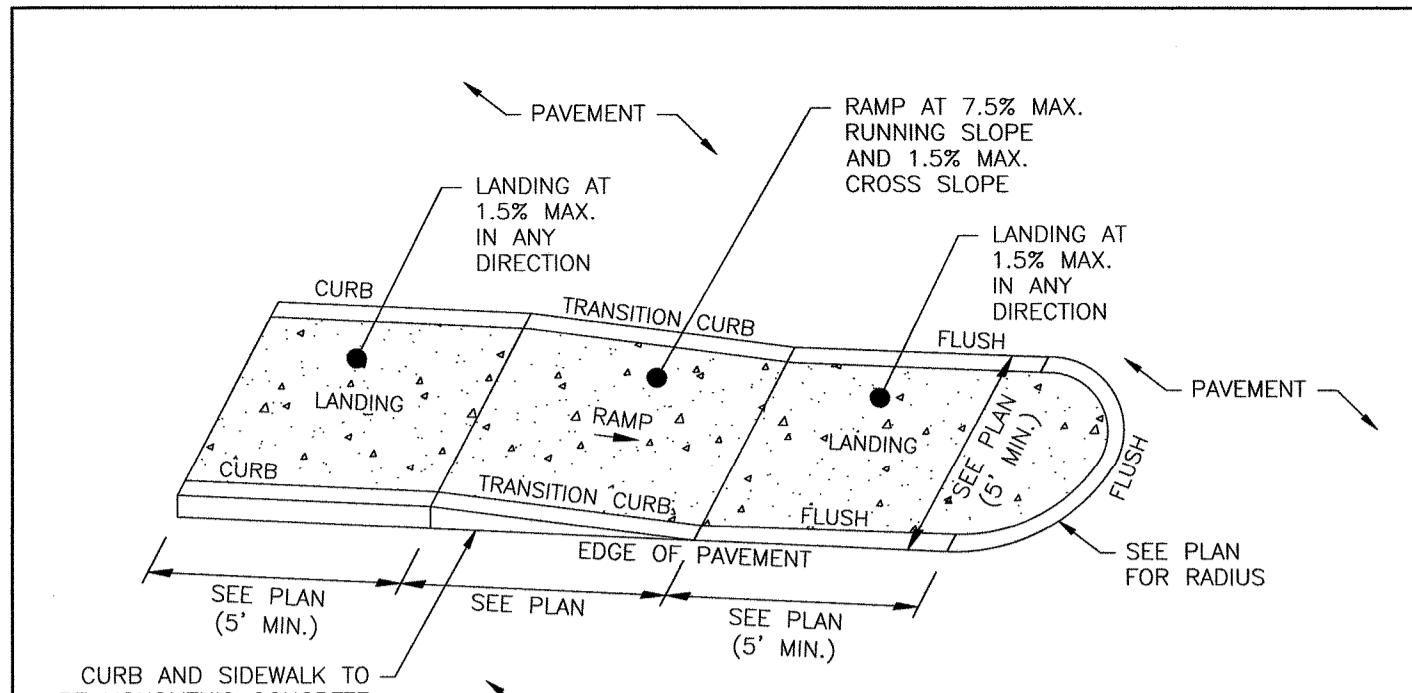
NOT TO SCALE



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  - RAMP CONSTRUCTION SHALL CONFORM TO THE TYPICAL SIDEWALK SECTION.
  - ALL RAMP SHALL BE CEMENT CONCRETE WITH BROOM FINISHED NON-SLIP SURFACE.

**TYPICAL ACCESSIBLE CURB RAMP DETAIL (TYPE-3)**

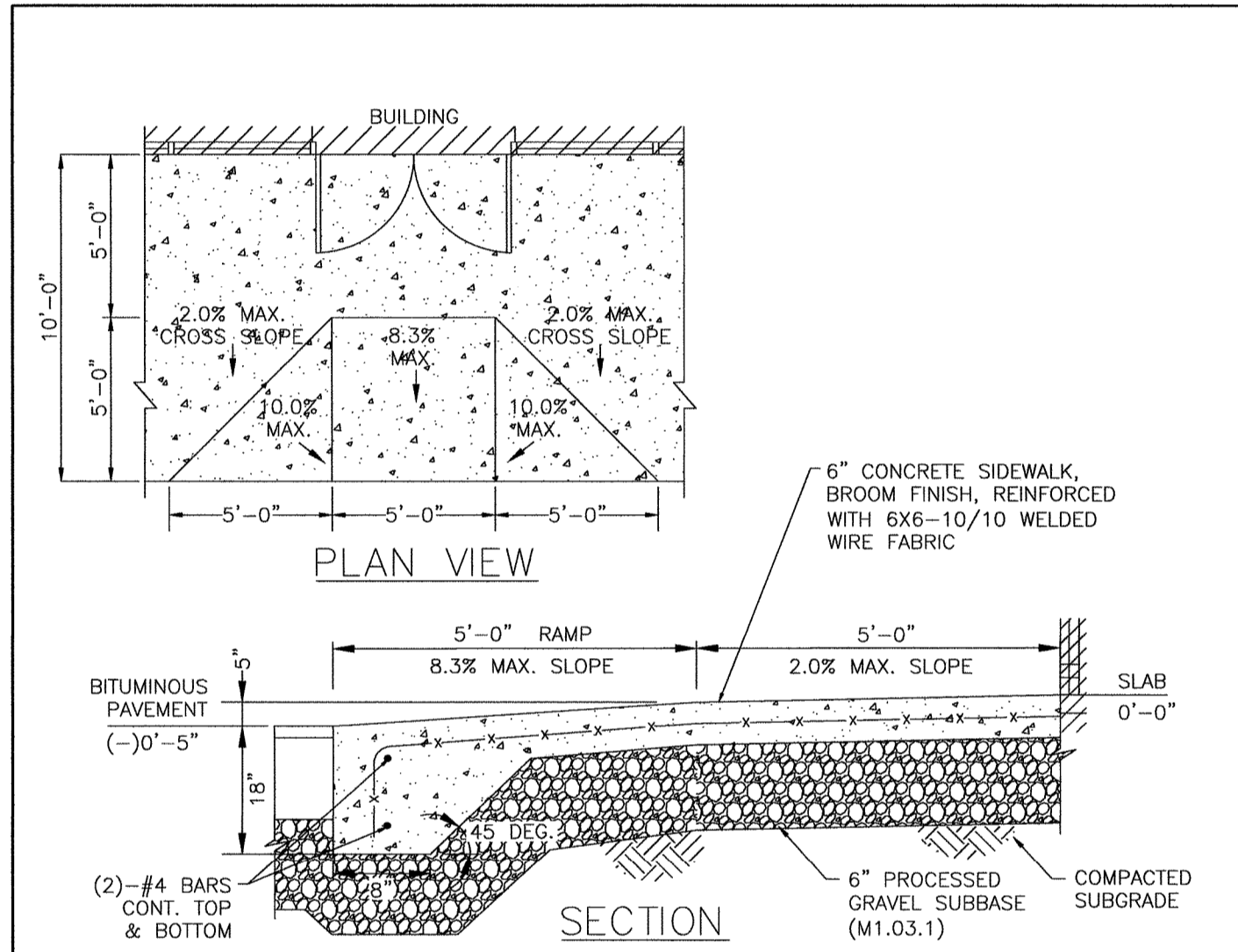
NOT TO SCALE



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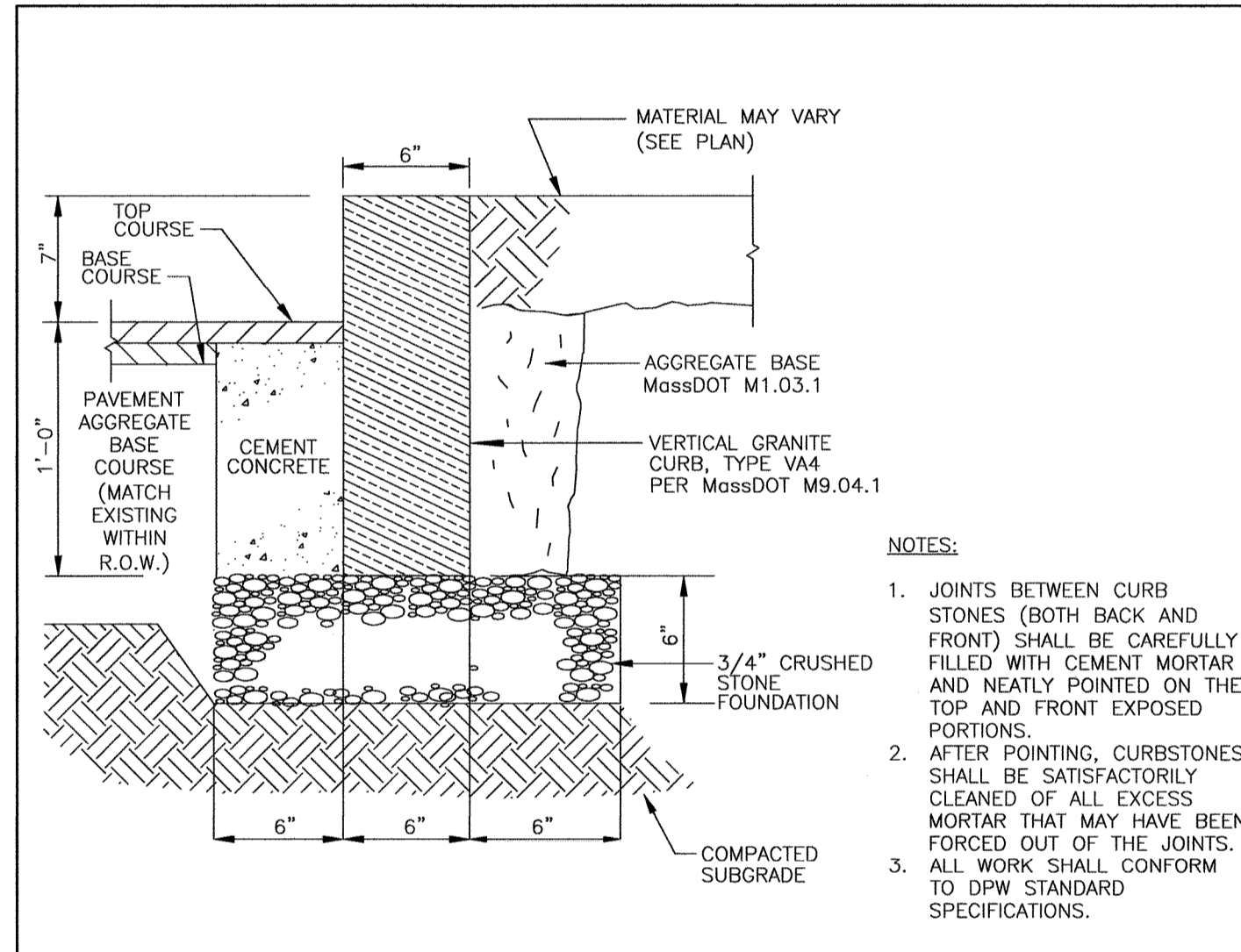
**PENINSULA CURB RAMP DETAIL (TYPE-4)**

NOT TO SCALE



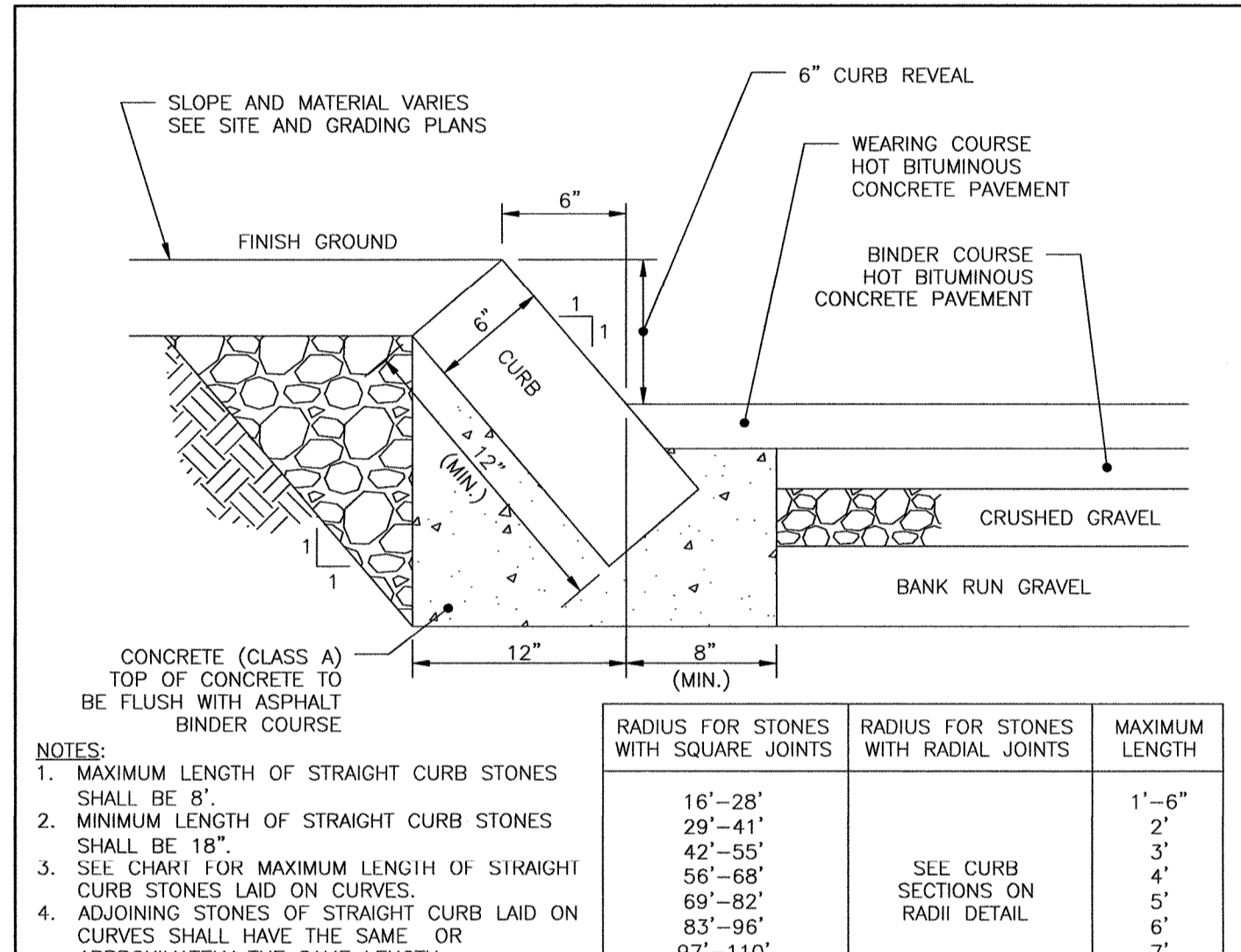
**FLARE RAMP AT ENTRANCE DETAIL (TYPE-5)**

NOT TO SCALE



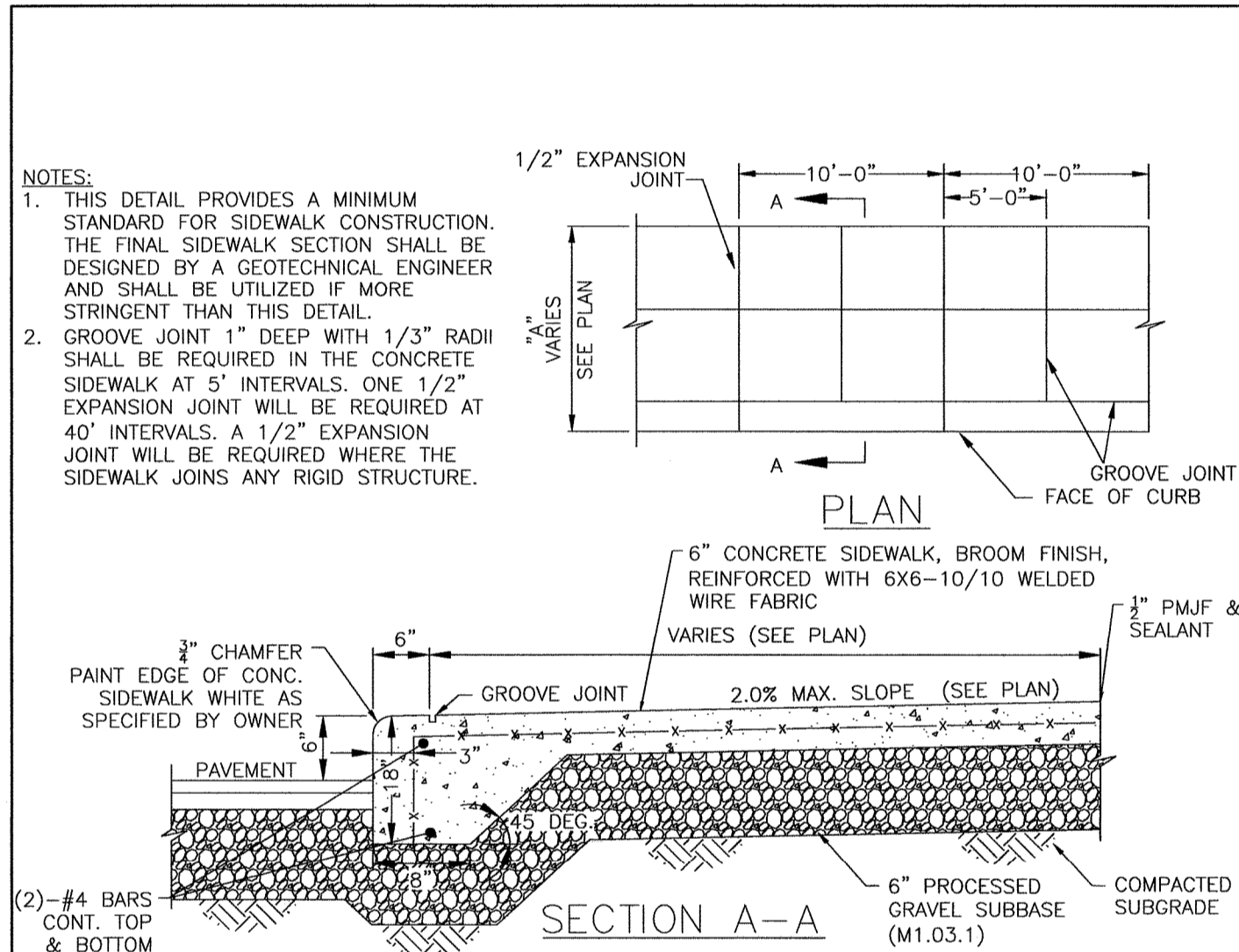
**TYPICAL VERTICAL GRANITE CURB DETAIL**

NOT TO SCALE



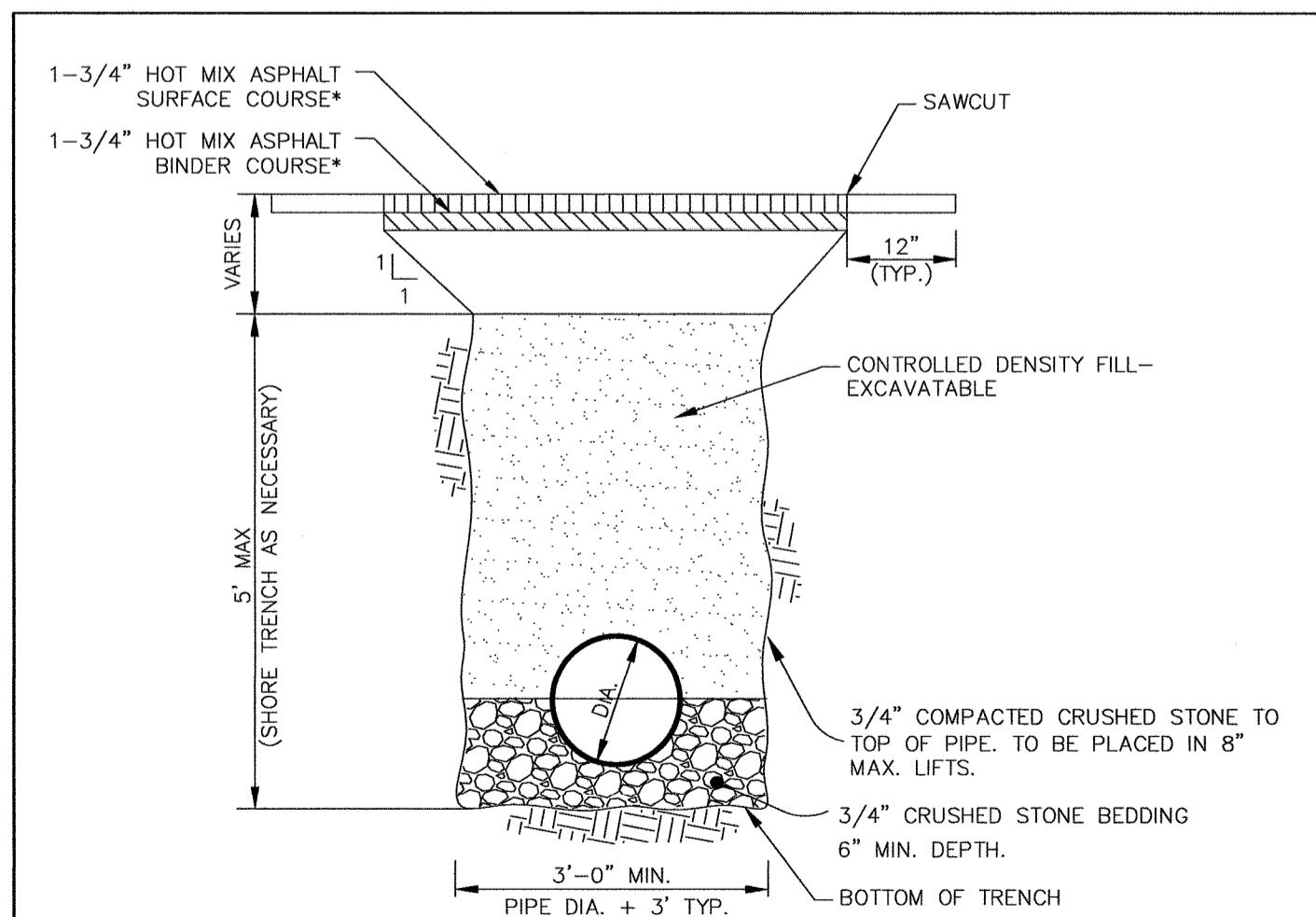
**SLOPED GRANITE CURB DETAIL**

NOT TO SCALE



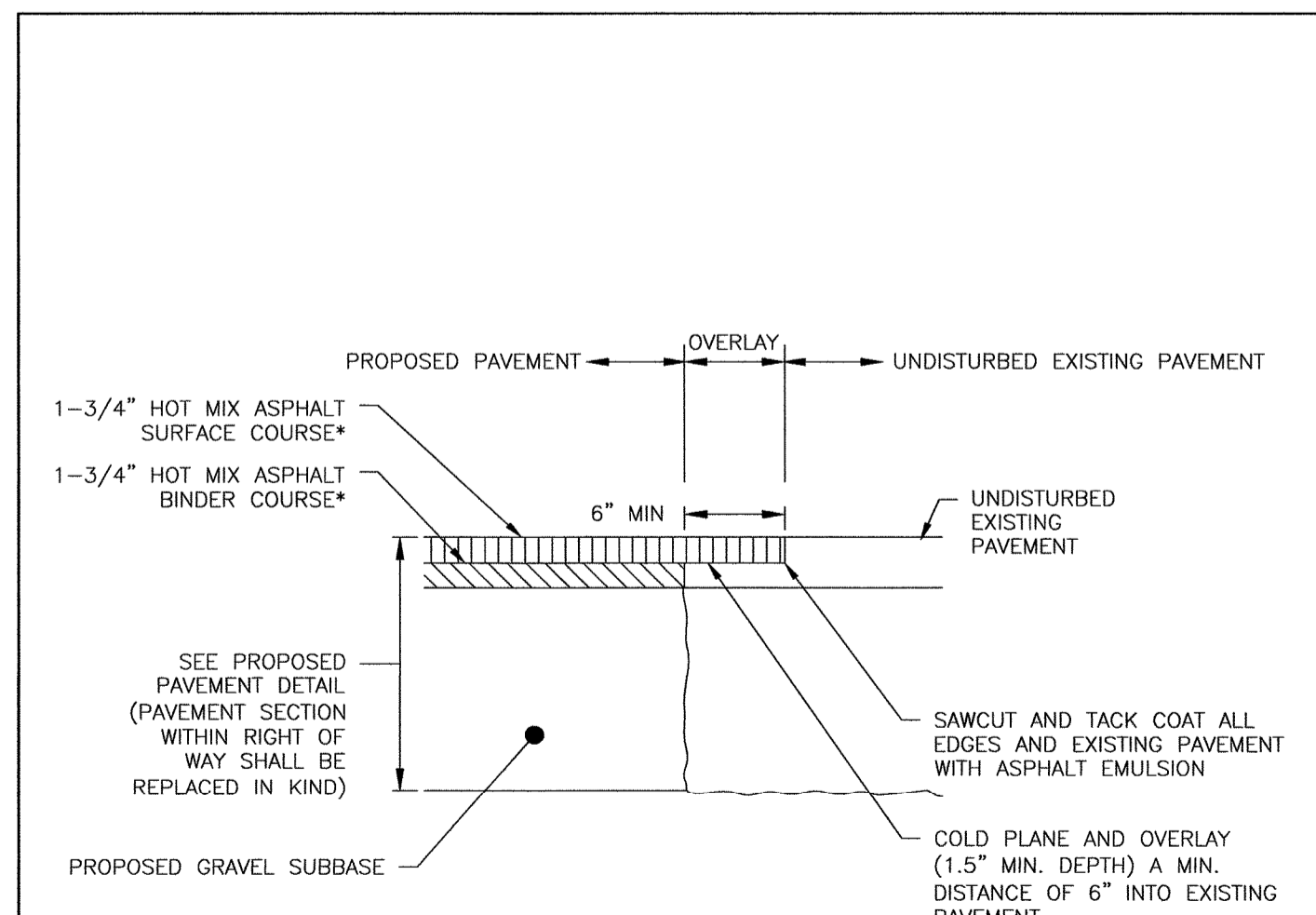
**TYPICAL MONOLITHIC CURB AND SIDEWALK DETAIL**

