

LEGEND

N/V NOW OR FORMERLY
 CB/DH CONCRETE BOUND WITH DRILL HOLE
 FND. FOUND
 EXST. EXISTING
 PROP. PROPOSED
 R.C.P. REINFORCED CONCRETE PIPE
 APPROX. APPROXIMATE
 HYDRANT
 SEWER MANHOLE
 STORMWATER CATCH BASIN
 EXISTING CONTOUR LINE
 PROPOSED CONTOUR LINE
 SW SW
 DTH DEEP TEST HOLE
 DET. DETENTION
 UTILITY POLE SECTION
 ELEV. ELEVATION
 BIT. BITUMINOUS
 CONC. CONCRETE
 FF. FIRST FLOOR ELEVATION
 BF. BASEMENT FLOOR ELEVATION
 GF. GARAGE FLOOR ELEVATION
 BM. BENCHMARK
 FA. FIRE ALARM BOX
 W. WATER GATE
 V.G.C. VERTICAL GRANITE CURB
 TP. TEST PITS
 ETC. ELEC. TELEPHONE & CABLE

PROJECT SURVEYOR:
 DANIEL A. O'DRISCOLL, P.L.S.
 O'DRISCOLL LAND SURVEYING, CO.
 48 COTTAGE STREET
 MEDWAY, MASSACHUSETTS 02053
 P. (508) 533-3314

PROJECT ENGINEER:
 DAVID T. FAST, P.E.
 FAIST ENGINEERING, INC.
 67 HALL ROAD
 STURBRIDGE, MA 01566
 P. (508) 864-6802

GENERAL NOTES:

1. ALL WATER SERVICE MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE TOWN OF MEDWAY WATER AND SEWER DEPARTMENT REGULATIONS.
2. CONTRACTOR TO CONTACT DIG-SAFE BEFORE PRIOR TO ANY CONSTRUCTION.
3. LOCATION OF ALL UTILITIES SHALL BE DETERMINED IN THE FIELD BY THE RESPECTIVE UTILITY COMPANIES (ELECTRIC, GAS, & TELECOM). THE APPLICANT "FASALINO HOME IMPROVEMENTS, INC." SHALL BE RESPONSIBLE TO ACCURATELY LOCATE ALL UTILITIES PRIOR TO ANY CONSTRUCTION. PRIOR TO BACKFILL, SUCH THAT THE ACTUAL LOCATION CAN BE ACCURATELY REPRESENTED ON THE AS-BUILT DRAWINGS.
4. PLAN ENDEORSEMENT IS SUBJECT TO THE ENDORSEMENTS SET FORTH IN THE MEDWAY PLANNING BOARD CERTIFICATE OF ACTION DATED JUNE 28, 2012 TO BE RECORDED WITH THE PLAN.
5. THIS DEFINITIVE PLAN IS SUBJECT TO A SUBDIVISION COVENANT TO BE RECORDED WITH THE PLAN.
6. EPA'S NPDES STORMWATER REGULATIONS (NORTH PARTS 121, 123, & 124) DO NOT APPLY. TOTAL PROJECT DISTURBANCE IS LESS THAN 1 ACRE.
7. LOT #1 & LOT #2 ARE SUBJECT TO SEPARATE ORDER OF CONDITIONS ISSUED BY THE CONSERVATION COMMISSIONER WORK WITHIN THE 100' WETLANDS BUFFER ZONE.
8. OWNER/CONTRACTOR SHALL MINIMIZE THE RESTRICTION OF MATURE TREES ON-SITE.
9. ALL WORK WITHIN TOWN RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MASS HIGHWAY HANDICAP REQUIREMENTS AND THE ADA/AAO REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
10. ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1989 (NAVD89).
11. IT IS THE APPLICANT'S RESPONSIBILITY TO COORDINATE PROPOSED LOT #1 AND LOT #2 SANITARY SEWER FORCE MAIN CONNECTIONS WITH PRIVATE UTILITY OWNERS. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE TOWN OF MEDWAY REGULATIONS AND APPROVAL.
12. PRESENT AND FUTURE OWNERS ARE SUBJECT TO A DEED ABANDON OF PROTECTIVE COVENANTS AND RESTRICTIONS AND PRIME ROADWAY AGREEMENT CONCERNING THE 25 SUMMER STREET SUBDIVISION A.K.A. "SUMMER VALLEY LANE".
13. THIS PLAN IS A MODIFICATION OF THE ORIGINAL "25 SUMMER STREET - DEFINITIVE SUBDIVISION PLAN IN MEDWAY, MASSACHUSETTS" PREPARED BY FAST ENGINEERING, INC. AND O'DRISCOLL LAND SURVEYING CO. ON DATE JANUARY 10, 2011, REVISED DATE APRIL 28, 2011 AND APPROVED BY THE BARRING BOARD ON JUNE 28, 2011.
14. VALLEY LANE SEWER FORCE MAIN SHALL ALLOW CONNECTION OF SUMMER VALLEY LANE SEWER FORCE MAIN TO THE SANITARY SEWER FORCE MAIN LOCATED BY N/A/ SEAN & SHELLEY LYNCH OF #HITALE TREE ROAD, MEDWAY, MA.

