

AMENDED DEFINITIVE SUBDIVISION PLAN

"APPLEGATE FARM"

TWELVE LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION

MEDWAY, MASSACHUSETTS

Prepared by:
GLM ENGINEERING
CONSULTANTS, INC.
 19 EXCHANGE STREET
 HOLLISTON, MASSACHUSETTS 01746
 (508)429-1100 fax:(508)429-7160
FEBRUARY 20, 2013
 REVISED: AUGUST 12, 2013
 APRIL 28, 2014

Applicant:
UNIQUE HOMES, INC
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052

Owner:
CEDAR TRAIL TRUST
RALPH M. COSTELLO
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052

AREA TABLE:	
ENTIRE PROJECT	15.85 ± ACRES
PARCEL AREAS: LOTS 1B-12B	12.75 ± ACRES
PROPOSED ROAD	1.99 ± ACRES
PARCEL A	1.11 ± ACRES
EASEMENT AREAS WITHIN PROJECT BOUNDARY:	
LOT 6B - PROPOSED UTILITY EASEMENT	2,457 ± S.F.
LOT 7B - PROPOSED UTILITY EASEMENT	1,485 ± S.F.
LOT 10B - PROPOSED 30' WIDE UTILITY & ACCESS EASEMENT	9,895 ± S.F.
LOT 12B - PROPOSED UTILITY & ACCESS EASEMENT	1,764 ± S.F.
LOT 9B - PROPOSED UTILITY & ACCESS EASEMENT	3,420 ± S.F.
LOT 8B - PROPOSED UTILITY & ACCESS EASEMENT	1,667 ± S.F.
EASEMENT AREAS OUTSIDE PROJECT BOUNDARY:	
LOT 2 - EXISTING 30' WIDE TEMPORARY CONSTRUCTION EASEMENT	6,321 ± S.F.
LOT 3 - EXISTING 30' WIDE TEMPORARY CONSTRUCTION EASEMENT	7,527 ± S.F.
LOT 9 - EXISTING 30' WIDE TEMPORARY CONSTRUCTION EASEMENT	7,936 ± S.F.
LOT 3 - EXISTING ROUNDING EASEMENT	121 ± S.F.
LOT 9 - EXISTING ROUNDING EASEMENT	228 ± S.F.
LOT 1 - PROPOSED UTILITY & ACCESS EASEMENT	12,126 ± S.F.
LOT 7 - PROPOSED UTILITY & ACCESS EASEMENT	5,433 ± S.F.

LIST OF WAIVERS GRANTED:

- Section 7.9.2 Alignment: No Tangent length shall exceed 300 feet unless authorized by the Board due to individual site factors such as topography, soil conditions, wetland locations, etc. The proposal is to allow two straight tangents lengths longer than 300 feet. One tangent length is 344.67 feet and the second is 303.68 feet.
- Section 7.9.5(c) Grade: The grade of any proposed street meeting another existing or proposed street shall not exceed 2 percent slope for a distance of not less than 100 feet. The proposal is for a grade of 2 percent for a distance of not less than 50 feet and a 75 foot long vertical curve at the intersection of Applegate Road and Ellis Street. This allows the roadway to blend with the existing contours, thus less disturbance for road construction.
- Section 5.7.28 Streetlight Locations: Request a waiver to allow each home be built with a lamp post in the vicinity of the driveway at the roadway, in lieu of streetlights.
- Section 7.19.5: Request a waiver of depicting the actual tree locations on the plans. Every effort shall be made to preserve the existing trees and stonewalls throughout the site.
- Section 7.13.3. Sidewalks shall be provided along the entire frontage of the subdivision parcel along existing Town ways, including the frontage of any lots held in common ownership with the subdivision parcel within five (5) years prior to the submission of the Definitive Subdivision Plan. In those instances where sidewalk construction is not feasible or practical, the Applicant shall make a payment in lieu of sidewalk construction to the Town of Medway, in an amount determined by the Town's Consulting Engineer. Such funds shall be deposited to a revolving fund to be used to finance the construction of sidewalks and/or other improvements.

LIST OF WAIVERS GRANTED:

- Section 7.7.4.d) Stormwater Management (Construction): A waiver is requested to eliminate the installation of the independent drainage system that would be installed to collect and discharge subsurface runoff from foundation perimeter drains for houses.
- Section 7.13.3 Sidewalks: A waiver is requested for construction of a portion of the sidewalk to be provided along the frontage of the subdivision parcel along existing town ways. Proposal to eliminate approximately three-hundred seventy-five (375) feet of sidewalk that is to be constructed along Coffee Street from the intersection of Applegate Road to the easterly property boundary.
- Section 7.13.2 Sidewalks: Request a waiver to allow the sidewalk within the Applegate Subdivision to be reduced from the required six (6) foot width to five (5) foot-six (6) inches wide.
- Section 7.10.2 Curbs and Berm: Request a waiver to install Cape Cod Berm edging within the subdivision in lieu of Sloped Granite Curbing.
- Section 5.2.1: Waiver of the Application Fee requirement for submission of the proposed Amended Definitive Plan.
- Section 7.7.2.P: Waiver for detention and retention basins and underground infiltration systems and any related drainage structures shall be located on separate parcels and shall not be included on individual house/building lots.

2150 h.F
 x 5.5"
 11825 SF
 29
 1313 SF

APPROVED BY
 MEDWAY PLANNING BOARD:

[Signatures]

APPROVED BY: 1-14-14
 ENDORSED BY: 10-20-14

ZONING CLASSIFICATION:
 AGRICULTURAL AND RESIDENTIAL DISTRICT I (ARI)
 AREA: 44,000 S.F., FRONTAGE: 180'
 REQUIRED LOTLINE SETBACKS:
 FRONT: 35'
 SIDE: 15'
 REAR: 15'

FLOOD MAP REFERENCE:
 LOCUS LIES IN A ZONE C (AREA OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 250243-0005B EFFECTIVE DATE: JUNE 18, 1980.

ASSESSORS REFERENCE:
 MAP 23, PARCELS 62, 63, 64, 65 & 66
 MAP 32, PARCELS 5, 6, 7, 8, 9, 14, 15, 16 & 17

OWNERS DEED REFERENCE:
 CEDAR TRAIL TRUST
 RALPH M. COSTELLO, TRUSTEE
 (NORFOLK COUNTY REGISTRY OF DEEDS)
 BOOK 22893, PAGE 600

PLAN REFERENCE:
 (NORFOLK COUNTY REGISTRY OF DEEDS)
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ALL SUBDIVISION LOTS ARE SUBJECT TO THE DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS GOVERNING THE APPLEGATE FARM SUBDIVISION.

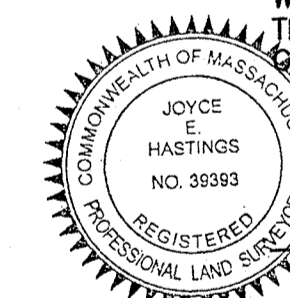
APPROVED 01/14/2014 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CEDAR TRAIL TRUST DATED 1-31-2007 & 10-15-2014 AND RECORDED AT THE NORFOLK REGISTRY OF DEEDS.

I TOWN CLERK OF THE TOWN OF MEDWAY, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

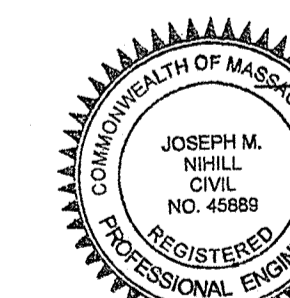
Marjorie White 10/24/2014
 TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS

THIS PLAN & SURVEY WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



[Signature] 4/28/14
 JOYCE E. HASTINGS P.L.S. DATE



[Signature] 4/28/14
 JOSEPH M. NIHILL, P.E. DATE

SHEET INDEX

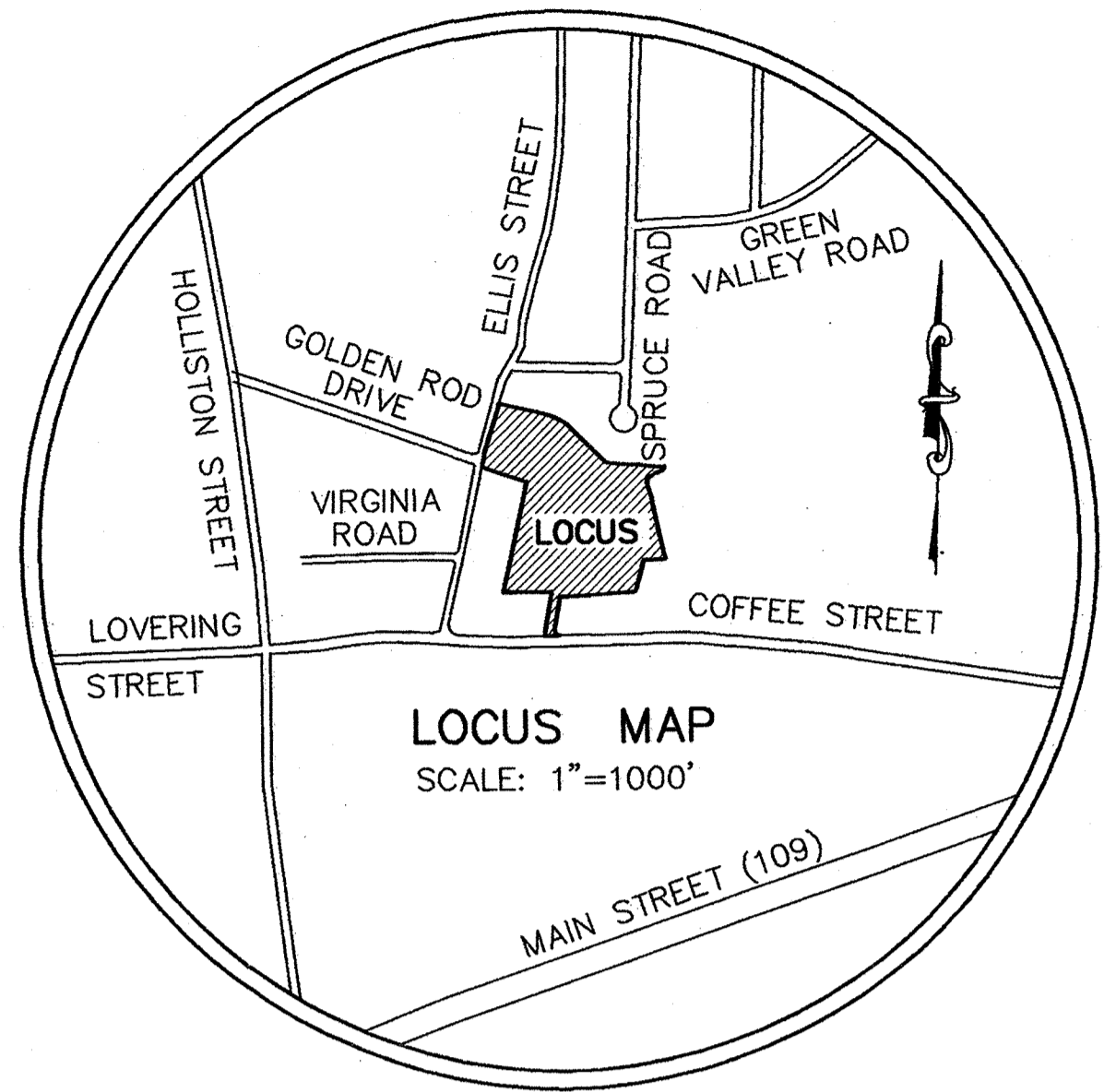
SHEET NO.	DESCRIPTION
1	COVER
2	KEY SHEET
3-4	RECORD PLANS
5-6	EXISTING CONDITIONS
7-8	PROPOSED TOPOGRAPHY
9-10	EROSION CONTROL
11-12	PLAN & PROFILE OF ROADWAYS
13	SEWER PROFILE
14	LANDSCAPE
15-18	DETAILS
19	COFFEE STREET SIDEWALK PLAN
20	COFFEE ST. SIDEWALK & STONEWALL
Supplemental A	SCENIC ROAD PLAN ELLIS ST.
Supplemental B	DRAINAGE PROFILE

JOB No. 11130

DATE: FEBRUARY 20, 2013

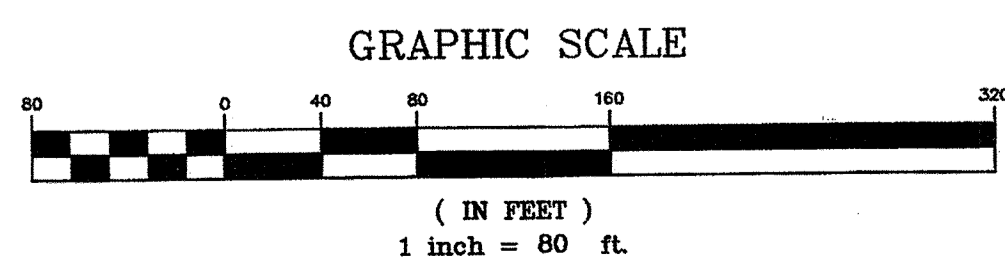
SCALE: AS NOTED

SHEET No. 1 OF 20



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LEGEND	
—S—	SEWER LINE (8" PVC TYP.)
⊙	SEWER MANHOLE
—4"D—	4" HDPE FOUNDATION TRUNKLINE DRAIN (4' MIN DEPTH - H2O LOADING)
---	DRAINAGE LINE (12" CONC. TYP.)
⊙	DRAINAGE MANHOLE
□	CATCH BASIN
—	WATER LINE
WG ⊕	WATERGATE
HYD ⊕	HYDRANT
+	WATER TEE
—	CENTERLINE OF ROAD WAY
—	SLOPED GRANITE CURB
—	VERTICAL GRANITE CURB
—	DENOTES CONC. BND. W/ D.H. TO BE SET
—	DENOTES IRON ROD TO BE SET
---	100' BUFFER ZONE
---	EDGE OF VEGETATED WETLANDS
○#96-A	WETLAND FLAG NO.
---	SILT FENCE
---	WETLANDS
⊙	UTILITY POLE
195x15	EXISTING SPOT ELEVATION
200x75	PROPOSED SPOT ELEVATION
240	EXISTING CONTOUR
200	PROPOSED CONTOUR
⊖	STONE WALL
---	LIMIT OF WORK
—x—	CHAIN LINK FENCE
—o—	STOCKADE FENCE
DH ⊕	DRILL HOLE
IP ⊕	IRON PIN
⊕	SOIL BORING
⊕	DEEP HOLE TEXT



APPROVED BY
MEDWAY PLANNING BOARD:
[Signatures]
APPROVED BY: 1-14-14
ENDORSED BY: 10-22-14

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Margaret White 10/24/14
TOWN CLERK DATE

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THIS PLAN & SURVEY WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

[Signature] 4/28/14
JOYCE E. HASTINGS P.L.S. DATE

ASSESSORS REFERENCE:
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MAP 32, PARCELS 5, 6, 7, 8, 9, 14, 15, 16 & 17

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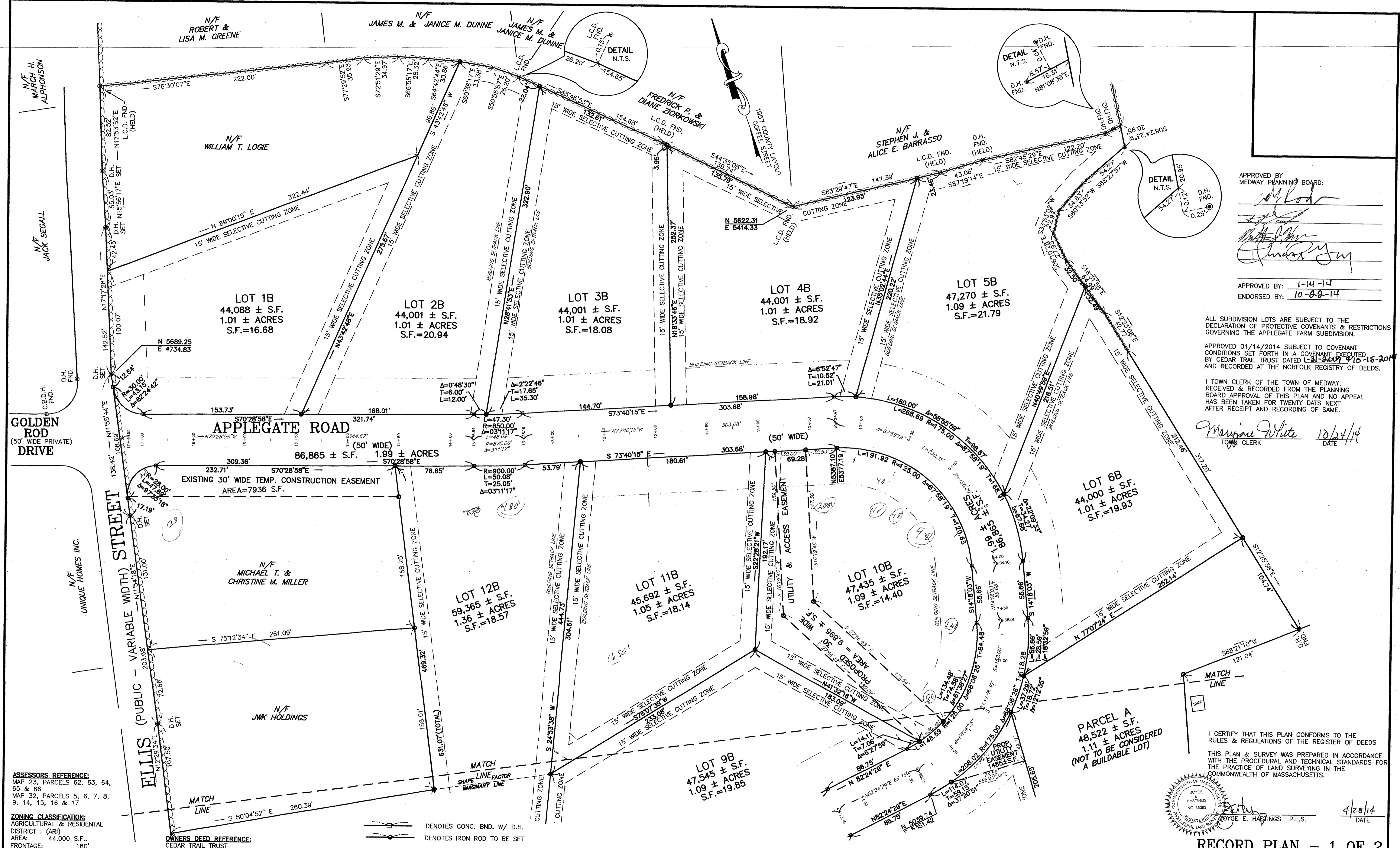
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REVISIONS			FLD:
DATE	DESCRIPTION	DES.	DMR
8/12/13	PLG. BRD. COMMENTS		DES:
4/28/14	CONDITIONS OF APPROVAL		PET
			DWN:
			PET
			CKD:
			WML

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19 EXCHANGE STREET
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AMENDED DEFINITIVE SUBDIVISION "APPLGATE FARM" MEDWAY, MASSACHUSETTS
OWNER: CEDAR TRAIL TRUST RALPH M. COSTELLO, TRUSTEE 503 MAIN STREET MEDFIELD, MASSACHUSETTS 02052
APPLICANT: UNIQUE HOMES, INC. 503 MAIN STREET MEDFIELD, MASSACHUSETTS 02052

JOB No. 11130
DATE: FEBRUARY 20, 2013
SCALE: 1"=40'
SHEET No. 2 OF 20



APPROVED BY
MEDWAY PLANNING BOARD:

APPROVED BY: 1-14-14
ENDORSED BY: 10-22-14

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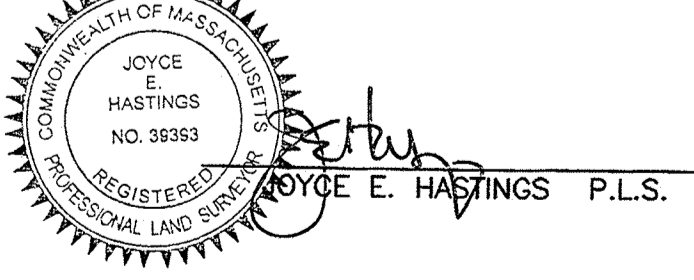
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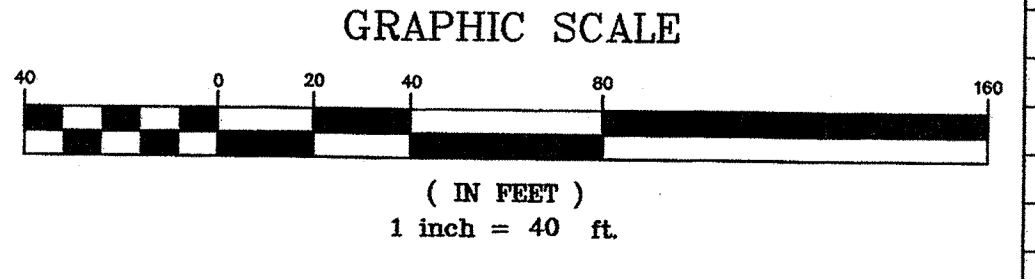
RECORD PLAN - 1 OF 2

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8/12/13	PLG. BRD. COMMENTS		DMR
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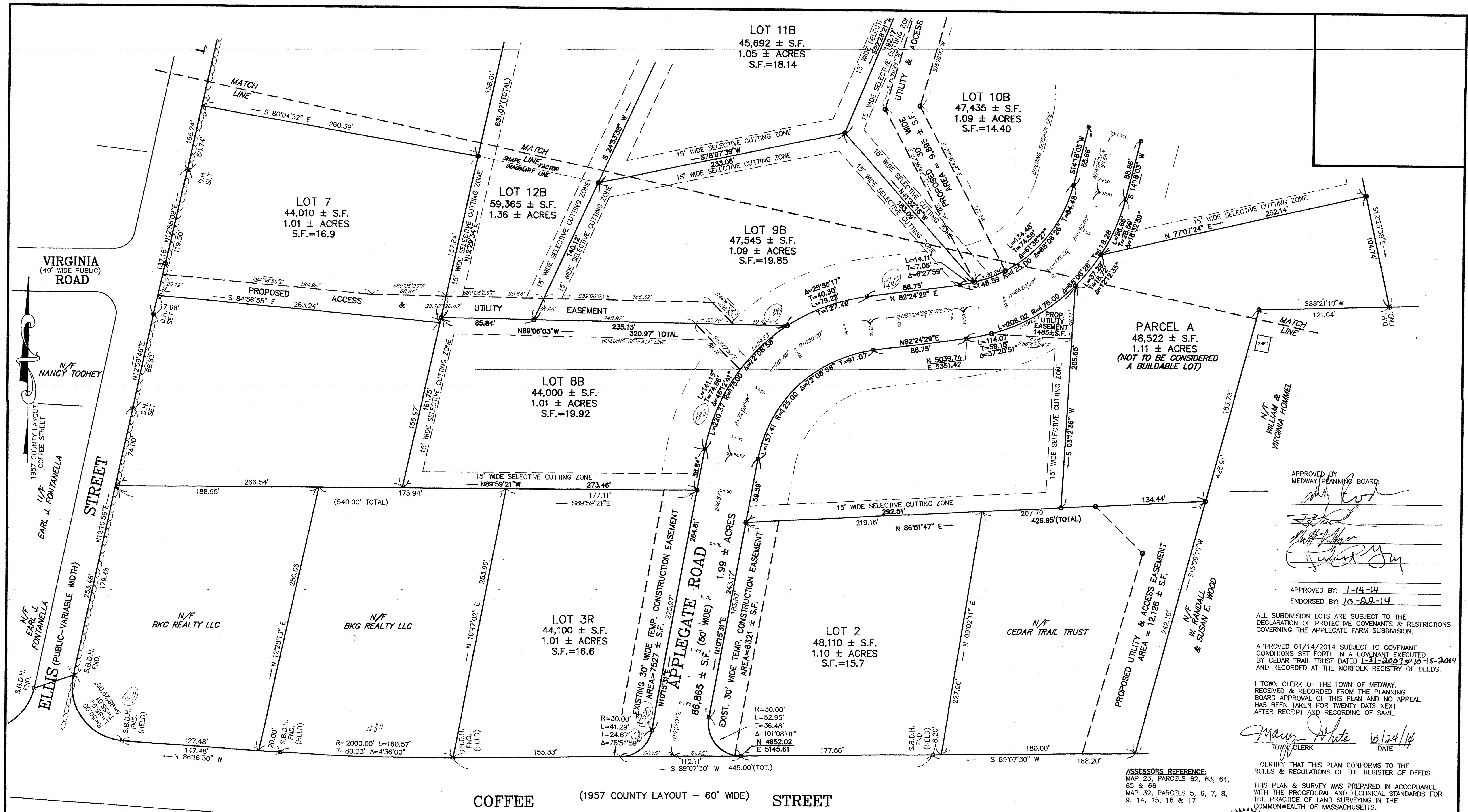
GLM ENGINEERING CONSULTANTS, INC.
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HOLLISTON, MASSACHUSETTS 01746
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RALPH M. COSTELLO, TRUSTEE
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MEDFIELD, MASSACHUSETTS 02052