NOT TO SCALE



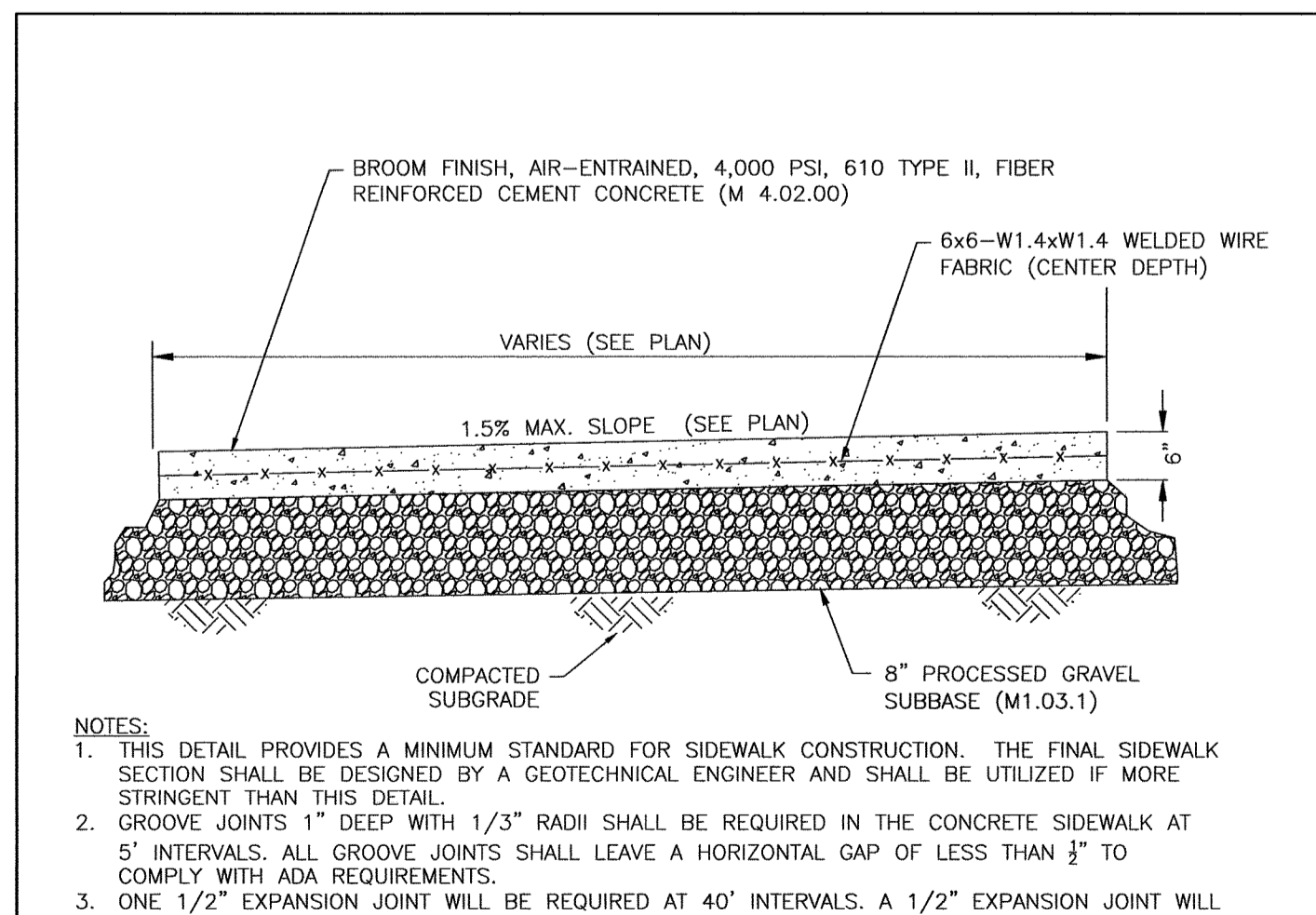
**UTILITY TRENCH DETAIL IN EXISTING PAVEMENT TO REMAIN**

NOT TO SCALE



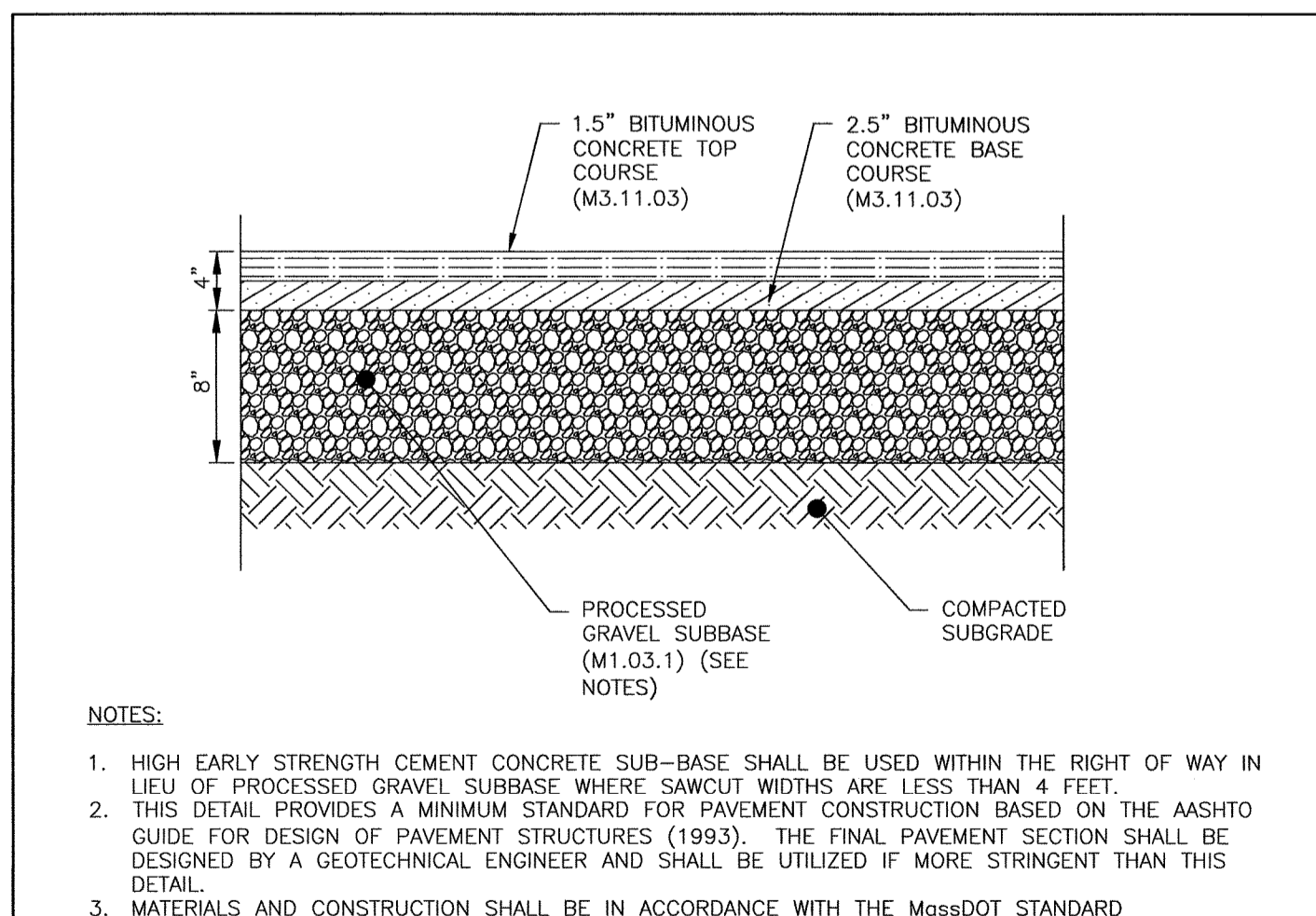
**PAVEMENT TIE-IN DETAIL**

NOT TO SCALE



**TYPICAL CONCRETE SIDEWALK DETAIL**

NOT TO SCALE



**TYPICAL BITUMINOUS PAVEMENT DETAIL**

NOT TO SCALE

*[Signature]*  
3-4-2014

**CONSTRUCTION PLANS**

REVISIONS:

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SCALE: **NOT TO SCALE**

DESIGNED BY: MAL  
CHECKED BY: PRH

SEAL:  
*[Signature]*  
**PHILIP R. HENRY, P.E.**

PREPARED FOR:  
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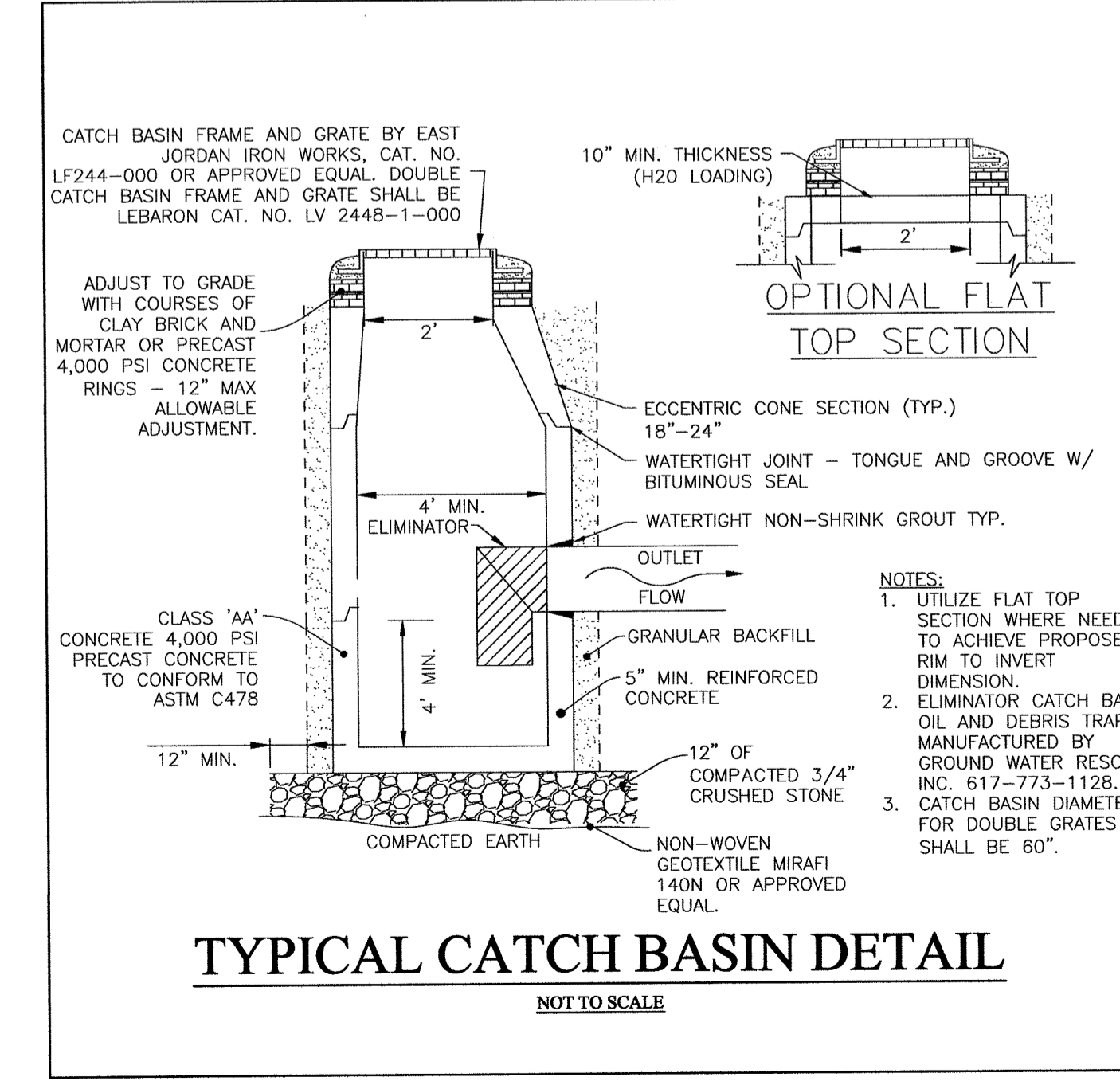
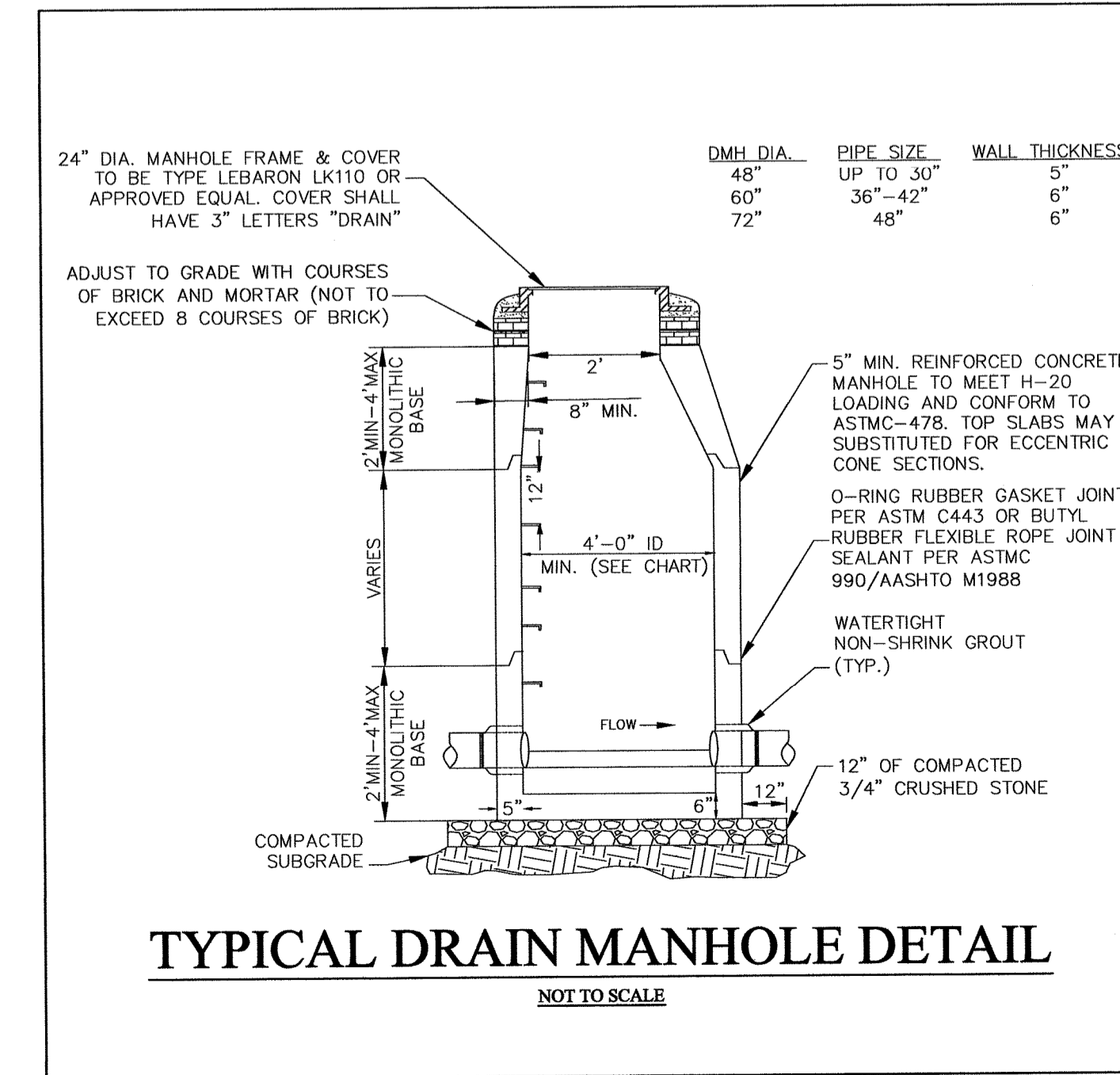
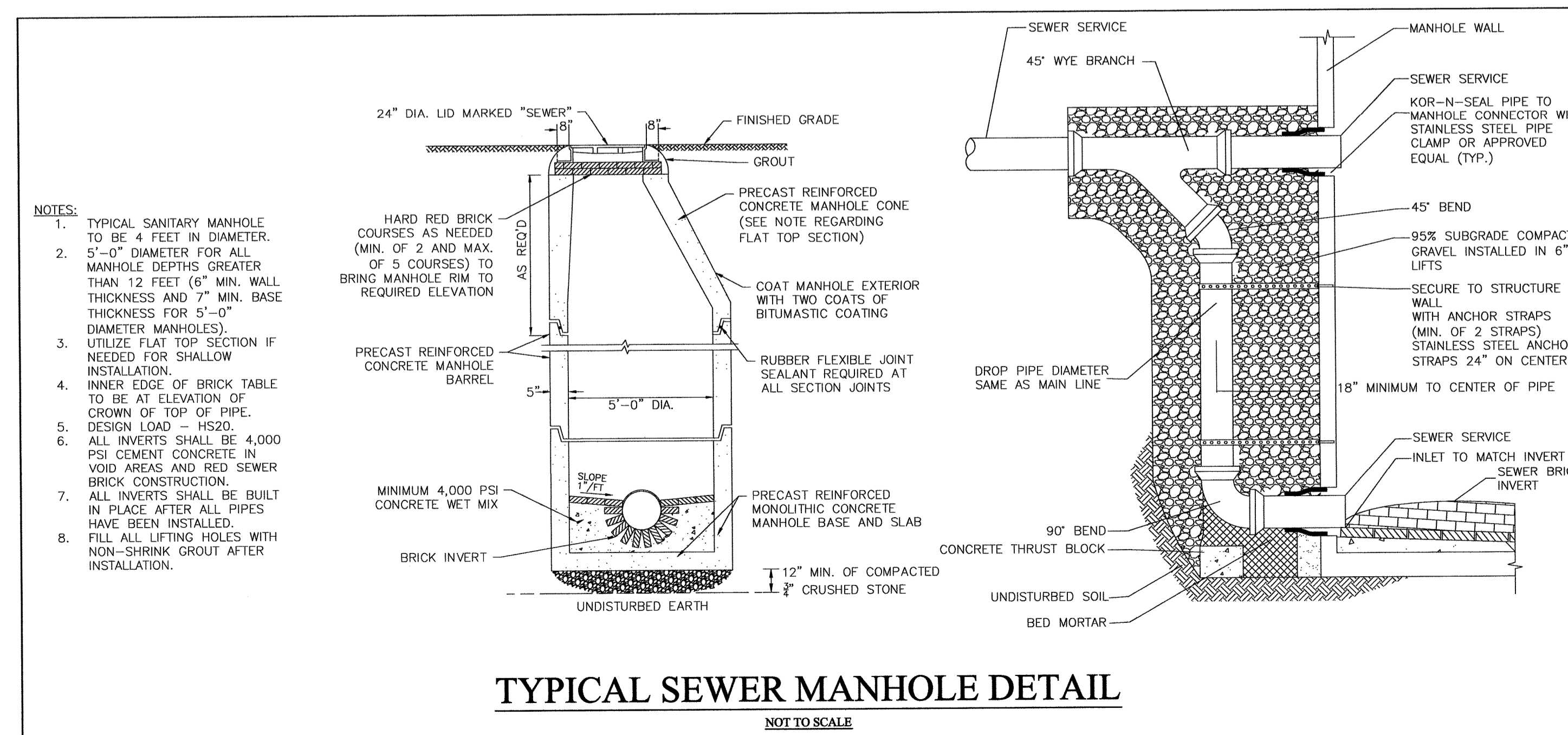
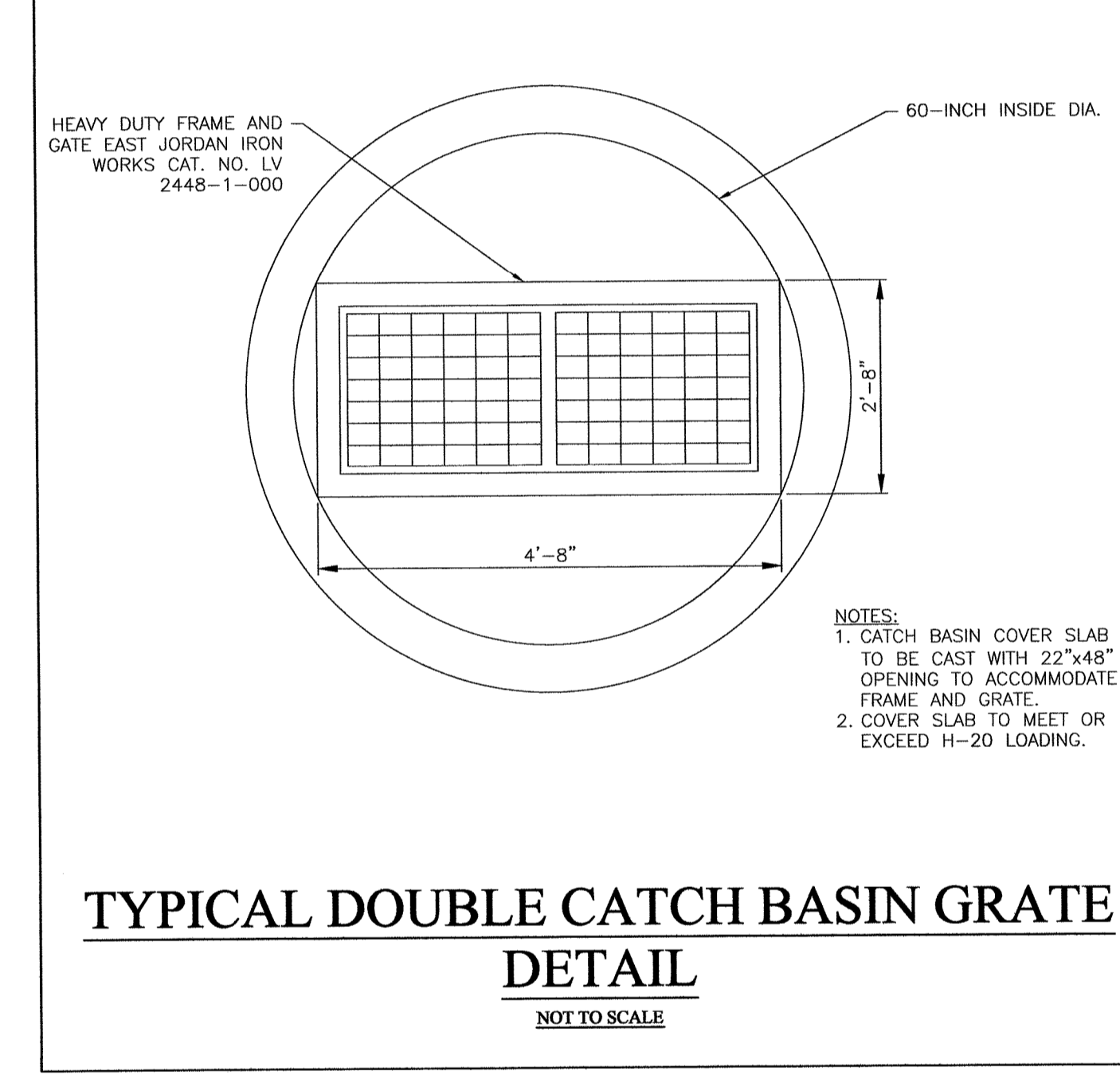
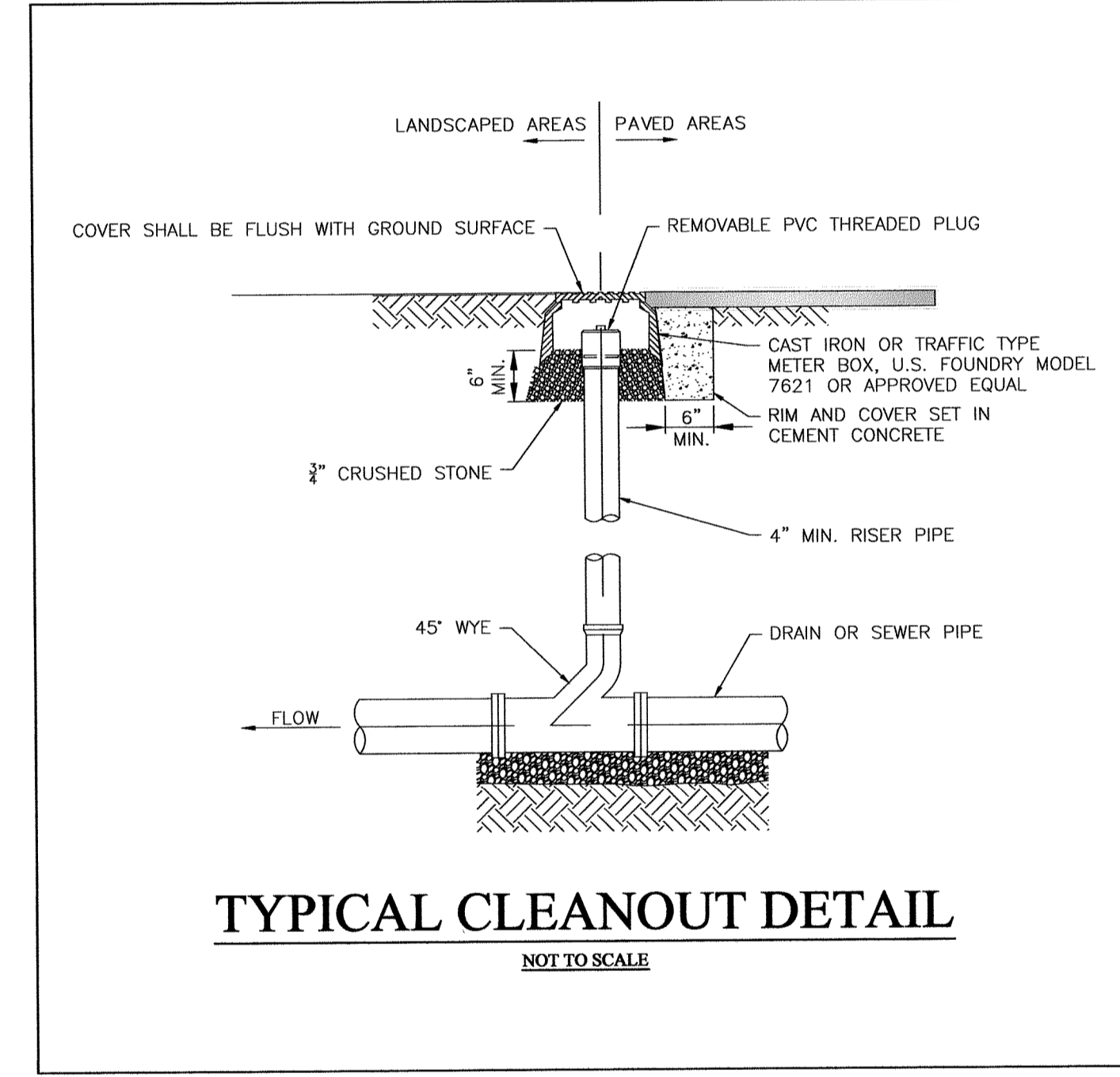
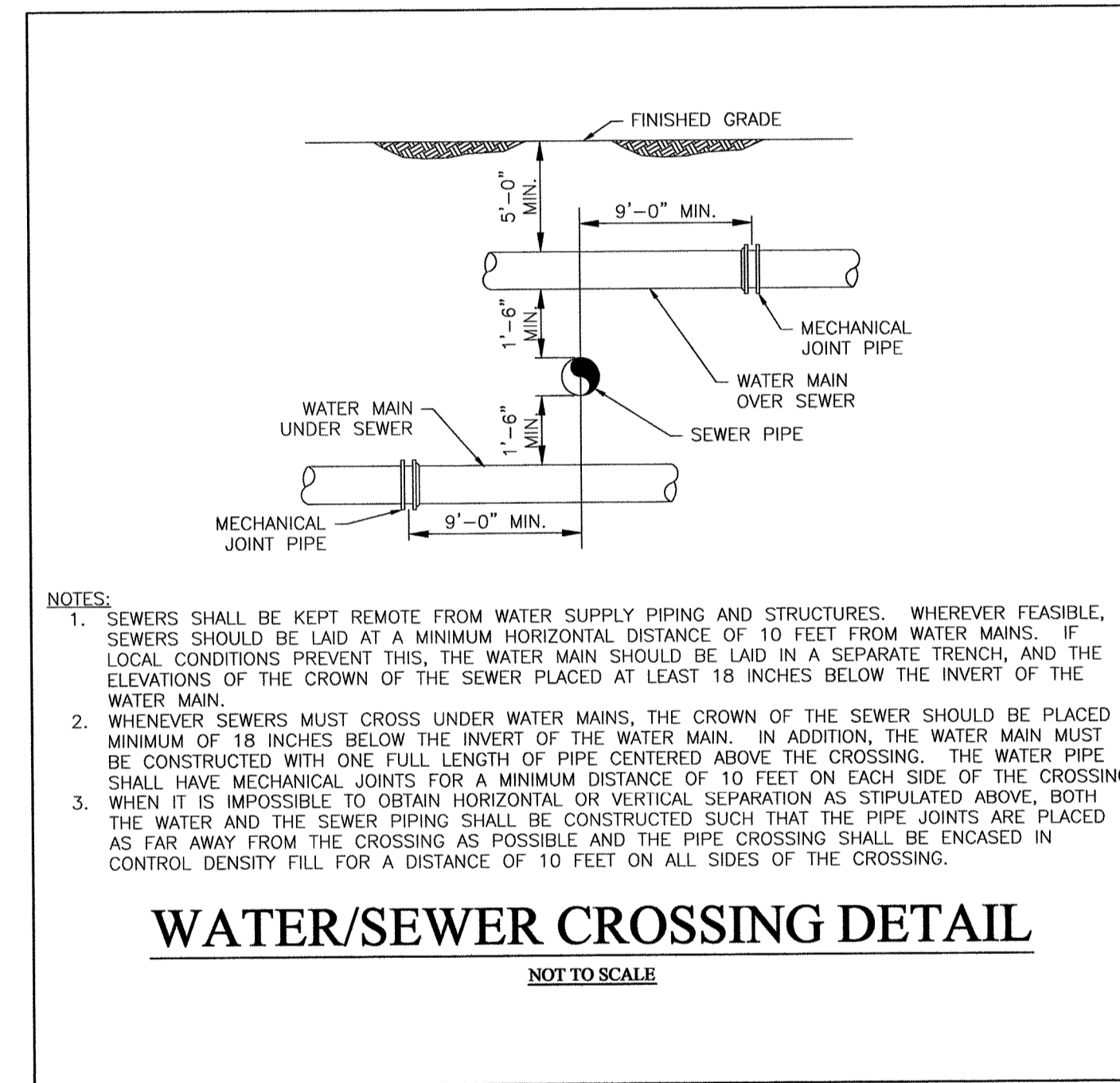
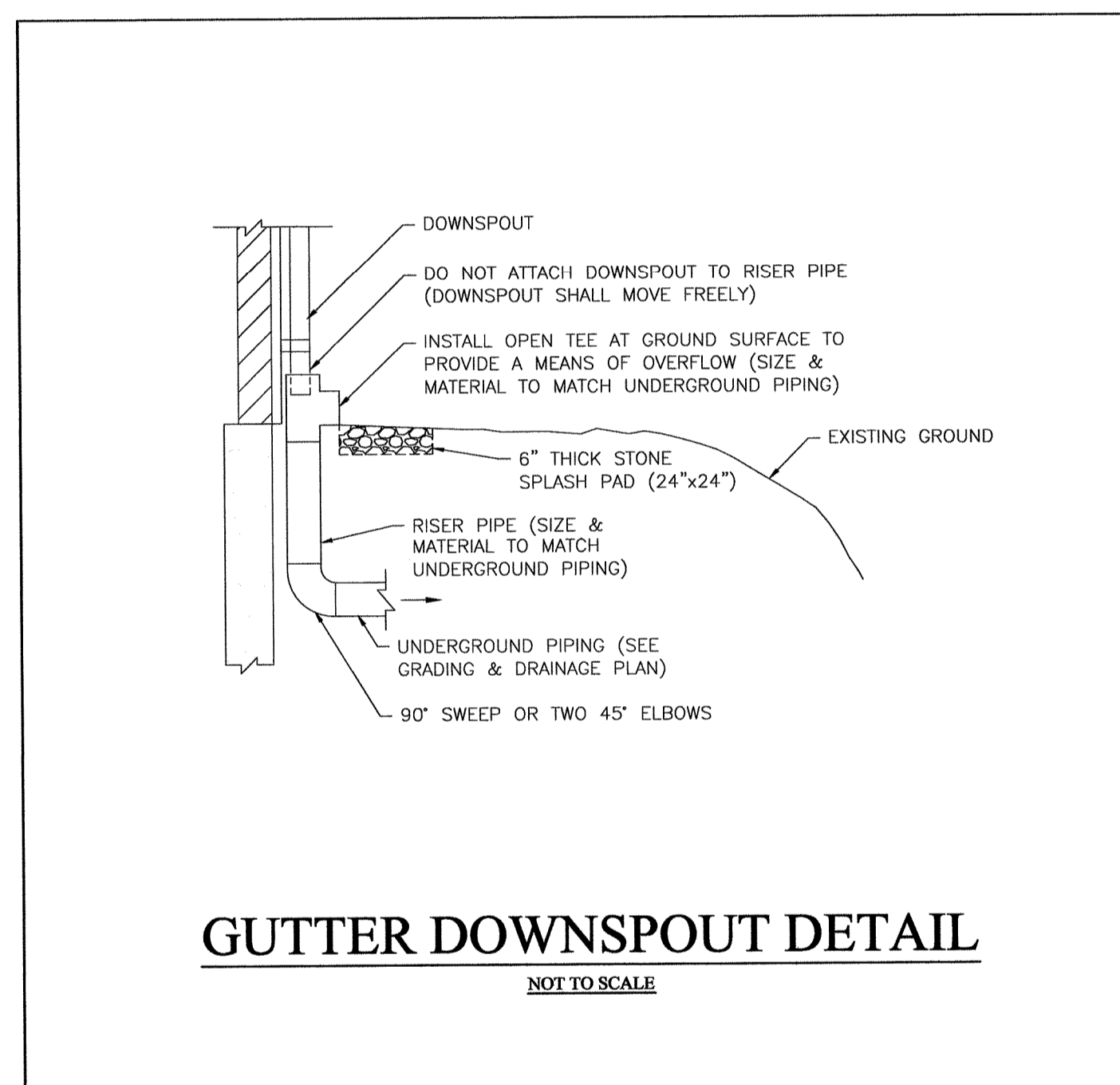
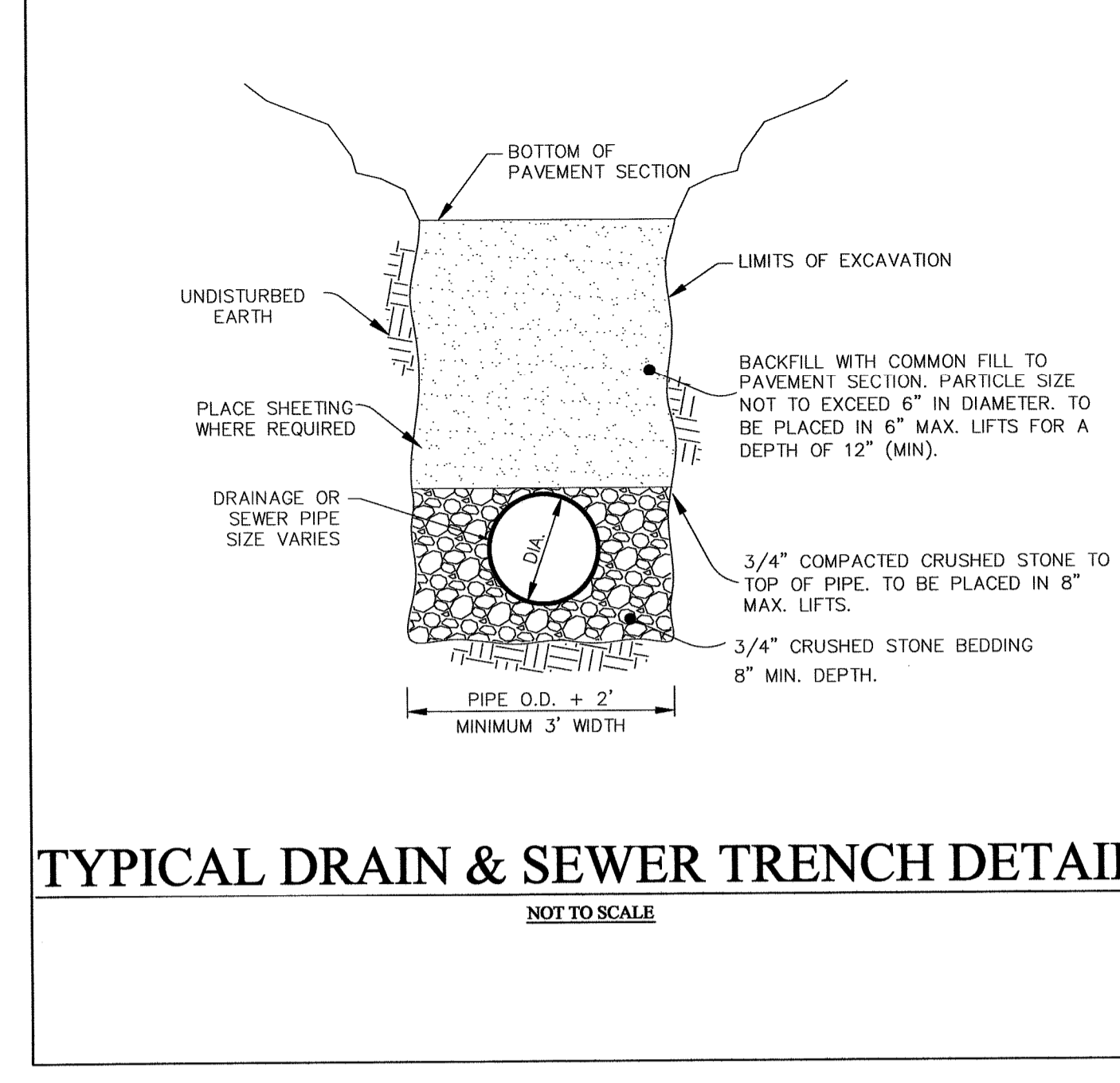
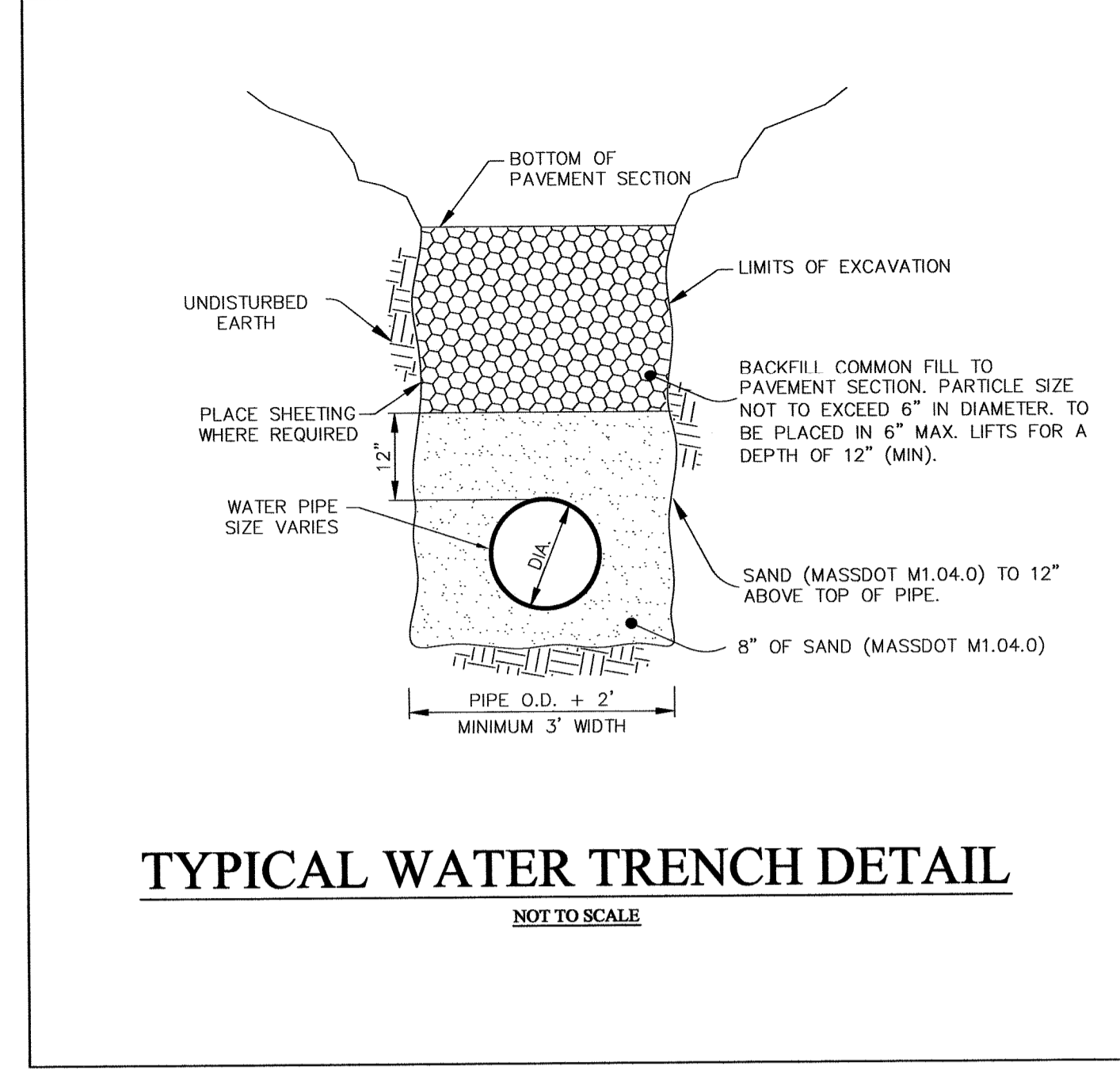
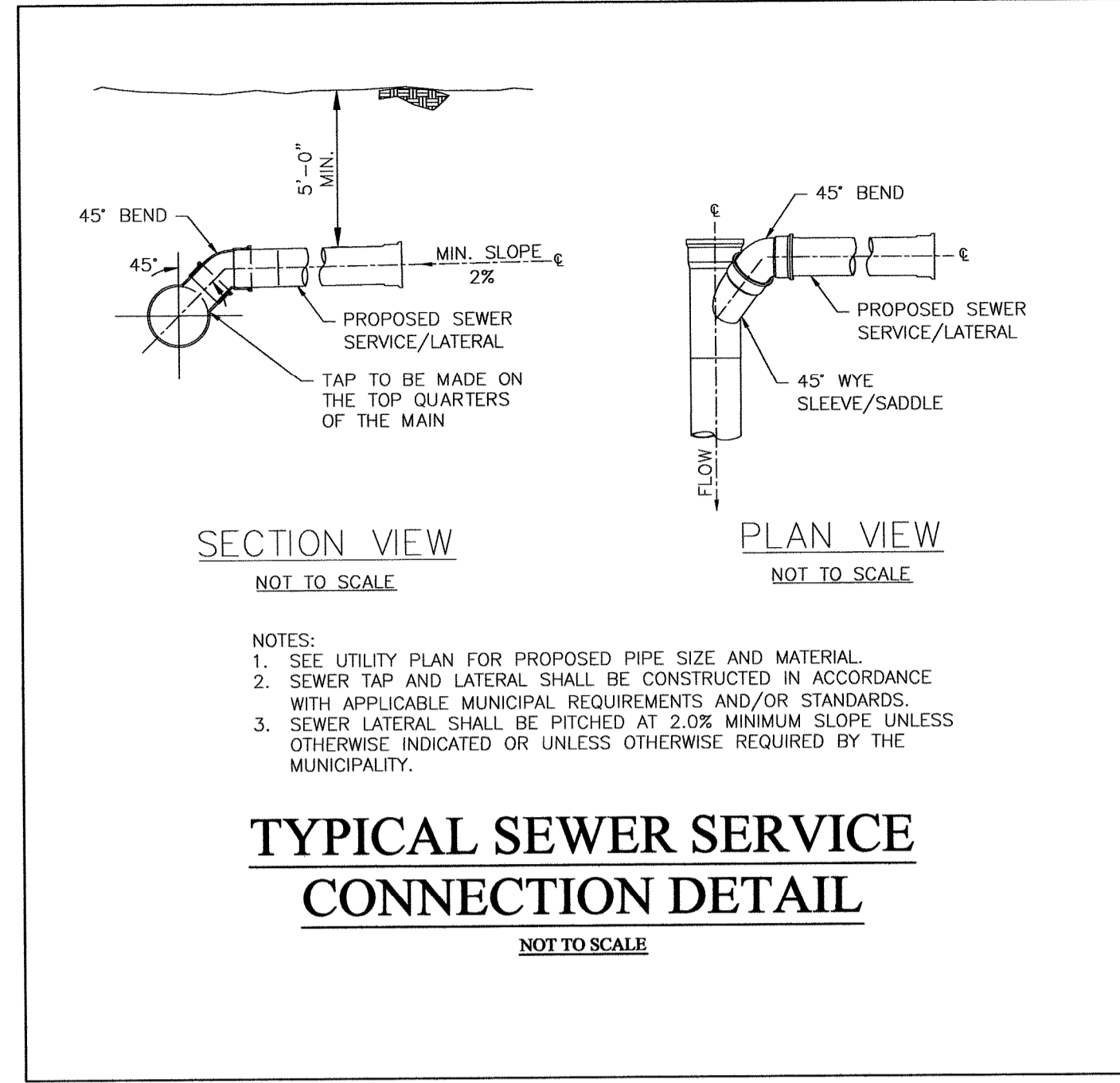
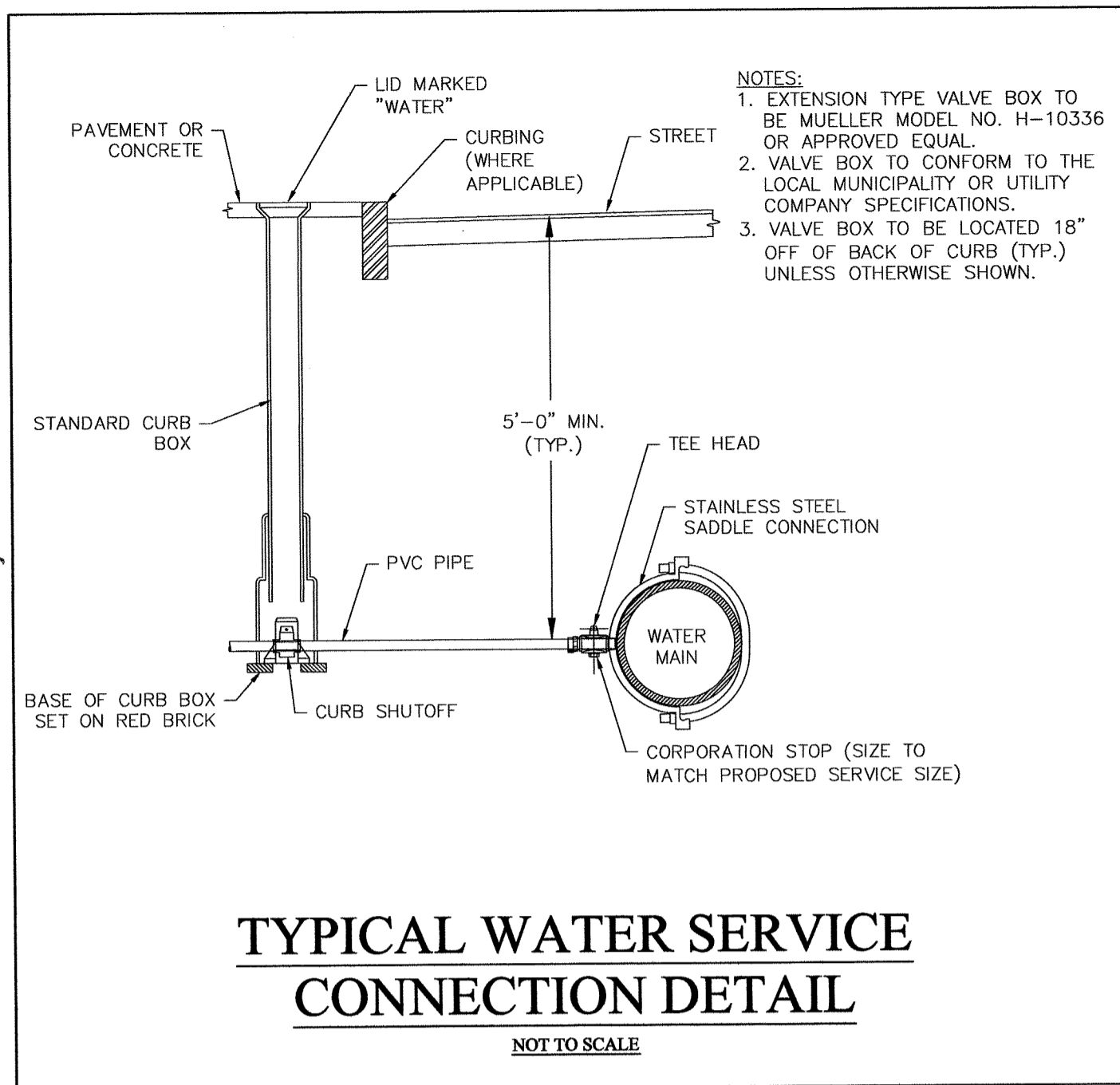
PROJECT:  
**38 SUMMER STREET (ROUTE-126)  
@ MILFORD STREET (ROUTE-109)  
MEDWAY, MA 02053**