APPLICANT: UNIQUE HOMES, INC.
503 MAIN STREET
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JOB No. 11130
DATE: FEBRUARY 20, 2013
SCALE: 1"=40'
SHEET No. 3 OF 20



APPROVED BY
MEDWAY PLANNING BOARD:

[Signature]

APPROVED BY: 1-14-14
ENDORSED BY: 10-22-14

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[Signature] 10/24/14
TOWN CLERK DATE

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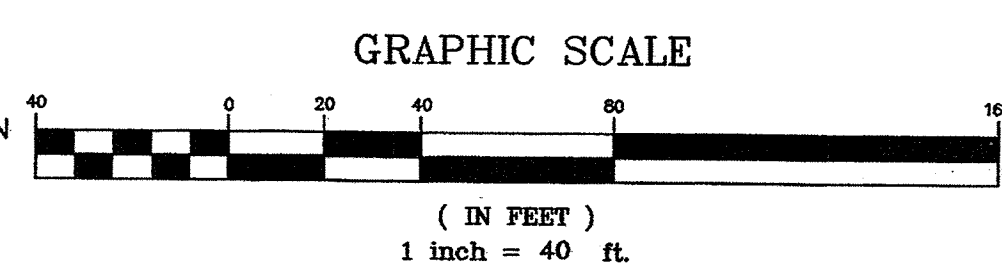
[Signature] JOYCE E. HASTINGS P.L.S. 4/20/14
DATE

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JOB No. 11130
DATE: FEBRUARY 20, 2013
SCALE: 1"=40'
SHEET No. 4 OF 20

--- DENOTES CONC. BND. W/ D.H.
--- DENOTES IRON ROD TO BE SET



APPROVED BY
MEDWAY PLANNING BOARD:

[Signature]

[Signature]

[Signature]

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Maryanne White 10/24/14
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[Signature] 4/28/14
 JOYCE E. HASTINGS DATE

[Signature] 4/28/14
 JOSEPH M. NIHILL, P.E. DATE

GOLDEN ROD DRIVE
 (50' WIDE PRIVATE)



NOTE:
 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.
 DIGSAFE 1-888-DIG-SAFE

OWNERS DEED REFERENCE:
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 RALPH M. COSTELLO, TRUSTEE
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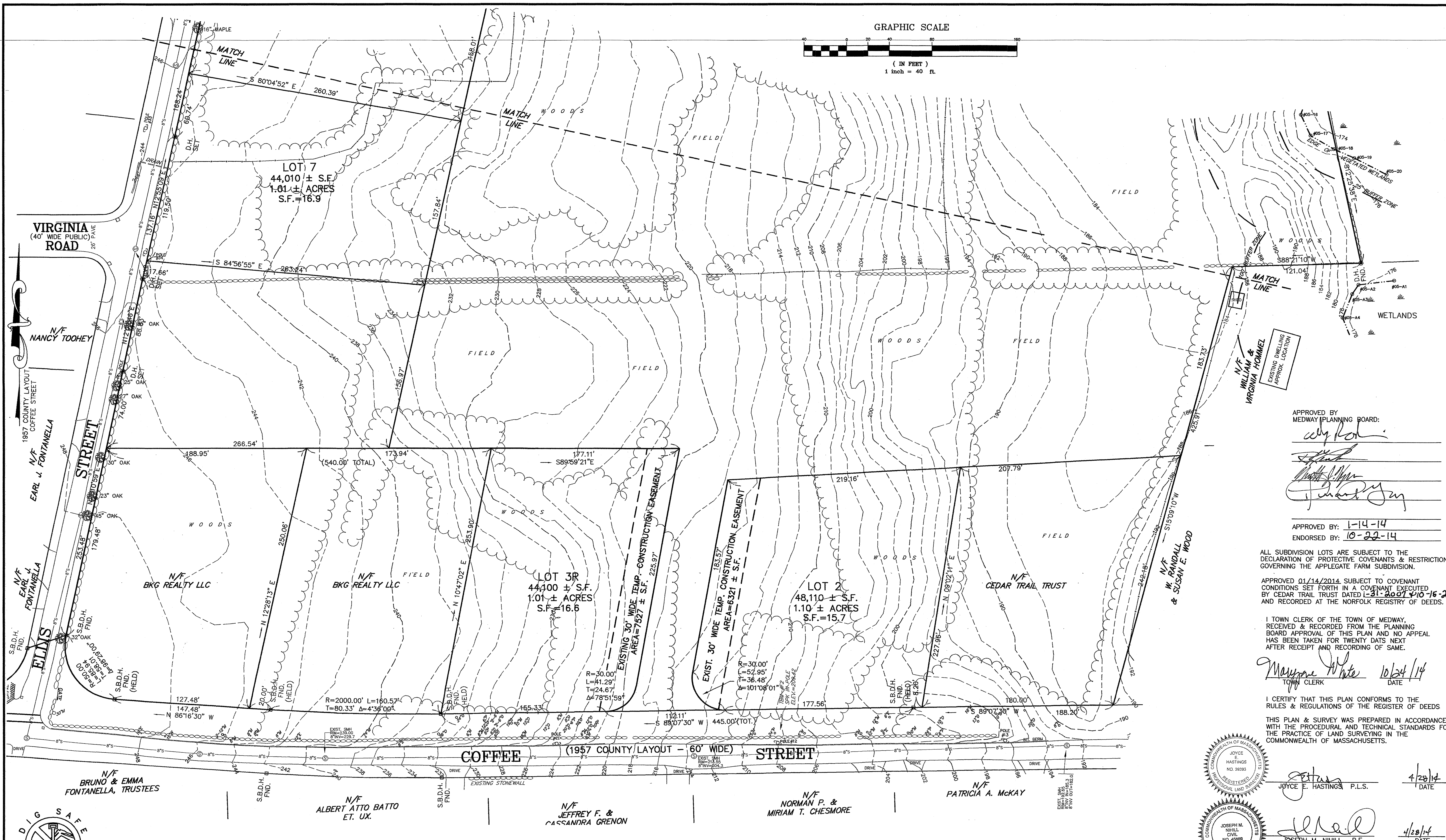
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 DATE: FEBRUARY 20, 2013
 SCALE: 1"=40'
 SHEET No. 5 OF 20

EXISTING CONDITIONS - 1 OF 2

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



APPROVED BY
MEDWAY PLANNING BOARD:

[Signatures]

APPROVED BY: 1-14-14
ENDORSED BY: 10-22-14

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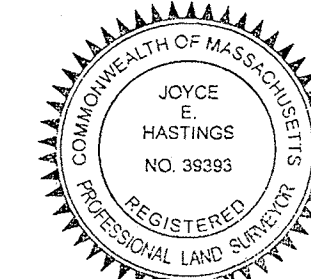
APPROVED 01/14/2014. SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CEDAR TRAIL TRUST DATED 1-31-2007 410-15-204 AND RECORDED AT THE NORFOLK REGISTRY OF DEEDS.

I TOWN CLERK OF THE TOWN OF MEDWAY, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DATS NEXT AFTER RECEIPT AND RECORDING OF SAME.

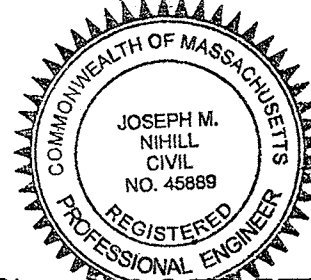
[Signature] 10/24/14
TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS

THIS PLAN & SURVEY WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



[Signature] 4/28/14
JOYCE E. HASTINGS P.L.S. DATE



[Signature] 4/28/14
JOSEPH M. NIHILL, P.E. DATE

EXISTING CONDITIONS - 2 OF 2

OWNERS DEED REFERENCE:
CEDAR TRAIL TRUST
RALPH M. COSTELLO, TRUSTEE
(NORFOLK COUNTY REGISTRY OF DEEDS)
BOOK 22893, PAGE 600

ZONING CLASSIFICATION:
AGRICULTURAL & RESIDENTIAL DISTRICT I (ARI)
AREA: 44,000 S.F.,
FRONTAGE: 180'
FRONT SETBACK: 35'
SIDE SETBACK: 15'
REAR SETBACK: 15'

FLOOD MAP REFERENCE:
LOCUS LIES IN A ZONE C (AREA OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 250243-0005B EFFECTIVE DATE: JUNE 18, 1980.

DATE	REVISIONS DESCRIPTION	DES.	FLD:
8/12/13	PLG. BRD. COMMENTS		DMR
4/28/14	CONDITIONS OF APPROVAL		PET
			PET
			WML

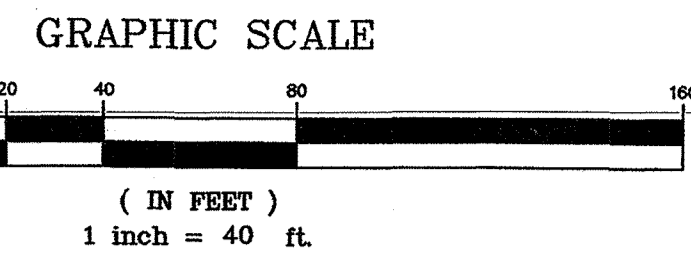
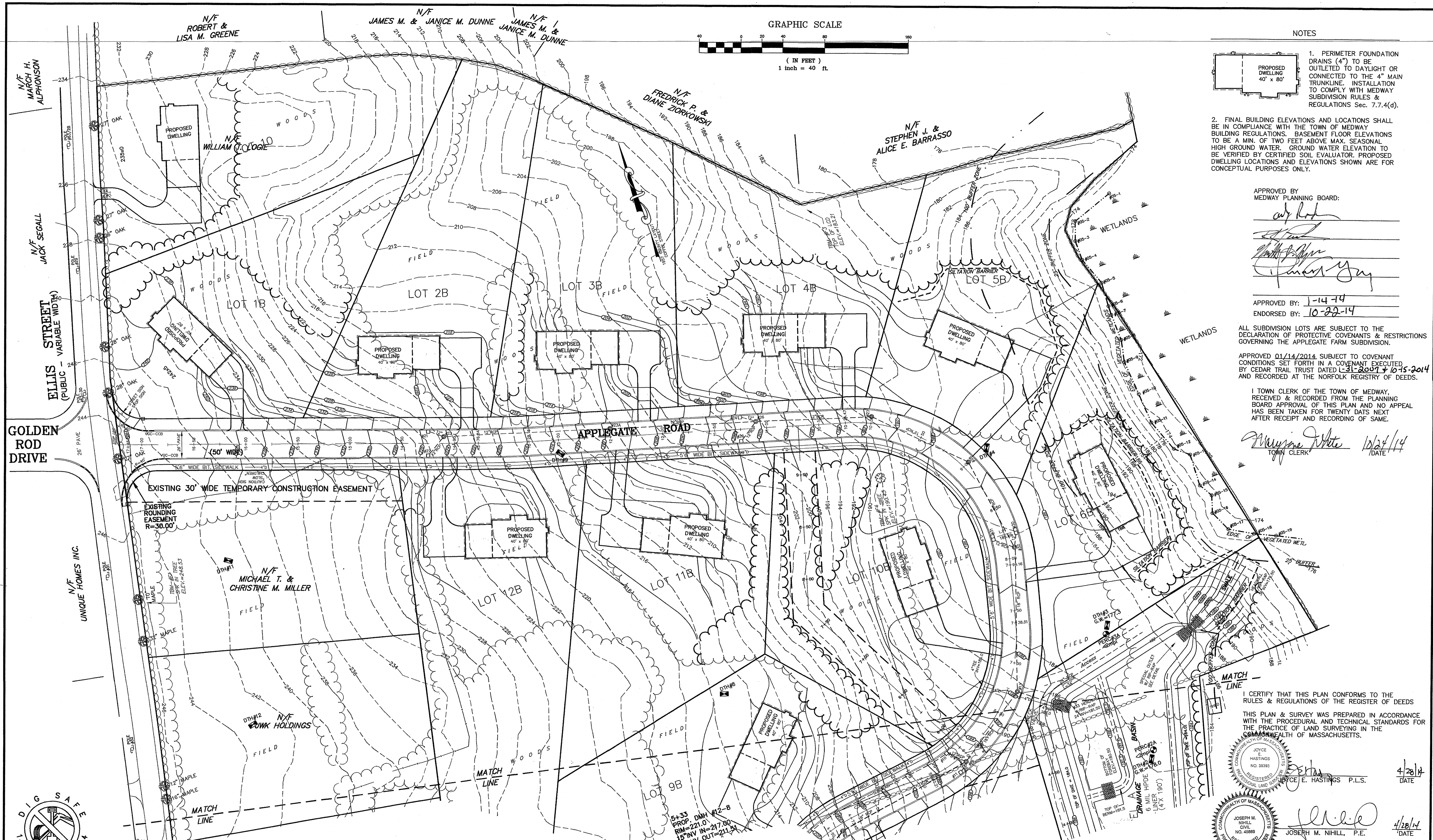
GLM ENGINEERING CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7160

AMENDED DEFINITIVE SUBDIVISION "APPLGATE FARM" MEDWAY, MASSACHUSETTS
OWNER: CEDAR TRAIL TRUST
RALPH M. COSTELLO, TRUSTEE
503 MAIN STREET
MEDFIELD, MASSACHUSETTS 02052
APPLICANT: UNIQUE HOMES, INC.
503 MAIN STREET
MEDFIELD, MASSACHUSETTS 02052

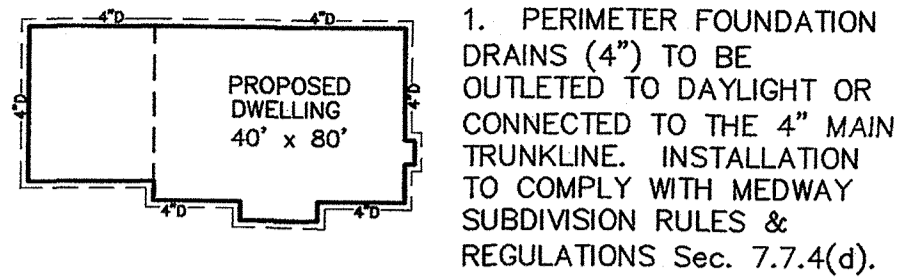
JOB No. 11130
DATE: FEBRUARY 20, 2013
SCALE: 1"=40'
SHEET No. 6 OF 20



NOTE:
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION
DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.
DIGSAFE 1-888-DIG-SAFE



NOTES



- PERIMETER FOUNDATION DRAINS (4") TO BE OUTLETED TO DAYLIGHT OR CONNECTED TO THE 4" MAIN TRUNKLINE. INSTALLATION TO COMPLY WITH MEDWAY SUBDIVISION RULES & REGULATIONS Sec. 7.7.4(d).
- FINAL BUILDING ELEVATIONS AND LOCATIONS SHALL BE IN COMPLIANCE WITH THE TOWN OF MEDWAY BUILDING REGULATIONS. BASEMENT FLOOR ELEVATIONS TO BE A MIN. OF TWO FEET ABOVE MAX. SEASONAL HIGH GROUND WATER. GROUND WATER ELEVATION TO BE VERIFIED BY CERTIFIED SOIL EVALUATOR. PROPOSED DWELLING LOCATIONS AND ELEVATIONS SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY.

APPROVED BY:
 MEDWAY PLANNING BOARD:

[Signatures]

APPROVED BY: 1-14-14
 ENDORSED BY: 10-22-14

ALL SUBDIVISION LOTS ARE SUBJECT TO THE DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS GOVERNING THE APPLAGATE FARM SUBDIVISION.

APPROVED 01/14/2014 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CEDAR TRAIL TRUST DATED 1-31-2007 & 10-15-2014 AND RECORDED AT THE NORFOLK REGISTRY OF DEEDS.

I, TOWN CLERK OF THE TOWN OF MEDWAY, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

[Signature] 10/22/14
 TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS
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[Seal] JOYCE E. HASTINGS P.L.S. 4/28/14
[Seal] JOSEPH M. NIHILL, P.E. 4/28/14

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OWNERS DEED REFERENCE:
 CEDAR TRAIL TRUST
 RALPH M. COSTELLO, TRUSTEE
 (NORFOLK COUNTY REGISTRY OF DEEDS)
 BOOK 22893, PAGE 600

ZONING CLASSIFICATION:
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 SIDE SETBACK: 15'
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DATE	REVISIONS DESCRIPTION	DES.	FLD:
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4/28/14	CONDITIONS OF APPROVAL	DES.	PET
		DWN:	PET
		CKD:	WML

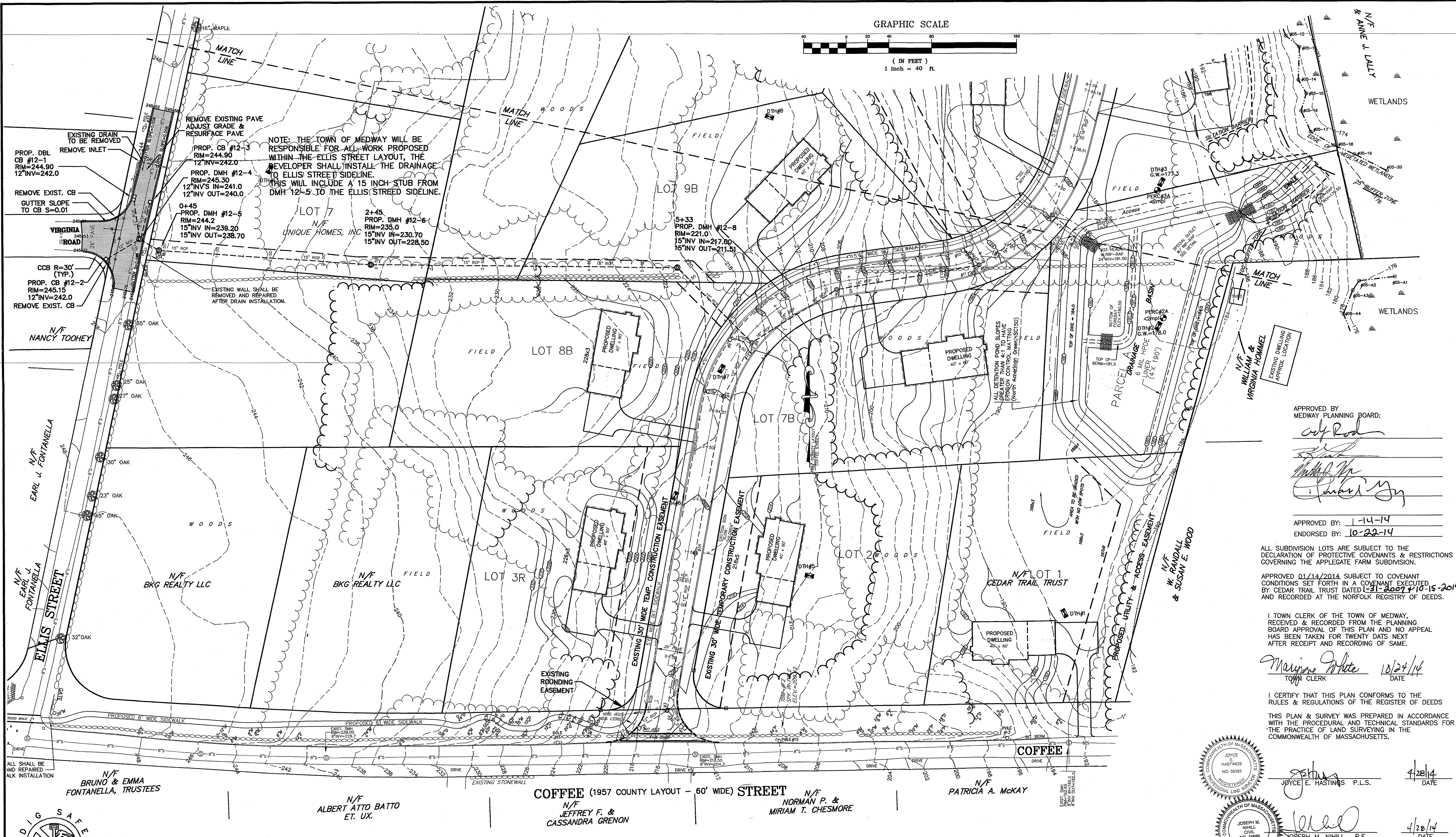
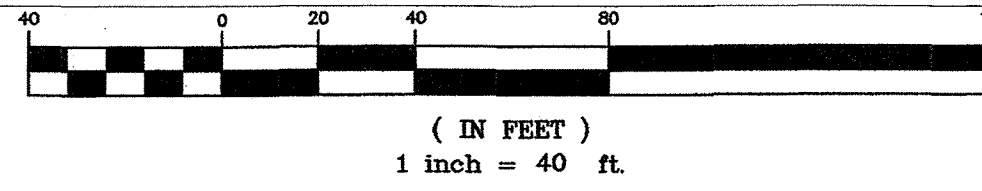
GLM ENGINEERING CONSULTANTS, INC.
 19 EXCHANGE STREET
 HOLLISTON, MASSACHUSETTS 01746
 (508)429-1100 fax:(508)429-7180

AMENDED "DEFINITIVE SUBDIVISION" "APPLAGATE FARM" MEDWAY, MASSACHUSETTS
 OWNER: CEDAR TRAIL TRUST
 RALPH M. COSTELLO, TRUSTEE
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052
 APPLICANT: UNIQUE HOMES, INC.
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052

JOB No. 11130
 DATE: FEBRUARY 20, 2013
 SCALE: 1"=40'
 SHEET No. 7 OF 20

PROPOSED TOPOGRAPHY - 1 OF 2

GRAPHIC SCALE



NOTE: THE TOWN OF MEDWAY WILL BE RESPONSIBLE FOR ALL WORK PROPOSED WITHIN THE ELLIS STREET LAYOUT, THE DEVELOPER SHALL INSTALL THE DRAINAGE TO ELLIS STREET SIDELINE. THIS WILL INCLUDE A 15 INCH STUB FROM DMH 12-5 TO THE ELLIS STREET SIDELINE.

APPROVED BY MEDWAY PLANNING BOARD:

[Signatures]

APPROVED BY: 1-14-14
 ENDORSED BY: 10-22-14

ALL SUBDIVISION LOTS ARE SUBJECT TO THE DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS GOVERNING THE APPLICABLE FARM SUBDIVISION.
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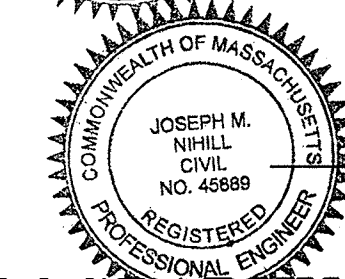
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[Signature] 4/28/14
 JOYCE E. HASTINGS P.L.S. DATE



[Signature] 4/28/14
 JOSEPH M. NIHILL, P.E. DATE

PROPOSED TOPOGRAPHY - 2 OF 2



NOTE:
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 DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.
 DIGSAFE 1-888-DIG-SAFE

OWNERS DEED REFERENCE:
 CEDAR TRAIL TRUST
 RALPH M. COSTELLO, TRUSTEE
 (NORFOLK COUNTY REGISTRY OF DEEDS)
 BOOK 22893, PAGE 600

ZONING CLASSIFICATION:
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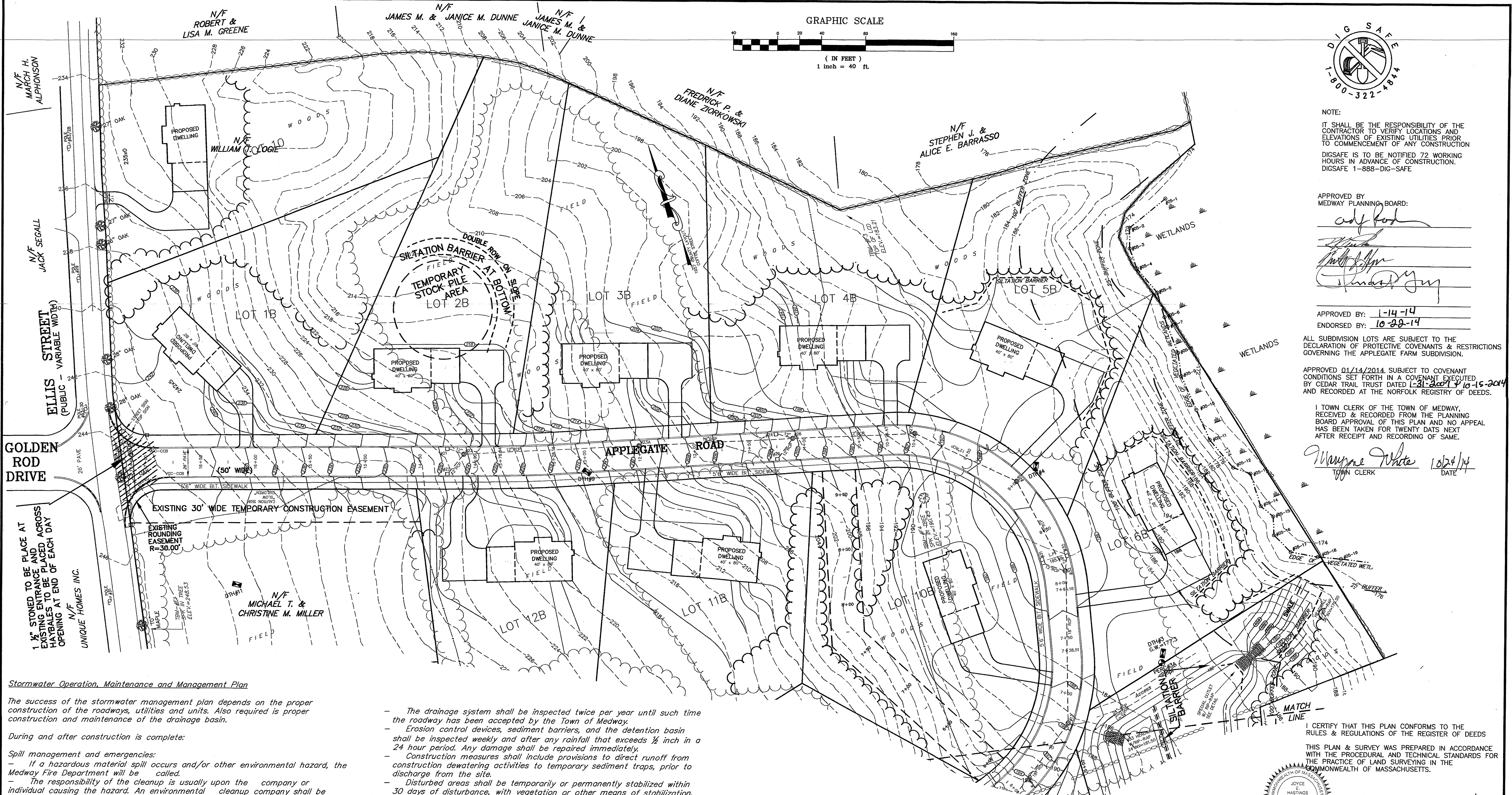
FLOOD MAP REFERENCE:
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DATE	REVISIONS	DES.	FLD:
8/12/13	PLG. BRD. COMMENTS		DMR
4/28/14	CONDITIONS OF APPROVAL		PET
			DWN: PET
			CKD: WML

GLM ENGINEERING CONSULTANTS, INC.
 19 EXCHANGE STREET
 HOLLISTON, MASSACHUSETTS 01746
 (508)429-1100 fax:(508)429-7160

AMENDED DEFINITIVE SUBDIVISION "APPLEGATE FARM" MEDWAY, MASSACHUSETTS
 OWNER: CEDAR TRAIL TRUST, RALPH M. COSTELLO, TRUSTEE, 503 MAIN STREET, MEDFIELD, MASSACHUSETTS 02052
 APPLICANT: UNIQUE HOMES, INC., 503 MAIN STREET, MEDFIELD, MASSACHUSETTS 02052

JOB No. 11130
 DATE: FEBRUARY 20, 2013
 SCALE: 1"=40'
 SHEET No. 8 OF 20



NOTE:
 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
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 DIGSAFE 1-888-DIG-SAFE

APPROVED BY:
 MEDWAY PLANNING BOARD:
 [Signature]
 [Signature]
 [Signature]

APPROVED BY: 1-14-14
 ENDORSED BY: 10-29-14

ALL SUBDIVISION LOTS ARE SUBJECT TO THE DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS GOVERNING THE APPLIGATE FARM SUBDIVISION.