STORE # TBD STATION # TBD

PREPARED BY:  
**CIVIL DESIGN GROUP, LLC**  
21 HIGH STREET, SUITE 300A  
NORTH ANDOVER, MA 01845  
www.cdengineering.com  
p: 978-794-5400 f: 978-914-6161

SHEET: **SITE CONSTRUCTION DETAILS**  
**CFG 9.1**

CDG PROJECT #: 12027  
DATE: 06/28/2013



*[Handwritten signatures and date]*  
3-4-2014

**CONSTRUCTION PLANS**

REVISIONS:

REV	DATE	COMMENT
1	08-30-13	REVISED PER PEER REVIEW COMMENTS & PEDB HEARINGS
2	10-30-13	REVISED PER FINAL PB & ORC COMMENTS
3	02-13-14	ISSUED FOR 100% REVIEW

SCALE: **NOT TO SCALE**

DESIGNED BY: MAL  
CHECKED BY: PRH

SEAL:  
  
**PHILIP R. HENRY, P.E.**

PREPARED FOR:  
**GBC**  
GERSHMAN BROWN HOLLOWAY INC.  
14 BREAKNECK HILL ROAD  
SUITE 101  
LINCOLN RI 02865

**Cumberland Farms**  
100 CROSSING BOULEVARD  
FRAMINGHAM, MA 01702

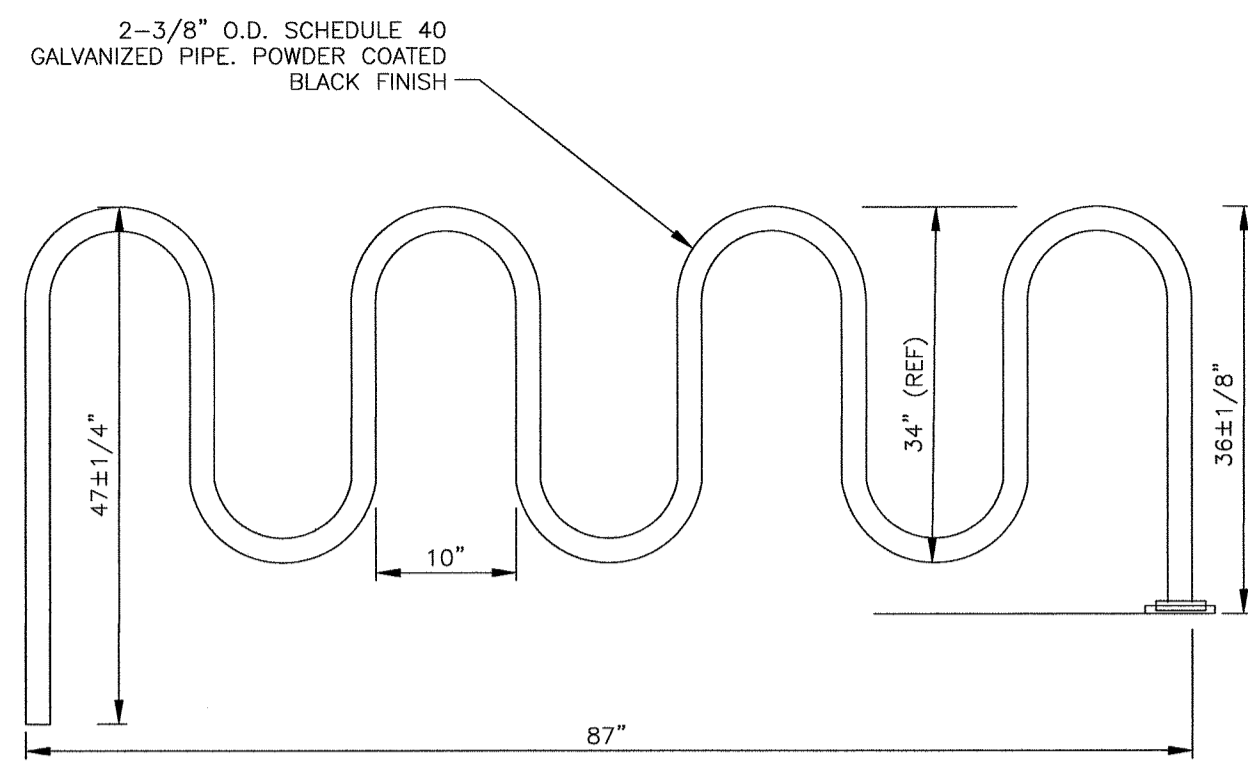
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STORE # TBD STATION # TBD

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**SITE CONSTRUCTION DETAILS**  
**CFG 9.2**

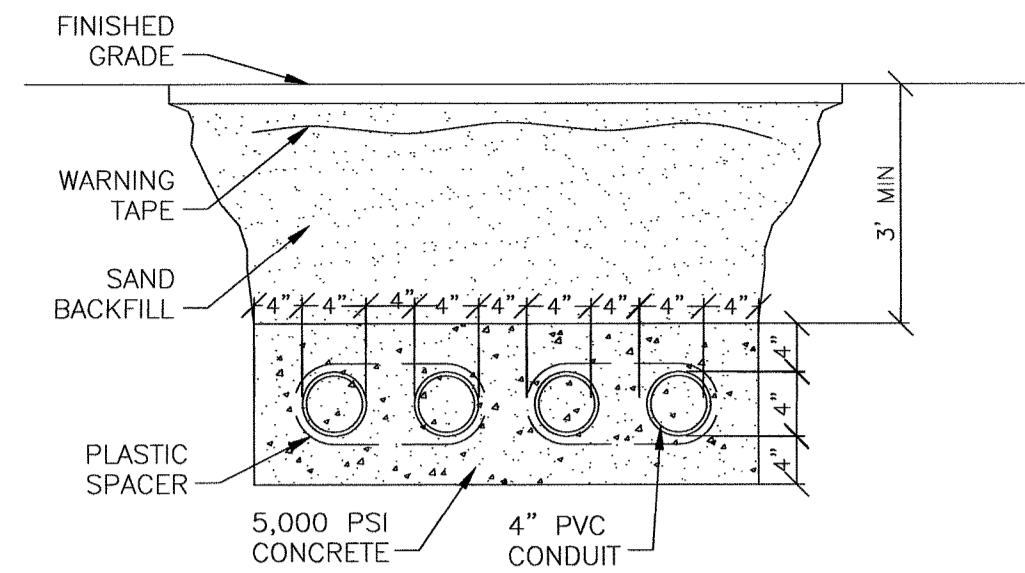
CDG PROJECT #: 12027  
DATE: 06/28/2013



- NOTES:
- 9 CAPACITY WAVE BIKE RACK SHALL BE MANUFACTURED BY JAYPRO (PART# HDWBR-9) OR AN APPROVED EQUAL.
  - REFER TO MANUFACTURER'S RECOMMENDATION FOR INSTALLATION INTO NEW SIDEWALKS.

**TYPICAL BIKE RACK DETAIL**

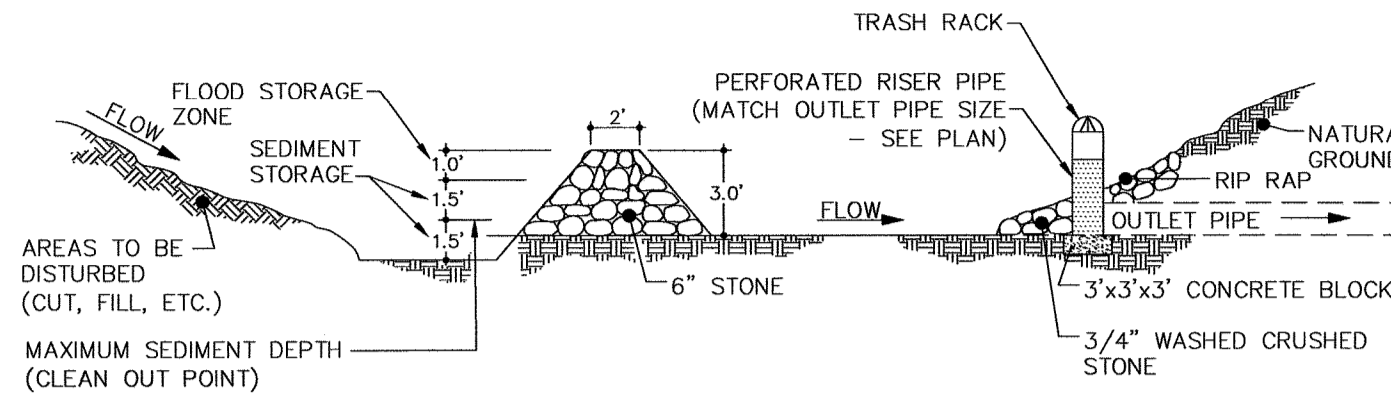
NOT TO SCALE



- NOTES:
- DUCT BANK TO BE CONSTRUCTED PER UTILITY COMPANY STANDARDS IF DIFFERENT THAN THIS DETAIL.

**TYPICAL ELECTRICAL/TELEPHONE DUCT BANK DETAIL**

NOT TO SCALE



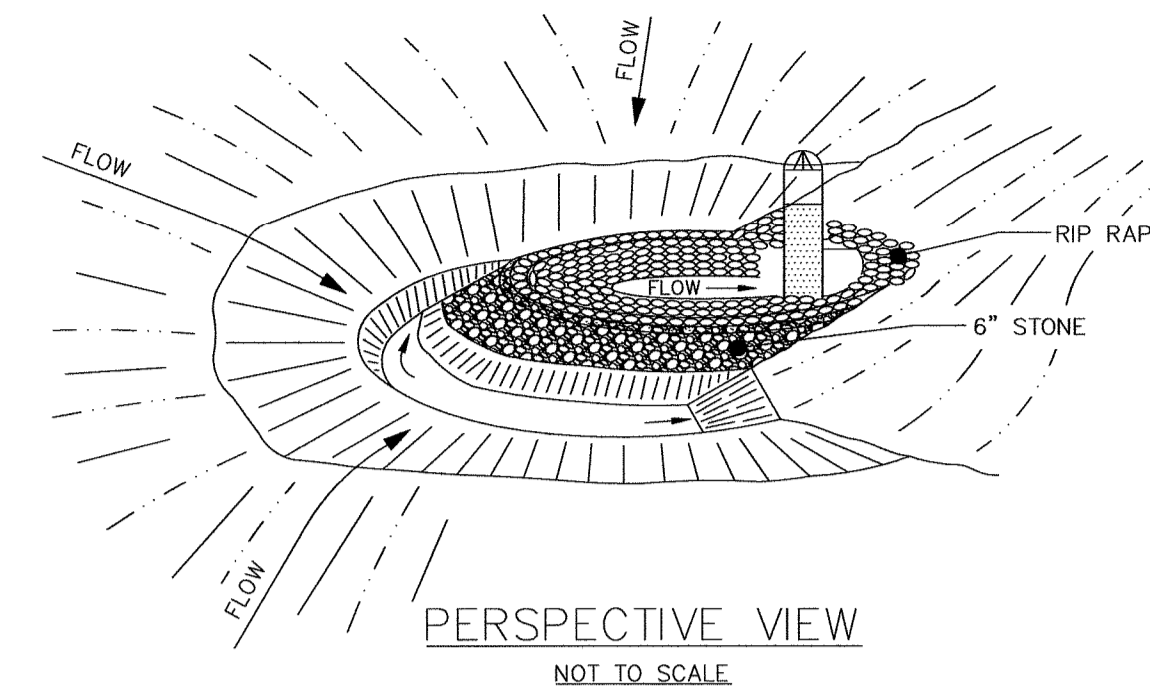
- NOTE:
- THIS DETAIL IS PROVIDED FOR GENERAL REPRESENTATION PURPOSES ONLY. TEMPORARY SEDIMENTATION BASINS SHALL BE SIZED IN ACCORDANCE WITH NPDES REQUIREMENTS.