APPROVED 01/14/2014 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CEDAR TRAIL TRUST DATED 12-21-2001 & 10-15-2014 AND RECORDED AT THE NORFOLK REGISTRY OF DEEDS.

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[Signature]
 TOWN CLERK 10/29/14
 DATE

Stormwater Operation, Maintenance and Management Plan

The success of the stormwater management plan depends on the proper construction of the roadways, utilities and units. Also required is proper construction and maintenance of the drainage basin.

During and after construction is complete:

Spill management and emergencies:

- If a hazardous material spill occurs and/or other environmental hazard, the Medway Fire Department will be called.
- The responsibility of the cleanup is usually upon the company or individual causing the hazard. An environmental cleanup company shall be called to remove the hazard, they are trained licensed professionals to handle the situation. The Fire Department has a list of the companies in the area for immediate response for the cleanup.

During construction:
 The contractor shall conduct routine inspections of the following:

- The integrity of the erosion control barriers shall be maintained at all times.
- Sediment accumulation in the detention basin shall be minimized. The catch basins shall be protected from sediment with the use of hay bales and filter fabric. The outlet structure shall be protected with the use of a siltation barrier and any construction sediment shall be removed from the basin prior to completion of the project.
- Proper completion of the detention basin, catch basins, manholes and piping.
- All drainage structures shall be cleaned after vegetation is established.
- Catch Basins shall be inspected monthly and should be cleaned when sediment accumulation exceeds half sump depth. Also, at a minimum, catch basins shall be cleaned twice per year, in the spring following snowmelt, and in the fall after most leaf-drop has occurred.

- The drainage system shall be inspected twice per year until such time the roadway has been accepted by the Town of Medway.
- Erosion control devices, sediment barriers, and the detention basin shall be inspected weekly and after any rainfall that exceeds 1/2 inch in a 24 hour period. Any damage shall be repaired immediately.
- Construction measures shall include provisions to direct runoff from construction dewatering activities to temporary sediment traps, prior to discharge from the site.
- Disturbed areas shall be temporarily or permanently stabilized within 30 days of disturbance, with vegetation or other means of stabilization.
- Temporary erosion and sediment control measures shall be maintained, and not removed until contributing areas are stabilized, and seeded areas have achieved 75% uniform healthy establishment of vegetation.
- Inspections shall be conducted twice per year for all components of the stormwater management system shall be performed for the first two years of operation, and after any rainfall that exceeds 1/2 inch in a 24 hour period. After acceptance of the roadway by the Town of Medway inspections can be made on an annual basis. Upon doing inspections as noted in the checklist, if excess accumulation of sediment or debris is found, inspection and maintenance should be conducted at a more frequent rate as necessary.

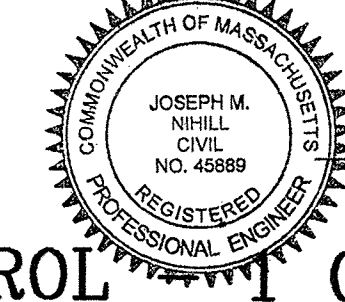
OWNERS DEED REFERENCE:
 CEDAR TRAIL TRUST
 RALPH M. COSTELLO, TRUSTEE
 (NORFOLK COUNTY REGISTRY OF DEEDS)
 BOOK 22893, PAGE 600

ZONING CLASSIFICATION:
 AGRICULTURAL & RESIDENTIAL DISTRICT I (ARI)
 AREA: 44,000 S.F.
 FRONTAGE: 180'
 FRONT SETBACK: 35'
 SIDE SETBACK: 15'
 REAR SETBACK: 15'

FLOOD MAP REFERENCE:
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[Signature]
 JOYCE E. HASTINGS P.L.S. 4/28/14
 DATE



[Signature]
 JOSEPH M. NIHILL, P.E. 4/28/14
 DATE

EROSION CONTROL 1 OF 2

REVISIONS		FLD:
DATE	DESCRIPTION	DES.
8/12/13	PLG. BRD. COMMENTS	DMR
4/28/14	CONDITIONS OF APPROVAL	PET
		DWN:
		PET
		CKD:
		WML

GLM ENGINEERING CONSULTANTS, INC.
 19 EXCHANGE STREET
 HOLLISTON, MASSACHUSETTS 01746
 (508)429-1100 fax:(508)429-7160

AMENDED DEFINITIVE SUBDIVISION "APPLIGATE FARM" MEDWAY, MASSACHUSETTS

OWNER:
 CEDAR TRAIL TRUST
 RALPH M. COSTELLO, TRUSTEE
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052

APPLICANT:
 UNIQUE HOMES, INC.
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052

JOB No. 11130
 DATE: FEBRUARY 20, 2013
 SCALE: 1"=40'
 SHEET No. 9 OF 20

EROSION AND SEDIMENTATION CONTROL:

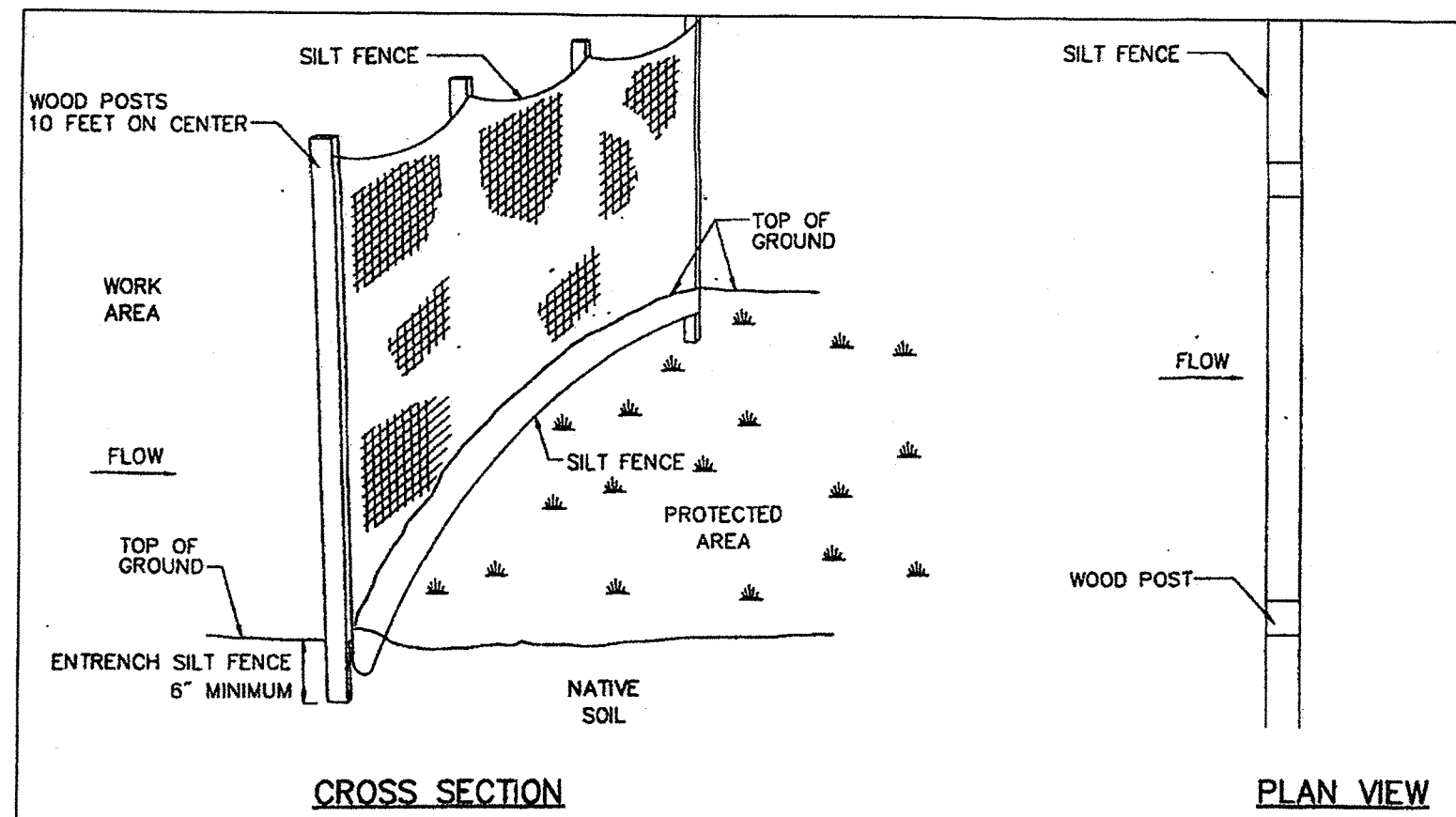
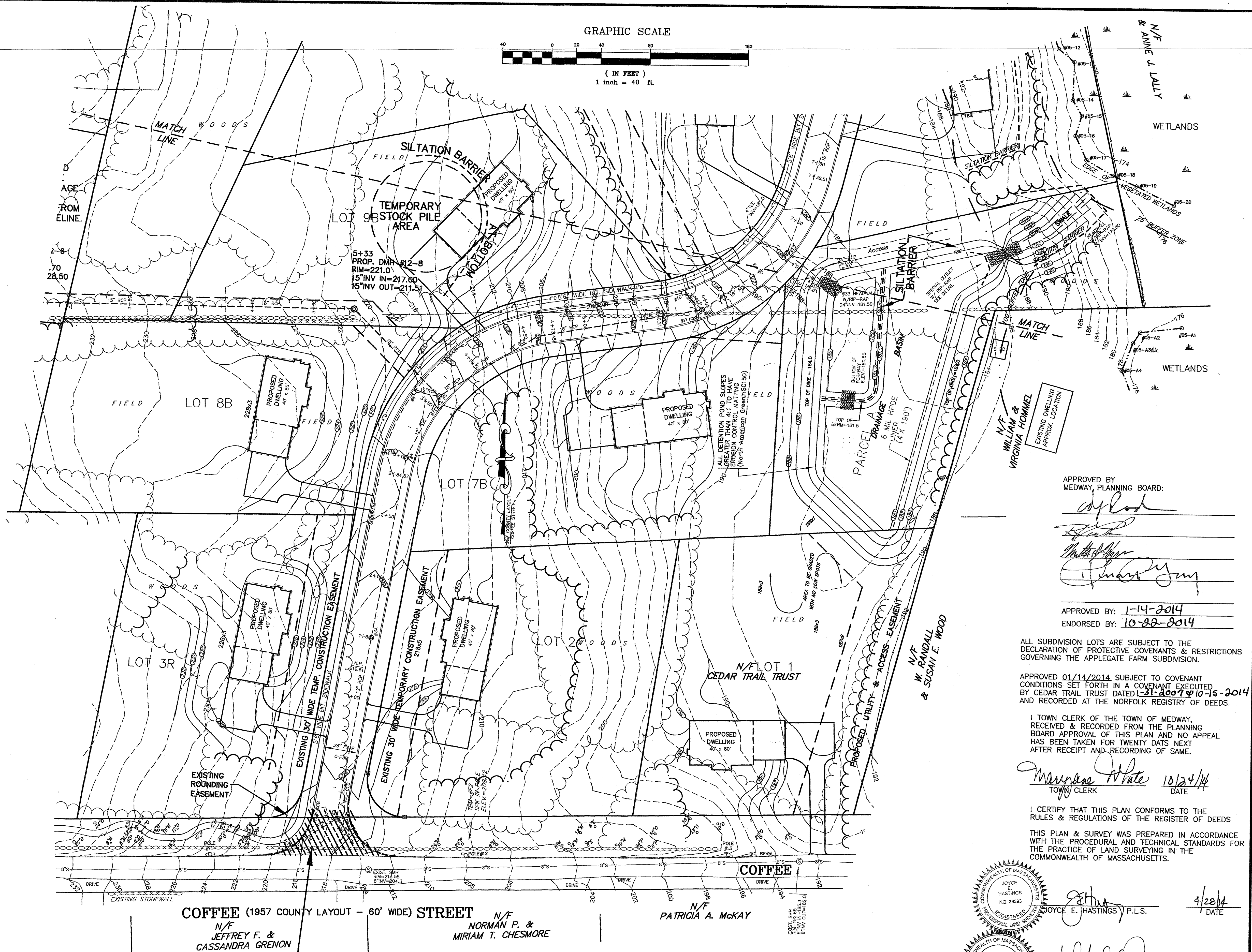
1. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD, WITH SUCH MEASURES IN PLACE AND OBSERVED PRIOR TO ANY WORK STARTING ON THE PROJECT.
2. THE TEMPORARY SEDIMENT BASIN SHALL BE CONSTRUCTED AND HAYBALES INSTALLED ALONG THE BASIN DIKE, PRIOR TO ANY GRADING OF THE ROADWAY. NOTE THAT A SWALE SHALL BE CONSTRUCTED TO ENSURE ANY SURFACE FLOW FROM THE CONSTRUCTION AREA ENTERS THE BASIN.
3. EROSION CONTROL MEASURES SHALL BE MONITORED ON A DAILY BASIS, OR AS NEEDED, AND BE REINFORCED, REPAIRED, OR REPLACED AS NEEDED.
4. AT THE END OF THE WORK DAY EROSION CONTROLS (HAYBALES) SHALL BE REPLACED ALONG THE ENTRANCE TO THE PROJECT SITE AT HIGH STREET AND CROSS STREET.
5. THE EROSION CONTROLS MEASURES SHALL BE INSPECTED PERIODICALLY TO ENSURE THEY ARE MAINTAINED IN GOOD WORKING ORDER. AT A MINIMUM THEY SHALL BE INSPECTED MONTHLY AND WITHIN 24 HOURS OF A RAIN EVENT.

DUST CONTROL PLAN:

1. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL RECEIVE A QUICK ROOTED VEGETATIVE COVER WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADES ARE ESTABLISHED.
2. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR A PERIOD OF NINETY (90) DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDING WHEN WEATHER CONDITIONS ALLOW.
3. THE PROPOSED ROADWAY ENTRANCES SHALL BE COVERED WITH FOUR (4) INCHES OF 1 1/2 INCH CRUSHED STONE TO STABILIZE THE AREA AS SHOWN ON THE PLAN.
4. WATER SPRAYING SHALL BE UTILIZED ON ALL DISTURBED AREAS DURING DRY WEATHER TO PREVENT DUST. WATER SHALL BE KEPT ON SITE AT ALL TIMES DURING THE DURING THE SUMMER MONTHS OF CONSTRUCTION.

TEMPORARY DRAINAGE PLAN:

1. NO AREAS OF THE SITE SHALL BE LEFT DISTURB OR UNVEGETATED FOR MORE THAN SIXTY (60) DAYS.
2. THE TEMPORARY RETENTION BASIN SHALL BE CONSTRUCTED PRIOR TO COMMENCEMENT OF THE ROADWAY CONSTRUCTION.
3. THE TEMPORARY BASIN SHALL BE GRADED AS SHOWN AND LOAMED AND SEEDING WITH A QUICK ROOTED VEGETATED COVER.
4. A HAYBALE DIKE SHALL BE PLACED ACROSS THE NEW ROADWAY AT THE TEMPORARY DRAINAGE BASIN, TO DIRECT SURFACE FLOW INTO THE BASIN. THE HAYBALES SHALL BE INPLACE AT THE END OF EACH WORK DAY AND DURING RAIN EVENTS.
5. THE CATCH BASINS AND MANHOLES SHALL BE INSTALLED, HOWEVER, THEY SHALL NOT BE PUT INTO USE UNTIL SUCH TIME THAT THE ROADWAY BINDER COARSE HAS BEEN INSTALLED.



CONSTRUCTION NOTES:

1. FILTER CLOTH SHALL BE FASTENED SECURELY TO POSTS WITH WIRE TIES OR STAPLES AND POSTS SHALL BE SPACED EVERY 10 FEET.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
3. ENTRENCH SILT FENCE AT LEAST 6".
4. INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED, OR WHEN SEDIMENT ACCUMULATES TO HALF THE HEIGHT OF FENCING.

EROSION CONTROL BARRIER DETAIL

NOT TO SCALE

ZONING CLASSIFICATION:
 AGRICULTURAL & RESIDENTIAL DISTRICT I (ARI)
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AMENDED DEFINITIVE SUBDIVISION "APPLEGATE FARM" MEDWAY, MASSACHUSETTS
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 MEDFIELD, MASSACHUSETTS 02052

JOB No. 11130
 DATE: FEBRUARY 20, 2013
 SCALE: 1"=40'
 SHEET No. 10 OF 20

APPROVED BY MEDWAY PLANNING BOARD:

[Signatures]

APPROVED BY: 1-14-2014
 ENDORSED BY: 10-28-2014

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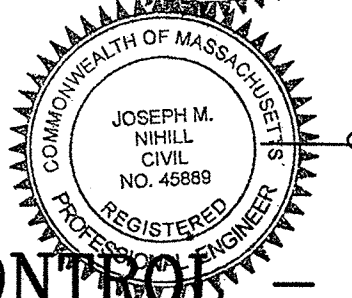
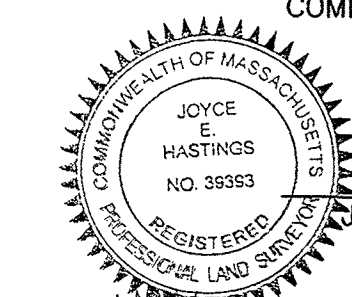
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Maryanne White 10/24/14
 TOWN CLERK DATE

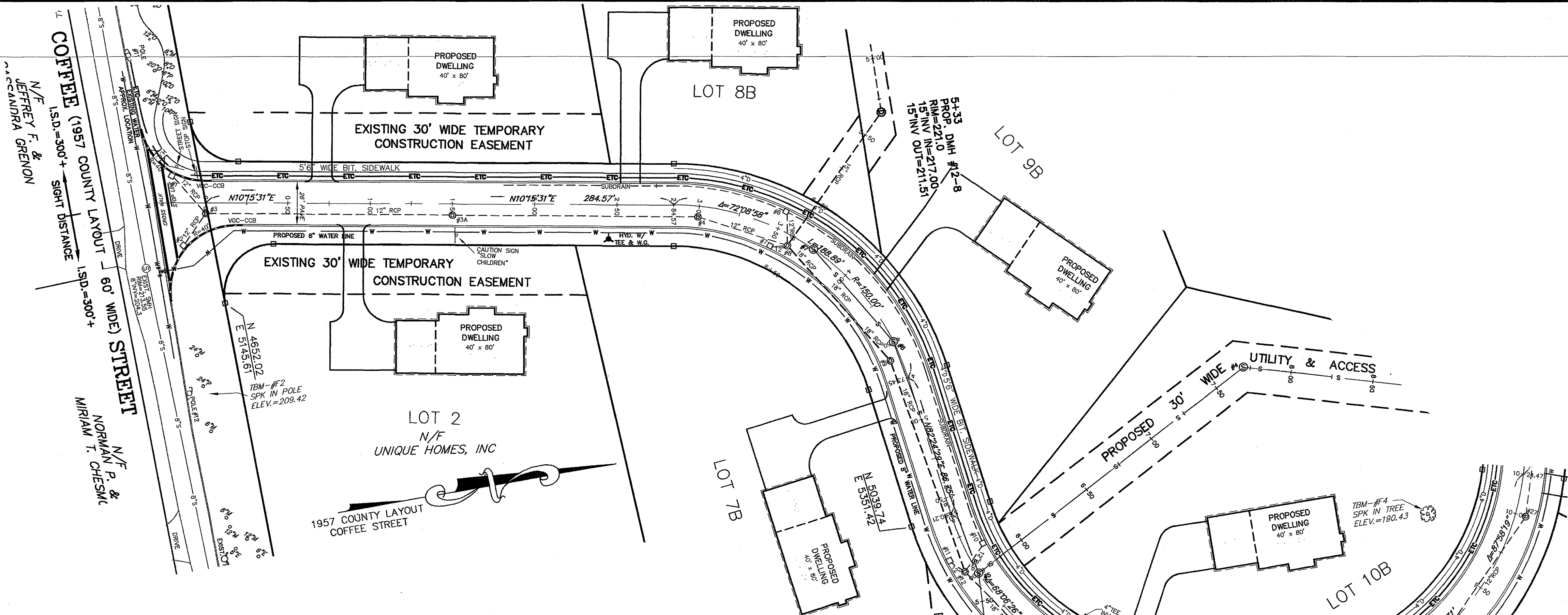
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EROSION CONTROL - 2 OF 2



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APPROVED BY:
 MEDWAY PLANNING BOARD:
 [Signatures]

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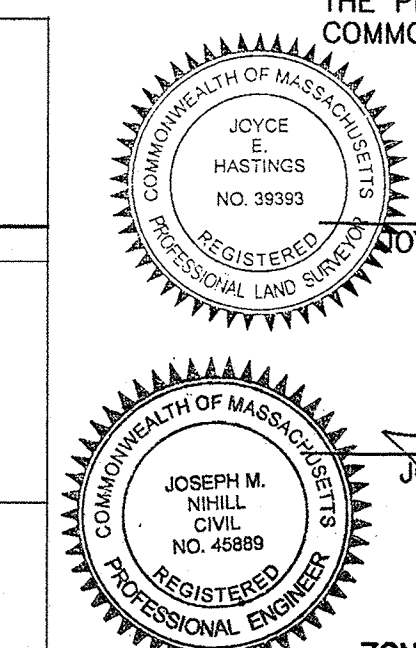
APPROVED 01/14/2014 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CEDAR TRAIL TRUST DATED 1-31-2007 + 10-15-2011 AND RECORDED AT THE NORFOLK REGISTRY OF DEEDS.

I TOWN CLERK OF THE TOWN OF MEDWAY, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

[Signature] 10/24/14
 TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS

THIS PLAN & SURVEY WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



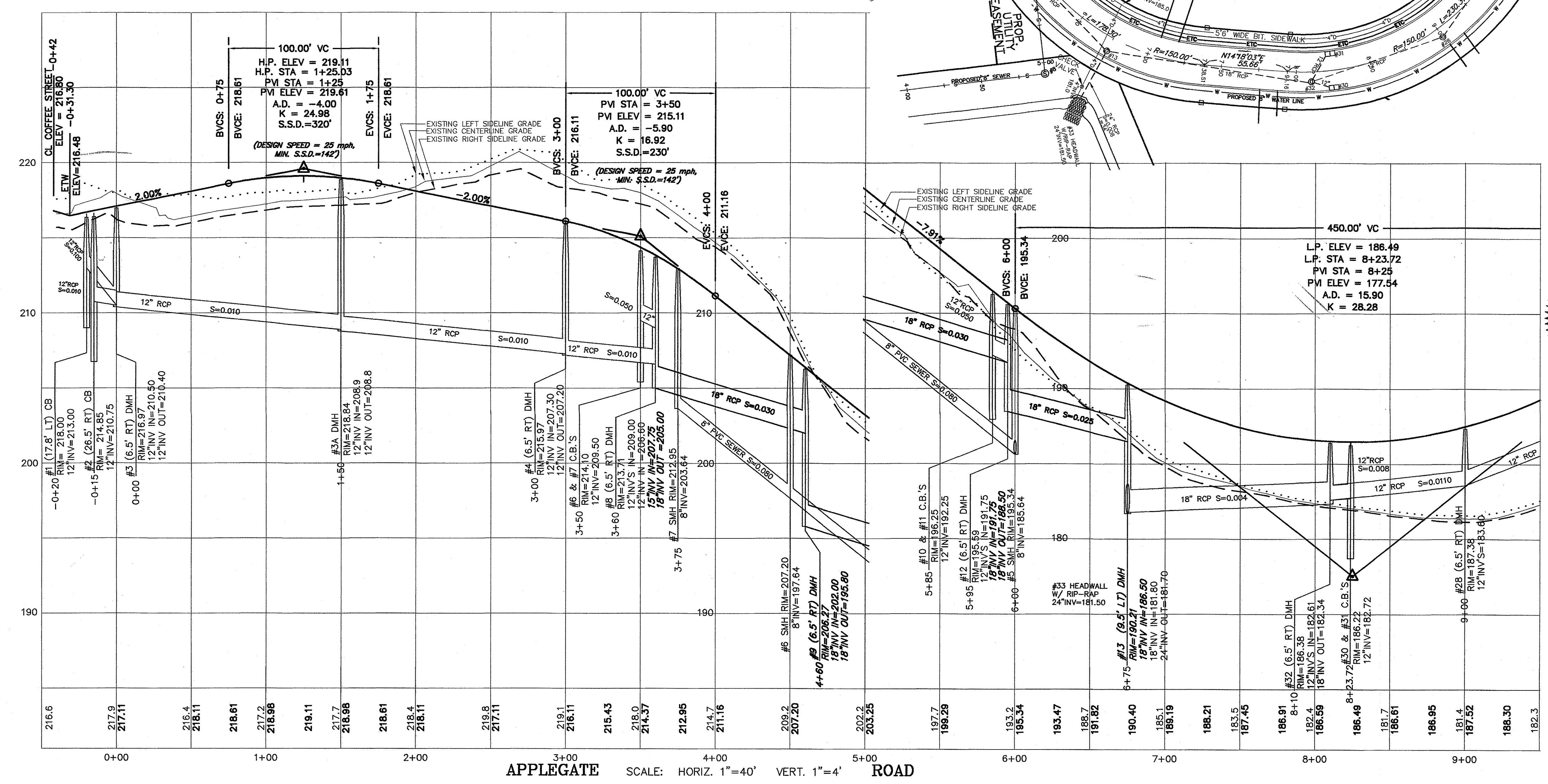
[Signature] 4/28/14
 JOYCE E. HASTINGS, P.L.S. DATE

[Signature] 4/28/14
 JOSEPH M. NIHILL, P.E. DATE

ZONING CLASSIFICATION:
 AGRICULTURAL & RESIDENTIAL DISTRICT I (ARI)
 AREA: 44,000 S.F.
 FRONTAGE: 180'
 FRONT SETBACK: 35'
 SIDE SETBACK: 15'
 REAR SETBACK: 15'

FLOOD MAP REFERENCE:
 LOCUS LIES IN A ZONE C (AREA OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 250243-00058 EFFECTIVE DATE: JUNE 18, 1980.

OWNERS DEED REFERENCE:
 CEDAR TRAIL TRUST
 RALPH M. COSTELLO, TRUSTEE
 (NORFOLK COUNTY REGISTRY OF DEEDS)
 BOOK 22893, PAGE 600



PLAN & PROFILE - 1 OF 2
 AMENDED DEFINITIVE SUBDIVISION
 "APPLGATE FARM"
 MEDWAY, MASSACHUSETTS

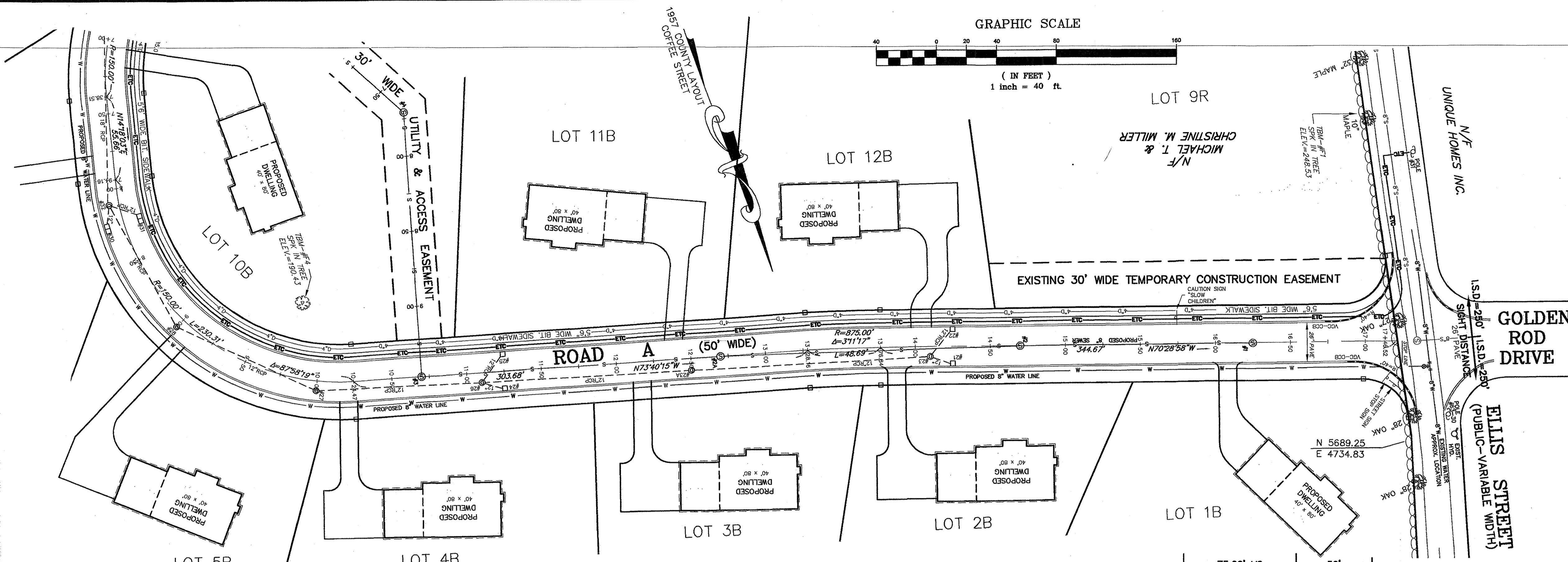
APPLICANT:
 UNIQUE HOMES, INC.
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052

OWNER:
 CEDAR TRAIL TRUST
 RALPH M. COSTELLO, TRUSTEE
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052

GLM ENGINEERING, INC.
 19 EXCHANGE STREET
 HOLLISTON, MASSACHUSETTS 01746
 (608)429-1100 fax:(508)429-7190

DATE	REVISIONS	FLD:
8/12/13	DESCRIPTION	CKD:
4/28/14	PLG. BRD. COMMENTS	DES:
	CONDITIONS OF APPROVAL	DWN:
		CKD:

JOB No. 11130
 SCALE: HOR: 1"=40' VERT: 1"=4'
 DATE: FEBRUARY 20, 2013
 SHEET No. 11 OF 20



NOTE:
 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
 DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.
 DIGSAFE 1-888-DIG-SAFE

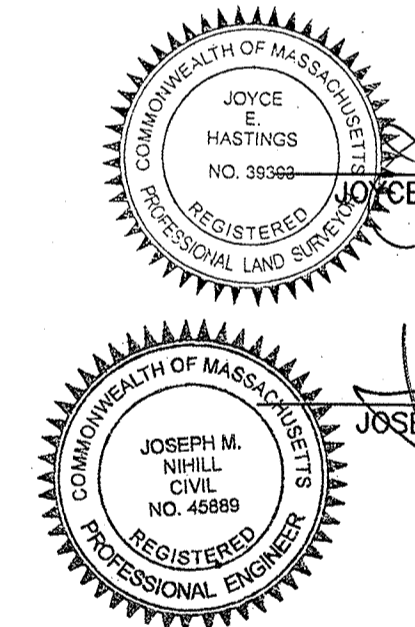


APPROVED BY
 MEDWAY PLANNING BOARD:
 [Signatures]
 APPROVED BY: 1-14-2014
 ENDORSED BY: 10-22-2014

ALL SUBDIVISION LOTS ARE SUBJECT TO THE DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS GOVERNING THE APPLIGATE FARM SUBDIVISION.
 APPROVED 01/14/2014 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CEDAR TRAIL TRUST DATED 1-31-2007 & 10-15-2011 AND RECORDED AT THE NORFOLK REGISTRY OF DEEDS.

I TOWN CLERK OF THE TOWN OF MEDWAY, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.
 [Signature] 10/24/14
 TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS
 THIS PLAN & SURVEY WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

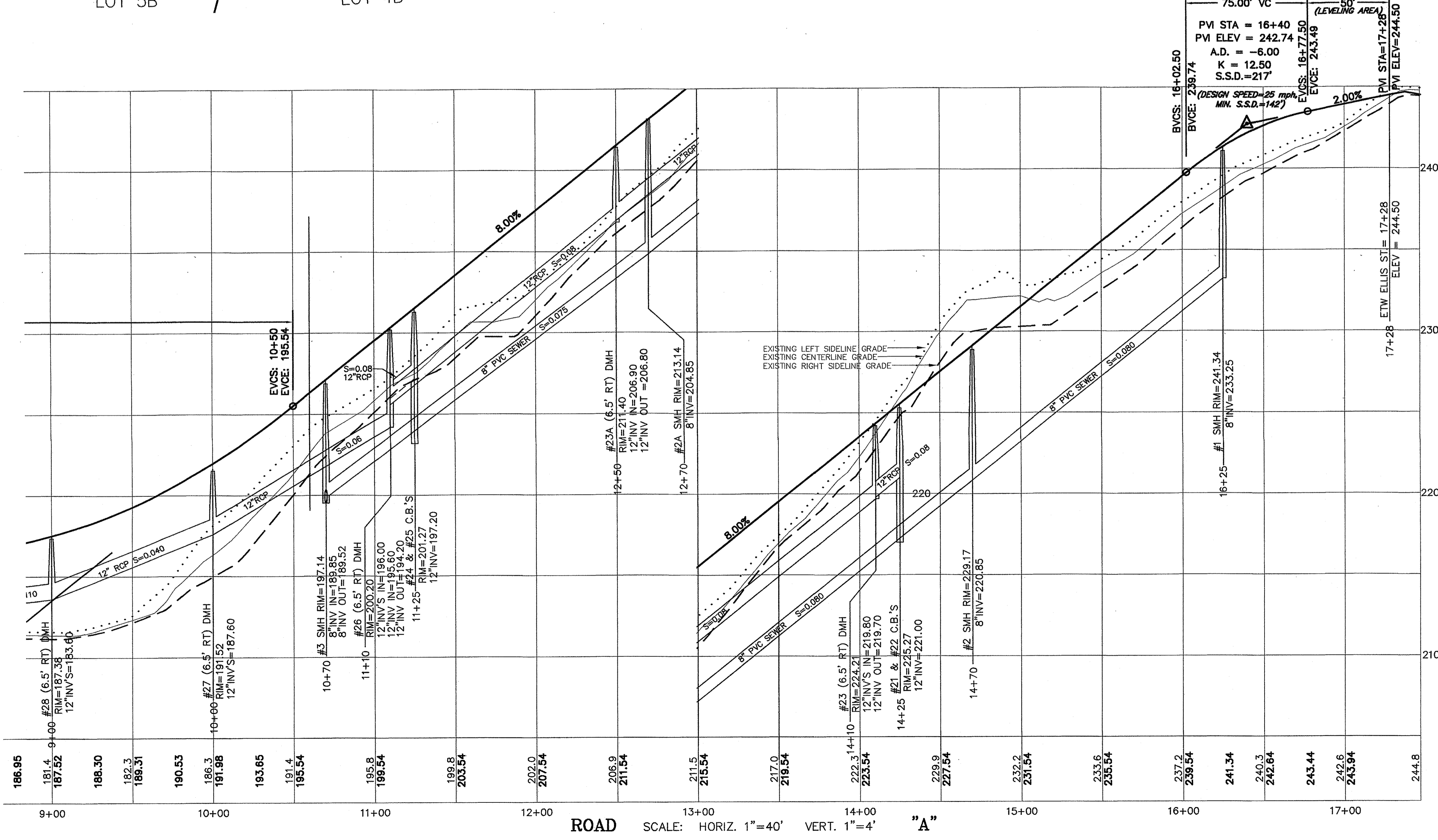


[Signature] 4/28/14
 JOSEPH E. HASTINGS, P.L.S. DATE
 [Signature] 4/28/14
 JOSEPH M. NIHILL, P.E. DATE

ZONING CLASSIFICATION:
 AGRICULTURAL & RESIDENTIAL DISTRICT I (ARI)
 AREA: 44,000 S.F.
 FRONTAGE: 180'
 FRONT SETBACK: 35'
 SIDE SETBACK: 15'
 REAR SETBACK: 15'

FLOOD MAP REFERENCE:
 LOCUS LIES IN A ZONE C (AREA OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 250243-0005B EFFECTIVE DATE: JUNE 18, 1980.

OWNERS DEED REFERENCE:
 CEDAR TRAIL TRUST
 RALPH M. COSTELLO, TRUSTEE
 (NORFOLK COUNTY REGISTRY OF DEEDS)
 BOOK 22893, PAGE 600



PLAN & PROFILE - 2 OF 2
 AMENDED DEFINITIVE SUBDIVISION
 "APPLIGATE FARM"
 MEDWAY, MASSACHUSETTS
 APPLICANT:
 UNIQUE HOMES, INC.
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052

GLM ENGINEERING
 CONSULTANTS, INC.
 19 EXCHANGE STREET
 HOLLISTON, MASSACHUSETTS 01746
 (508)429-1100 fax:(508)429-7180

DATE	DESCRIPTION	REVISED	BY
8/12/13	PLG. BRD. COMMENTS		
4/28/14	CONDITIONS OF APPROVAL		

JOB No. 11130
 SCALE: HOR: 1"=40' VERT: 1"=4'
 DATE: FEBRUARY 20, 2013
 SHEET No. 12 OF 20

NOTE:
 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
 DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.
 DIGSAFE 1-888-DIG-SAFE



APPROVED BY
 MEDWAY PLANNING BOARD:

[Signatures]

APPROVED BY: 1-14-2014
 ENDORSED BY: 10-22-2014

ALL SUBDIVISION LOTS ARE SUBJECT TO THE DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS GOVERNING THE APPLIGATE FARM SUBDIVISION.

APPROVED 01/14/2014 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CEDAR TRAIL TRUST DATED 1-31-2007 & 10-15-2014 AND RECORDED AT THE NORFOLK REGISTRY OF DEEDS.

I, TOWN CLERK OF THE TOWN OF MEDWAY, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

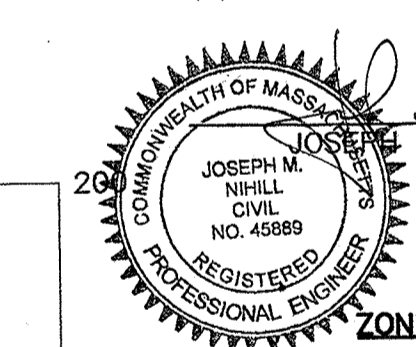
Marygro White 10/24/14
 TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS

THIS PLAN & SURVEY WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



[Signature] JOYCE E. HASTINGS P.L.S. 4/28/14 DATE



[Signature] JOSEPH M. NIHILL, P.E. 4/28/14 DATE

ZONING CLASSIFICATION:
 AGRICULTURAL & RESIDENTIAL DISTRICT I (ARI)
 AREA: 44,000 S.F.,
 FRONTAGE: 180',
 FRONT SETBACK: 35',
 SIDE SETBACK: 15',
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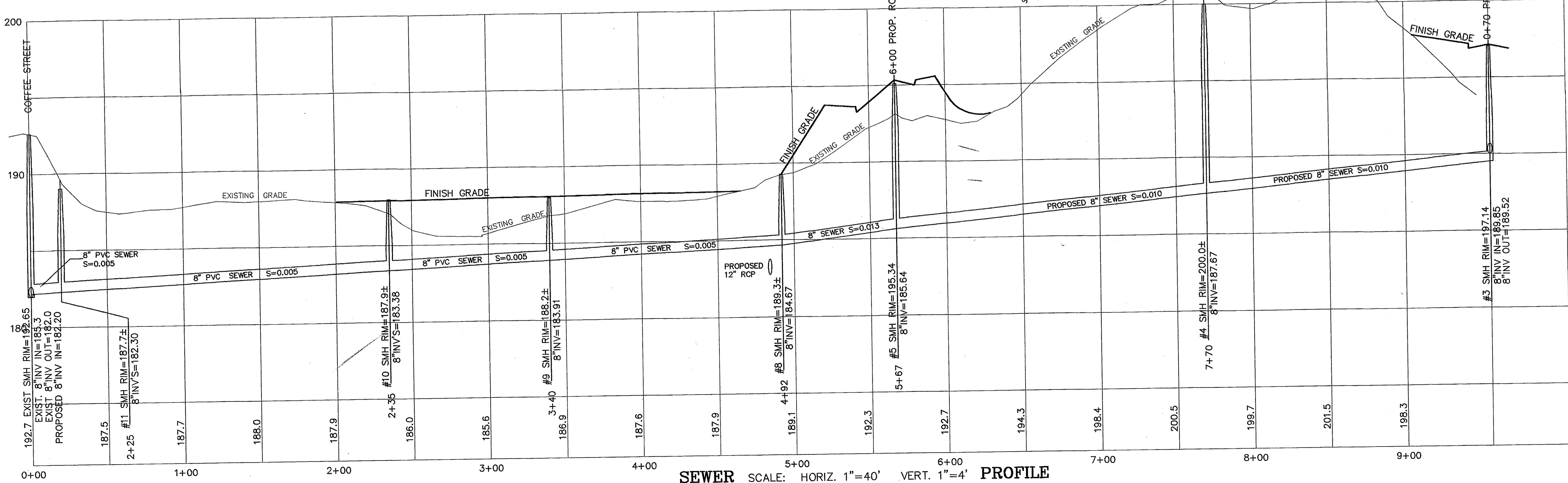
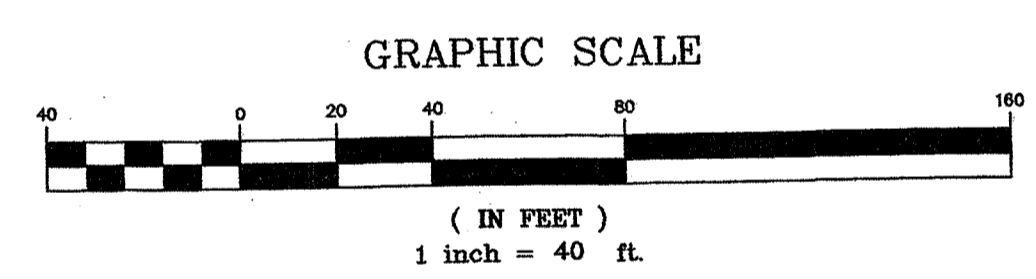
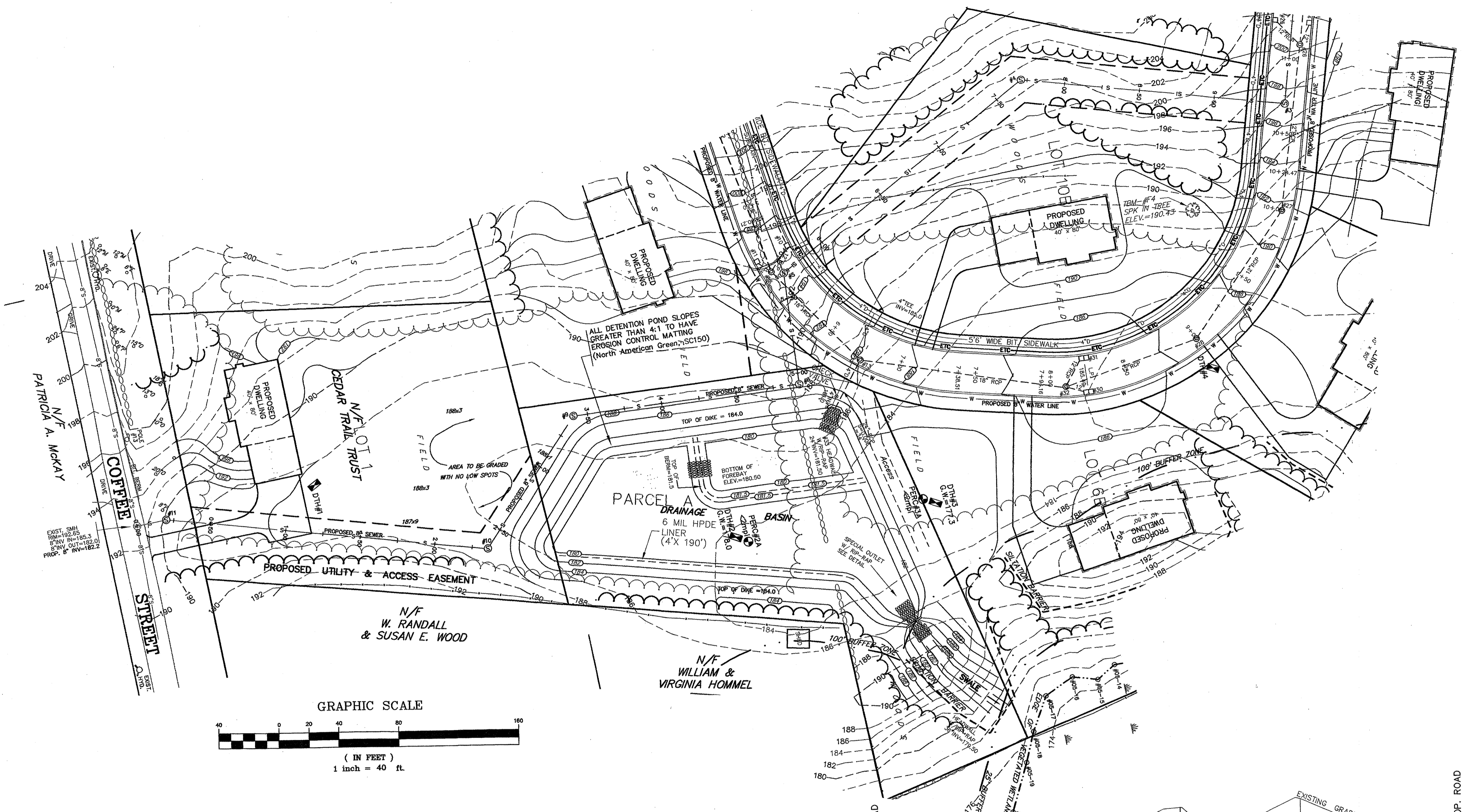
OWNERS DEED REFERENCE:
 CEDAR TRAIL TRUST
 RALPH M. COSTELLO, TRUSTEE
 (NORFOLK COUNTY REGISTRY OF DEEDS)
 BOOK 22893, PAGE 600