**SECTION VIEW**

NOT TO SCALE

**TYPICAL TEMPORARY SEDIMENT BASIN WITH RISER PIPE DETAIL**

NOT TO SCALE

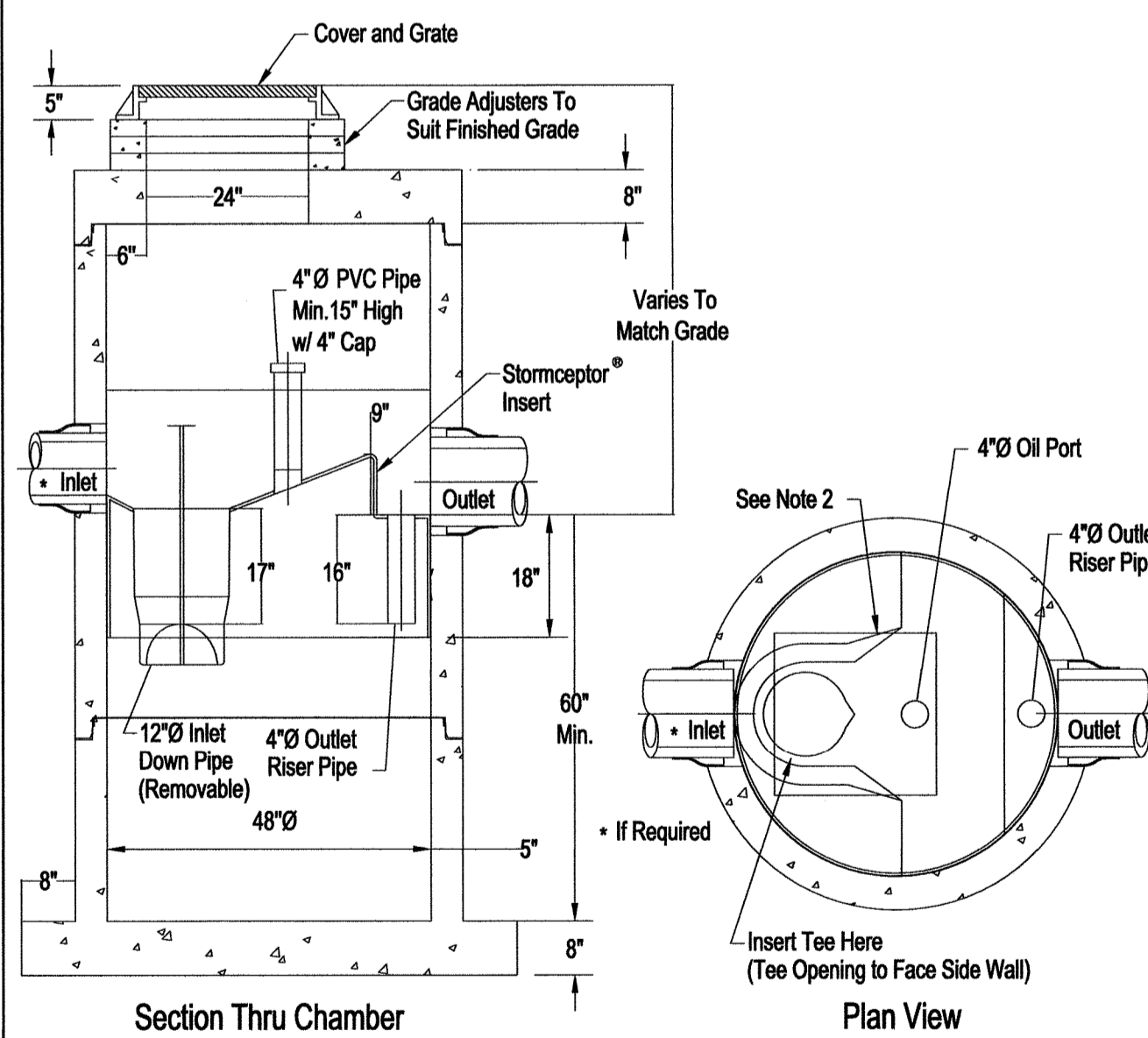


**PERSPECTIVE VIEW**

NOT TO SCALE

Rinker Concrete Pipe Division

**STC 450i Precast Concrete Stormceptor® (450 U.S. Gallon Capacity)**

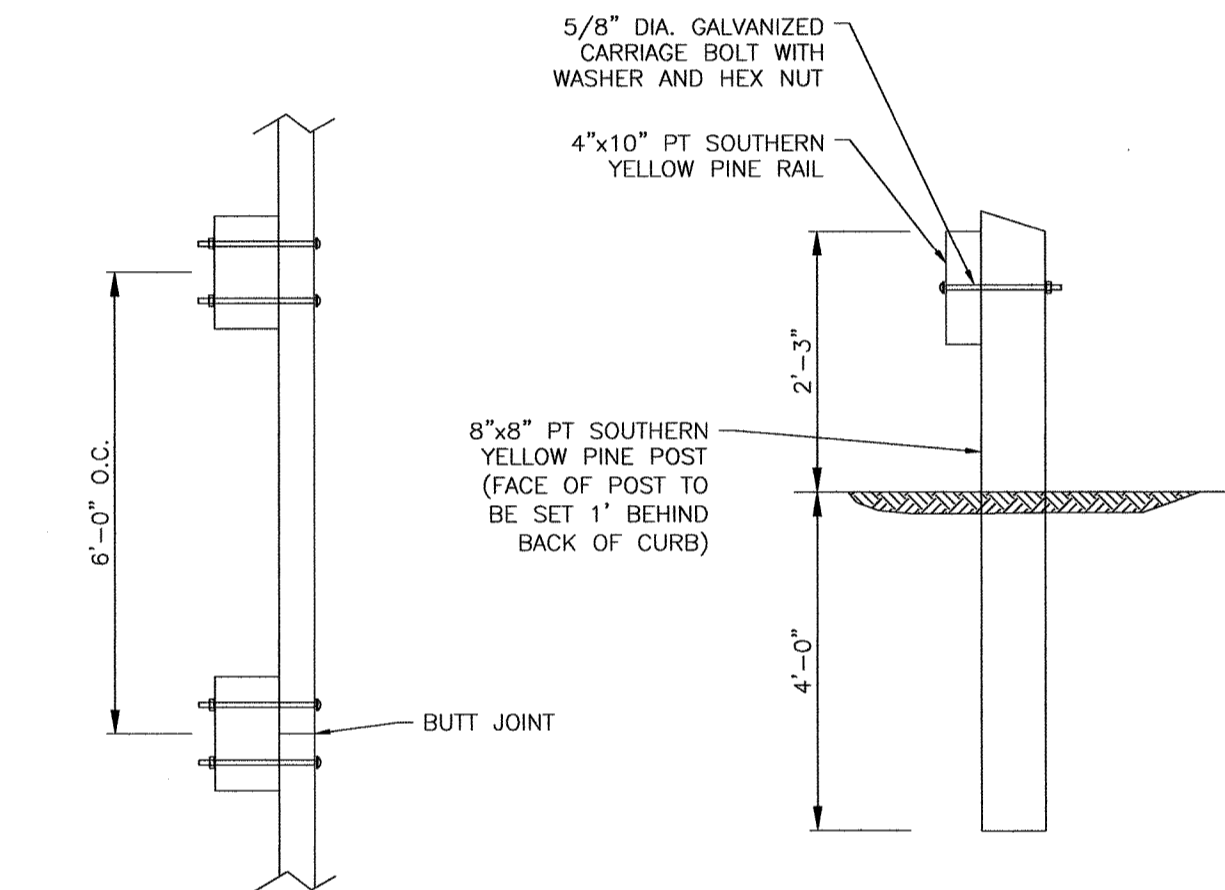


- Notes:
- The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
  - The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
  - The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
  - Contact a Concrete Pipe Division representative for further details not listed on this drawing.

Rinker 027

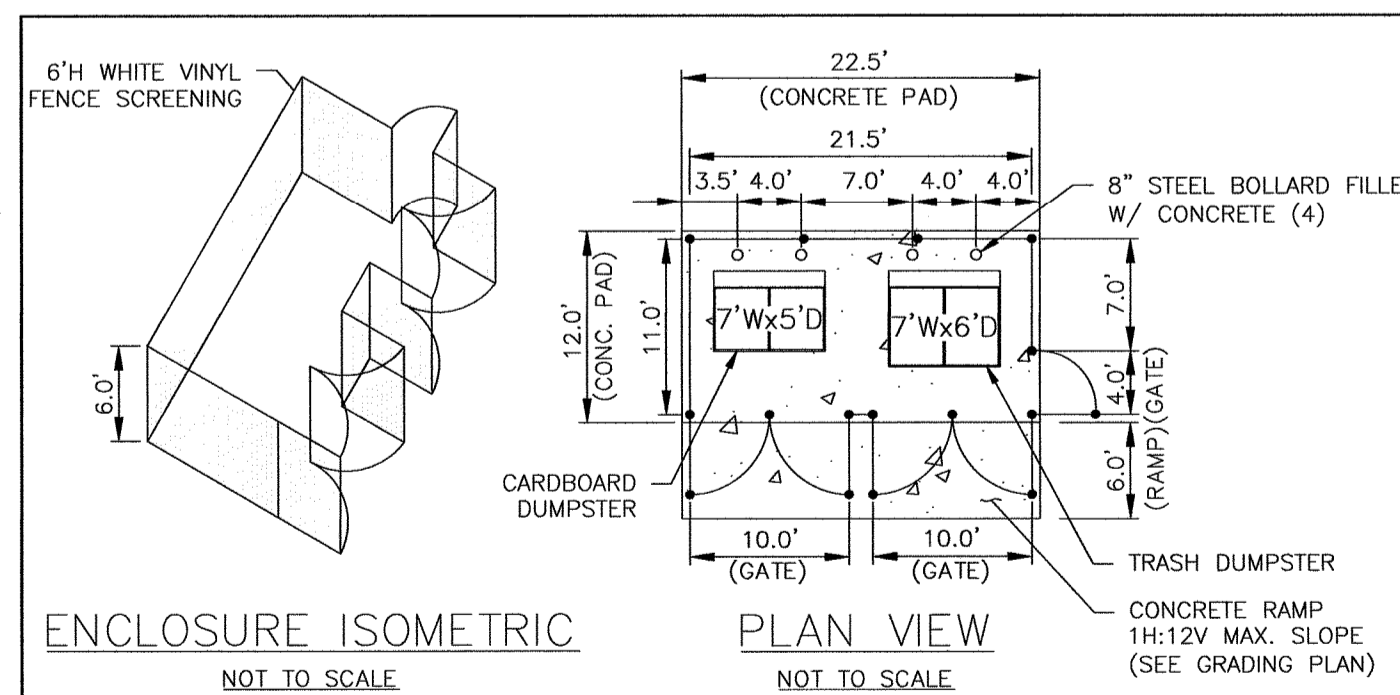
**STC-450i DETAIL**

NOT TO SCALE



**TYPICAL WOODEN GUIDERAIL DETAIL**

NOT TO SCALE



**ENCLOSURE ISOMETRIC**

NOT TO SCALE

**PLAN VIEW**

NOT TO SCALE

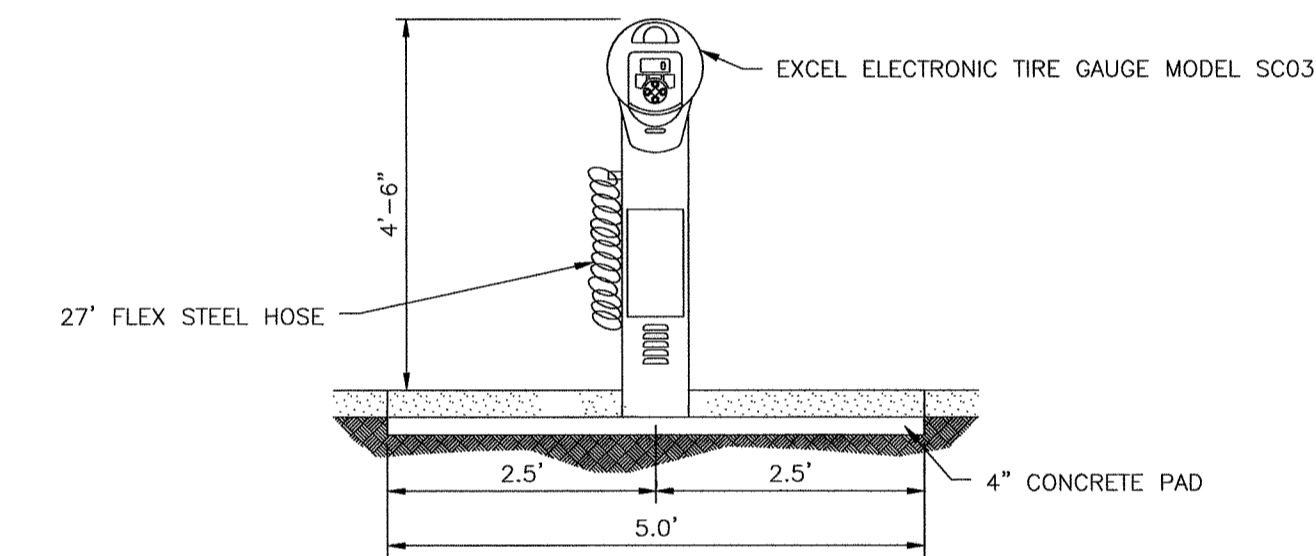
**SLAB SECTION**

3,000 PSI CONCRETE 3/8" REBAR @ 12" O.C.E.W.

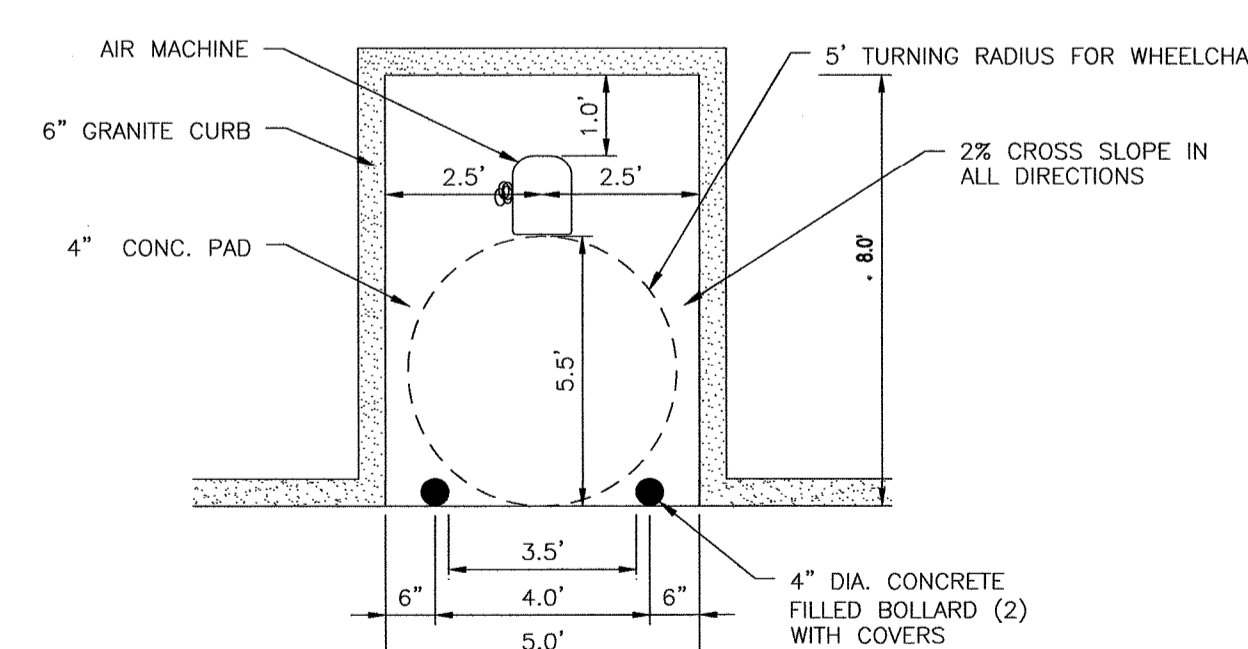
NOT TO SCALE

**DUMPSTER DETAIL**

NOT TO SCALE



**ELEVATION VIEW**



**PLAN VIEW**

NOT TO SCALE

**AIR TOWER DETAIL**

NOT TO SCALE

3-4-2014

**CONSTRUCTION PLANS**

REVISIONS:

REV	DATE	COMMENT
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SCALE: **NOT TO SCALE**

DESIGNED BY: MAL  
CHECKED BY: PRH

SEAL:  
PHILIP R. HENRY, P.E.

PREPARED FOR:  
**GBC**  
GERSHMAN BROWN CROWLEY INC.  
14 BREAKNECK HILL ROAD  
SUITE 101  
LINCOLN RI 02865

**Cumberland FARMS**  
100 CROSSING BOULEVARD  
FRAMMINGHAM, MA 01702

PROJECT:  
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@ MILFORD STREET (ROUTE-109)  
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STORE # TBD STATION # TBD

PREPARED BY:  
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NORTH ANDOVER, MA 01845  
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SHEET: **SITE CONSTRUCTION DETAILS**  
**CFG 9.3**

CDG PROJECT #: 12027  
DATE: 06/28/2013

*[Handwritten Signature]*  
3-4-2014

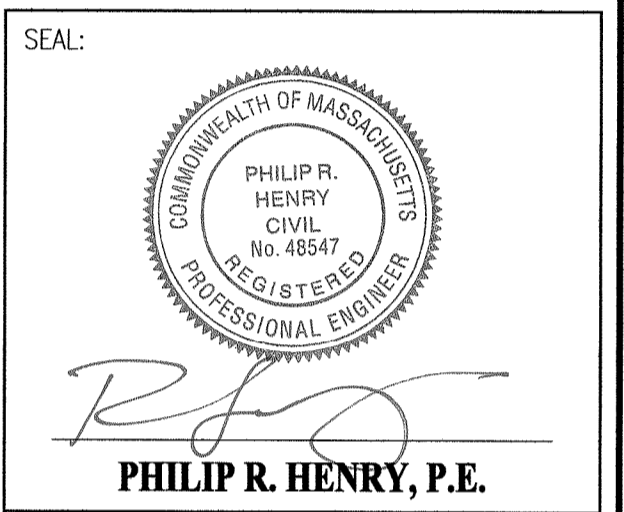
**CONSTRUCTION PLANS**

REVISIONS:

REV	DATE	COMMENT
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2	10-30-13	REVISED PER FINAL PB & DRC COMMENTS
3	02-13-14	ISSUED FOR 100% REVIEW