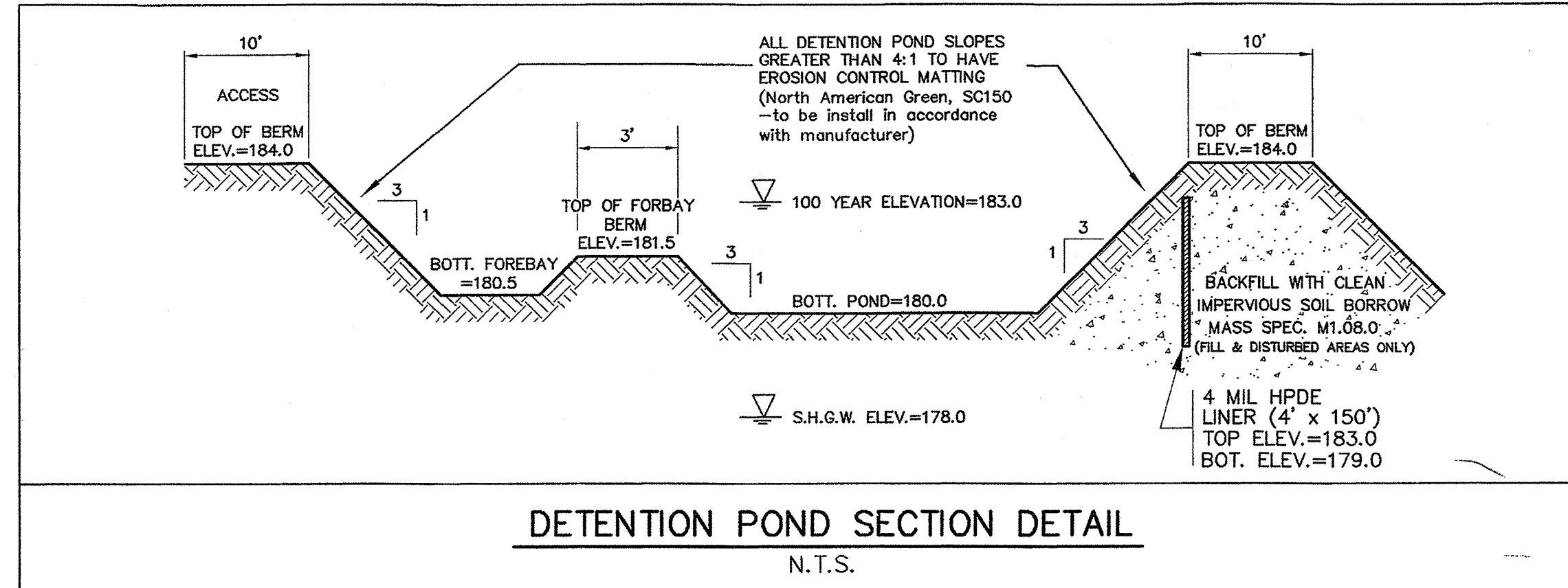
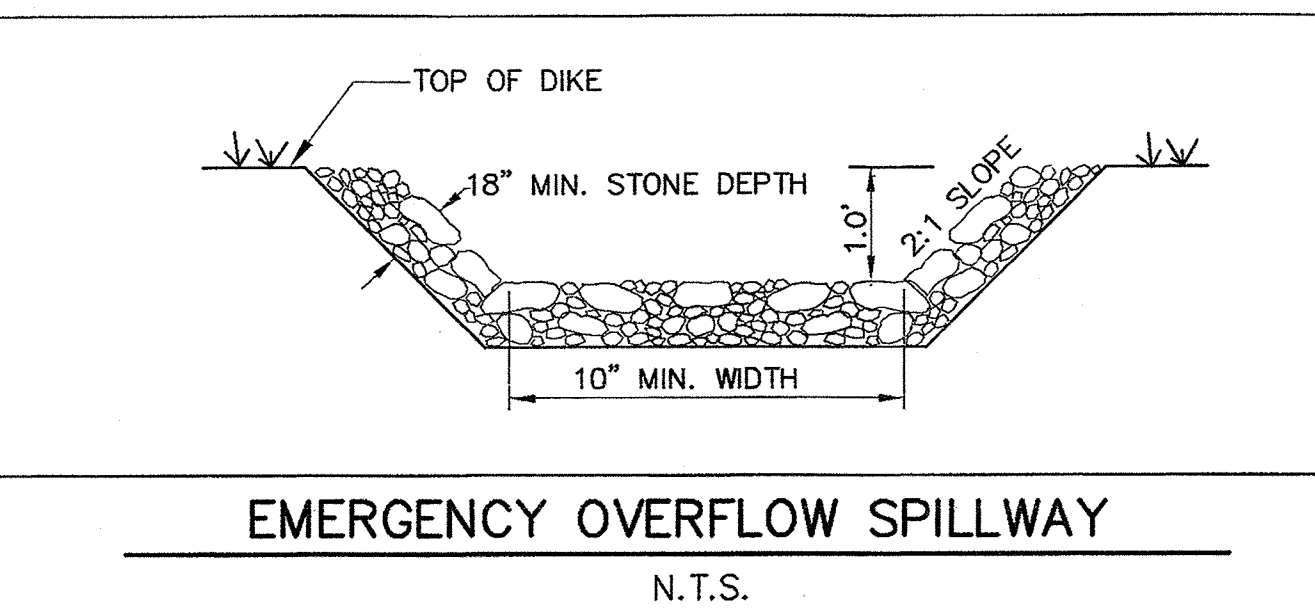
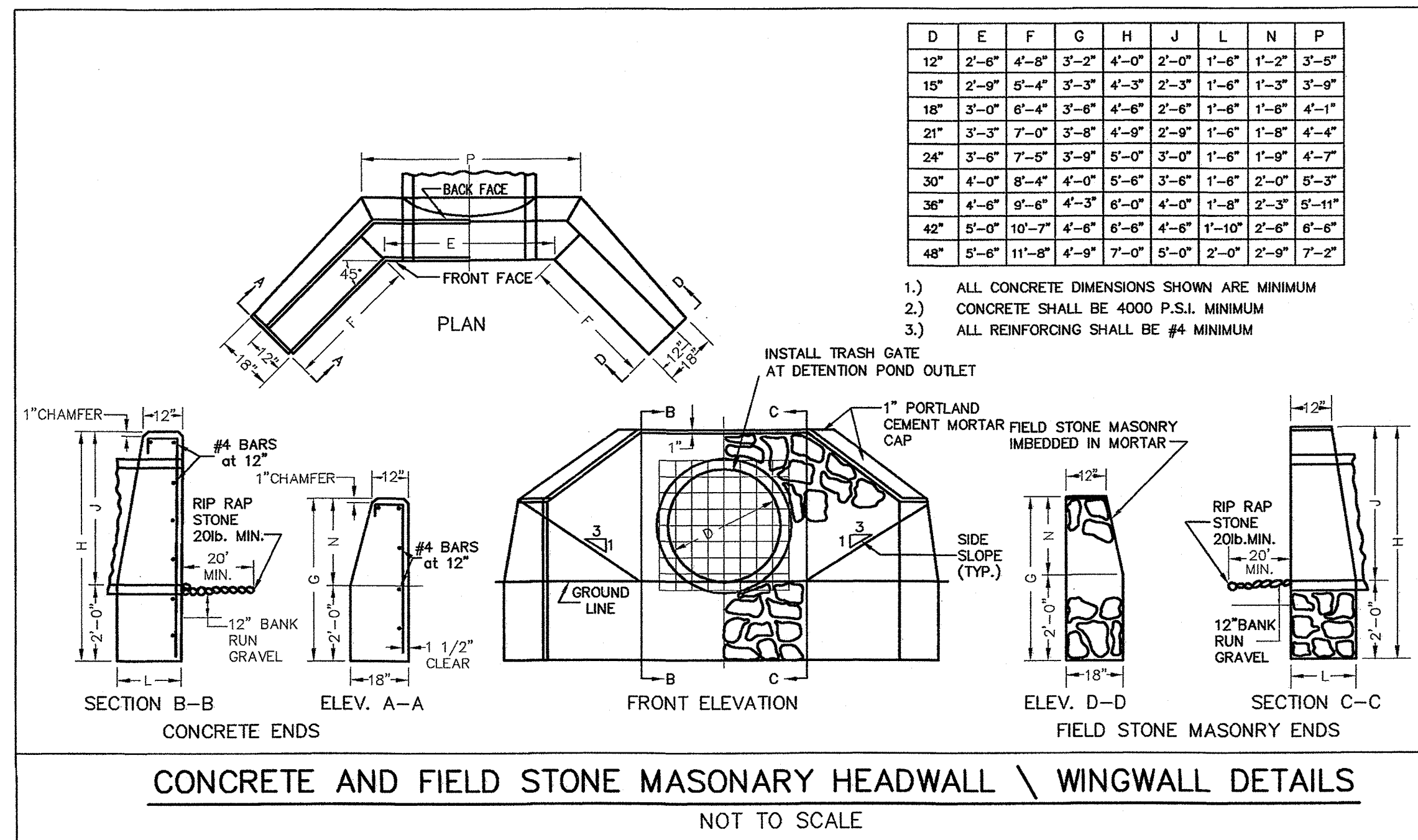
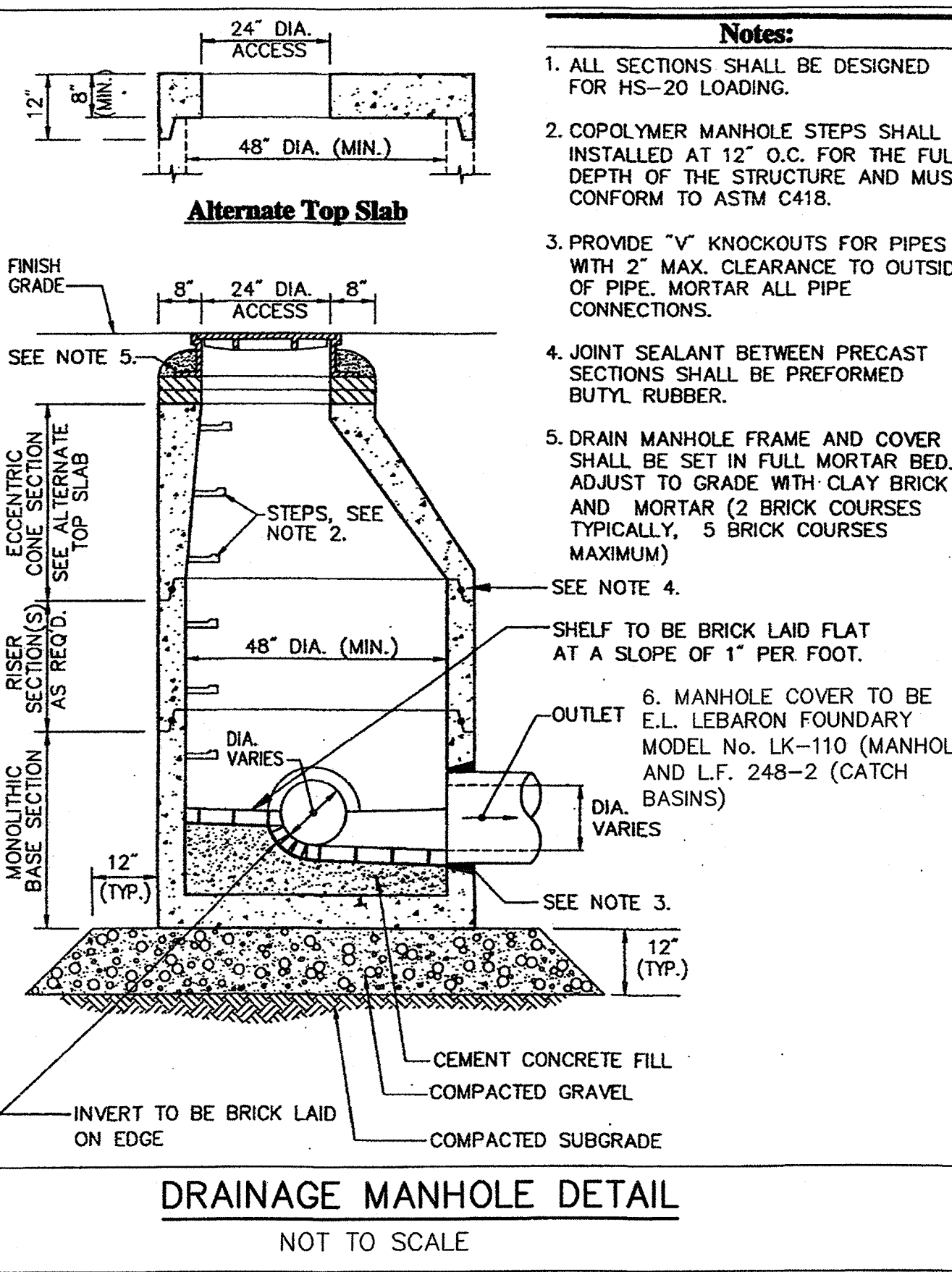
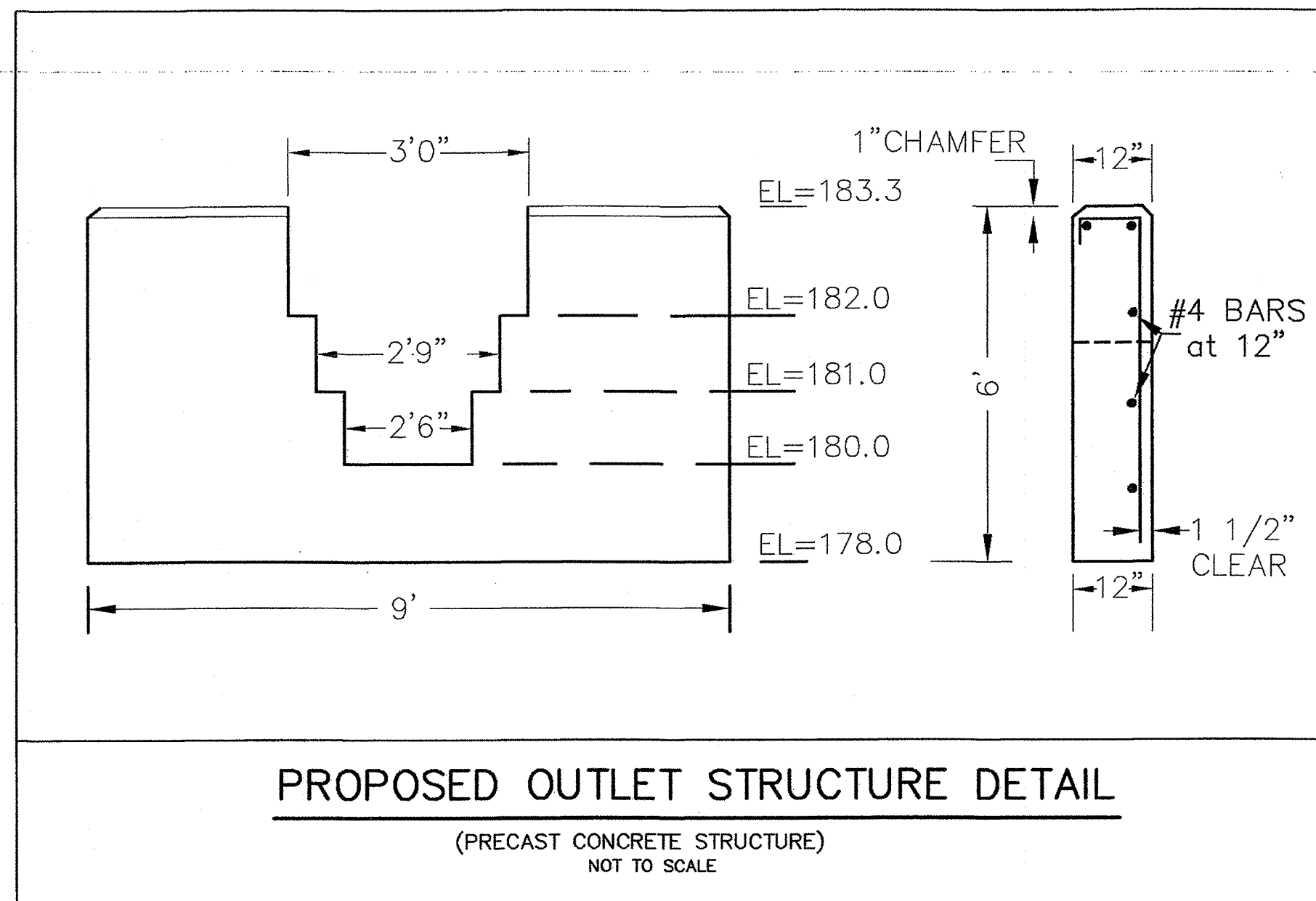
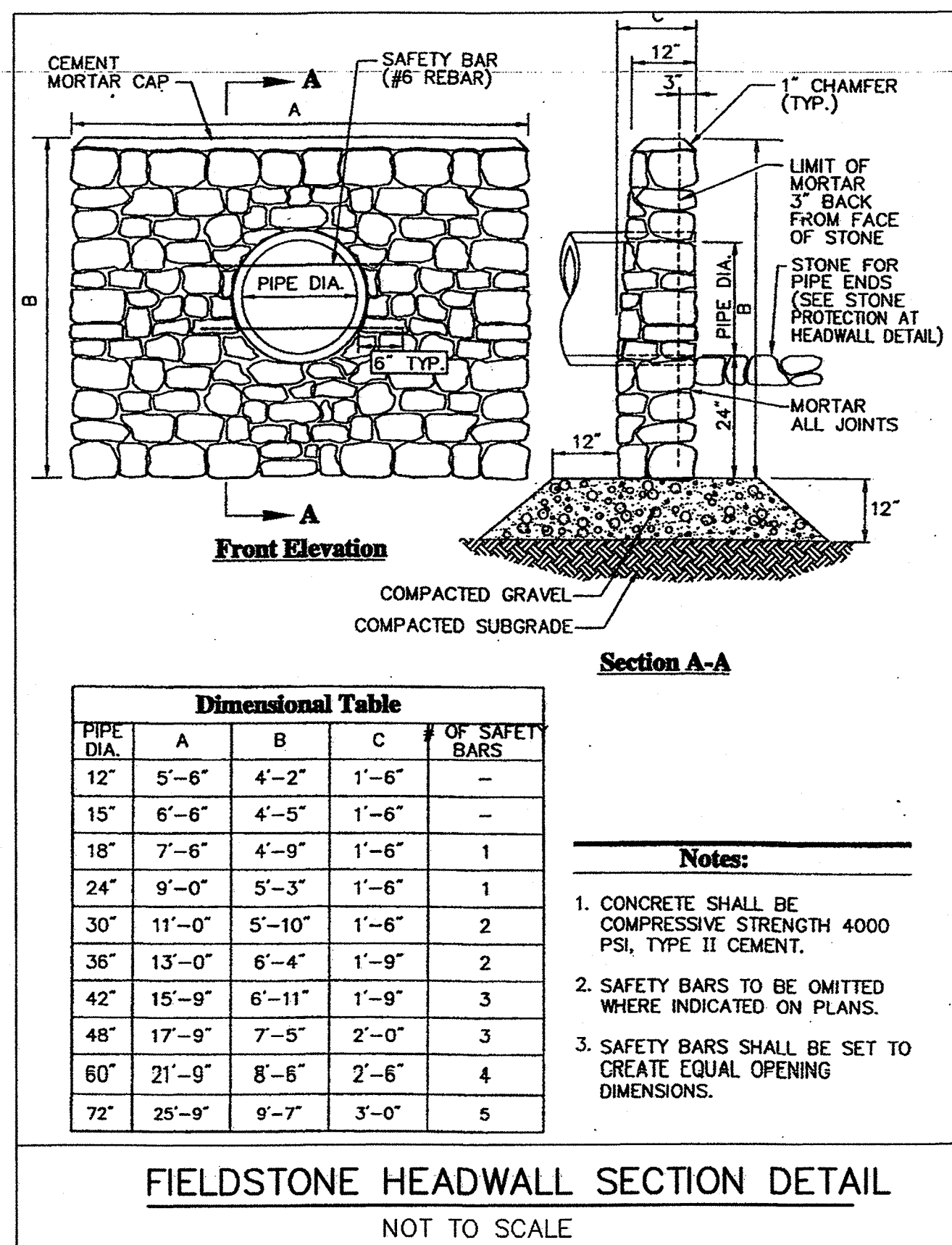
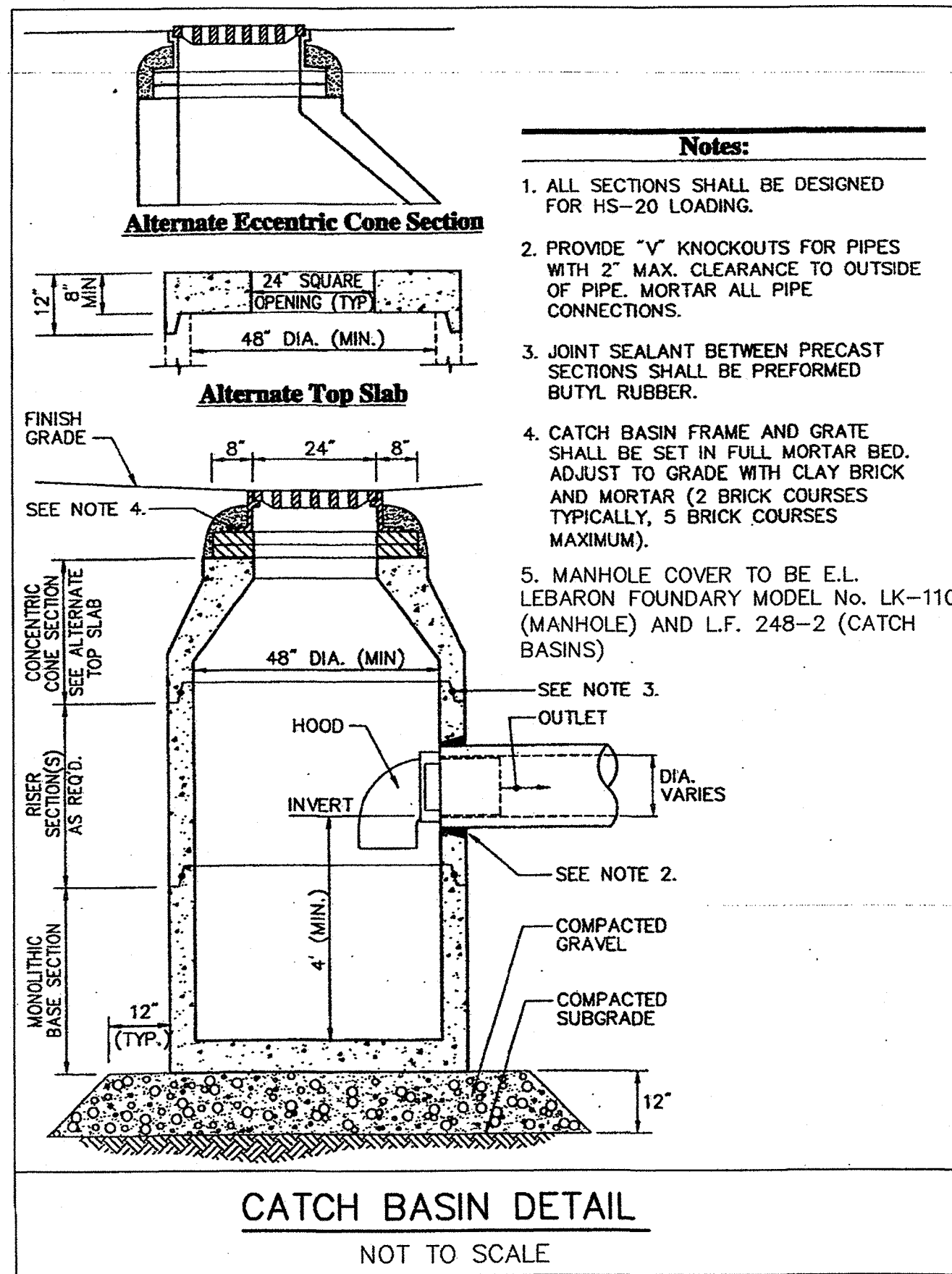
SEWER PROFILE
AMENDED DEFINITIVE SUBDIVISION
"APPLIGATE FARM"
MEDWAY, MASSACHUSETTS
 APPLICANT: UNIQUE HOMES, INC.
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052
 OWNER: CEDAR TRAIL TRUST
 RALPH M. COSTELLO, TRUSTEE
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052

GLM ENGINEERING
CONSULTANTS, INC.
 19 EXCHANGE STREET
 HOLLISTON, MASSACHUSETTS 01746
 (508) 429-1100 fax: (508) 429-7180

DATE	DESCRIPTION	REVISIONS	CKD.
8/12/13	P.L.G. COMMENTS		
4/28/14	CONDITIONS OF APPROVAL		

JOB No. 11130
 SCALE: HOR: 1"=40' VERT: 1"=4'
 DATE: FEBRUARY 20, 2013
 SHEET No. 13 OF 20





NOTE:
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.
DIGSAFE 1-888-DIG-SAFE



APPROVED BY:
MEDWAY PLANNING BOARD:
[Signature]
[Signature]
[Signature]

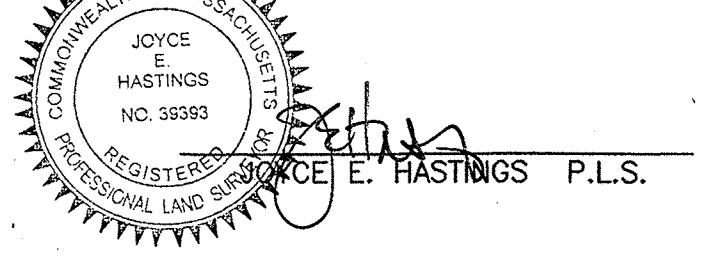
APPROVED BY: 1-14-2014
ENDORSED BY: 10-22-2014

ALL SUBDIVISION LOTS ARE SUBJECT TO THE DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS GOVERNING THE APPLGATE FARM SUBDIVISION.
APPROVED 01/14/2014 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CEDAR TRAIL TRUST DATED 1-31-2007 & 10-15-2014 AND RECORDED AT THE NORFOLK REGISTRY OF DEEDS.