SCALE:  
**NOT TO SCALE**

DESIGNED BY: MAL  
CHECKED BY: PRH



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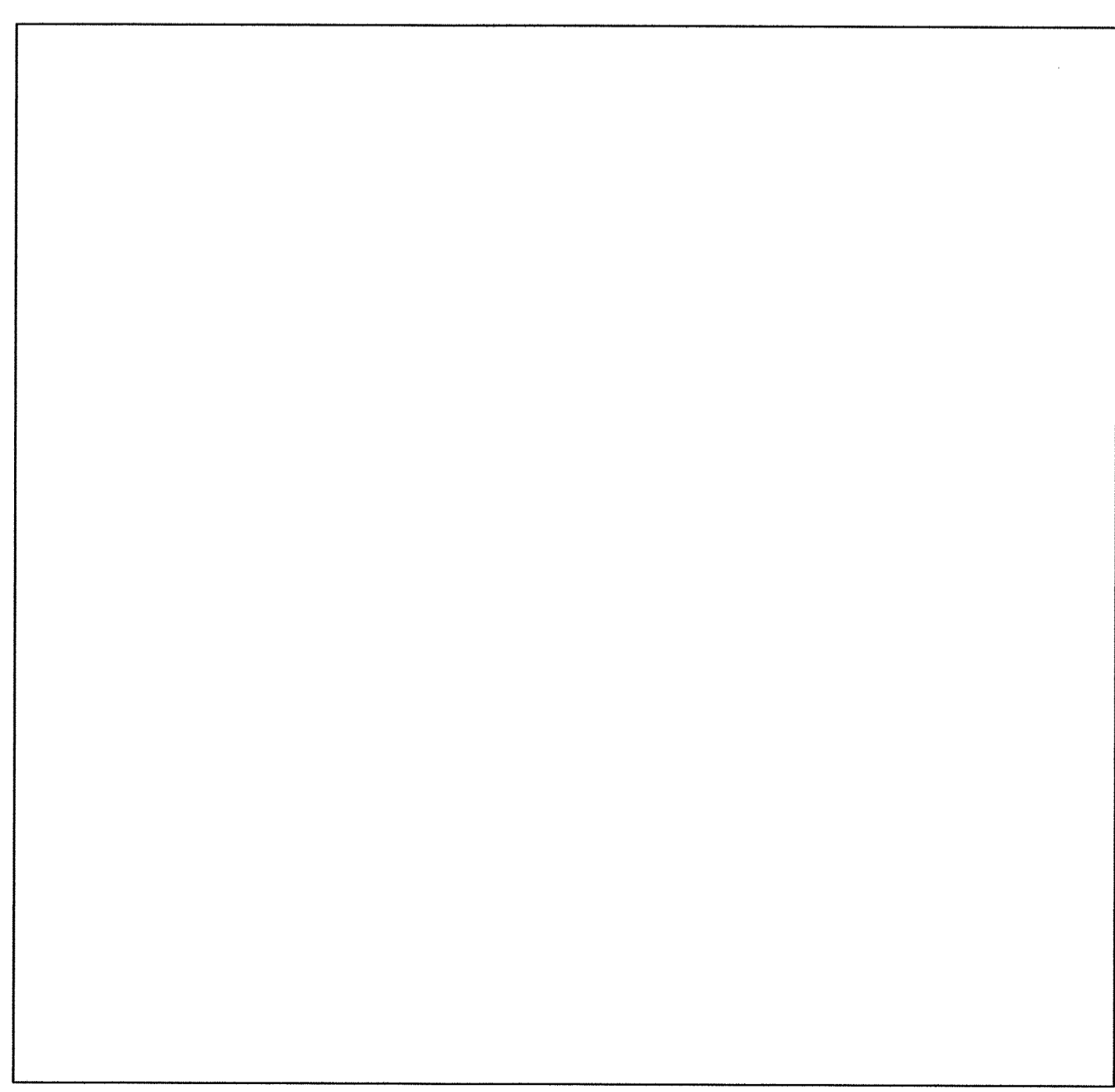
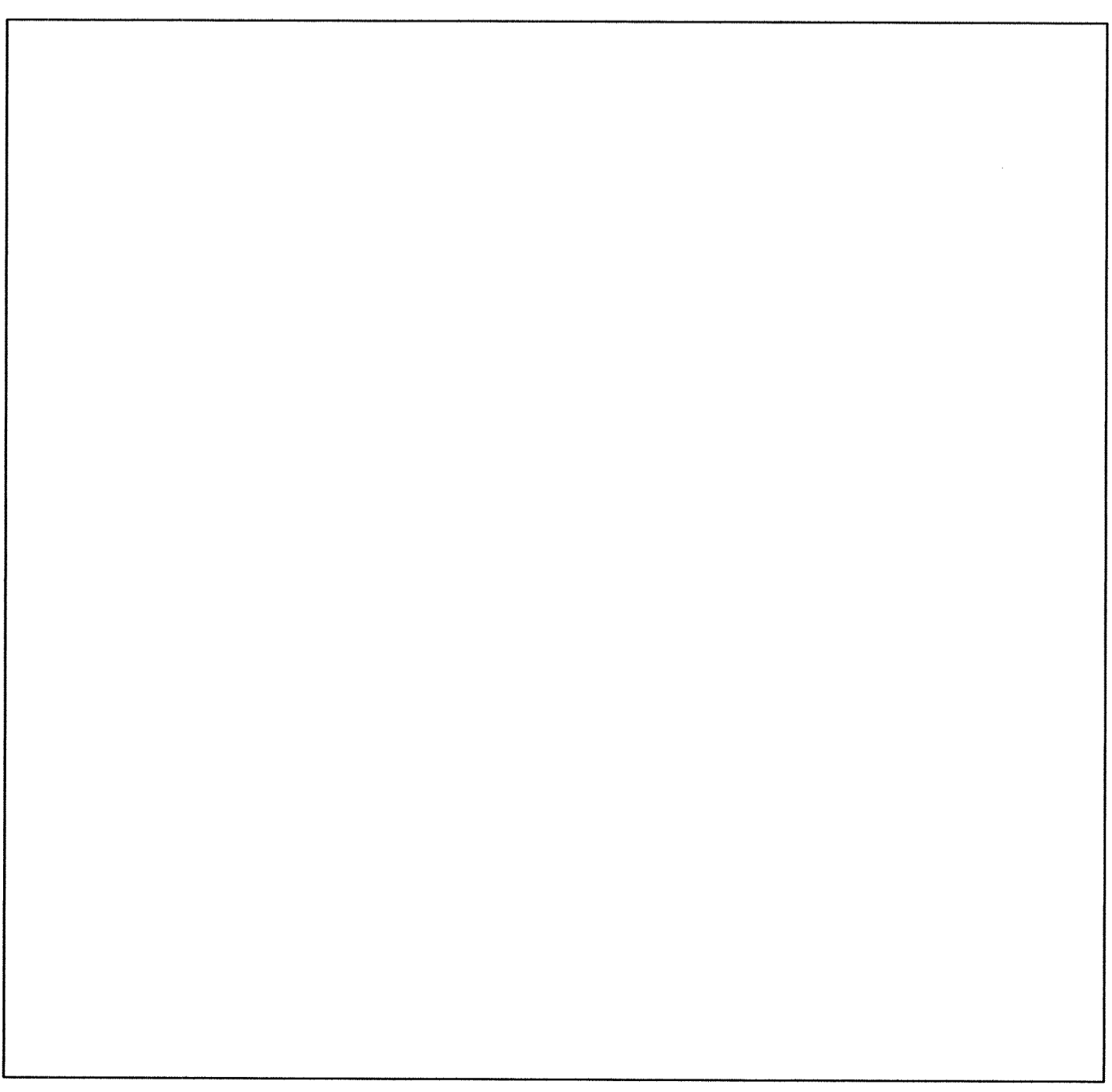
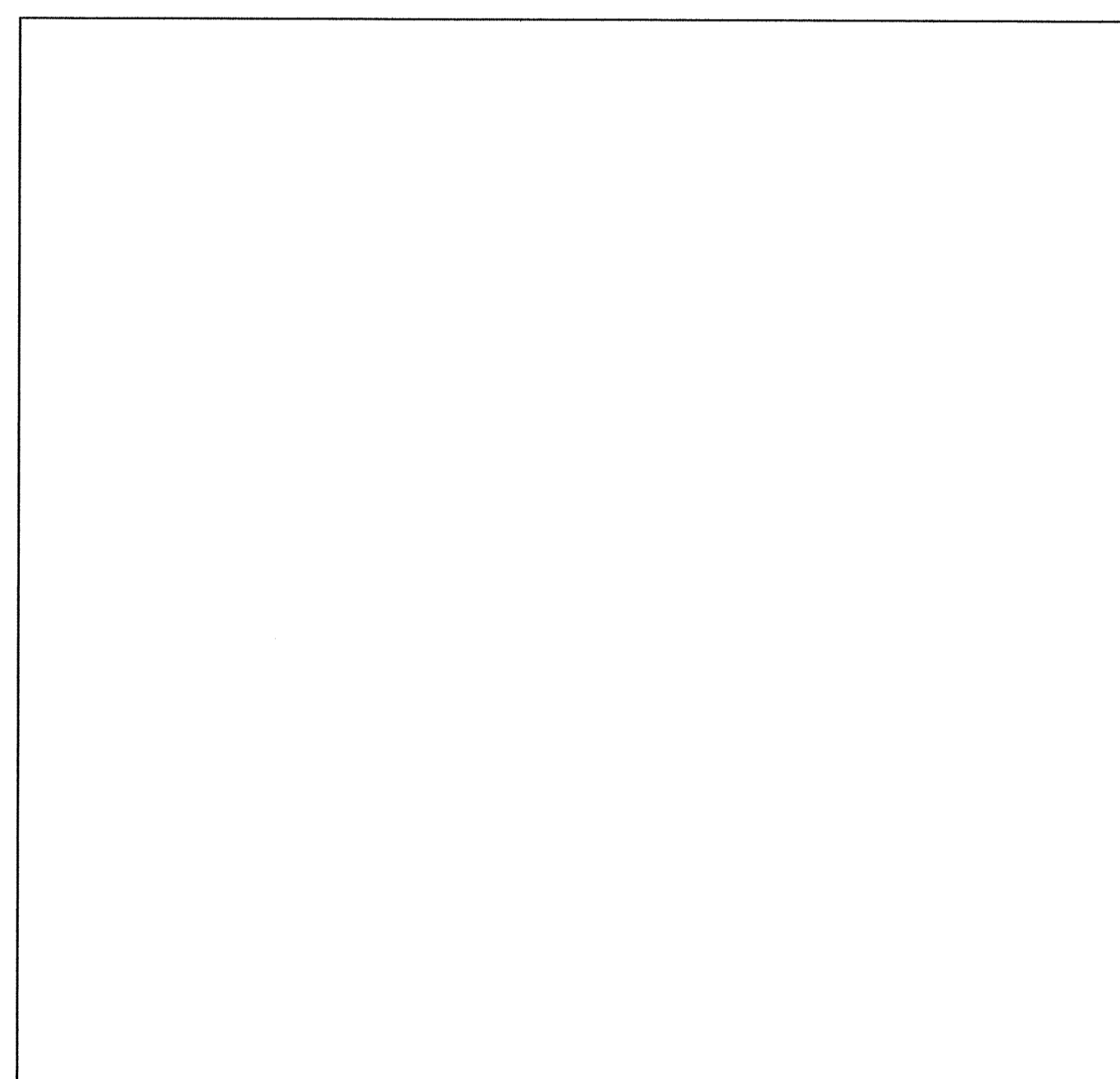
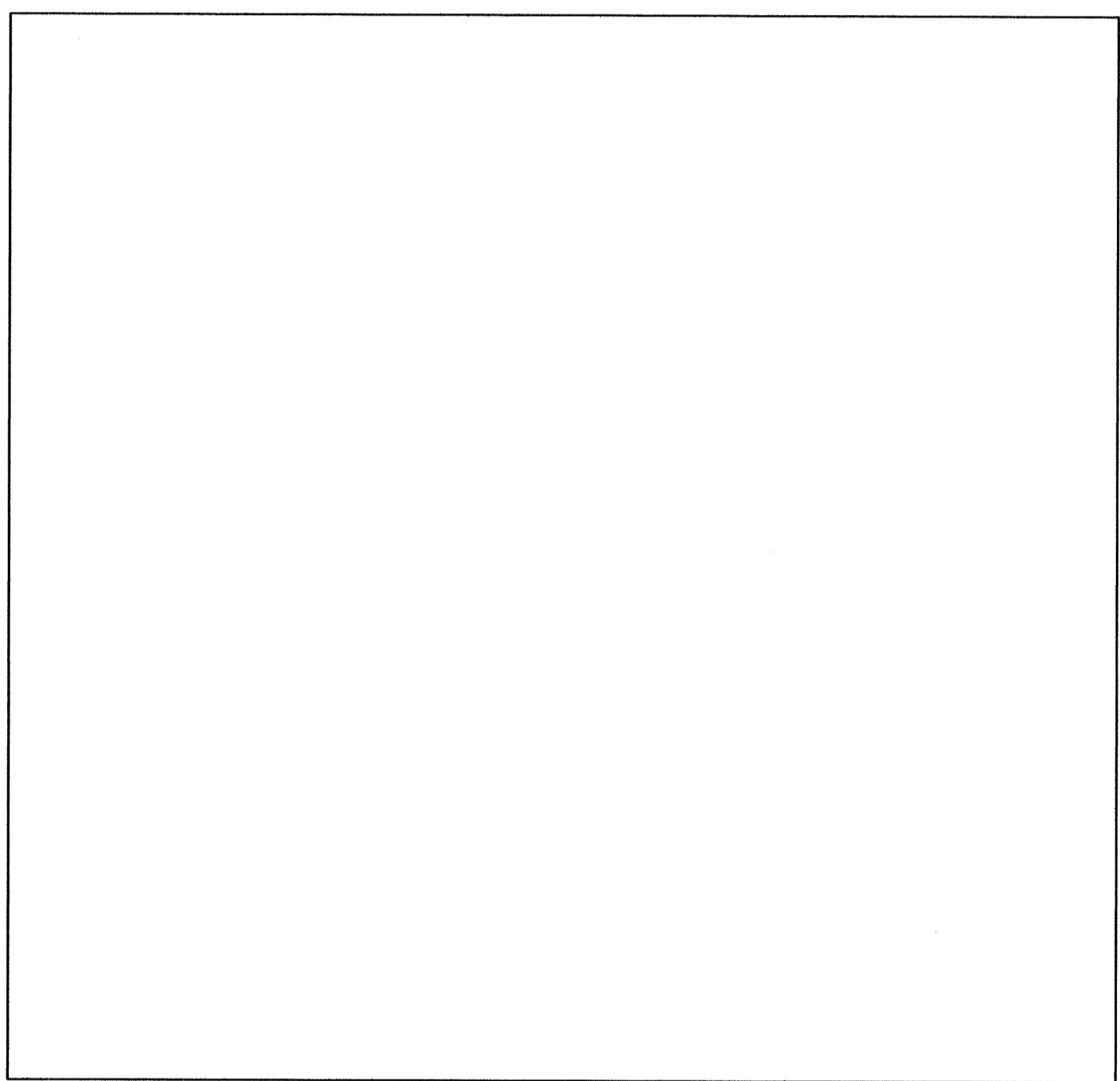
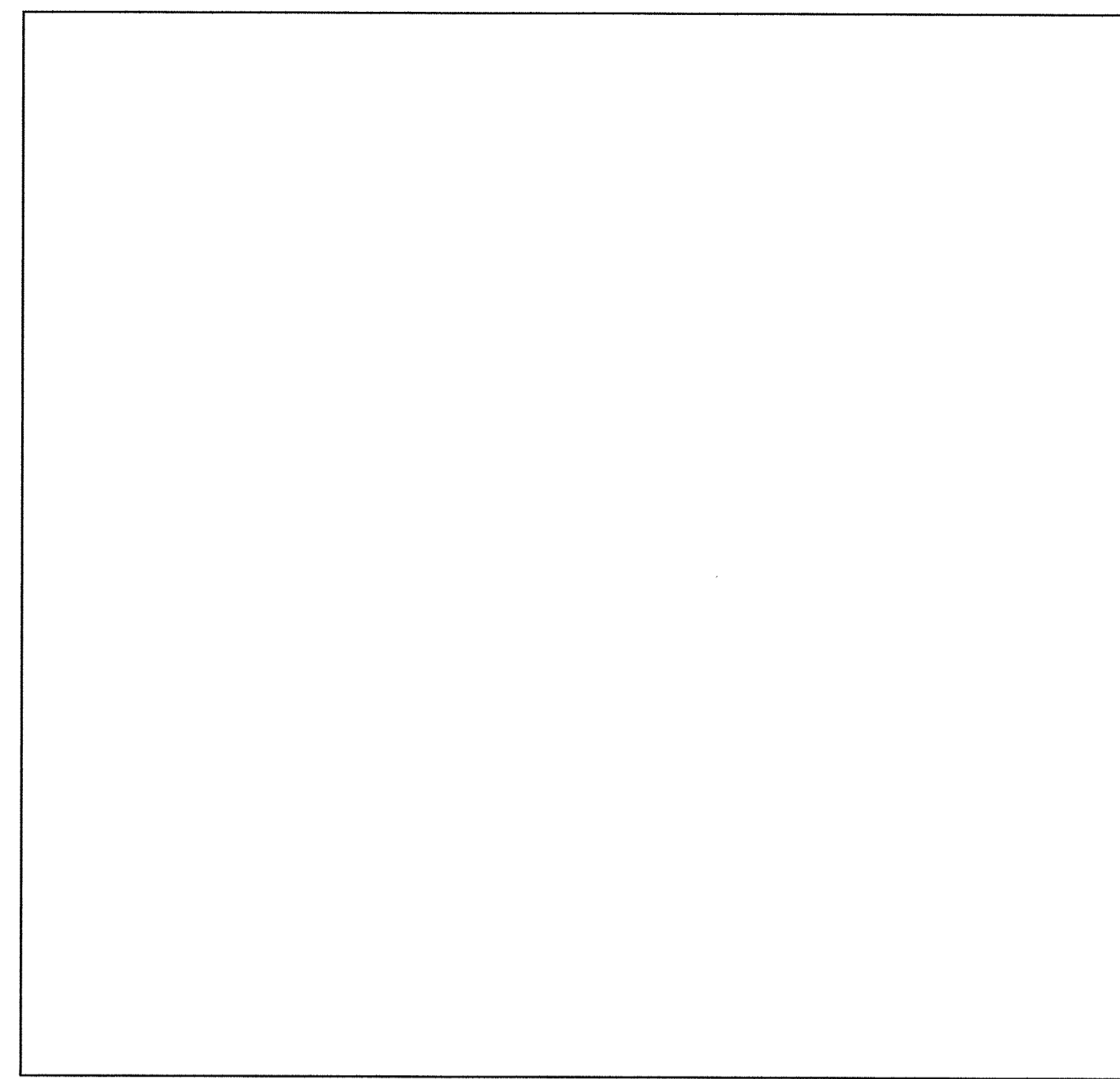
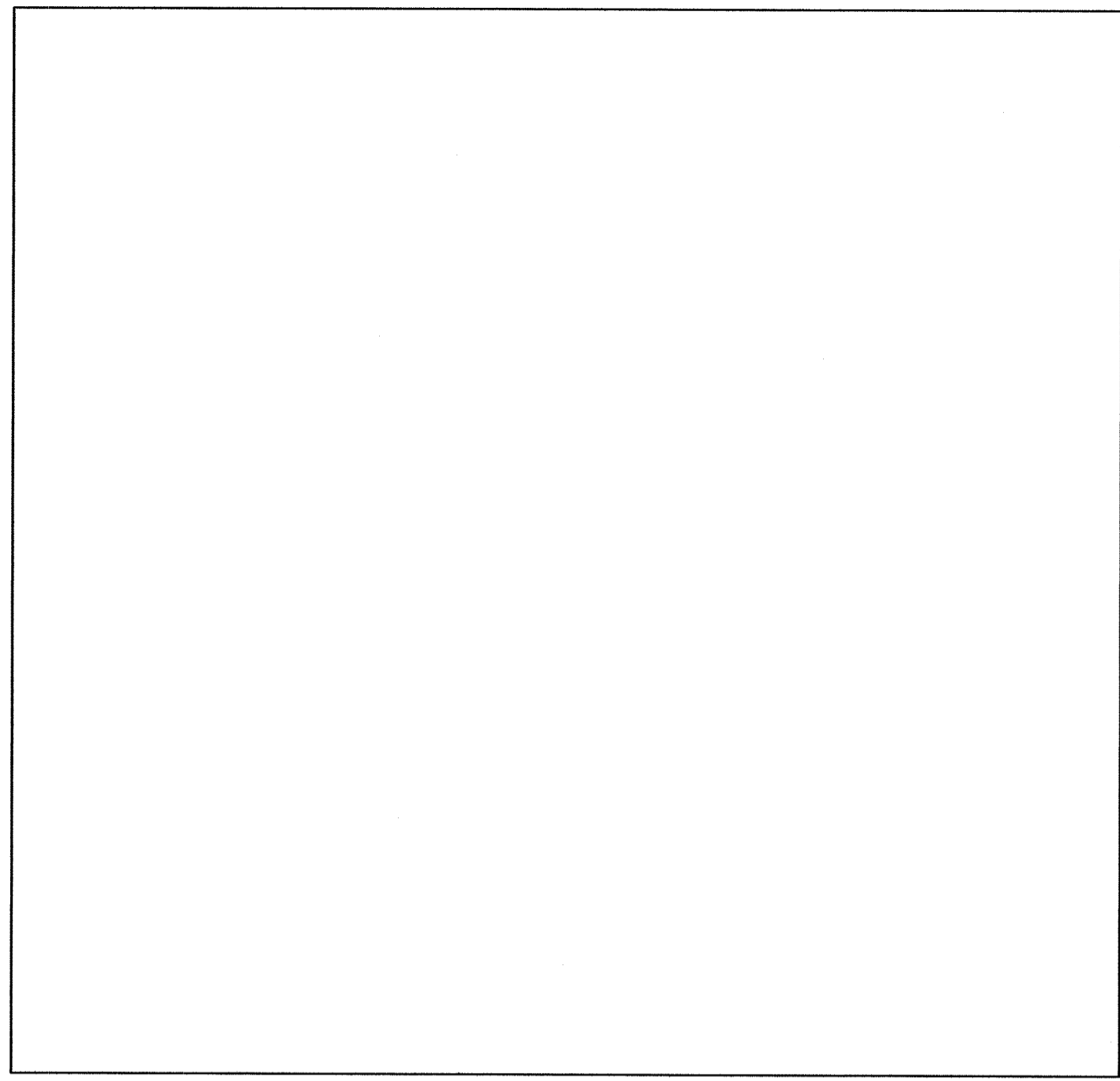
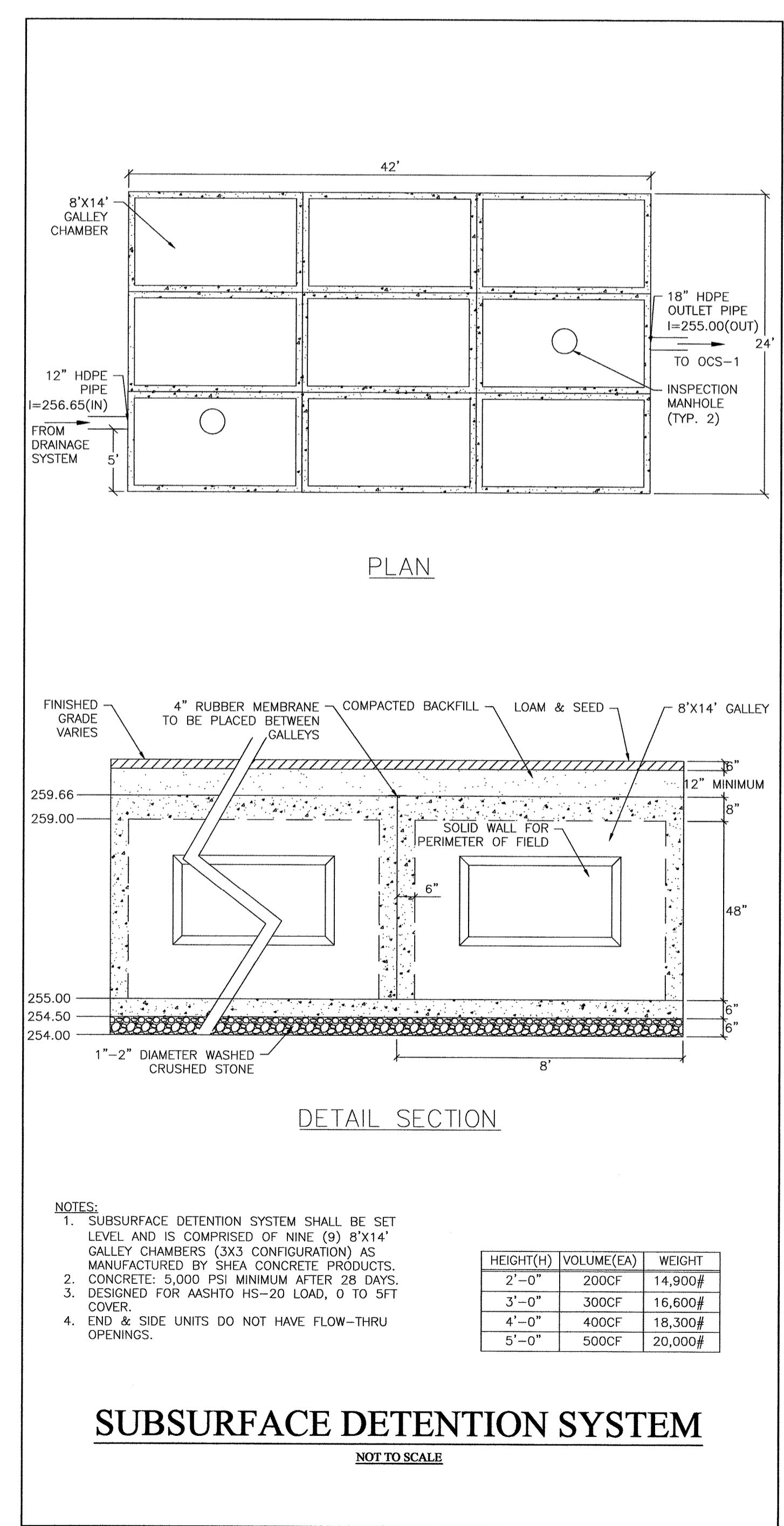
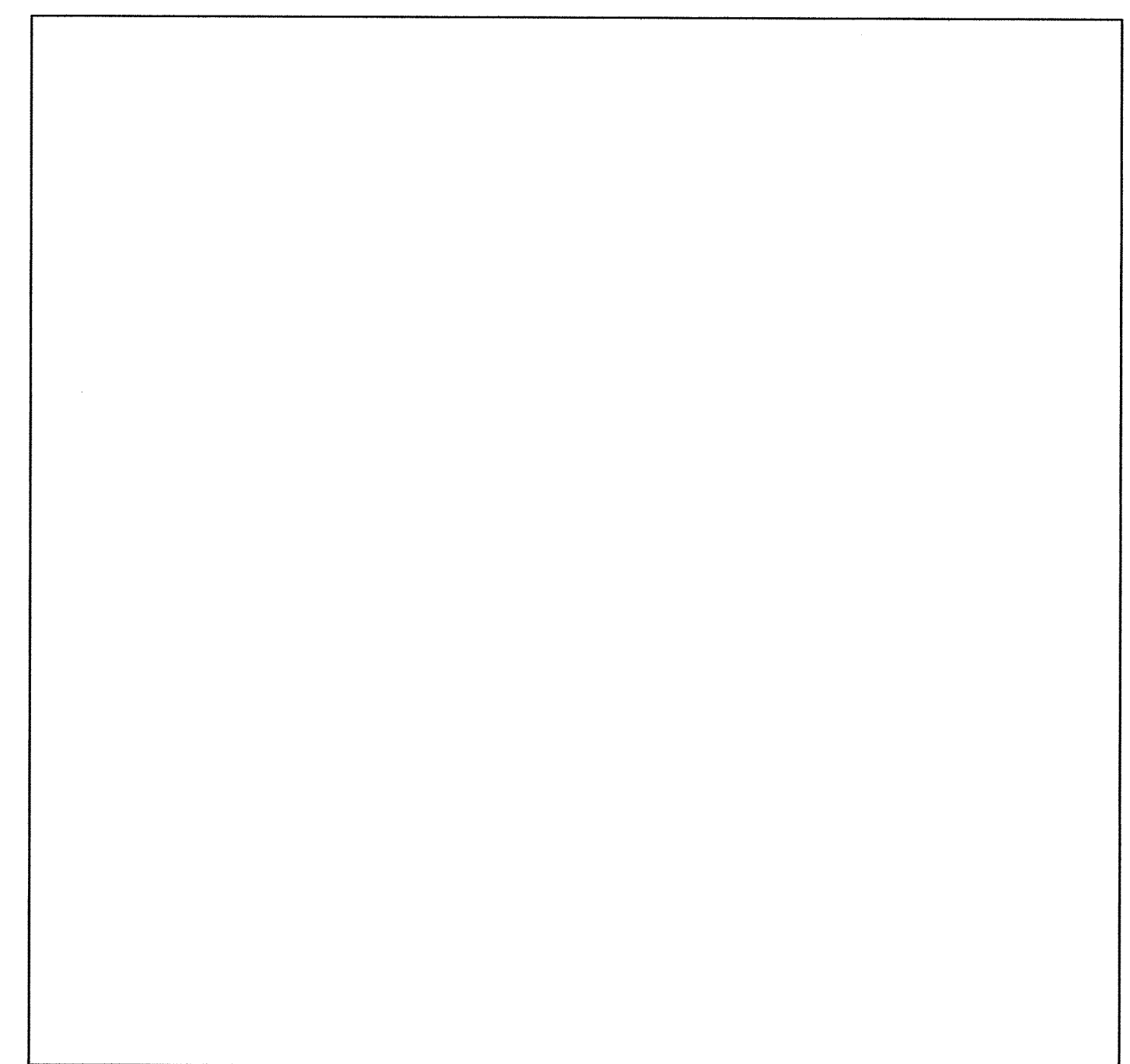
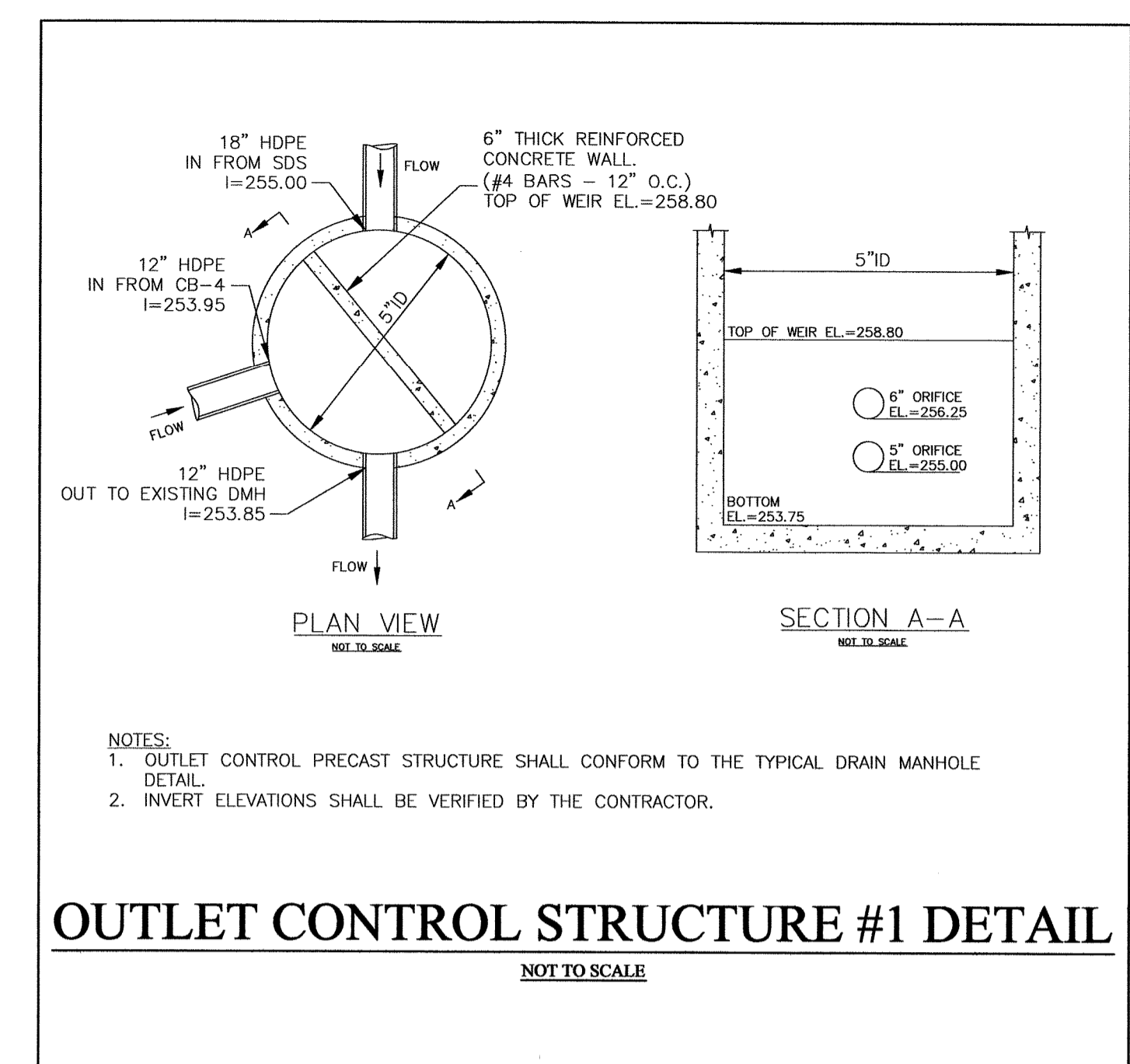
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STORE # TBD STATION # TBD

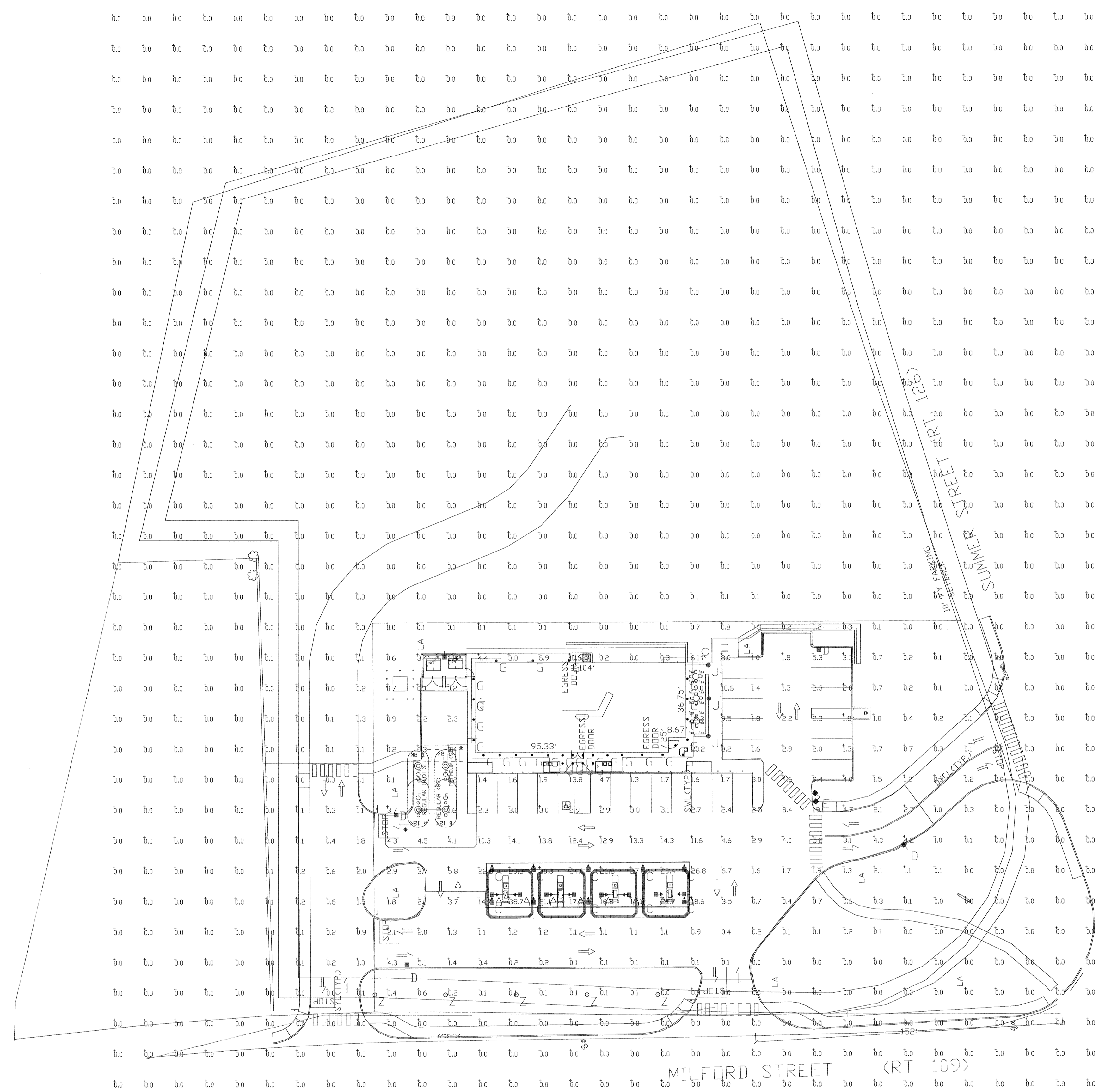
PREPARED BY:  
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SHEET:  
**SITE CONSTRUCTION DETAILS**  
**CFG 9.4**

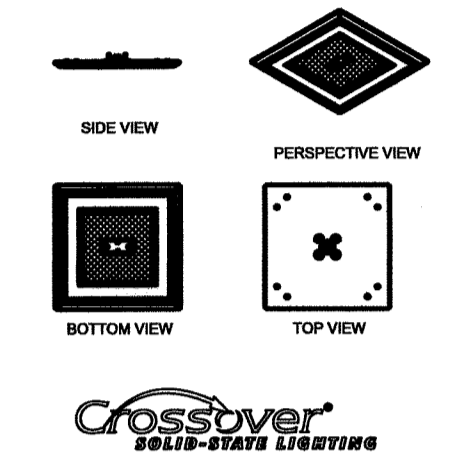
CDG PROJECT #: 12027

DATE: 06/28/2013

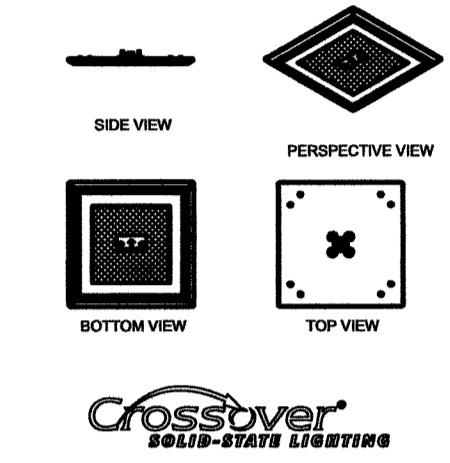




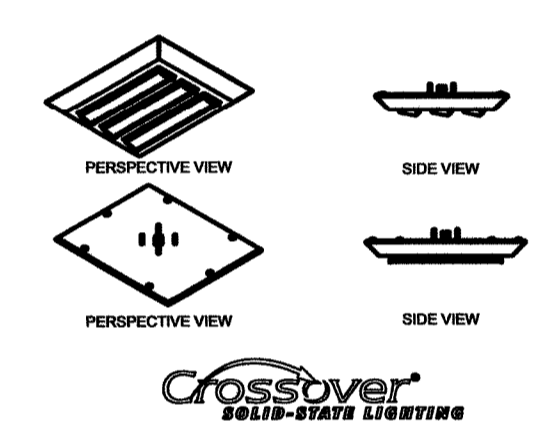
**CRS-SC-LED-84**  
LED Crossover Gold Symmetric Canopy Light



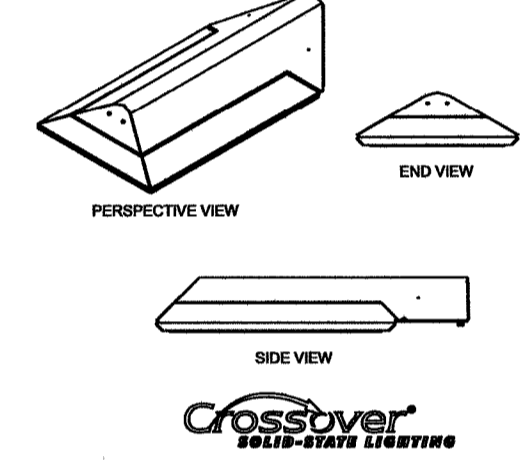
**CRS-AC-LED-84**  
LED Crossover Gold Asymmetric Canopy Light



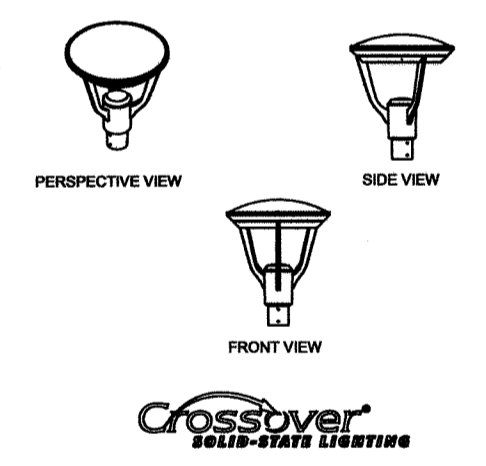
**CRO3-FO**  
LED Crossover Focus Light



**XAM**  
LED Crossover Area Light



**XENM3 PT**  
LED Crossover Area Light



NOTE: ALL 14" POLES TO BE MOUNTED ON CONCRETE PEDESTALS 4" ABOVE GRADE, FOR A TOTAL MOUNTING HEIGHT OF 14".

Initial Footcandle levels at grade.

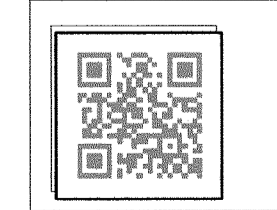
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	0.80	38.7	0.0	N.A.	N.A.
OUTDOOR SEATING	Illuminance	Fc	16.19	20.1	12.4	1.31	1.62
PUMP VERTICAL	Illuminance	Fc	51.77	88.9	21.2	2.44	4.19
CANDOPY	Illuminance	Fc	25.10	38.7	16.8	1.49	2.30
INTERIOR STOREFRONT	Illuminance	Fc	3.99	26.8	0.1	39.90	268.00

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	8	A	SINGLE	CRO3-FO-LED-30-CW-UE	1.000	N.A.	2674	36.1
	10	C	SINGLE	CRS-AC-LED-84-SS-CW-UE	1.000	N.A.	10367	98
	5	D	SINGLE	XAM3-FT-LED-119-350-CW-UE-HSS13-14"POLE+4"BASE	1.000	N.A.	6576	138
	1	E	2 @ 90 DEGREES	XAM3-FT-LED-119-350-CW-UE-14"POLE+4"BASE	1.000	N.A.	20056	276
	30	G	SINGLE	DM6LED27-R6LED40KWCS (FITURE BY OTHER)	1.000	N.A.	1738	27
	3	J	SINGLE	XENM3-PT-5-LED-63-450-CW-UE-7"MH	1.000	N.A.	5027	96.6
	5	Z	SINGLE	XIG-LED-19-350-CW-UE-SP10	1.000	N.A.	2159	22

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.


Total Project Watts  
Total Watts = 3444.6





# FIXTURE SPECIFICATION SHEETS - CFG 10.1

### GENERATION 3 LED FOCUS CANOPY LIGHT (CROS)



US patent 8,169,334 and US & foreign patents pending

**EXPECTED LIFE** - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI website for specific guidance.

**LEDS** - Select high-brightness LEDs in Cool White (5000K nominal) or Warm White (3000K nominal) color temperature. (80CRI nominal)

**DRIVER CURRENT** - Available in 350mA

**OPTICS / AIMING** - Available with 10°, spot, 25° or 40° flood horizontal beam angle distributions. Optics can be tilted +/- 15° from vertical via external aiming screw, with tamper-resistant spanner tool. Adjustment tool provided.

**HOUSING** - Composite rough-in housing never corrodes; field-proven to last for more than 20 years without maintenance. Luminaire housing is 85% copper alloy for wet locations or aluminum for damp/dry locations. CNC precision machined to insure proper sealing.

**DRIVER OVER CAPABILITY** - 4,000 lbs. vehicle weight.

**OPTICAL UNIT** - 15mm low-iron tempered glass lens does not change color of light emitted. 19mm thick lens supplied with stainless steel trim option to retain finish surface. Sealed optical chamber is airtight from outside the unit to ensure integrity of the seal. No heat in the LED light beam means a cool lens - no risk of burns to bare feet. Optional slip resistant lens available, to enhance public safety.

**INSTALLATION** - Rough-in housing can be shipped ahead for pre-casting in concrete. Luminaire connects to field wiring via IP-68 rated connector.

**ELECTRICAL** - Universal frequency input (120-277V, 50/60 Hz). Surge protection meets ANSI C82.41.2, Scenario 1, Location Category C-low standards (6,000, 3,000A)

**DRIVER** - State-of-the-art driver technology specifically designed for LSI LED fixtures provides unsurpassed system efficiency.

**OPERATING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F)

**FINISH** - Clear-anodized natural aluminum finish or LSI's DuraGrip® polyester powder coat finishes available. DuraGrip finish withstands extreme weather changes without cracking or peeling, and is guaranteed for a full five years. Standard colors include black, white, bronze, metallic silver, graphite and satin verde green. Natural brass matte blast finished.

**TRIM** - Optional 1 1/8" diameter x 1.8" thick stainless steel decorative trim has radial polish finish.

**WARRANTY** - LSI LED fixtures carry a limited 5 year warranty.

**PHOTOMETRICS** - Application layouts are available upon request. Contact LSI Applications Group at lighting.app@lsi-industries.com.

**SHIPPING WEIGHT** - XIG8 - 28 lbs., XIGA - 14 lbs.

**LISTING** - Listed to U.S. and Canadian safety standards. Suitable for wet locations.

**Lighting facts**


Light Output (Lumens)	3372
Watts	34.1
Lumens per Watt (Efficacy)	89
Color Accuracy (Color Rendering Index CRI)	87
Light Color (Color Temperature)	6200 (Daylight)
Warm White	3000K
Bright White	4000K
Output	6000K
Warranty**	Yes

Project Name \_\_\_\_\_ Fixture Type \_\_\_\_\_

Dating # \_\_\_\_\_

**FIXTURE LABEL = A**

### LED AMBIENT CANOPY LIGHT (CRS)



US patent 8,169,334 and US & foreign patents pending

**EXPECTED LIFE** - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI website for specific guidance.

**LEDS** - Select high-brightness LEDs in Cool White (5000K nominal) or Warm White (3000K nominal) color temperature. (80CRI nominal)

**DRIVER CURRENT** - Available in 350mA

**OPTICS / AIMING** - Available with 10°, spot, 25° or 40° flood horizontal beam angle distributions. Optics can be tilted +/- 15° from vertical via external aiming screw, with tamper-resistant spanner tool. Adjustment tool provided.

**HOUSING** - Composite rough-in housing never corrodes; field-proven to last for more than 20 years without maintenance. Luminaire housing is 85% copper alloy for wet locations or aluminum for damp/dry locations. CNC precision machined to insure proper sealing.

**DRIVER OVER CAPABILITY** - 4,000 lbs. vehicle weight.

**OPTICAL UNIT** - 15mm low-iron tempered glass lens does not change color of light emitted. 19mm thick lens supplied with stainless steel trim option to retain finish surface. Sealed optical chamber is airtight from outside the unit to ensure integrity of the seal. No heat in the LED light beam means a cool lens - no risk of burns to bare feet. Optional slip resistant lens available, to enhance public safety.

**INSTALLATION** - Rough-in housing can be shipped ahead for pre-casting in concrete. Luminaire connects to field wiring via IP-68 rated connector.

**ELECTRICAL** - Universal frequency input (120-277V, 50/60 Hz). Surge protection meets ANSI C82.41.2, Scenario 1, Location Category C-low standards (6,000, 3,000A)

**DRIVER** - State-of-the-art driver technology specifically designed for LSI LED fixtures provides unsurpassed system efficiency.

**OPERATING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F)

**FINISH** - Clear-anodized natural aluminum finish or LSI's DuraGrip® polyester powder coat finishes available. DuraGrip finish withstands extreme weather changes without cracking or peeling, and is guaranteed for a full five years. Standard colors include black, white, bronze, metallic silver, graphite and satin verde green. Natural brass matte blast finished.

**TRIM** - Optional 1 1/8" diameter x 1.8" thick stainless steel decorative trim has radial polish finish.

**WARRANTY** - LSI LED fixtures carry a limited 5 year warranty.

**PHOTOMETRICS** - Application layouts are available upon request. Contact LSI Applications Group at lighting.app@lsi-industries.com.

**SHIPPING WEIGHT** - XIG8 - 28 lbs., XIGA - 14 lbs.

**LISTING** - Listed to U.S. and Canadian safety standards. Suitable for wet locations.

**Lighting facts**


Light Output (Lumens)	13594
Watts	155
Lumens per Watt (Efficacy)	88
Color Accuracy (Color Rendering Index CRI)	81
Light Color (Color Temperature)	6300 (Daylight)
Warm White	3000K
Bright White	4000K
Output	6000K
Warranty**	Yes

Project Name \_\_\_\_\_ Fixture Type \_\_\_\_\_

Dating # \_\_\_\_\_

**FIXTURE LABEL = C**

### LED AREA LIGHTS - AEROMAX™ MEDIUM (XAMU)



US patent 8,169,334 and US & foreign patents pending

**EXPECTED LIFE** - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI website for specific guidance.

**LEDS** - Select high-brightness LEDs in Cool White (5000K nominal) or Neutral White (4000K nominal) color temperature. (70 CRI nominal).

**DISTRIBUTION/PERFORMANCE** - Types 3, FT and S. Exceptional uniformity creates bright environment at lower light levels. Improved backlight cutoff minimizes light trespass.

**HOUSING** - One-piece, die-formed aluminum, weather-tight housing contains factory pre-wired and field-completed. Extruded one-piece EPDM gasketed wiring access door (with safety lanyard) located underneath and utilizes tool-less thumbscrew fastener.

**OPTICAL UNIT** - Clear tempered glass lens sealed to aluminum optics housing creates an IP67 rated, sealed optical unit (includes pressure-stabilizing breather). Optical unit is recessed into housing cavity and sealed to the housing with extruded one-piece EPDM gasket. Optical unit lanyard serves dual purpose of safety and provides positive ground between unit and housing.

**MOUNTING** - Tapered rear design allows fixture to be mounted in a quad pattern without the need for extension arms. Use with 3" radius drilling pattern on round and square poles. A round pole plate (MARP, XSRPP) is required for mounting to round poles. Wall mount available by ordering wall mounting bracket (BKS-300-WM-CR). See Accessory Ordering Information chart for all brackets.

**ELECTRICAL** - A terminal block for attachment of incoming primary wiring is supplied. Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C82.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (50/60Hz input), and 347-480 VAC. Optional twistlock physical receptacle is available. Photocell must be ordered separately. Fixture Watts: SS - 138, HO - 176 nominal.

**DRIVER** - Available in SS (Super Saver) and HO (High Output) drive currents (Drive currents are factory programmed). Components are fully encased in potting material for IP65 moisture resistance. Driver complies with IEC and FCC standards. Driver and key electronic components can easily be accessed.

**FINISHING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F)

**FINISH** - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.

**WARRANTY** - LSI LED fixtures carry a limited 5-year warranty.

**PHOTOMETRICS** - Application layouts are available upon request. Contact LSI Applications Group at lighting.app@lsi-industries.com.

**SHIPPING WEIGHT (in carton)** - 39 lbs. / 17.7 Kg

**LISTING** - ETL listed to U.S. and International safety standards. Suitable for wet locations.

**Lighting facts**


Light Output (Lumens)	14091
Watts	135.5
Lumens per Watt (Efficacy)	104
Color Accuracy (Color Rendering Index CRI)	72
Light Color (Color Temperature)	5477 (Daylight)
Warm White	3000K
Bright White	4000K
Output	6000K
Warranty**	Yes

Project Name \_\_\_\_\_ Fixture Type \_\_\_\_\_

Dating # \_\_\_\_\_

**FIXTURE LABEL = D, E**

### LED ENTERPRISE DECORATIVE AREA LIGHTS (XENIO)



US patent 8,169,334 and US & foreign patents pending

**EXPECTED LIFE** - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI website for specific guidance.

**LEDS** - Select high-brightness LEDs in Cool White (5000K nominal) or Warm White (3000K nominal) color temperature. (80CRI nominal)

**DRIVER CURRENT** - Available in 350mA

**OPTICS / AIMING** - Available with 10°, spot, 25° or 40° flood horizontal beam angle distributions. Optics can be tilted +/- 15° from vertical via external aiming screw, with tamper-resistant spanner tool. Adjustment tool provided.

**HOUSING** - Composite rough-in housing never corrodes; field-proven to last for more than 20 years without maintenance. Luminaire housing is 85% copper alloy for wet locations or aluminum for damp/dry locations. CNC precision machined to insure proper sealing.

**DRIVER OVER CAPABILITY** - 4,000 lbs. vehicle weight.

**OPTICAL UNIT** - 15mm low-iron tempered glass lens does not change color of light emitted. 19mm thick lens supplied with stainless steel trim option to retain finish surface. Sealed optical chamber is airtight from outside the unit to ensure integrity of the seal. No heat in the LED light beam means a cool lens - no risk of burns to bare feet. Optional slip resistant lens available, to enhance public safety.

**INSTALLATION** - Rough-in housing can be shipped ahead for pre-casting in concrete. Luminaire connects to field wiring via IP-68 rated connector.

**ELECTRICAL** - Universal frequency input (120-277V, 50/60 Hz). Surge protection meets ANSI C82.41.2, Scenario 1, Location Category C-low standards (6,000, 3,000A)

**DRIVER** - State-of-the-art driver technology specifically designed for LSI LED fixtures provides unsurpassed system efficiency.

**OPERATING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F)

**FINISH** - Clear-anodized natural aluminum finish or LSI's DuraGrip® polyester powder coat finishes available. DuraGrip finish withstands extreme weather changes without cracking or peeling, and is guaranteed for a full five years. Standard colors include black, white, bronze, metallic silver, graphite and satin verde green. Natural brass matte blast finished.

**TRIM** - Optional 1 1/8" diameter x 1.8" thick stainless steel decorative trim has radial polish finish.

**WARRANTY** - LSI LED fixtures carry a limited 5 year warranty.

**PHOTOMETRICS** - Application layouts are available upon request. Contact LSI Applications Group at lighting.app@lsi-industries.com.

**SHIPPING WEIGHT** - XIG8 - 28 lbs., XIGA - 14 lbs.

**LISTING** - Listed to U.S. and Canadian safety standards. Suitable for wet locations.

**Lighting facts**

Light Output (Lumens)	5712
Watts	77.3
Lumens per Watt (Efficacy)	73
Color Accuracy (Color Rendering Index CRI)	70
Light Color (Color Temperature)	6000 (Daylight)
Warm White	3000K
Bright White	4000K
Output	6000K
Warranty**	Yes

Project Name \_\_\_\_\_ Fixture Type \_\_\_\_\_

Dating # \_\_\_\_\_

**FIXTURE LABEL = J**

### LSI GREENLEE® LED INGROUND LIGHT (XIG)



US patent 8,169,334 and US & foreign patents pending

**EXPECTED LIFE** - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI website for specific guidance.

**LEDS** - Select high-brightness LEDs in Cool White (5000K nominal) or Warm White (3000K nominal) color temperature. (80CRI nominal)

**DRIVER CURRENT** - Available in 350mA

**OPTICS / AIMING** - Available with 10°, spot, 25° or 40° flood horizontal beam angle distributions. Optics can be tilted +/- 15° from vertical via external aiming screw, with tamper-resistant spanner tool. Adjustment tool provided.

**HOUSING** - Composite rough-in housing never corrodes; field-proven to last for more than 20 years without maintenance. Luminaire housing is 85% copper alloy for wet locations or aluminum for damp/dry locations. CNC precision machined to insure proper sealing.

**DRIVER OVER CAPABILITY** - 4,000 lbs. vehicle weight.

**OPTICAL UNIT** - 15mm low-iron tempered glass lens does not change color of light emitted. 19mm thick lens supplied with stainless steel trim option to retain finish surface. Sealed optical chamber is airtight from outside the unit to ensure integrity of the seal. No heat in the LED light beam means a cool lens - no risk of burns to bare feet. Optional slip resistant lens available, to enhance public safety.

**INSTALLATION** - Rough-in housing can be shipped ahead for pre-casting in concrete. Luminaire connects to field wiring via IP-68 rated connector.

**ELECTRICAL** - Universal frequency input (120-277V, 50/60 Hz). Surge protection meets ANSI C82.41.2, Scenario 1, Location Category C-low standards (6,000, 3,000A)

**DRIVER** - State-of-the-art driver technology specifically designed for LSI LED fixtures provides unsurpassed system efficiency.

**OPERATING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F)

**FINISH** - Clear-anodized natural aluminum finish or LSI's DuraGrip® polyester powder coat finishes available. DuraGrip finish withstands extreme weather changes without cracking or peeling, and is guaranteed for a full five years. Standard colors include black, white, bronze, metallic silver, graphite and satin verde green. Natural brass matte blast finished.

**TRIM** - Optional 1 1/8" diameter x 1.8" thick stainless steel decorative trim has radial polish finish.

**WARRANTY** - LSI LED fixtures carry a limited 5 year warranty.

**PHOTOMETRICS** - Application layouts and photometric files are available upon request. Contact LSI Applications Group at lighting.app@lsi-industries.com.

**SHIPPING WEIGHT** - XIG8 - 28 lbs., XIGA - 14 lbs.

**LISTING** - Listed to U.S. and Canadian safety standards. Suitable for wet locations.

**Lighting facts**

# of LEDs	SP18	Lumens (Nominal)	FL48
350 mA	19	2159	2076
Watts	22	23	22
Warm White	3000K	1445	1465
350 mA	19	1445	1465
Watts	22	23	22

Project Name \_\_\_\_\_ Fixture Type \_\_\_\_\_

Dating # \_\_\_\_\_

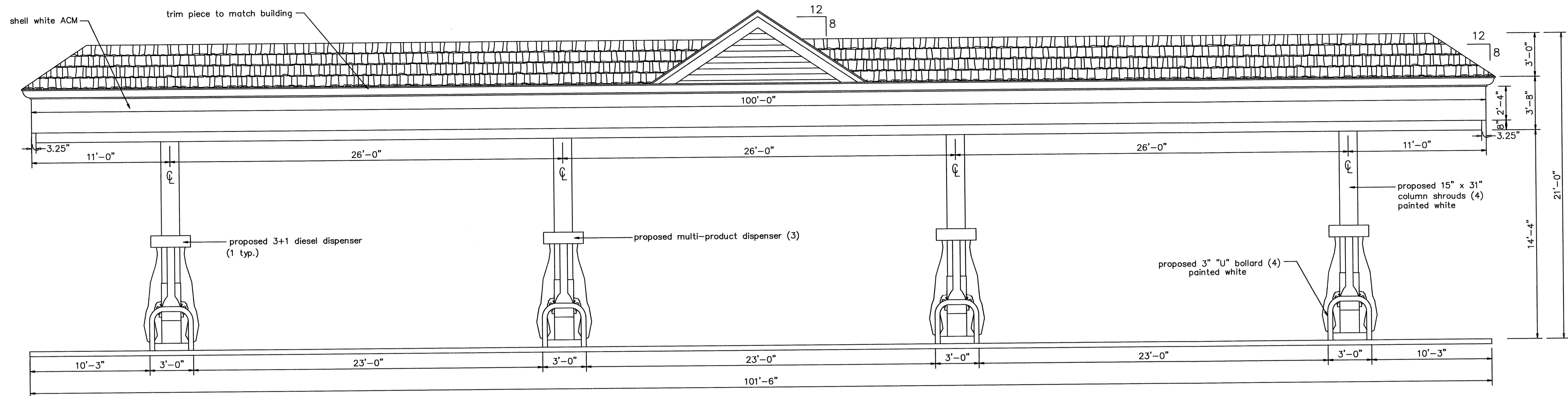
**FIXTURE LABEL = Z**

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD:

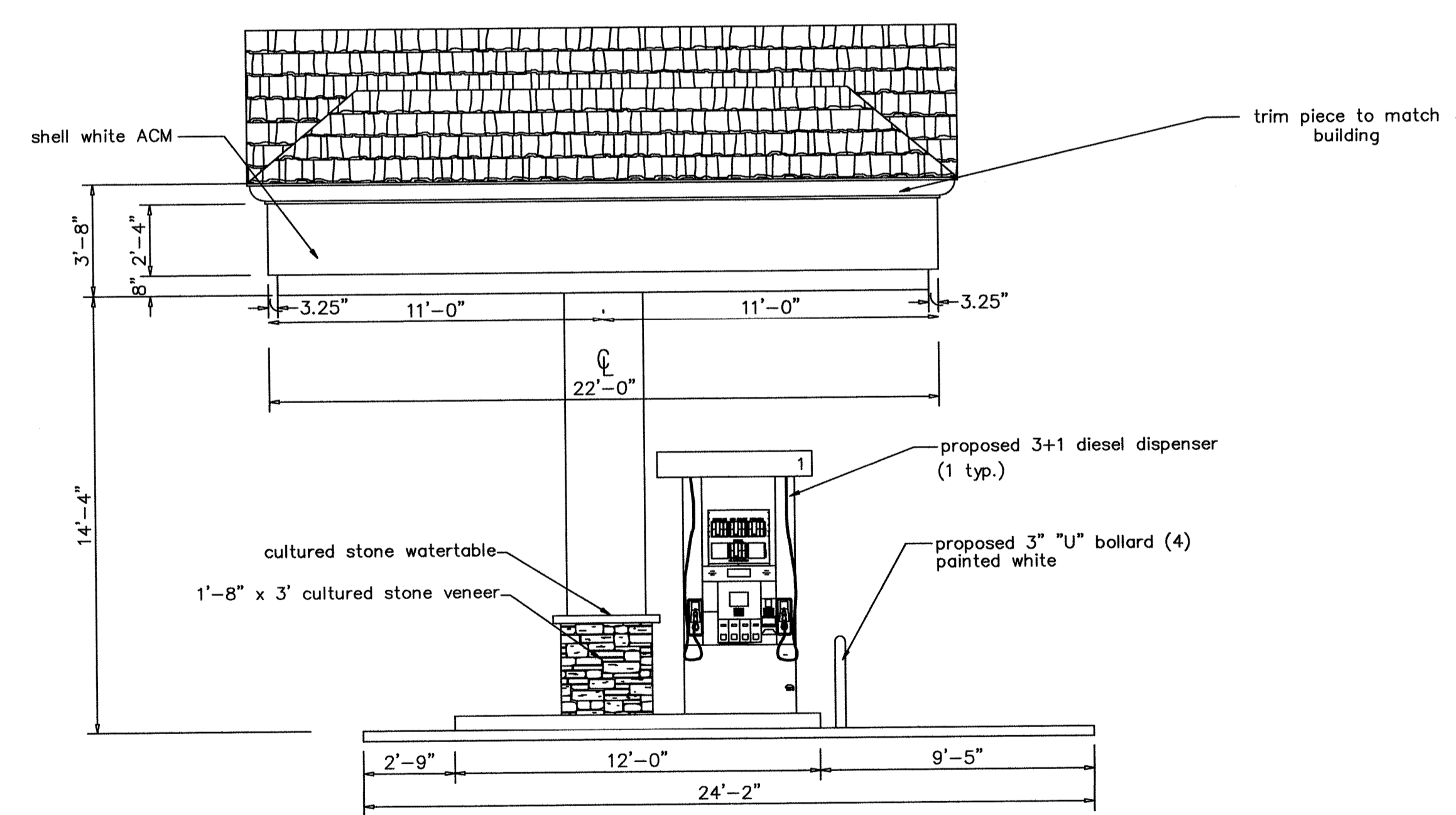
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3-4-2014

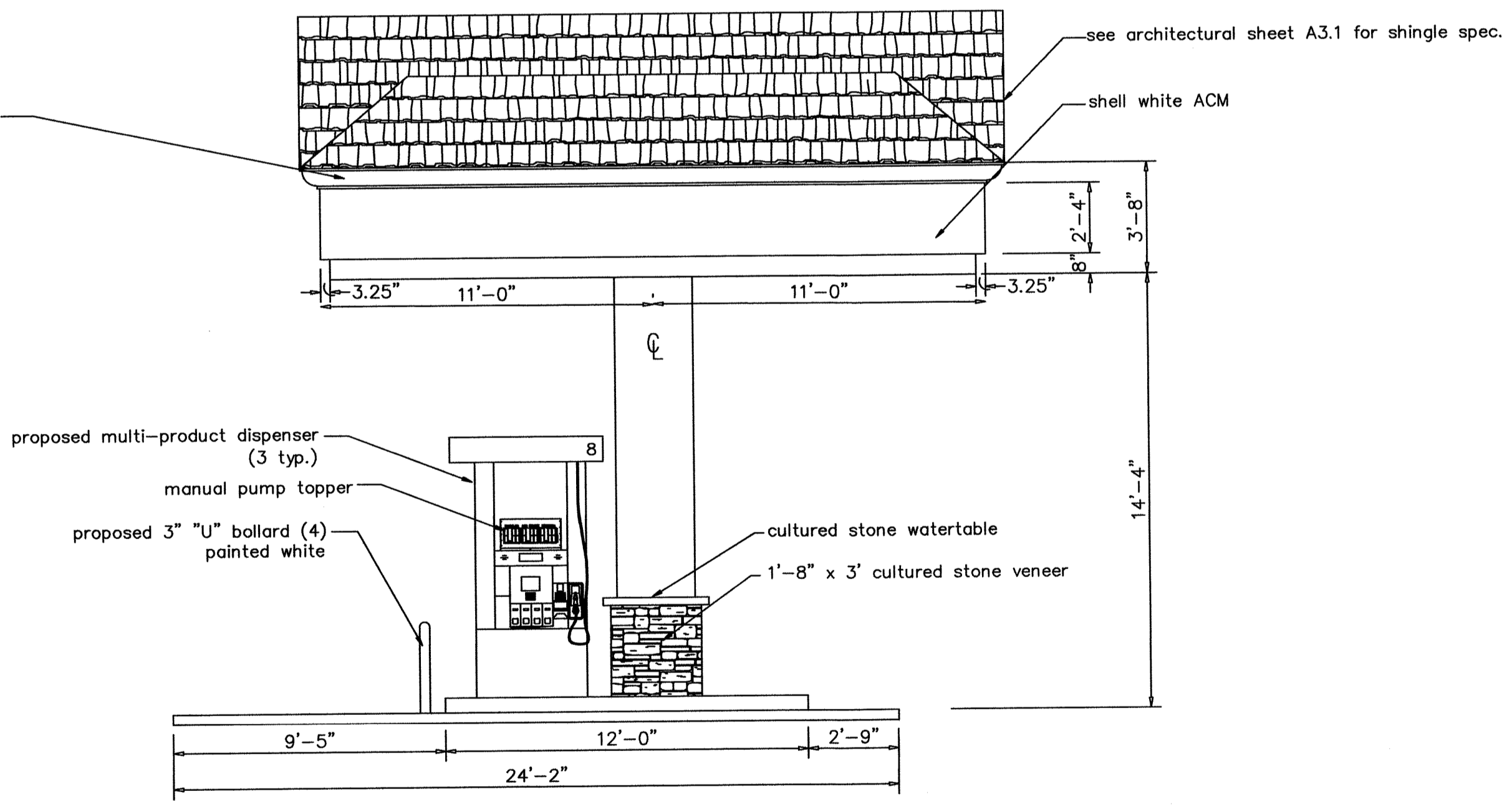
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD:  
*[Signature]*  
*[Signature]*  
 3-4-2014