I TOWN CLERK OF THE TOWN OF MEDWAY, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

[Signature] 10/24/14
TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS
THIS PLAN & SURVEY WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



[Signature] 4/28/14
JOSEPH M. NIHILL, P.E. DATE

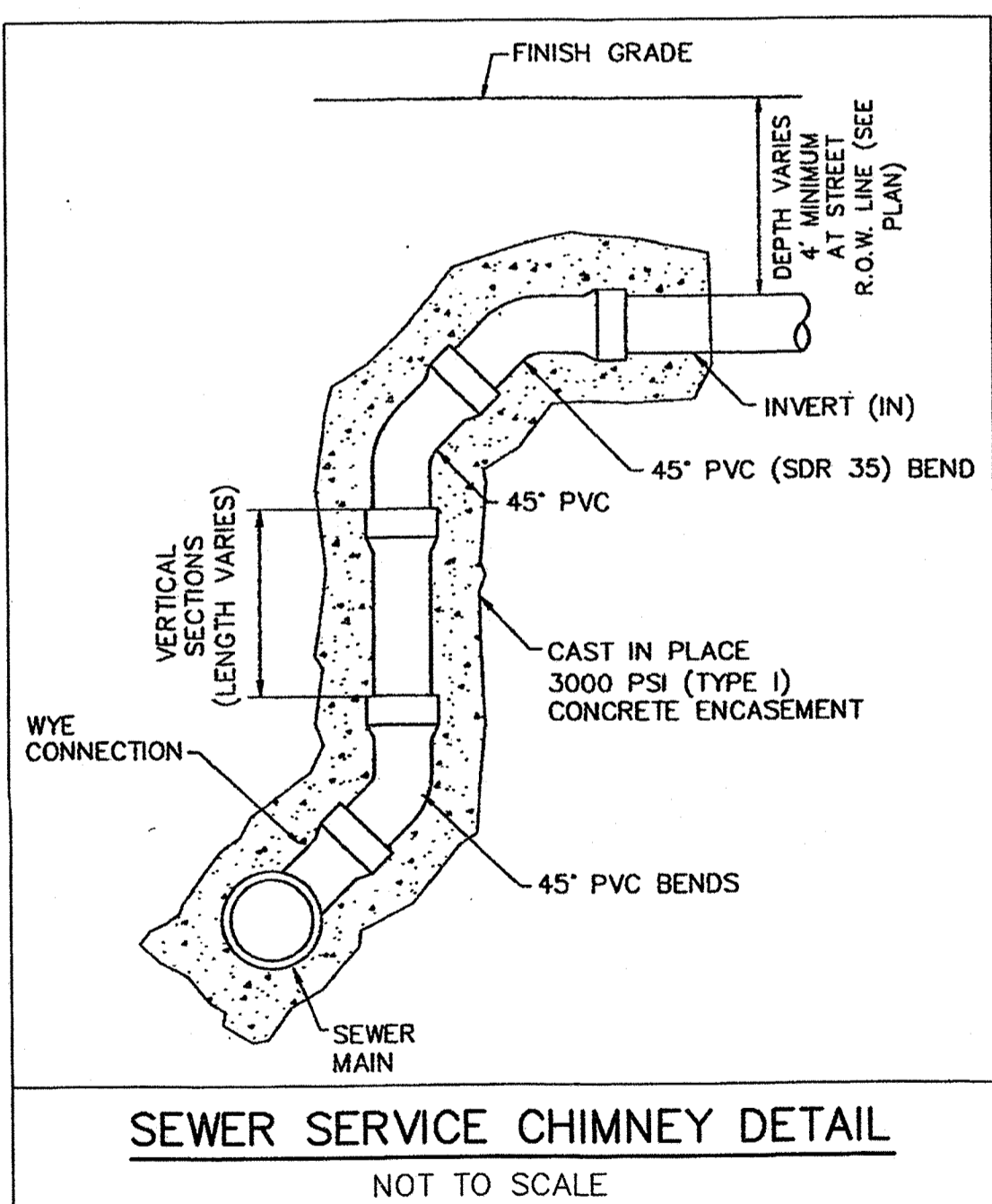
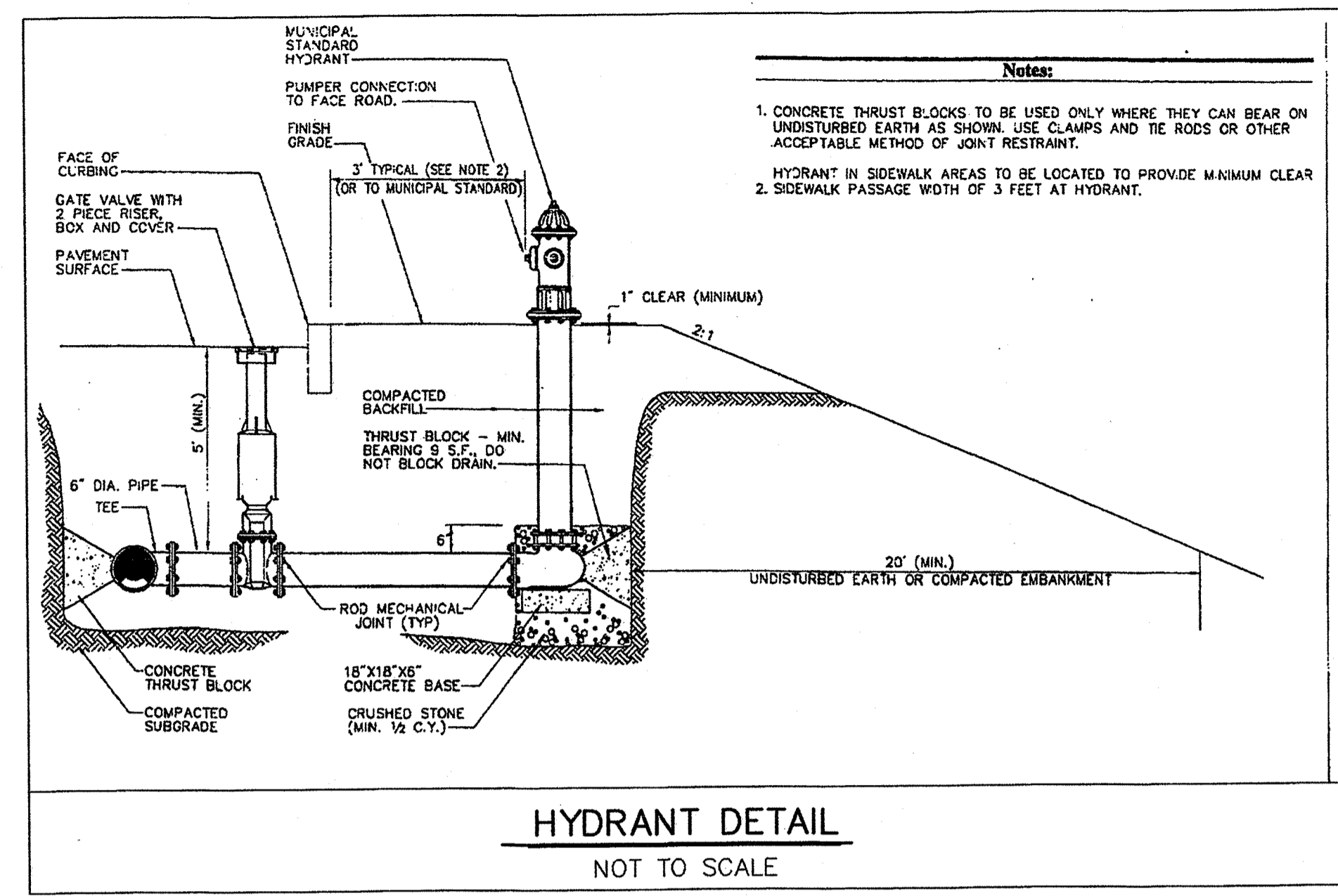
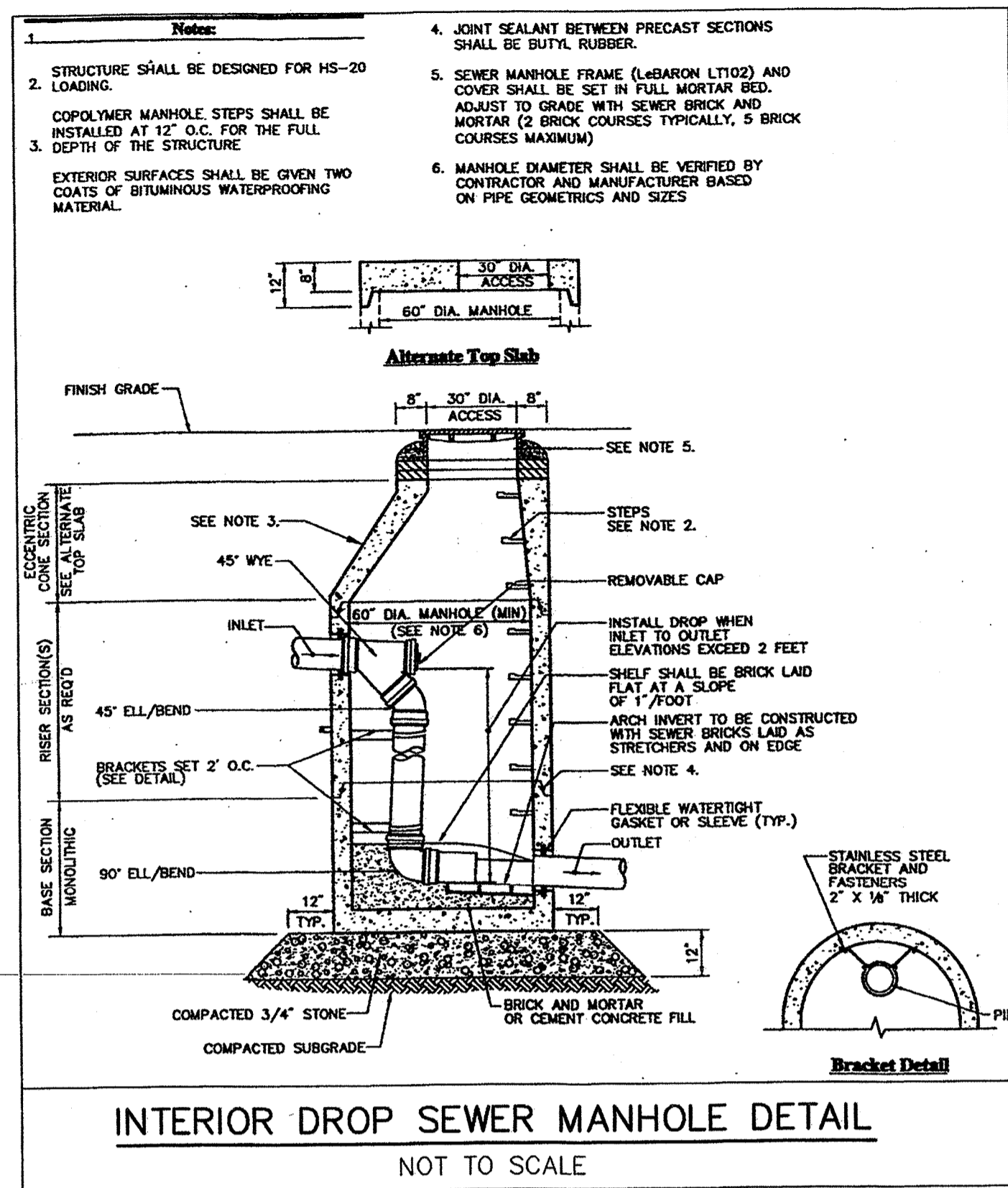


DRAINAGE DETAILS

AMENDED DEFINITIVE SUBDIVISION
"APPLGATE FARM"
MEDWAY, MASSACHUSETTS
APPLICANT:
UNIQUE HOMES, INC.
503 MAIN STREET
MEDFIELD, MASSACHUSETTS 02052
OWNER:
CEDAR TRAIL TRUST
RALPH M. COSTELLO TRUSTEE
MEDFIELD, MASSACHUSETTS 02052

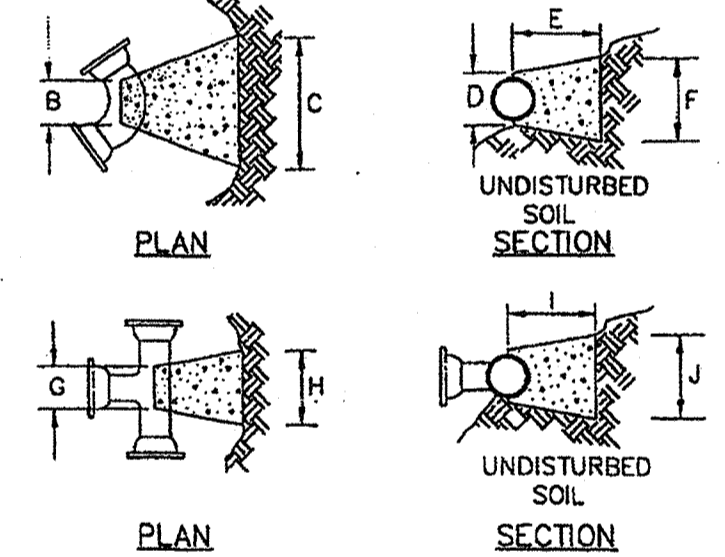
GLM ENGINEERING
CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7180

DATE	DESCRIPTION	FLD:	CKD:
8/12/13	PLG. BRD. COMMENTS		
4/28/14	CONDITIONS OF APPROVAL		
JOB No. 11130			
SCALE: N.T.S.			
DATE: FEBRUARY 20, 2013			
SHEET No. 16 OF 20			



BENDS						BENDS						
B	C	D	E	F		B	C	D	E	F		
6"	11-1/2"	8"	15"	12"	24"	12"	6"	45"	8"	30"	12"	24"
6"	22-1/2"	-	19"	-	-	12"	90"	30"	-	30"	-	27"
8"	11-1/2"	-	20"	-	-	12"	90"	30"	-	30"	-	24"
8"	22-1/2"	-	22"	-	-	12"	90"	36"	-	40"	-	36"
12"	11-1/2"	-	30"	-	-	12"	45"	40"	-	40"	-	40"
12"	22-1/2"	-	35"	-	-	12"	90"	60"	-	40"	-	52"

TEES				TEES				
G	H	I	J	G	H	I	J	
6" x 6" x 6"	12"	24"	24"	18"	12" x 2" x 6"	12"	24"	24"
8" x 8" x 6"	-	-	-	-	12" x 12" x 8"	-	-	24"
8" x 8" x 8"	-	-	-	24"	12" x 12" x 12"	-	-	36"



- NOTES:**
- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES AND VERTICAL BENDS, SAME SIZE AS REQUIRED FOR TEES.
 - PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 - CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.

NOTE:
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DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.
DIGSAFE 1-888-DIG-SAFE



APPROVED BY
MEDWAY PLANNING BOARD:

[Signature]

APPROVED BY: 1-14-2014
ENDORSED BY: 10-22-2014

ALL SUBDIVISION LOTS ARE SUBJECT TO THE DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS GOVERNING THE APPLGATE FARM SUBDIVISION.

APPROVED 01/14/2014 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CEDAR TRAIL TRUST DATED 1-31-2007 & 10-15-2014 AND RECORDED AT THE NORFOLK REGISTRY OF DEEDS.

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[Signature] 10/24/14
TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS

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[Signature] 4/28/14
JOYCE E. HASTINGS P.L.S. DATE

[Signature] 4/28/14
JOSEPH M. NIHILL, P.E. DATE

WATER & SEWER DETAILS

AMENDED DEFINITIVE SUBDIVISION "APPLGATE FARM" MEDWAY, MASSACHUSETTS

APPLICANT:
UNIQUE HOMES, INC.
503 MAIN STREET
MEDFIELD, MASSACHUSETTS 02052

OWNER:
CEDAR TRAIL TRUST
RALPH M. COSTELLO, TRUSTEE
MEDFIELD, MASSACHUSETTS 02052

GLM ENGINEERING CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7160

REVISIONS	DESCRIPTION	DATE	BY	CHKD.
	PLG. BRD. COMMENTS	8/12/13		
	CONDITIONS OF APPROVAL	4/28/14		

JOB No. 11130
SCALE: N.T.S.
DATE: FEBRUARY 20, 2013
SHEET No. 17 OF 20

NOTES:
ALL WATER DETAILS MANUFACTURERS & CONSTRUCTION STANDARDS SHALL CONFORM TO THE TOWN OF MEDWAY STANDARDS.

NOTE:
 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION
 DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.
 DIGSAFE 1-888-DIG-SAFE



APPROVED BY
 MEDWAY PLANNING BOARD:
 [Signatures]

APPROVED BY: 1-14-2014
 ENDORSED BY: 10-22-2014

ALL SUBDIVISION LOTS ARE SUBJECT TO THE DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS GOVERNING THE APPLIGATE FARM SUBDIVISION.

APPROVED 01/14/2014 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CEDAR TRAIL TRUST DATED 1-31-2007 & 10-15-2014 AND RECORDED AT THE NORFOLK REGISTRY OF DEEDS.

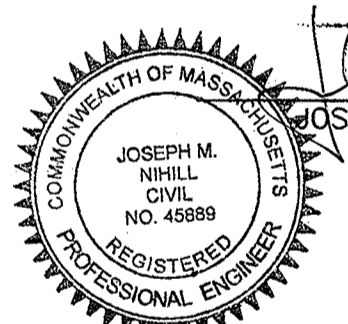
I TOWN CLERK OF THE TOWN OF MEDWAY, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