FRONT ELEVATION



LEFT ELEVATION

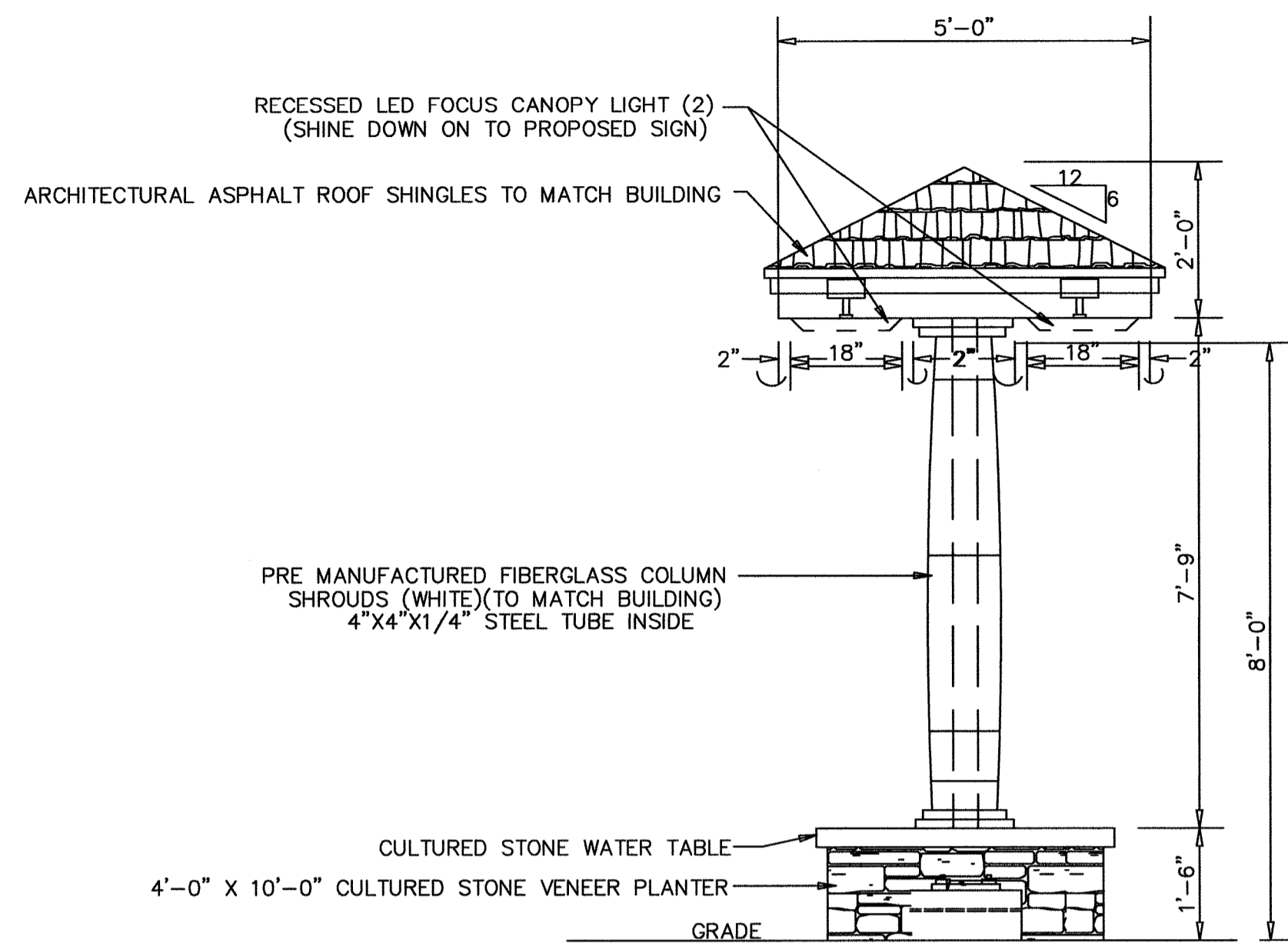


RIGHT ELEVATION

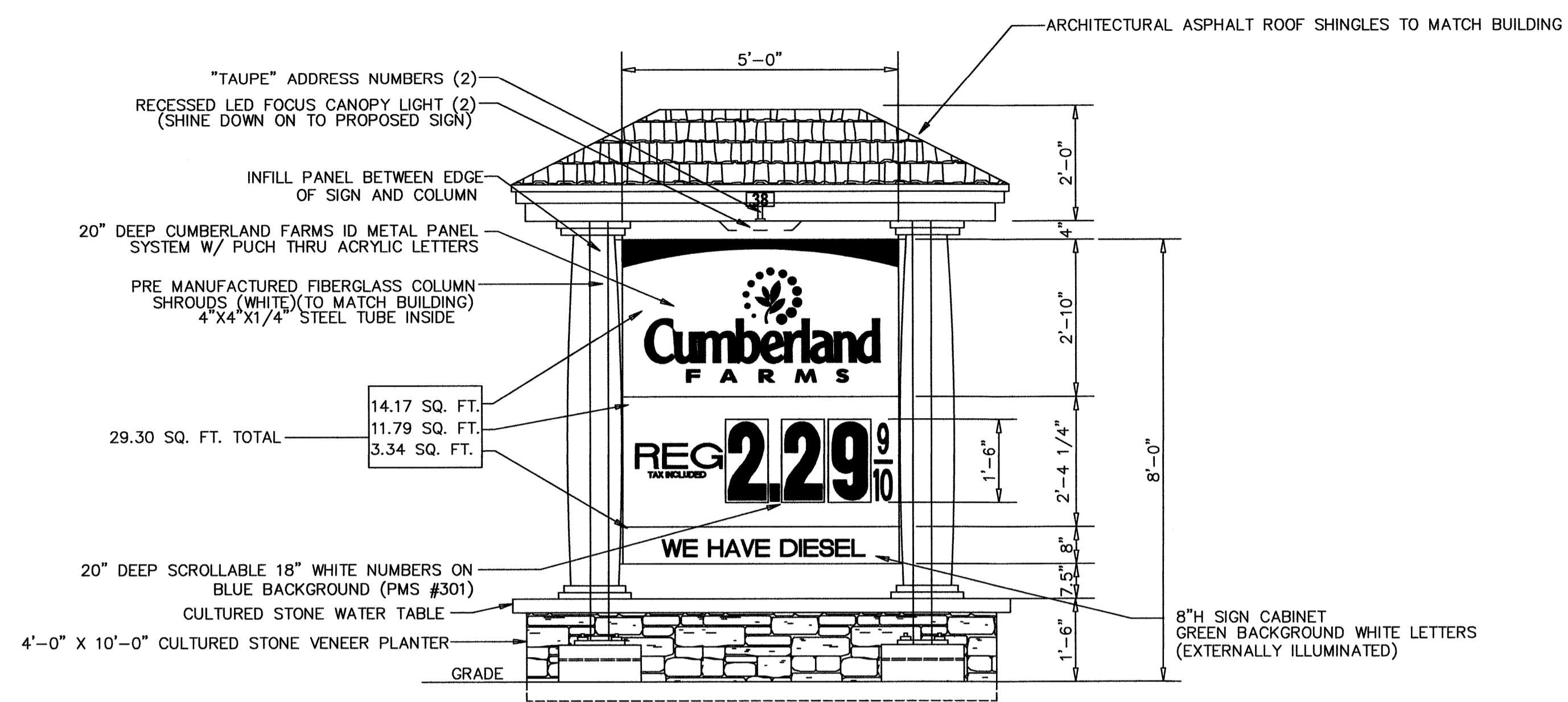
REVISIONS			V# NEW	MILFORD STREET @ SUMMER STREET MEDWAY, MASSACHUSETTS	
DATE	REV. BY.	DESCRIPTION	STORE# NEW		
10-10-13	RSP	4' SIGNLIGHT			
10-21-13	RSP	REMOVED SIGN			
02-13-14	CDG	ISSUED FOR 100% REVIEW			

CUMBERLAND FARMS, INC. 100 Crossing Boulevard Framingham, Massachusetts 01702		SCALE: 1/4" = 1'-0" DATE: 8-21-13 FILE: x:canopy/MEDWAY DRAWN BY: RSP CHECKED BY:
PROPOSED CANOPY ELEVATIONS		CFG12.0



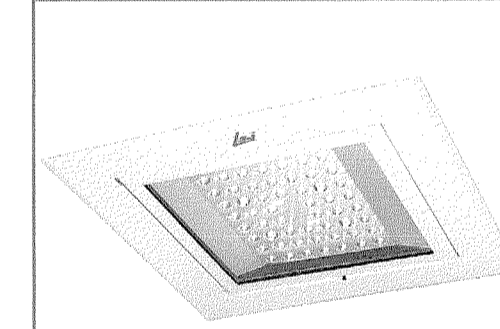
PROPOSED FRONT VIEW  
 SCALE: 0.5" = 1'-0"



PROPOSED SIDE VIEW  
 SCALE: 0.5" = 1'-0"

RECESSED FOCUS CANOPY LIGHT DETAIL

LED SOFFIT LIGHT (XSL2)



**lighting facts**  
 Light Output (Lumens) 4957  
 Watts 62.2  
 Lumens per Watt (Efficacy) 79  
 Color Accuracy (Color Rendering Index, CRI) 89  
 Light Color (Correlated Color Temperature, CCT) 5100 (Daylight)  
 2700K 3000K 3500K 4000K 4500K 5000K

All results are according to IESNA LM-79-09. Agreement between the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) website product test data and results. Products qualified under the DOE ENERGY STAR program have the ENERGY STAR mark on the label.  
 Web: www.lightingfacts.com for the Label Reference Guide.  
 Registration Number: 1908M-RECEISE  
 Model Number: 782-LED-050-CH-14  
 Year: 2013 and subsequent years.

**LIGHT OUTPUT - XSL2**

Color Temp	Lumens	Watts	LPW
SS - Super Saver	6,193	60	103
HO - High Output	8,348	86	97
SS - Super Saver	5,158	60	86
HO - High Output	6,959	86	81

**Diffused Lens**

Color Temp	Lumens	Watts	LPW
SS - Super Saver	5,752	60	96
HO - High Output	6,751	87	78
SS - Super Saver	4,393	60	73
HO - High Output	5,842	87	67

**Crossover**  
 LED LIGHTING TECHNOLOGY

**US patents: 067,4884 & 059,6896 & 782,9456 and US & Int'l. patents pending.**

**EXPECTED LIFE** - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI website for specific guidance.

**LEDS** - Select high-brightness LEDs. Cool White 5000°K color temperature, 89 CRI (nominal).

**DRIVER CURRENT** - Super saver (SS) - most economical and highest lumens per watt or High Output (HO) - highest output per initial dollar.

**DISTRIBUTION/PERFORMANCE** - Type S (Symmetric) or SA (Type S). Excellent uniformity with Bug rating of BU-UD-G1. Optional diffused lens available to reduce visibility of diodes.

**HOUSING/OPTICAL UNIT** - Housing is die-formed aluminum with a gasketed clear tempered glass lens providing a water-resistant seal. Weather-tight aluminum enclosure contains factory prewired driver to ensure no water entry. Sealed optical unit containing LEDs rated IP67.

**MOUNTING** - Direct mounts with screws through the trim frame (standard). Optional channel bar kit available to suspend assembly from ceiling joists. 12" clearance required for ease of installation.

**ELECTRICAL** - Universal frequency power supply (50/60 Hz). Supply voltage must be specified for pre-wired thermal protectors.

**DRIVER** - State-of-the-art driver technology designed specifically for LSI LED light sources provides unsurpassed system efficiency. Driver will operate with input of 120/208/240/277V (50/60 Hz). Components are fully enclosed in potting material for moisture resistance. Driver complies with IES and FCC standards.

**OPERATING TEMPERATURE** - -40° to +50° (-40°F to +122°F).

**FINISH** - Each fixture is finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip Finish withstands extreme weather changes without cracking or peeling, and is guaranteed for five full years. Standard color is white.

**WARRANTY** - LSI LED fixtures carry a limited 5-year warranty.

**PHOTOMETRICS** - Application layouts are available upon request. Contact LSI Applications Group at lighting.apps@lsindustries.com

**LISTING** - Listed to U.S. and Canadian safety standards. Suitable for damp locations.

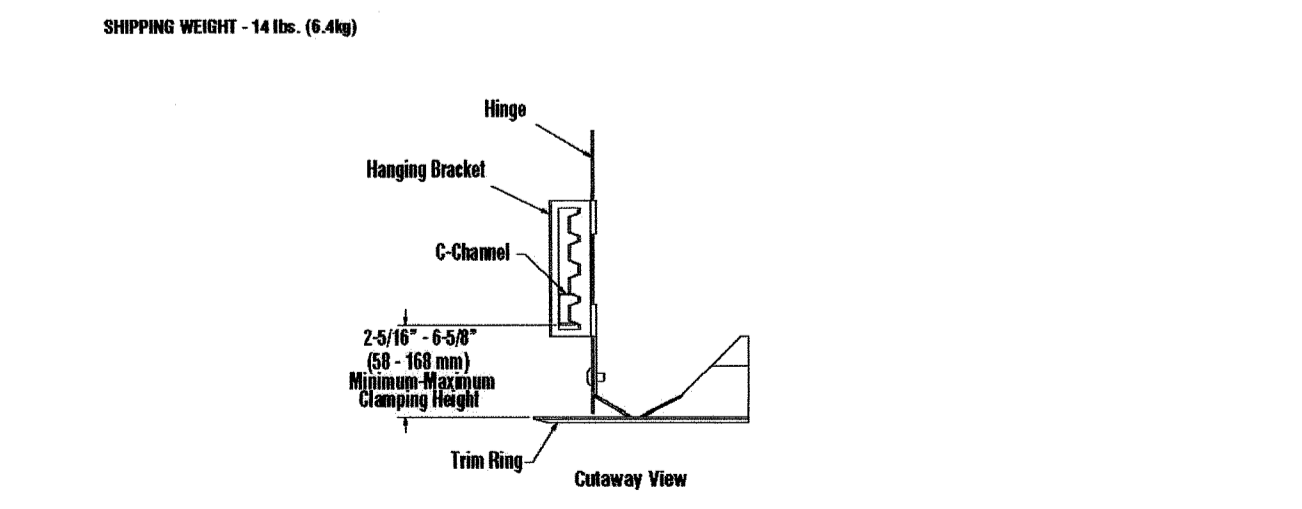
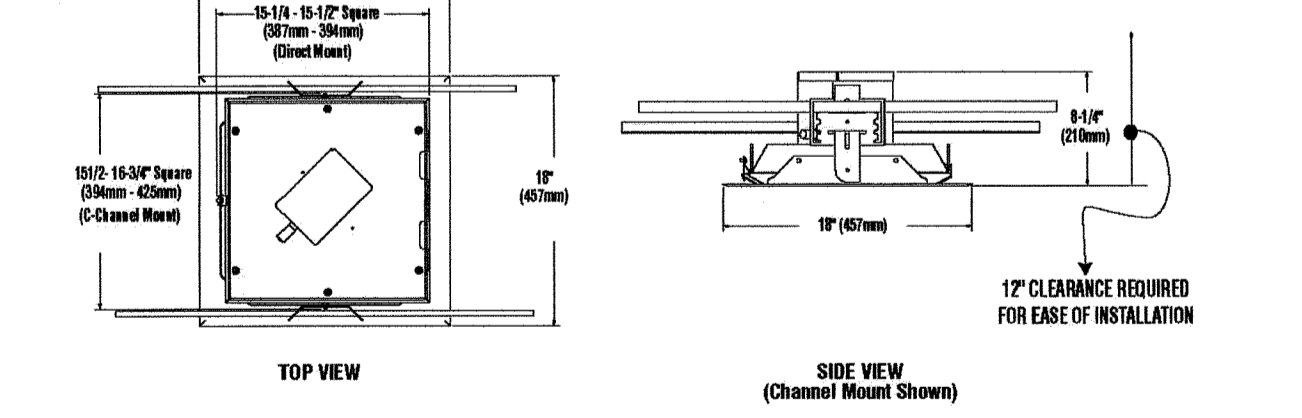
LED SOFFIT LIGHT (XSL2)

**PRODUCT ORDERING INFORMATION**

TYPICAL ORDER EXAMPLE: **XSL2 S LED 50 SS CW 120 WHT CMT**

Prefix	Distribution	Light Source	# of LEDs	Drive Current	Color Temperature	Input Voltage	Finish	Options
XSL2 - Soffit Light	S - Symmetric SA - Type S	LED	50	100 - High Output SS - Super Saver	OW - Cool White (5000°K nominal)	120 208 240 277 347	WHT - White	CMT - Channel Bar Mounting Kit DM - Direct Mount DFL - Diffused Lens

DIMENSIONS



This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.

IP67 CE RoHS COMPLIANT

ARRA Energy Efficient FC

Project Name: \_\_\_\_\_ J Fixture Type: \_\_\_\_\_ 10/29/13  
 Catalog # \_\_\_\_\_ LSI INDUSTRIES, INC.

Project Name: \_\_\_\_\_ J Fixture Type: \_\_\_\_\_ 10/29/13  
 Catalog # \_\_\_\_\_ LSI INDUSTRIES, INC.

NOTE:  
 1. SEE SHEET A0.5 FOR FOUNDATION DETAILS.  
 2. SEE SHEET S4.1 FOR STRUCTURAL DETAILS.

REVISIONS				V# NEW	MILFORD STREET @ SUMMER STREET	
DATE	REV. BY.	DESCRIPTION		STORE# NEW	MEDWAY, MASSACHUSETTS	
8-22-13	RSP	WE HAVE DIESEL			CUMBERLAND FARMS, INC. 100 Crossing Boulevard Framingham, Massachusetts 01702	
12-2-13	RSP	RECESSED FOCUS CANOPY LIGHTS			SCALE: 1/2" = 1'-0" DATE: 5-14-13 FILE: s:\p\p\MEDWAY.d	
12-13-13	RSP	LED SOFFIT LIGHT "XSL2"			DRAWN BY: RSP	
1-17-14	TML	INDICATE SIGN WILL BE EXTERNALLY ILLUMINATED			CHECKED BY:	
02-13-14	CDG	ISSUED FOR 100% REVIEW			PROPOSED SIGN DRAWING	
					CFG13.0	

*K. Kelly-Ludlow*  
*3-4-2014*

Project Title  
 New Construction:



Store # 197  
 Prop # TBD

38 Summer Street @  
 Milford Street  
 Medway, MA 02053

Owner

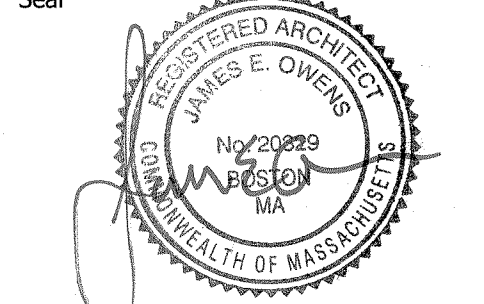
Cumberland Farms, Inc.  
 100 Crossing Blvd  
 Framingham, MA  
 tel 508 271 6624

Architect



Allevalo Architects Inc  
 31 Hayward Street, Franklin MA 02038  
 tel 508 528 0770 fax 508 528 9454

Seal



Consultant

Revisions

No.	Date	Issued for
1	8/20/13	SD SUBMISSION
2	9/10/13	SD SUBMISSION
3	10/01/13	SD SUBMISSION
4	10/09/13	SD SUBMISSION
5	1/20/14	SD SUBMISSION

Key Plan

Title

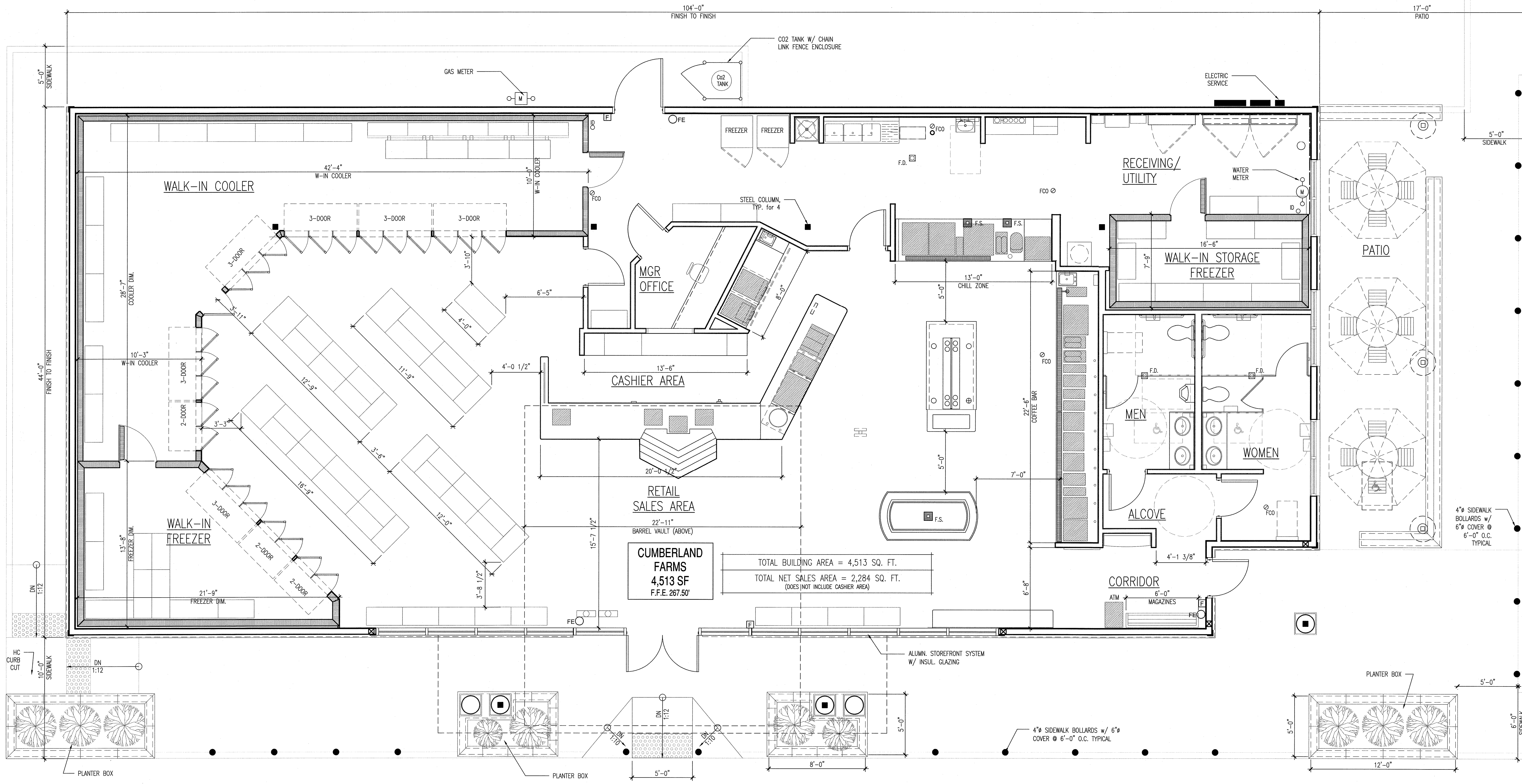
FLOOR PLAN

Date: 1/20/14

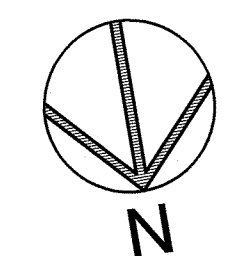
Drawing No.

**A1.1**

Project No. 1300.35



**1 FLOOR PLAN**  
 A1.1 SCALE: 1/4" = 1'-0"



3-4-2014

Project Title  
New Construction:

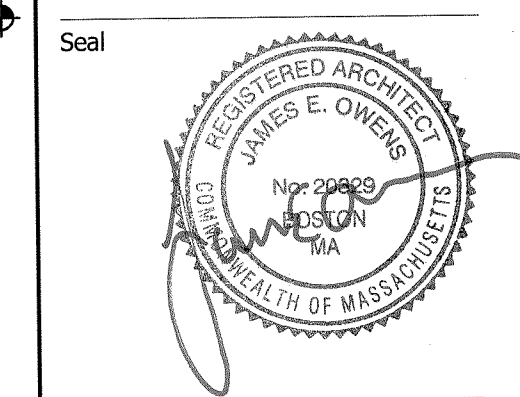
**Cumberland Farms**  
Store # 197  
Prop # TBD

38 Summer Street @  
Milford Street  
Medway, MA 02053

Owner  
Cumberland Farms, Inc.  
100 Crossing Blvd  
Framingham, Ma  
tel 508 271 6624

Architect  
**ALLEVATO**

Allevalo Architects Inc  
31 Hayward Street, Franklin MA 02038  
tel 508 528 0770 fax 508 528 9454



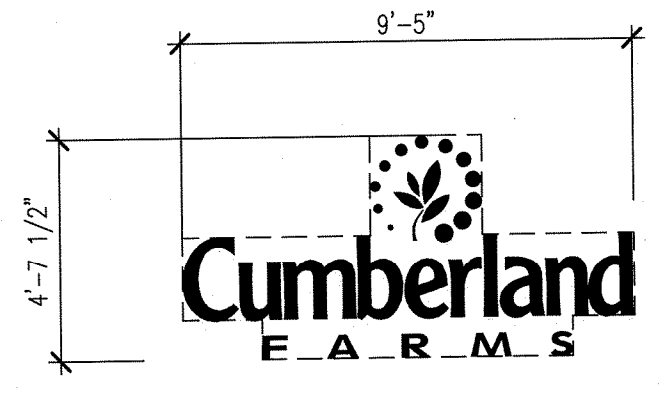
Consultant

FINISH SCHEDULE					
ANNO #	DESC.	MANUFACTURER	MODEL	COLOR	NOTES
SW-1	SYNTHETIC WOOD TRIM & FASCIA	CERTAINEED	-	PT-5	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
SW-2	SYNTHETIC WOOD TRIM	CERTAINEED	-	PT-7	PROVIDE SCARF JOINTS ON ALL EXTERIOR SYNTHETIC WOOD TRIM. GC TO PUTTY ALL NAIL HOLES & PAINT ALL SYNTHETIC WOOD TRIM & PANELS.
FB-1	FIBERGLASS COLUMN SHROUD	PACIFIC COLUMNS	-	SMOOTH WHITE FINISH	16"X10" ENDURA STONE PLAIN COLUMN ROUND SHAFT WITH TRUE ENTASIS TAPERED SMOOTH FINISH.
VS-1	VINYL SIDING	CERTAINEED	MONOGRAM 46L DOUBLE 4"	HERRINGBONE	ROUGH CEDAR FINISH. PROVIDE ALL REQ'D ACCESSORIES AND TRIM FOR A COMPLETE INSTALLATION.
CS-1	CULTURED STONE	OWENS CORNING CULTURED STONE, LLC	CSV-2028 SOUTHERN LEDGESTONE	FOG	INSTALL DRYSTACK ONLY; SUPPLIED BY CFI
SHNG-1	ARCHITECTURAL ASPHALT SHINGLES	CERTAINEED LANDMARK	LANDMARK	COBBLESTONE GRAY	30-YEAR WARRANTY
GU-1	ALUMINUM GUTTER SYSTEM	ALCOA	TRADITIONAL SELECT S-5	WHITE	PROVIDE ALL ACCESSORIES REQ'D FOR A COMPLETE CONTINUOUS INSTALLATION. INSTALL PER MFG INSTRUCTIONS. ENSURE SEALED, WATERTIGHT CORNER CONNECTIONS. FLASH & SEAL TO DOWNSPOUTS AS REQ'D.