Mary White 10/24/14
 TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS
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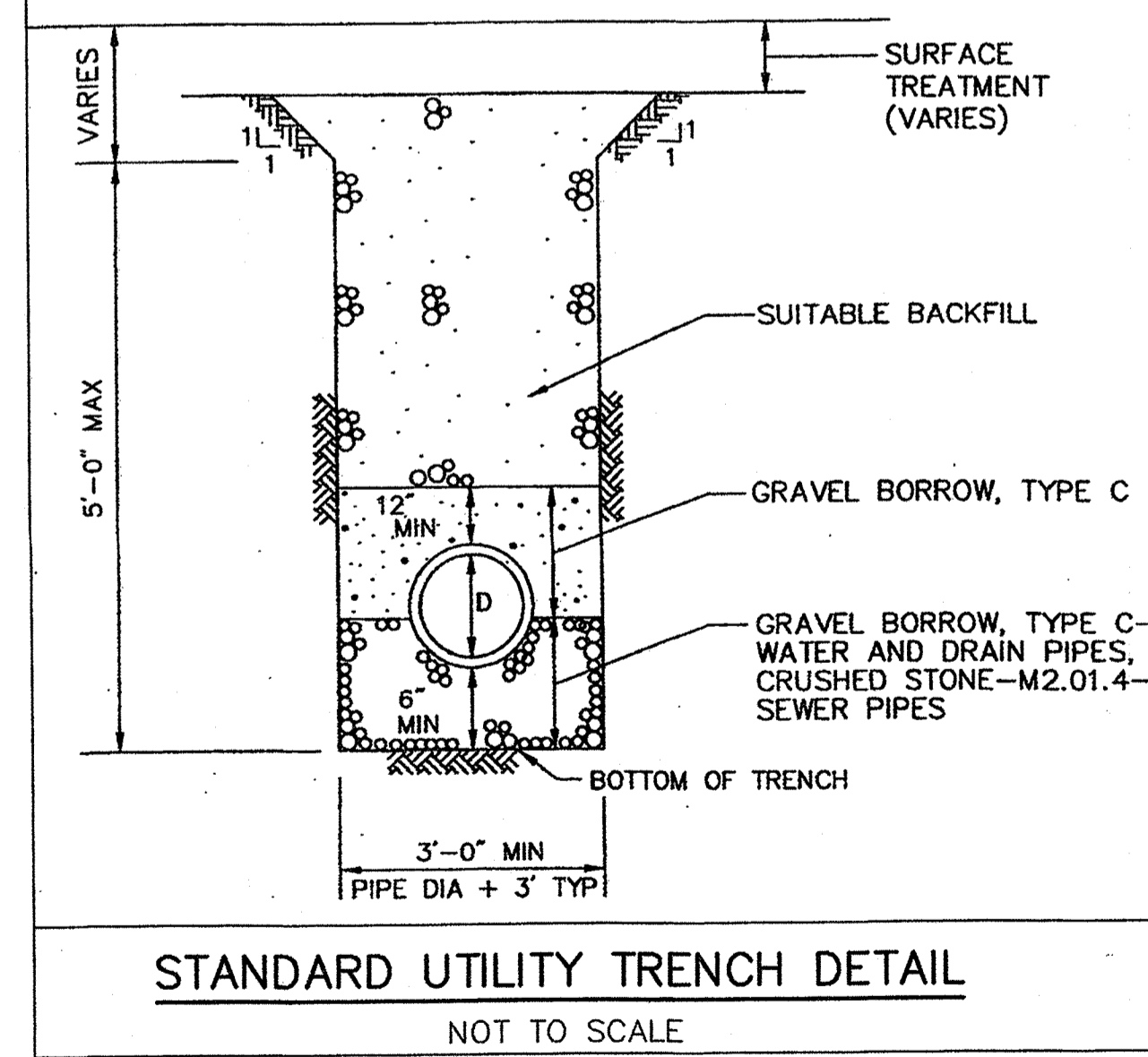
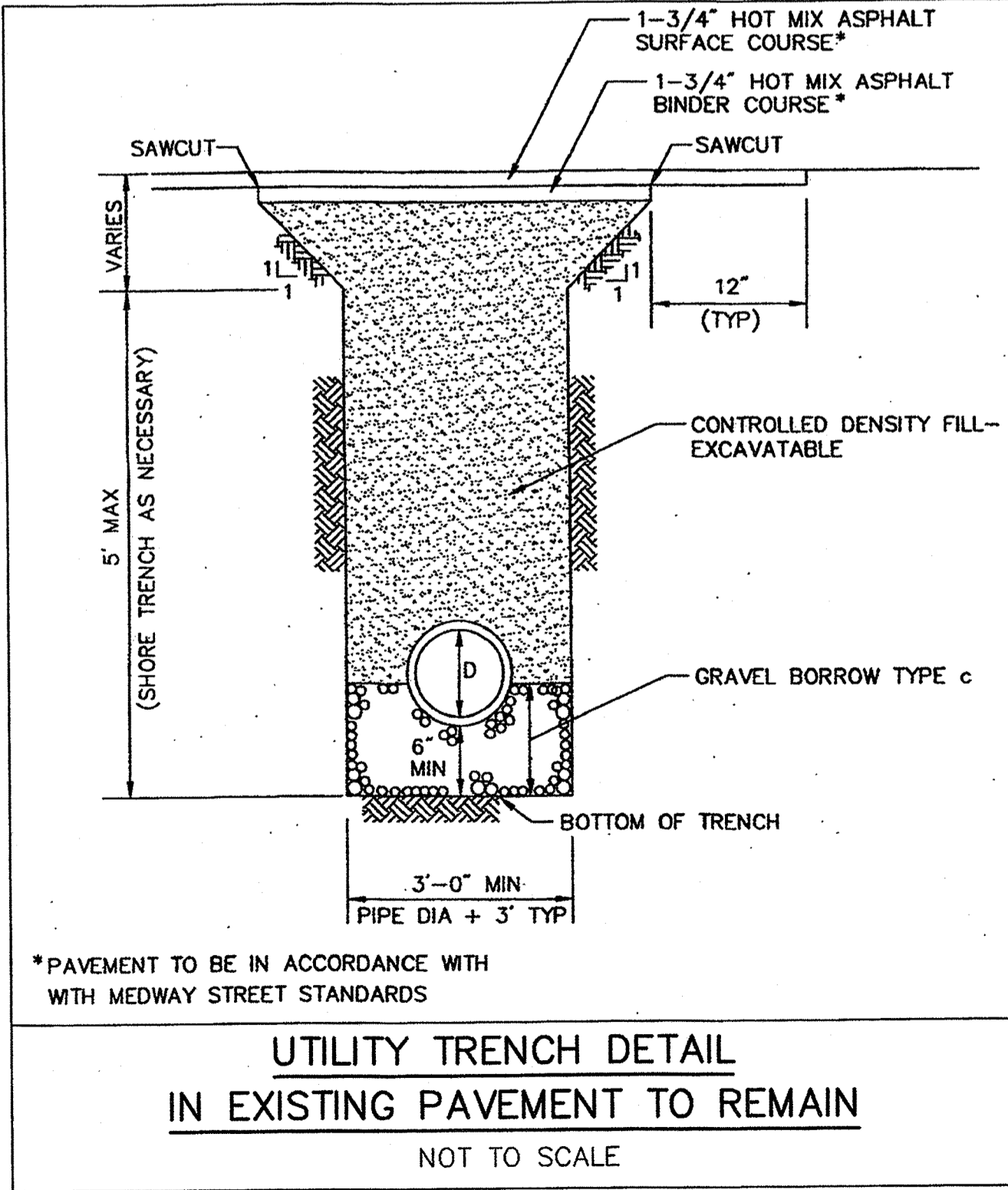
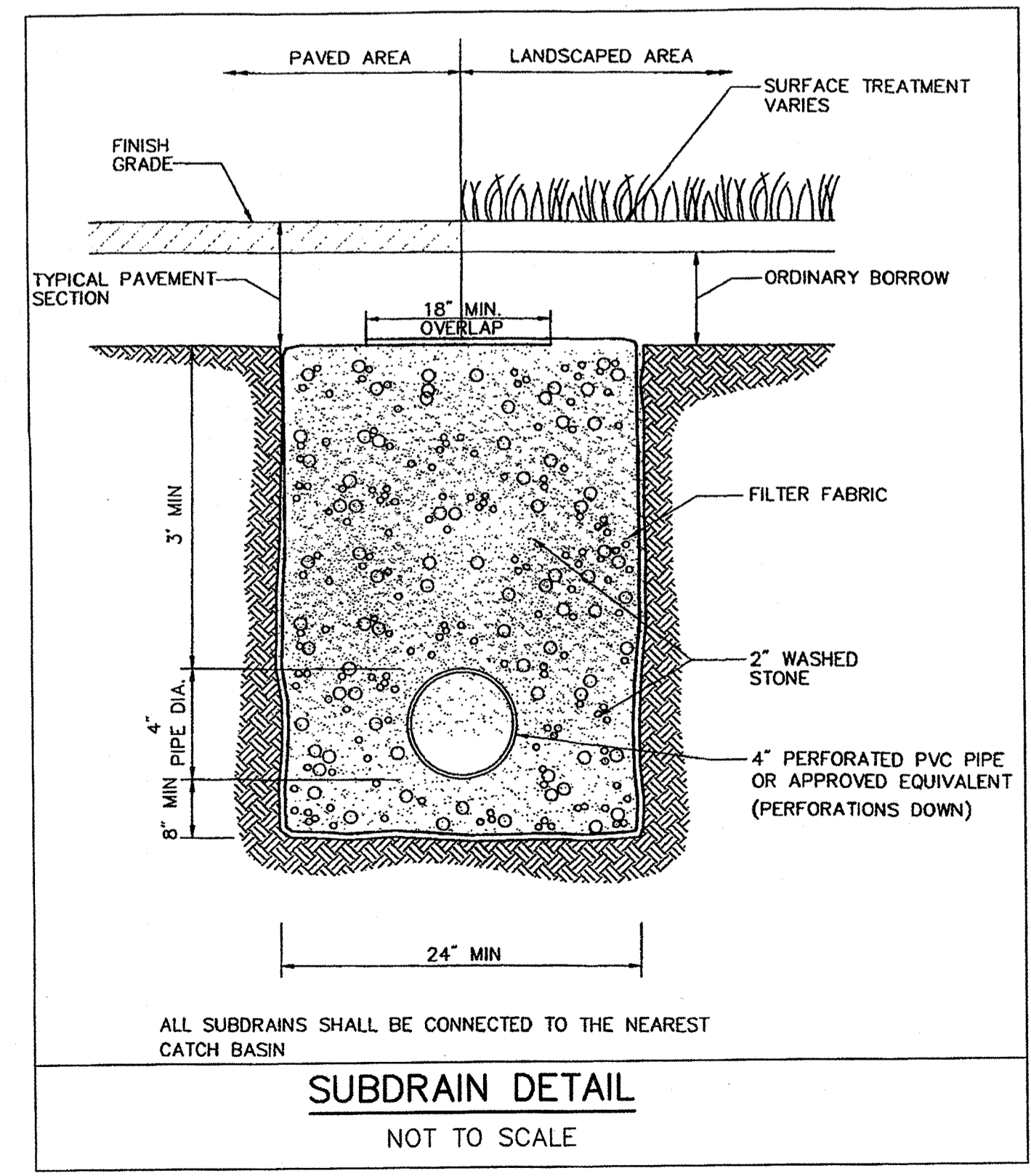
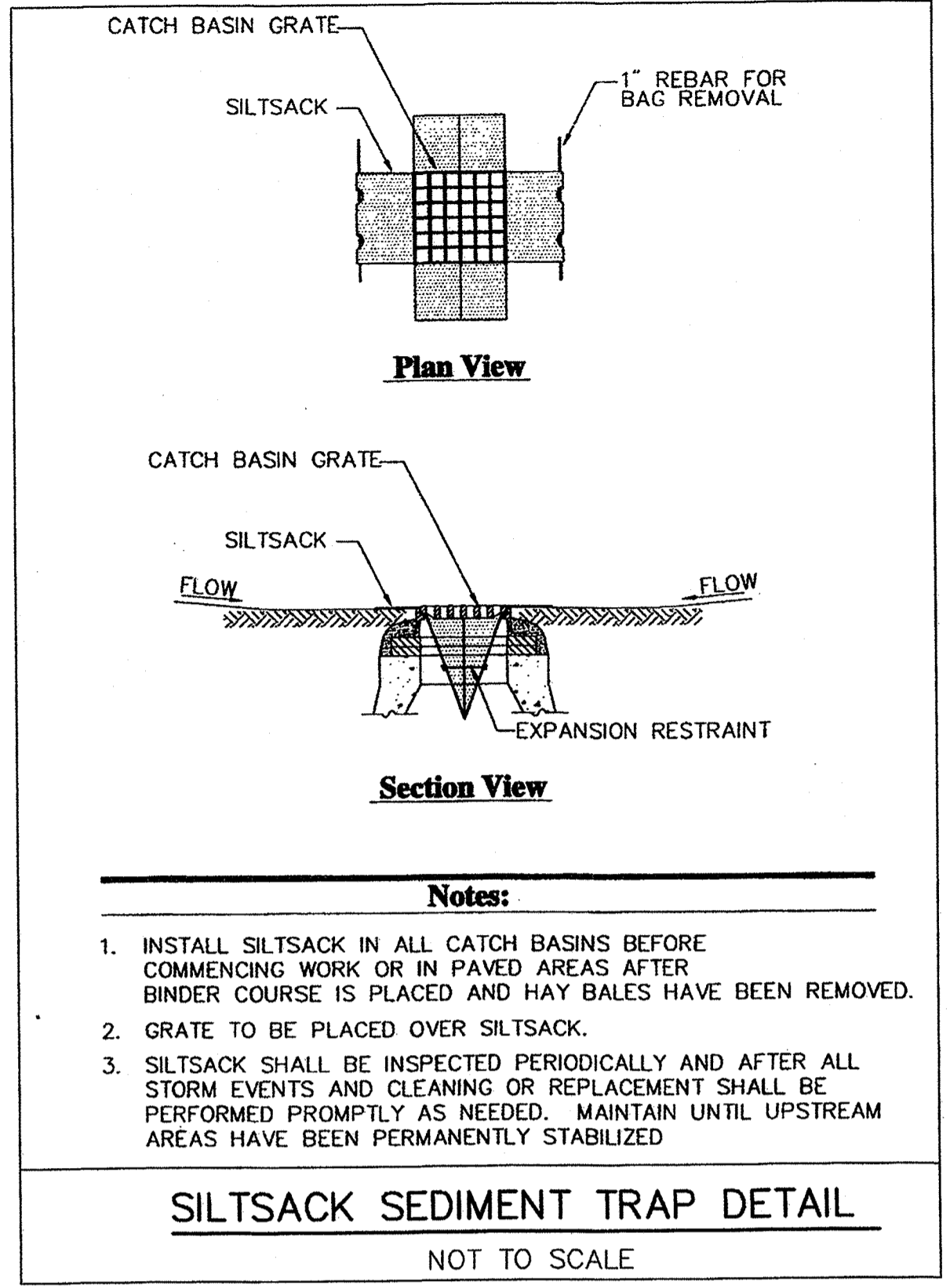
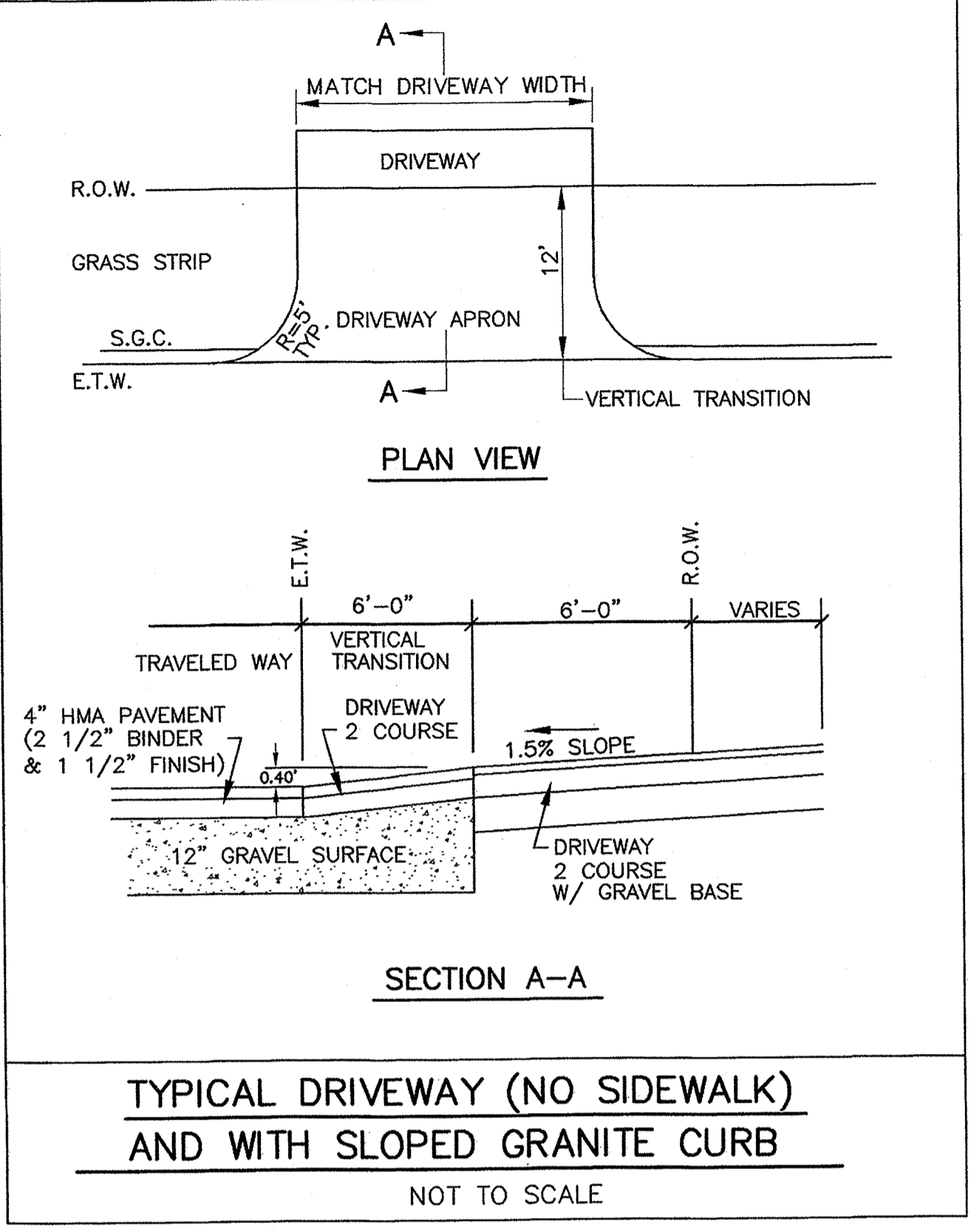
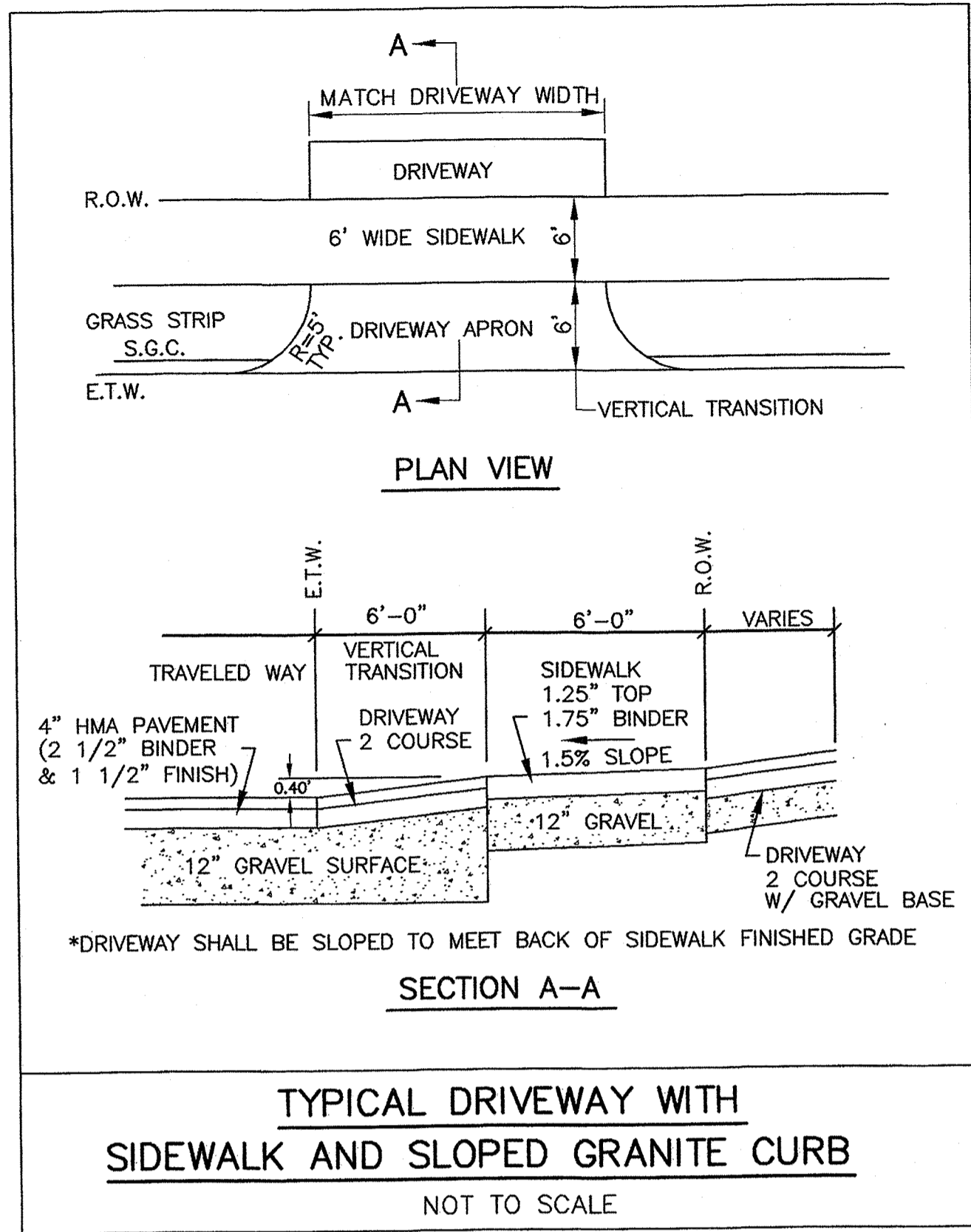


JOYCE E. HASTINGS P.L.S. 4/29/14
 DATE



JOSEPH M. NIHILL, P.E. 4/28/14
 DATE

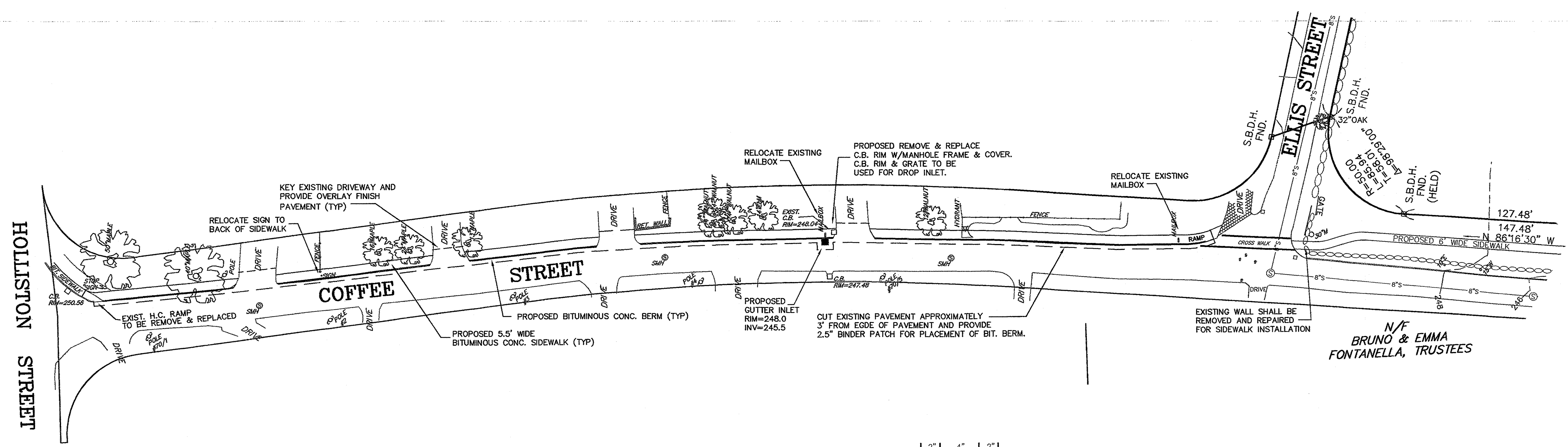
DETAILS
 AMENDED DEFINITIVE SUBDIVISION
 "APPLIGATE FARM"
 MEDWAY, MASSACHUSETTS
 APPLICANT:
 UNIQUE HOMES, INC.
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052
 OWNER:
 CEDAR TRAIL TRUST
 RALPH M. COSTELLO, TRUSTEE
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052



GLM ENGINEERING CONSULTANTS, INC.
 19 EXCHANGE STREET
 HOLLISTON, MASSACHUSETTS 01746
 (508)428-1100 fax:(508)428-7160

REVISIONS	DESCRIPTION	DATE	CKD.
1	PLG. BRD. COMMENTS	8/12/13	
2	CONDITIONS OF APPROVAL	4/28/14	

JOB No. 11130
 SCALE: N.T.S.
 DATE: FEBRUARY 20, 2013
 SHEET No. 18 OF 20



APPROVED BY
MEDWAY PLANNING BOARD:

[Signatures]

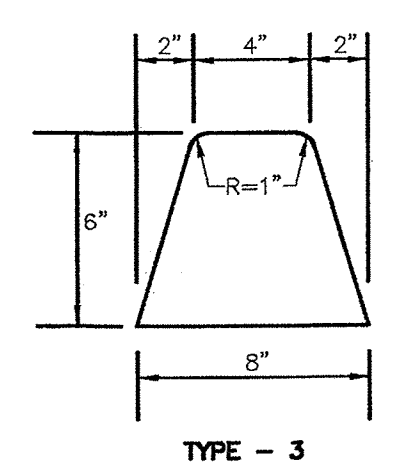
APPROVED BY: 1-14-2014
ENDORSED BY: 10-22-2014

ALL SUBDIVISION LOTS ARE SUBJECT TO THE DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS GOVERNING THE APPLGATE FARM SUBDIVISION.

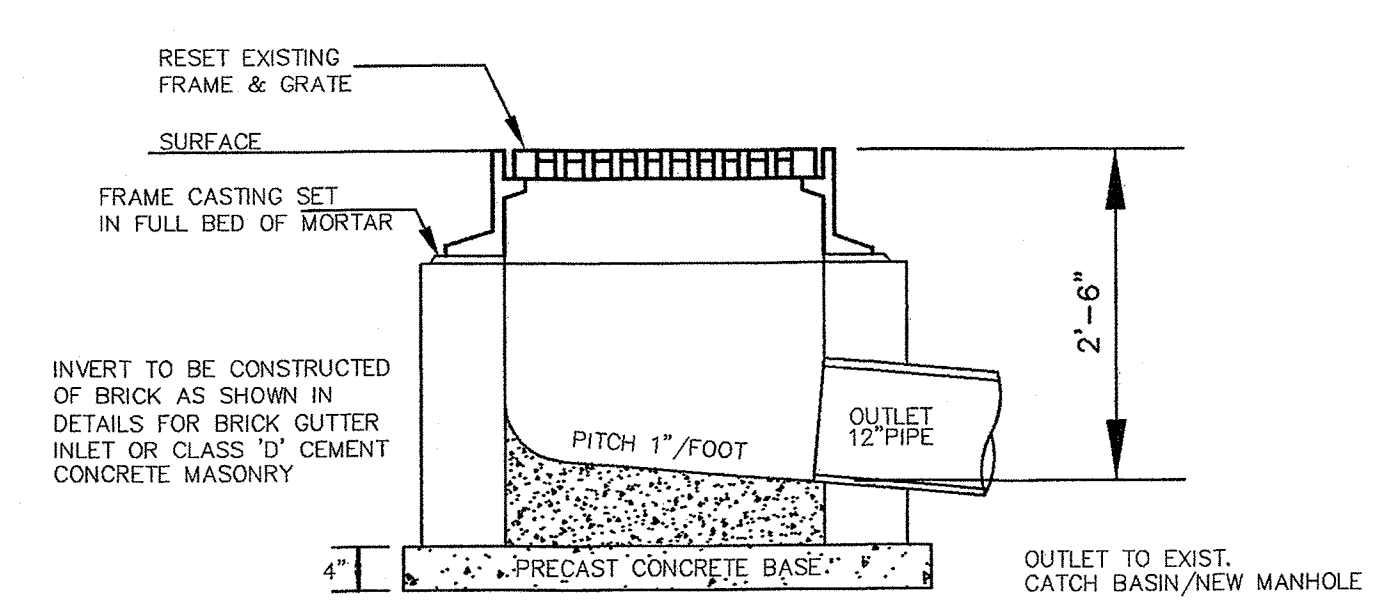
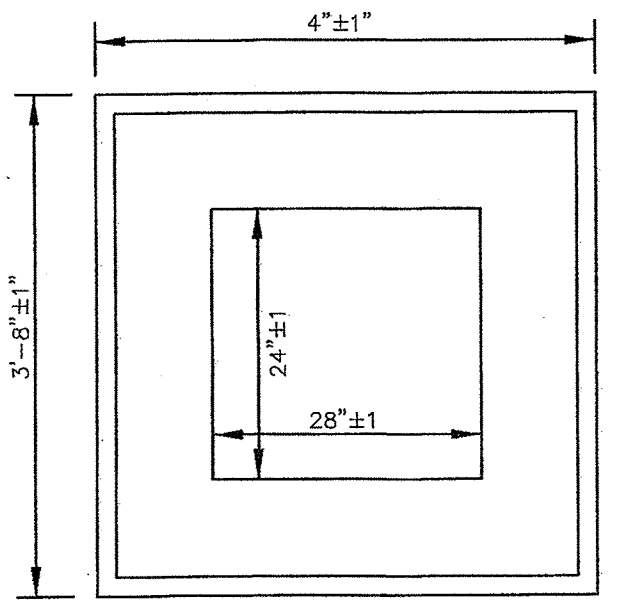
APPROVED 01/14/2014 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CEDAR TRAIL TRUST DATED 1-31-2007 & 10-15-2014 AND RECORDED AT THE NORFOLK REGISTRY OF DEEDS.

I TOWN CLERK OF THE TOWN OF MEDWAY, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

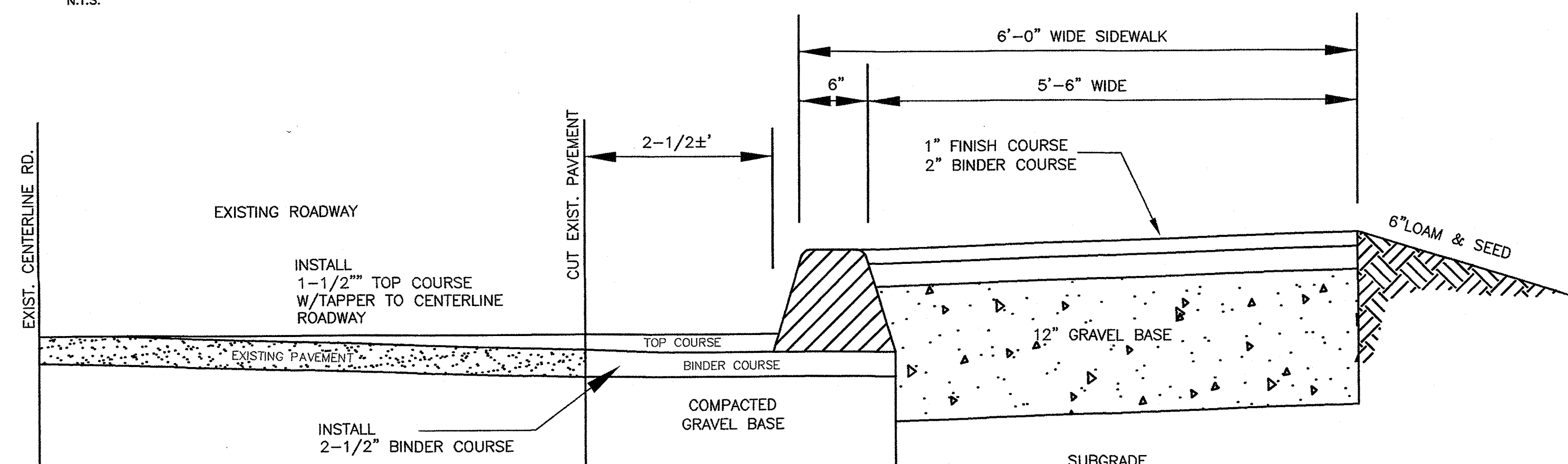
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TOWN CLERK DATE



BITUMINOUS CONC. CURB - TYPE 3
N.T.S.

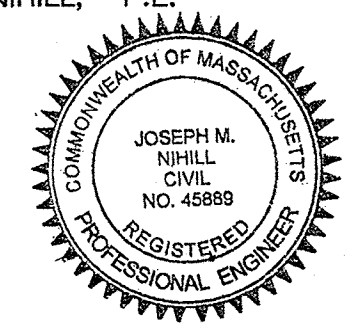


GUTTER INLET DETAIL
N.T.S.

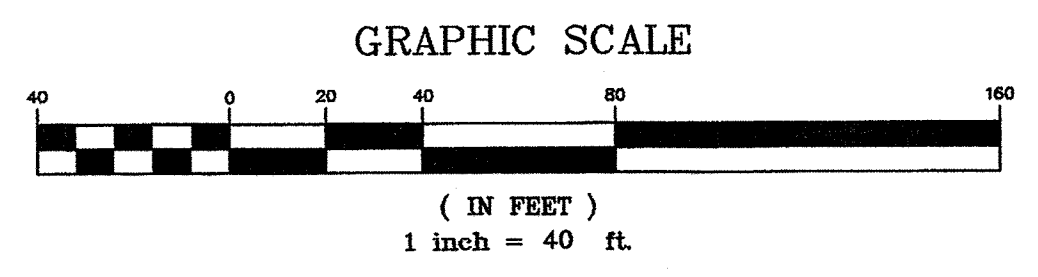


CROSS SECTION -SIDEWALK CONSTRUCTION
N.T.S.

[Signature] 4/28/14
JOSEPH M. NIHILL, P.E. DATE



NOTE:
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION
DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.
DIGSAFE 1-888-DIG-SAFE



DATE	REVISIONS DESCRIPTION	DES.	FLD:
8/12/13	PLG. BRD. COMMENTS		DMR
4/28/14	CONDITIONS OF APPROVAL		PET
			PET
			WML

GLM ENGINEERING CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7160

AMENDED DEFINITIVE SUBDIVISION "APPLGATE FARM" MEDWAY, MASSACHUSETTS

OWNER: CEDAR TRAIL TRUST RALPH M. COSTELLO, TRUSTEE 503 MAIN STREET MEDFIELD, MASSACHUSETTS 02052

APPLICANT: UNIQUE HOMES, INC. 503 MAIN STREET MEDFIELD, MASSACHUSETTS 02052

JOB No. 11130
DATE: FEBRUARY 20, 2013
SCALE: 1"=40'
SHEET No. 19 OF 20

APPROVED BY
MEDWAY PLANNING BOARD:

[Signatures]

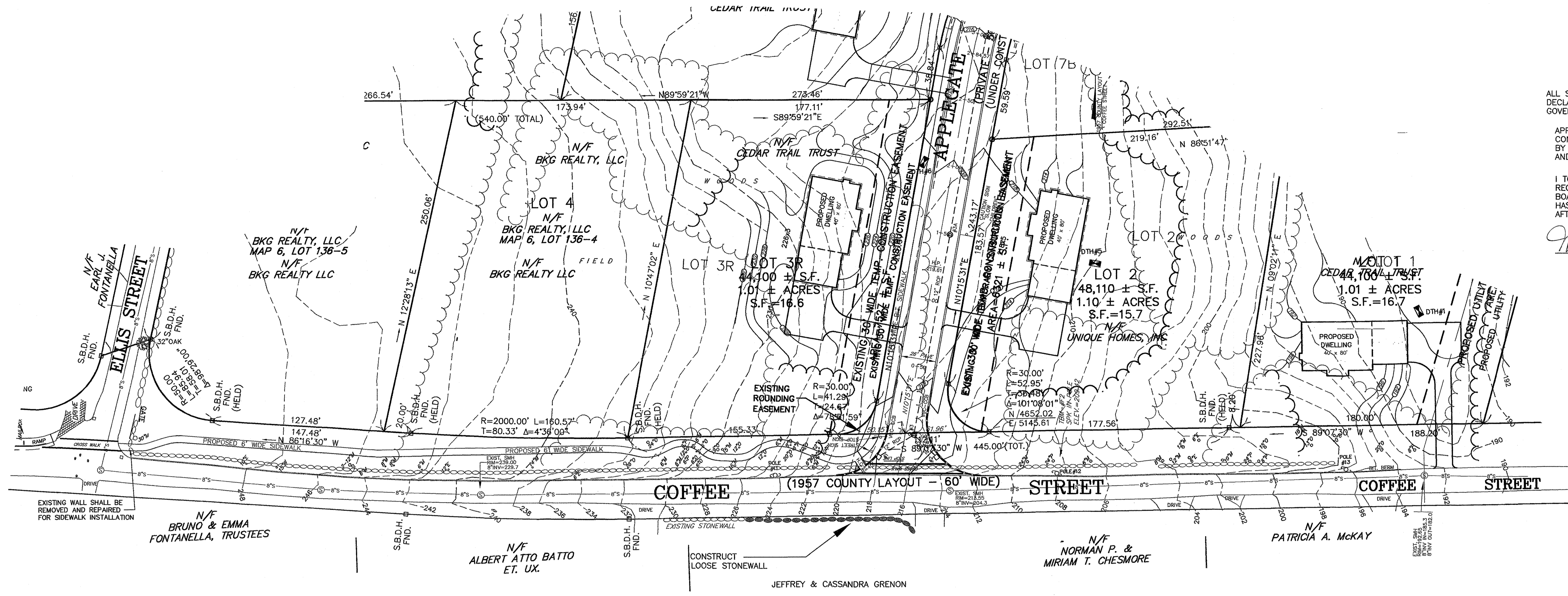
APPROVED BY: 1-14-2014
ENDORSED BY: 10-22-2014

ALL SUBDIVISION LOTS ARE SUBJECT TO THE DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS GOVERNING THE APPLGATE FARM SUBDIVISION.

APPROVED 01/14/2014 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CEDAR TRAIL TRUST DATED 1-31-2007 & 10-15-2014 AND RECORDED AT THE NORFOLK REGISTRY OF DEEDS.

I TOWN CLERK OF THE TOWN OF MEDWAY, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

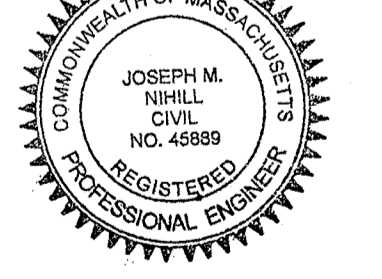
[Signature] 10/24/14
TOWN CLERK DATE



NOTE:
PROPOSED STONEWALL SHALL BE CONSTRUCTED OF STONES REMOVE FROM THE EXISTING STONEWALL AT THE ENTRANCE TO THE PROJECT SITE. THE WALL SHALL CONSTRUCTED IN A FORM, HEIGHT, DEPTH AND STYLE CONSISTENT WITH THE EXISTING FIELDSTONE WALL ON THE PROPERTY.
THE WALL SHALL BE CONSTRUCTED FROM THE END OF THE EXISTING WALL AND EXTEND TO THE EXISTING DRIVEWAY.

THE WALL SHALL BE CONSTRUCTED DURING THE FIRST PHASE OF CONSTRUCTION AND PRIOR TO ANY LOT RELEASE FROM THE PLANNING BOARD.

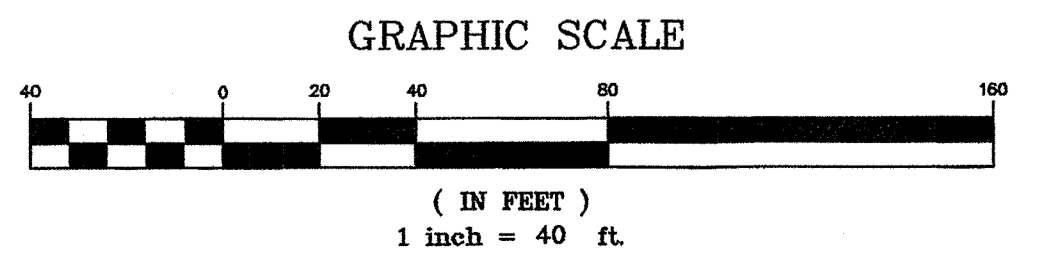
[Signature] 4/18/14
JOSEPH M. NIHILL DATE



COFFEE STREET SIDEWALK & PROPOSED WALL



NOTE:
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DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.
DIGSAFE 1-888-DIG-SAFE

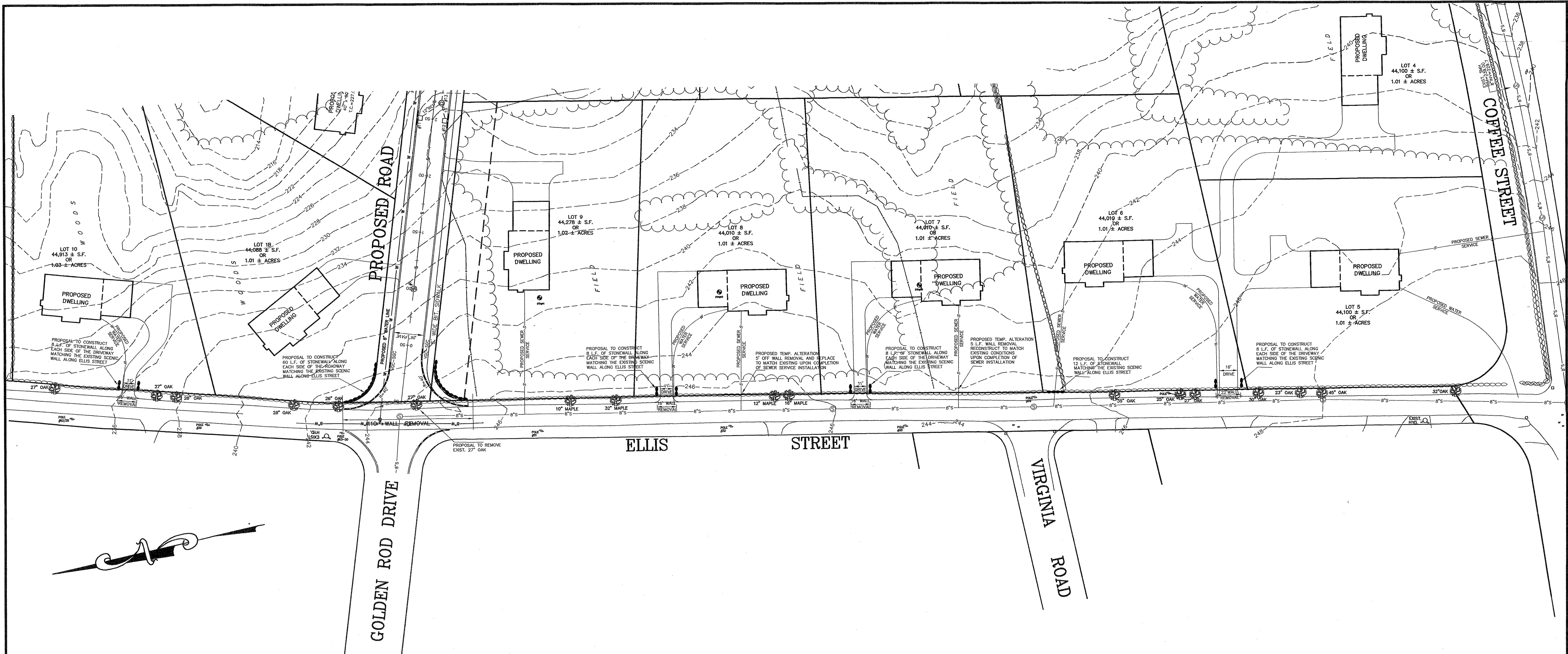


REVISIONS		FLD:
DATE	DESCRIPTION	DMR
8/12/13	PLG. BRD. COMMENTS	PET
4/28/14	CONDITIONS OF APPROVAL	WML

GLM ENGINEERING CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7160

AMENDED DEFINITIVE SUBDIVISION "APPLGATE FARM" MEDWAY, MASSACHUSETTS
OWNER: CEDAR TRAIL TRUST
RALPH M. COSTELLO, TRUSTEE
503 MAIN STREET
MEDFIELD, MASSACHUSETTS 02052
APPLICANT: UNIQUE HOMES, INC.
503 MAIN STREET
MEDFIELD, MASSACHUSETTS 02052

JOB No. 11130
DATE: FEBRUARY 20, 2013
SCALE: 1"=40'
SHEET No. 20 OF 20



APPROVED BY
MEDWAY PLANNING BOARD:

[Signatures]

APPROVED BY: 1-14-2014
ENDORSED BY: 10-22-2014

ALL SUBDIVISION LOTS ARE SUBJECT TO THE DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS GOVERNING THE APPLGATE FARM SUBDIVISION.

APPROVED 1-14-2014 SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY CROSS STREET REALTY TRUST DATED 1-21-2009 & 10-15-2014 AND TO BE (RECORDED) (REGISTERED) HEREWITH.

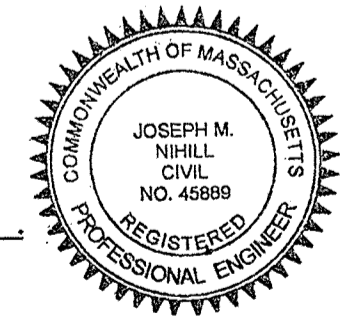
I TOWN CLERK OF THE TOWN OF MEDWAY, RECEIVED & RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

[Signature] 10/24/14
TOWN CLERK DATE

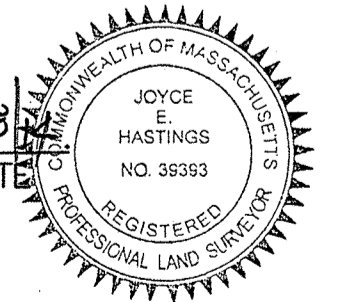
WALL DETAIL

- NOTES:
1. THE EXISTING STONES WERE THE WALL IS REMOVED SHALL BE STOCKPILED ONSITE FOR REUSE.
 2. STONES FROM THE EXISTING WALL SHALL BE UTILIZED TO CONSTRUCT THE PROPOSED WALLS.
 3. STONES MAY BE SUPPLEMENTED FROM INTERIOR STONEWALLS LOCATED ON THE PROJECT SITE.
 4. WALLS SHALL BE CONSTRUCTED TO PROVIDE A RUSTIC LOOK SIMILAR TO THE EXISTING STONEWALL ALONG ELLIS STREET.

[Signature] 4/28/14
JOSEPH N. NIHILL, P.E. DATE



[Signature] 4/28/14
JOYCE E. HASTINGS, P.L.S. DATE

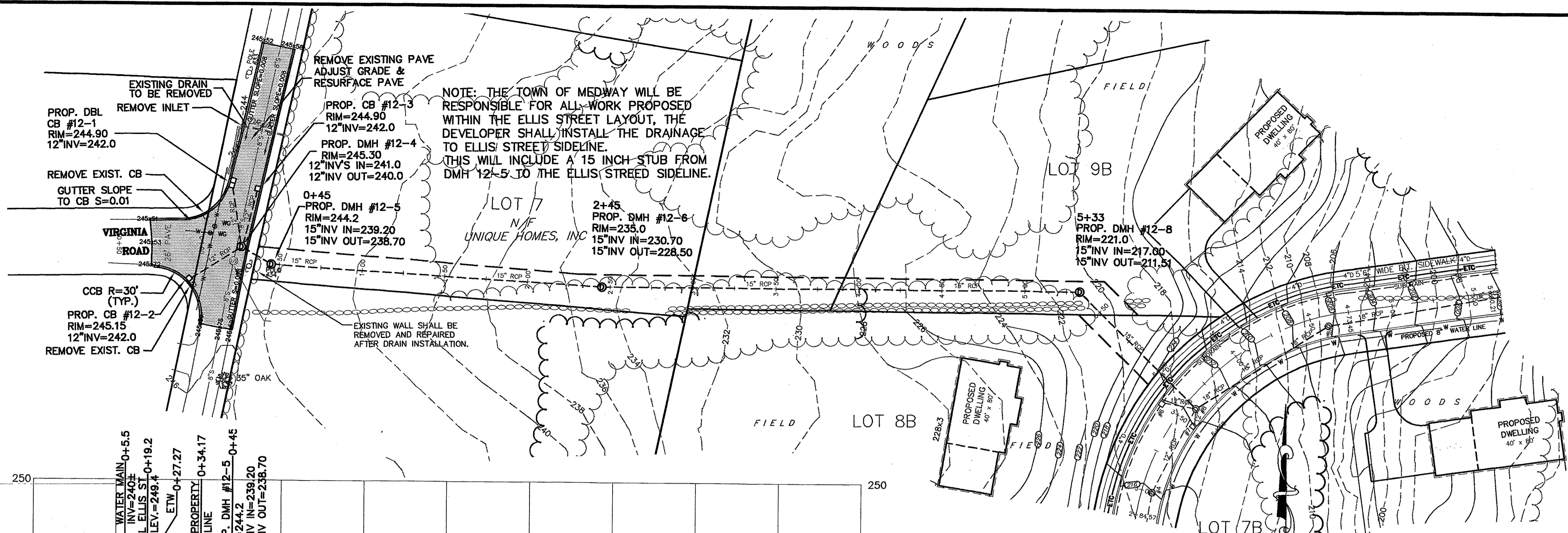


REVISIONS		FLD:
DATE	DESCRIPTION	DMR
10/18/06	PLANNING BOARD DECISION	PET
1/12/07	PLANNING BOARD DECISION	PET
		DWN: PET
		CKD: WML

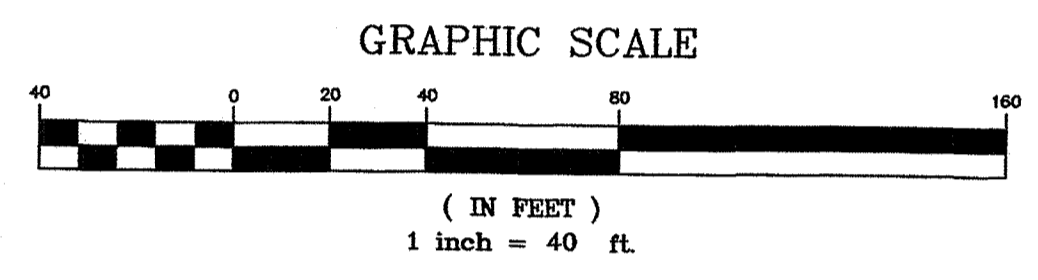
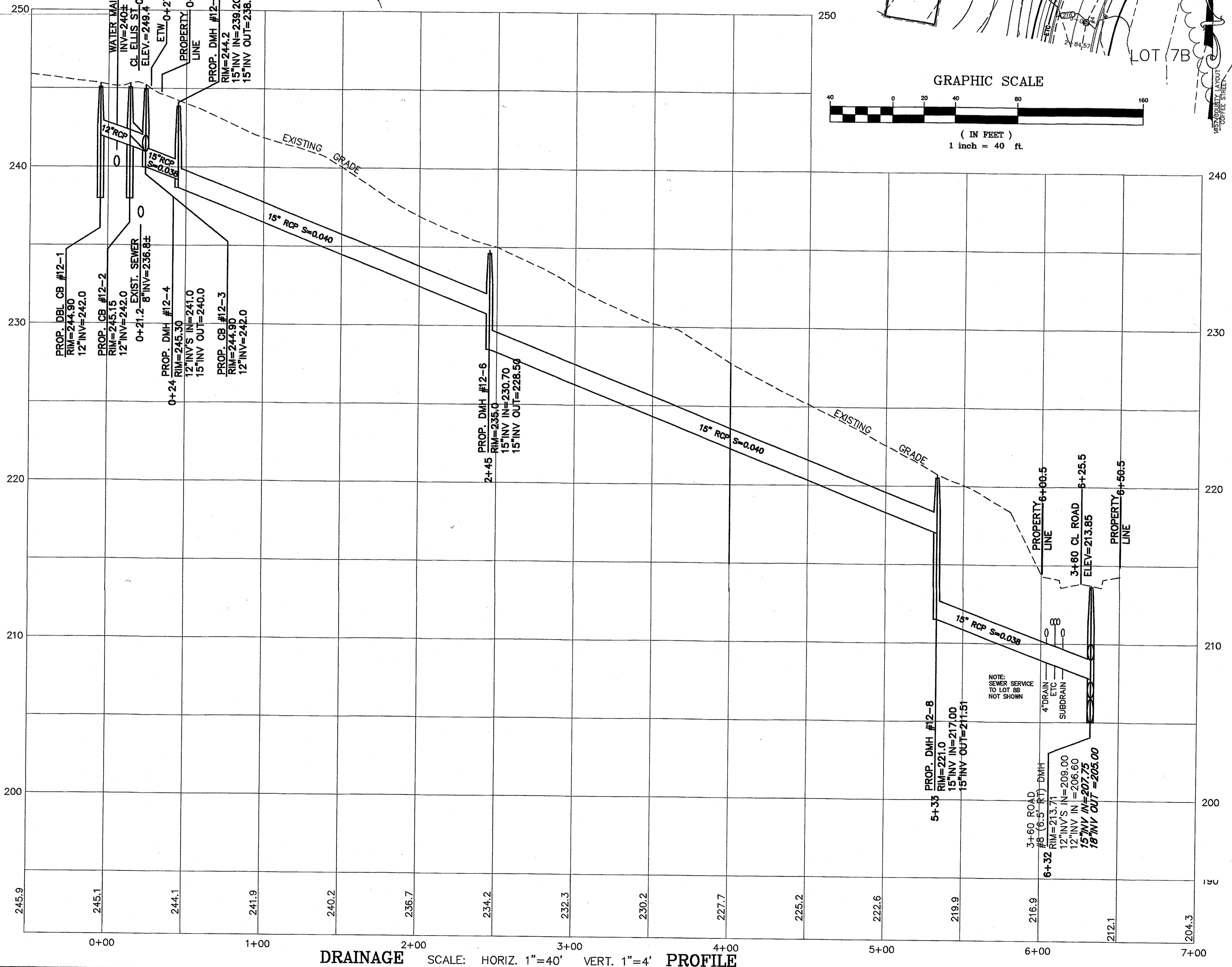
GLM ENGINEERING CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7160

SCENIC ROAD PLAN
"ELLIS STREET - APPLGATE FARM"
MEDWAY, MASSACHUSETTS
OWNER: CEDAR TRAIL TRUST
RALPH M. COSTELLO, TRUSTEE
503 MAIN STREET
MEDFIELD, MASSACHUSETTS 02052
APPLICANT: UNIQUE HOMES, INC.
503 MAIN STREET
MEDFIELD, MASSACHUSETTS 02052

JOB No. 11130
DATE: FEBRUARY 28, 2006
SCALE: 1"=40'
SHEET No. Supplemental 'A'



NOTE:
 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
 DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.
 DIGSAFE 1-888-DIG-SAFE



DRAINAGE SCALE: HORIZ. 1"=40' VERT. 1"=4' PROFILE

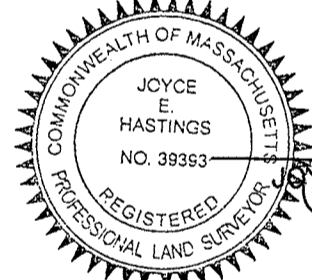
APPROVED BY
 MEDWAY PLANNING BOARD:
[Signatures]

APPROVED BY: 1-14-2014
 ENDORSED BY: 10-22-2014

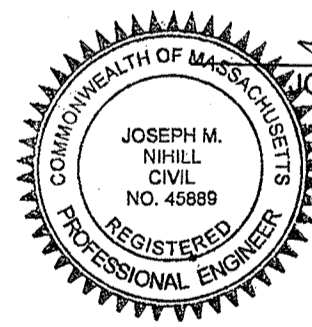
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[Signature] 10/24/14
 TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS
 THIS PLAN & SURVEY WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE COMMONWEALTH OF MASSACHUSETTS.



[Signature]
 JOYCE E. HASTINGS P.L.S. 4/28/14
 DATE



[Signature]
 JOSEPH M. NIHILL, P.E. 4/28/14
 DATE

DRAINAGE PROFILE
AMENDED DEFINITIVE SUBDIVISION
"APPLGATE FARM"
MEDWAY, MASSACHUSETTS
 APPLICANT: UNIQUE HOMES, INC.
 503 MAIN STREET
 MEDFIELD, MASSACHUSETTS 02052

GLM ENGINEERING CONSULTANTS, INC.
 19 EXCHANGE STREET
 HOLLISTON, MASSACHUSETTS 01746
 (508)429-1100 fax:(508)429-7160

FLD:	REVISIONS	DATE	DESCRIPTION	CKD:
		8/12/13	PLG. BRD. COMMENTS	
		4/28/14	CONDITIONS OF APPROVAL	
JOB No.	11130			
SCALE:	N.T.S.			
DATE:	FEBRUARY 20, 2013			
SHEET No.	Supplemental B			