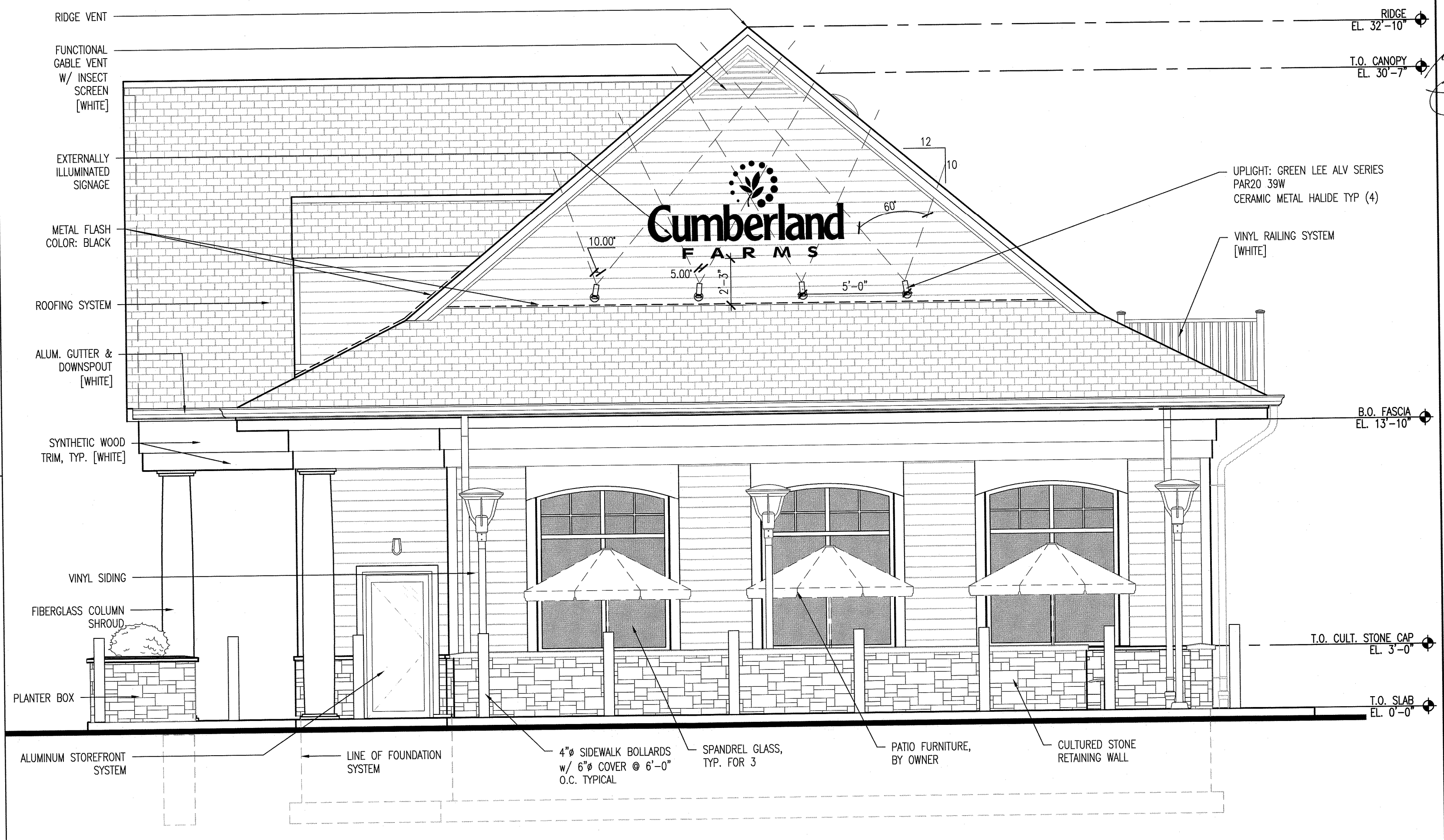
5 FINISH SCHEDULE  
A3.1 SCALE: NTS

WALL SIGNAGE SPECIFICATION

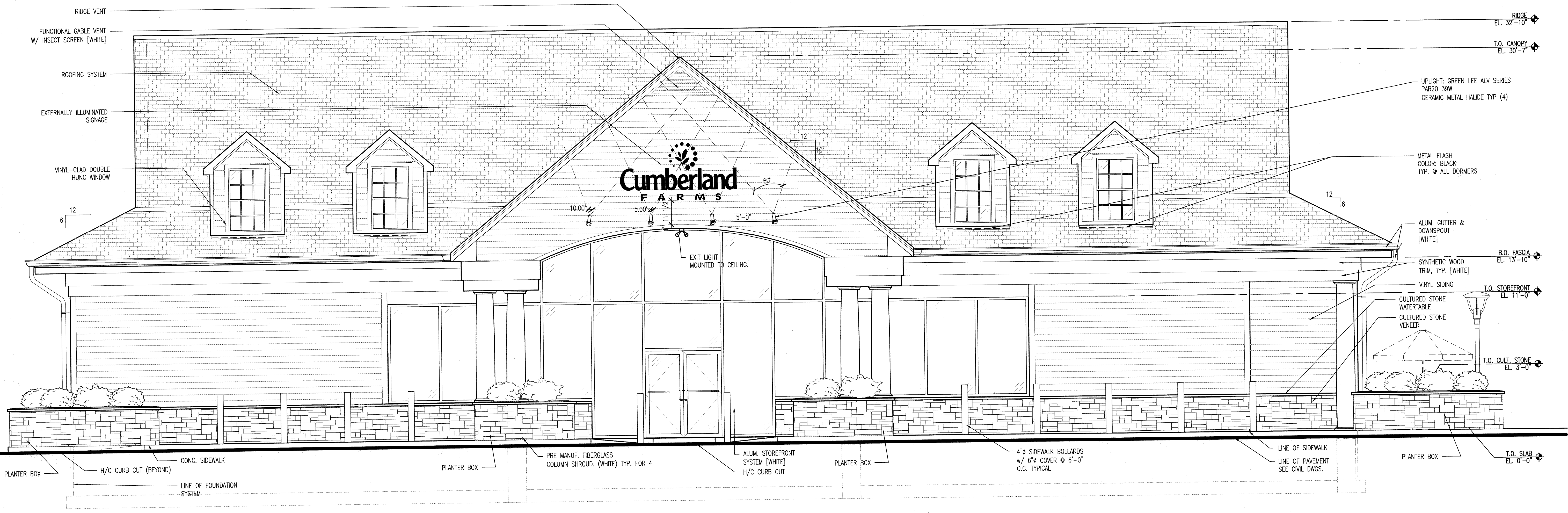
CUSTOM FABRICATED  
EXTERNALLY ILLUMINATED SIGN BOX  
SUPPLIED BY OWNER - INSTALLED BY SIGN VENDOR  
SIGN AREA = 26.5 SQ.FT



4 WALL SIGNAGE & LIGHTING DETAILS  
A3.1 SCALE: 1/4" = 1'-0"



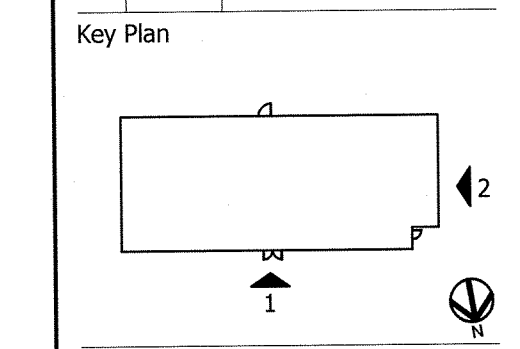
2 RIGHT SIDE ELEVATION  
A3.1 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION  
A3.1 SCALE: 1/4" = 1'-0"

Revisions

No.	Date	Issued for
1	8/20/13	SD SUBMISSION
2	9/10/13	SD SUBMISSION
3	10/01/13	SD SUBMISSION
4	10/09/13	SD SUBMISSION
5	1/20/14	SD SUBMISSION



Title  
EXTERIOR ELEVATIONS

Date: 1/20/14  
Drawing No.

**A3.1**

*[Handwritten signatures and date]*  
3-4-2014

Project Title  
New Construction:  
**Cumberland Farms**  
Store # 197  
Prop # TBD

38 Summer Street @  
Milford Street  
Medway, MA 02053

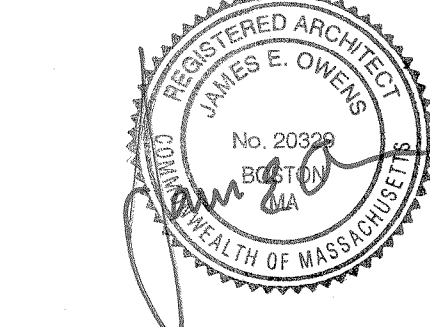
Owner  
Cumberland Farms, Inc.  
100 Crossing Blvd  
Framingham, Ma  
tel 508 271 6624

Architect

**ALLEVATO**

Allevalo Architects Inc  
31 Hayward Street, Franklin MA 02038  
tel 508 528 0770 fax 508 528 9454

Seal

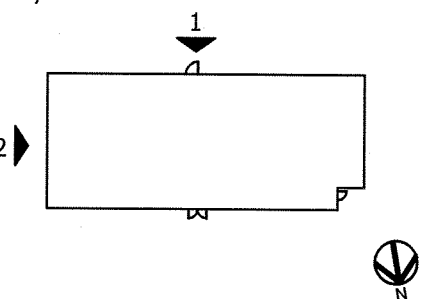


Consultant

Revisions

No.	Date	Issued for
1	8/20/13	SD SUBMISSION
2	9/10/13	SD SUBMISSION
3	10/01/13	SD SUBMISSION
4	10/09/13	SD SUBMISSION
5	1/20/14	SD SUBMISSION

Key Plan



Title

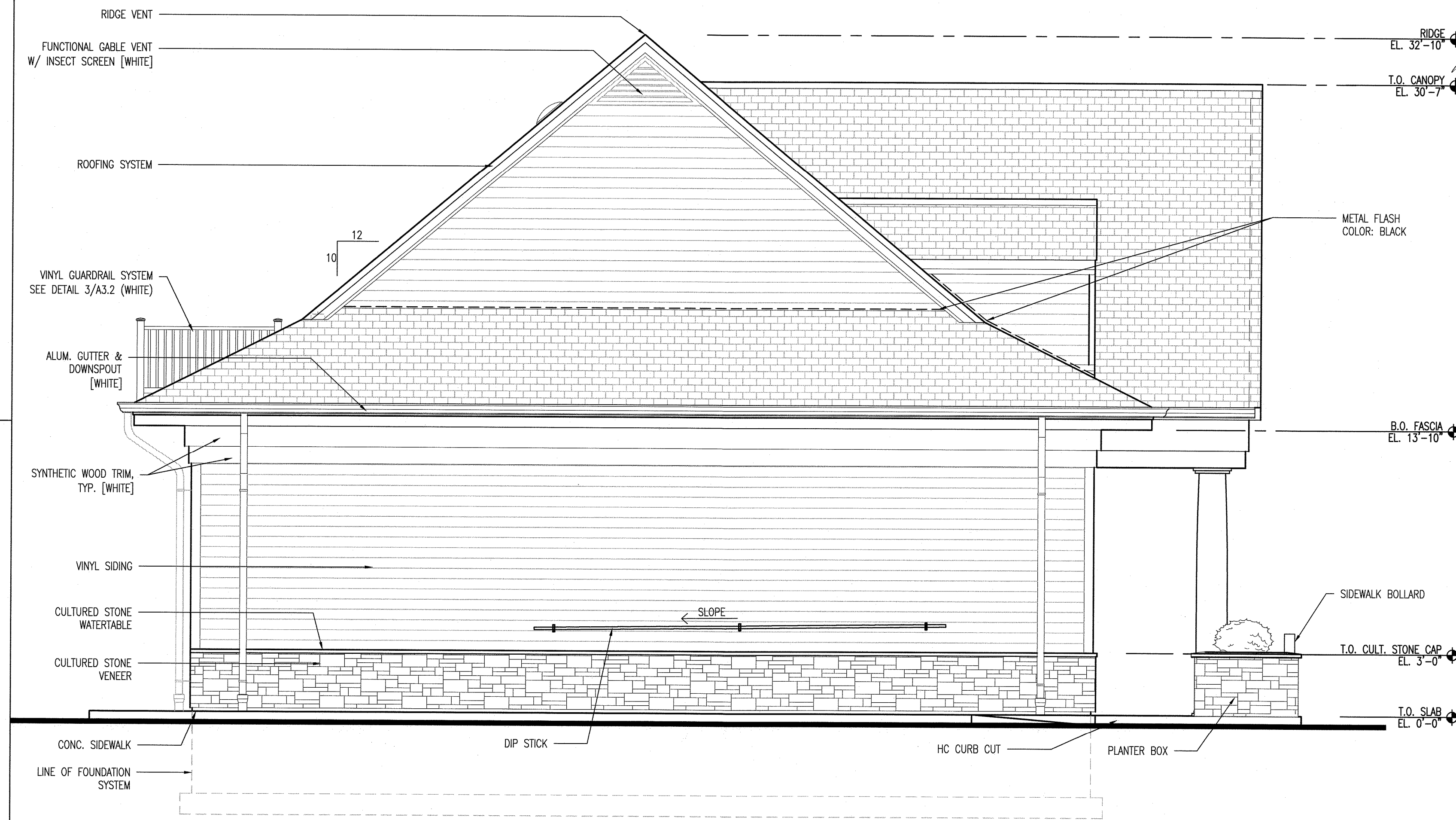
**EXTERIOR ELEVATIONS**

Date: 1/20/14

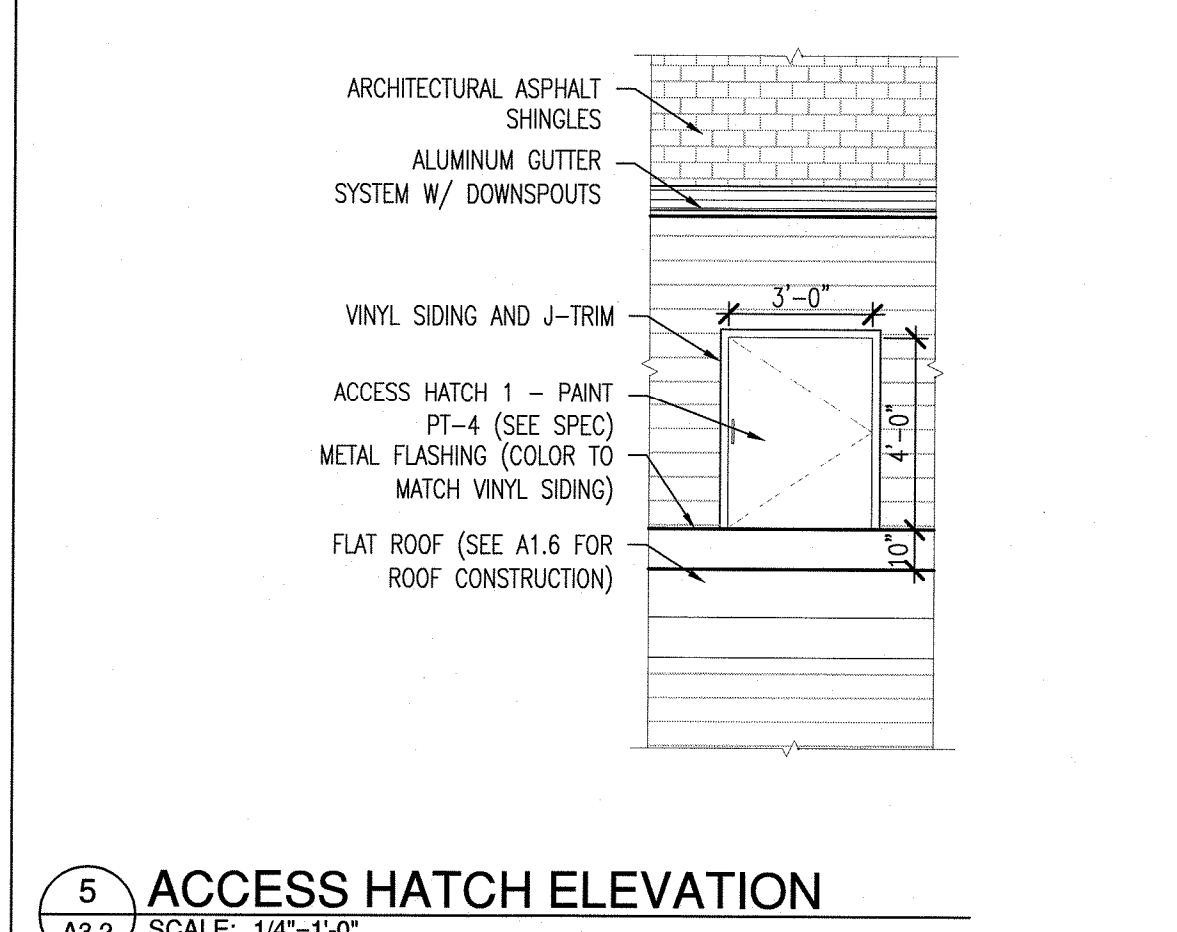
Drawing No.

**A3.2**

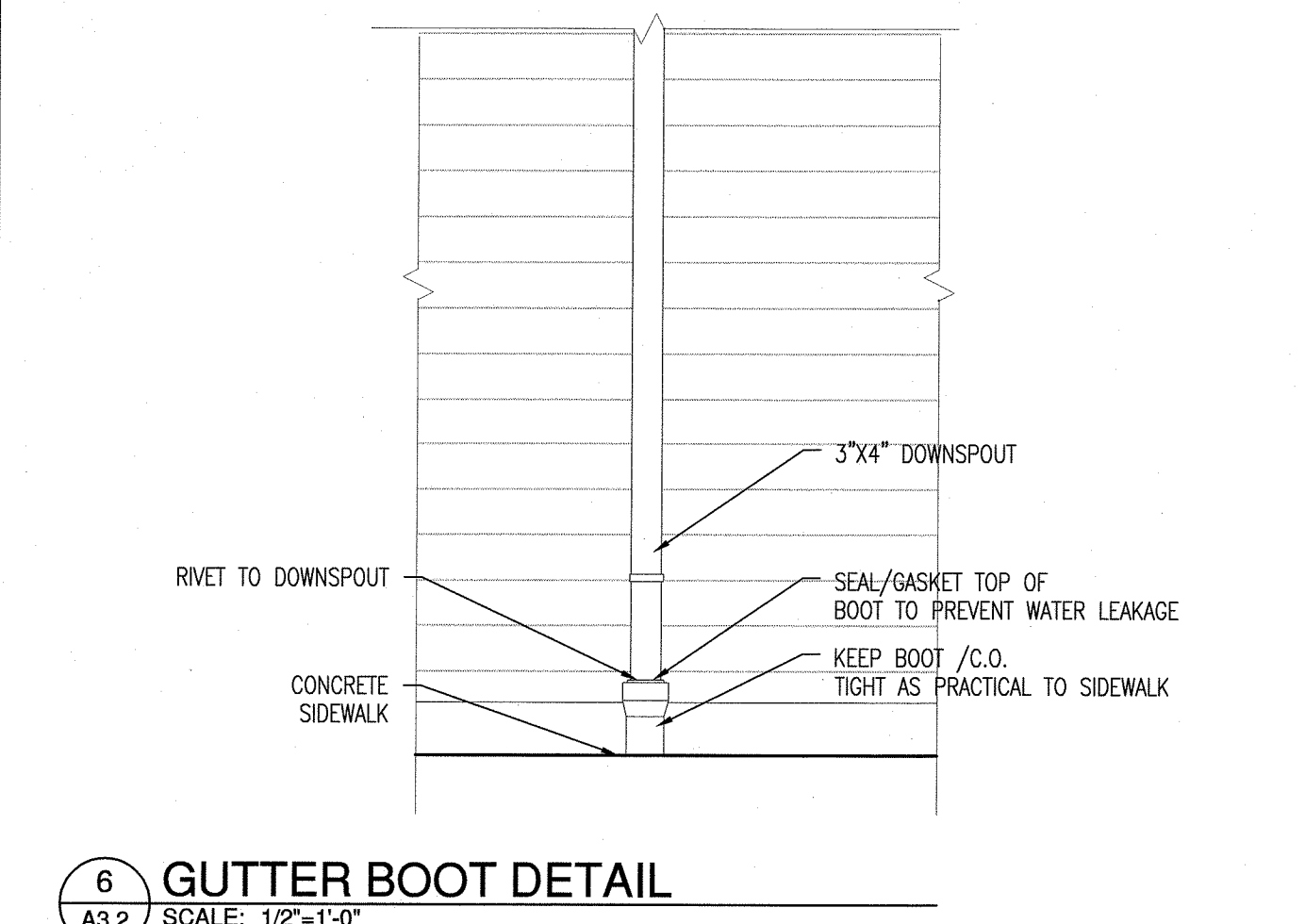
Project No. 1300.35



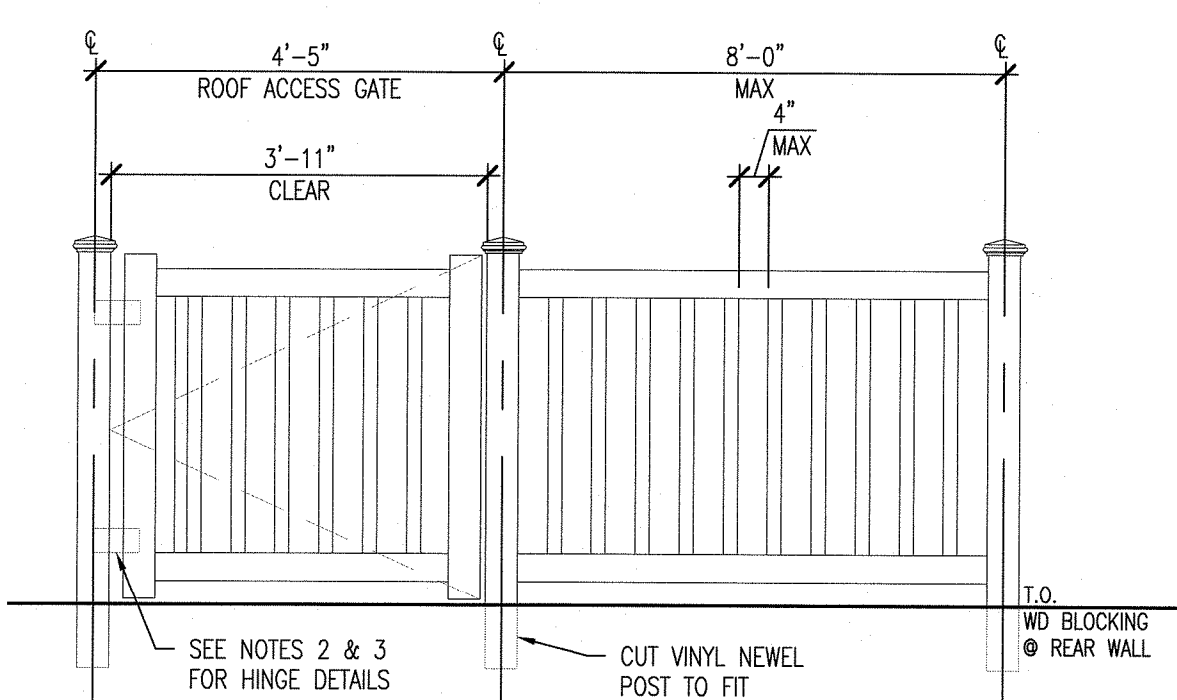
**2 LEFT SIDE ELEVATION**  
A3.2 SCALE: 1/4" = 1'-0"



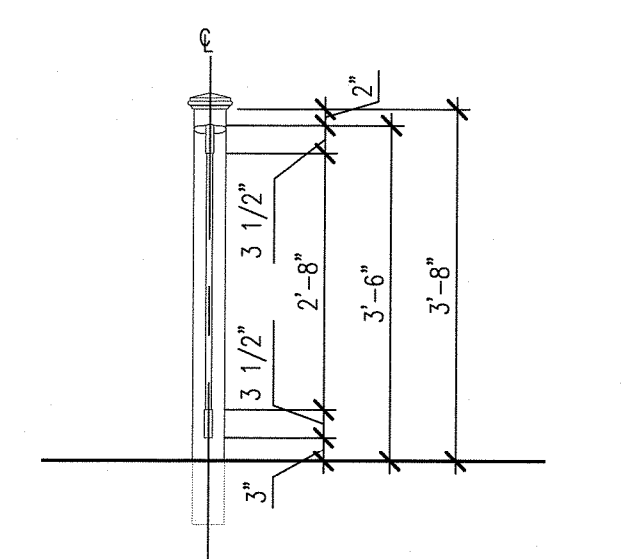
**5 ACCESS HATCH ELEVATION**  
A3.2 SCALE: 1/4" = 1'-0"



**6 GUTTER BOOT DETAIL**  
A3.2 SCALE: 1/2" = 1'-0"

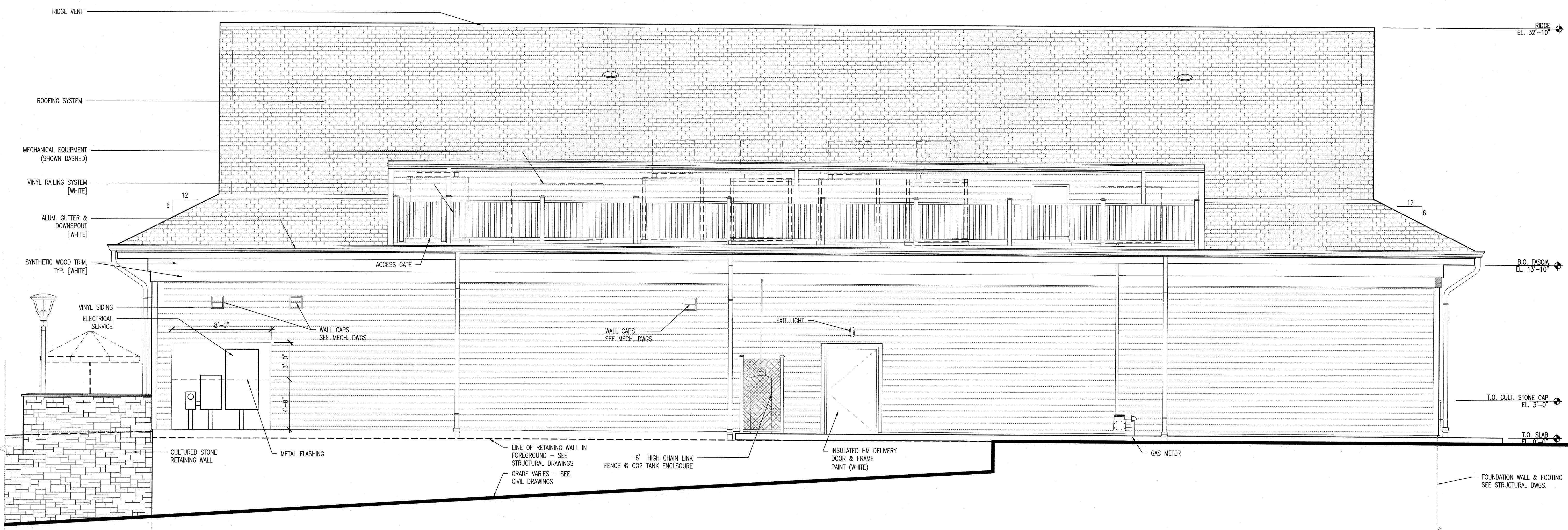


**3 PARTIAL GUARD RAIL ELEVATION**  
A3.2 SCALE: 1/2" = 1'-0"



**4 GUARD RAIL DETAIL**  
A3.2 SCALE: 1/2" = 1'-0"

- GUARD RAIL NOTES**
1. CERTAINTED "EVERNEW" VINYL RAILING SYSTEM. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
  2. PROVIDE (1) ROOF ACCESS GATE AS INDICATED IN ELEVATIONS WITH (2) STAINLESS STEEL ADJUSTABLE HINGES, (1) STAINLESS STEEL GATE LATCH AND STAINLESS STEEL SCREWS AND ACCESSORIES.
  3. MOUNT TOP GATE HINGE SO THAT TOP OF HINGE LINES UP WITH THE BOTTOM OF THE TOP RAIL OF THE GATE. MOUNT BOTTOM GATE HINGE SO THAT THE BOTTOM OF THE HINGE LINES UP WITH THE TOP OF THE BOTTOM RAIL OF THE GATE.
  4. PILOT HOLES SHALL BE DRILLED IN ALL GATE SECTIONS AS REQUIRED TO ACCEPT SCREWS.
  5. SEE 11/A1.6a FOR CONSTRUCTION DETAIL



**1 REAR ELEVATION**  
A3.2 SCALE: 1/4" = 1'-0"