DIG-SAFE NOTE

CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE. EXCLUSIVE OF SATURDAYS, HOLIDAYS, AND LEGAL HOLIDAYS, TO THE EXTENT POSSIBLE, THE CONTRACTOR SHALL BE ADVISED IN WRITING OF ANY CHANGES IN SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATIONS TO BE MADE.

CONTRACTOR TO NOTIFY "DIG-SAFE" AT 1-888-866-3447 (1-888-344-7233).

RESERVED FOR REGISTRY USE
 TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signatures]

NOTE: ANY CHANGES TO THIS SUBDIVISION PLAN IS SUBJECT TO A COVENANT TO BE RECORDED WITH THE PLAN.

I, MARYVANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THIS PLAN HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF OBJECTION HAS BEEN RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH NOTICE BY RECORRING OF SAID NOTICE.

[Signature] DATE: *March 14, 2013*

TOWN CLERK

ZONING INFORMATION TABLE
 (AM-1) ZONING DISTRICT

LOT AREA=22,000 S.F. (MIN.)
 LOT FRONTAGE=150' (MIN.)
 FRONT YARD SETBACK=35' (MIN.)
 REAR YARD SETBACK=15' (MIN.)
 REAR YARD SETBACK=10' (MIN.)

LOT SHAPE FACTOR RATIO:
 LESS THAN OR EQUAL TO 22

NUMBER OF BUILDING LOTS:
 1 PRIVATE WAY
 1 PARCEL (NON-BUILDABLE)

LOT 1 AREA = 44,143 S.F.
 LOT 2 AREA = 27,072 S.F.
 PARCEL A "PRIVATE WAY" AREA = 15,039 S.F.
 PARCEL B AREA = 112 S.F.
 TOTAL AREA = 86,356 S.F.

TOTAL ON-SITE WETLAND AREA = 5,360 S.F.

STREETS WITHIN 200 FT.:

- LITTLE TREE ROAD 50' ROW / 20' PAVEMENT
- RUSTIC ROAD 50' ROW / 20' PAVEMENT
- AMELIA WAY VARIABLE WIDTH (50' MIN.) ROW / 18' PAVEMENT
- PRIVATE WAY 50' ROW / 12' PAVEMENT

25 SUMMER STREET
 PROPOSED "SUMMER VALLEY LANE"
 MEDWAY, MASSACHUSETTS

LOCUS MAP SCALE: 1"=200'

WAIVER REQUESTS FROM TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS:

MANUAL DESCRIPTION:

LAYOUT OF PROPOSED ELECTRIC, TELECOMMUNICATIONS, GAS, AND CABLE TV UTILITY LINES EXISTING ROADWAY PROFILES, WAVE PLAN & PROFILE OF SHARED DRIVEWAY FOR 2-HOMES STREET LIGHTS, WAVE INSTALLATION OF STREET TREES, OPEN SPACES, WAVE REQUIREMENT OF OPEN SPACE & PARKS, COLLECTOR-LOCAL LANDSCAPING, STORMWATER MANAGEMENT ACCEPTANCE, PROPOSED CENTERLINE GRADE AT SITE ENTRANCE MINIMUM = 2% TUMBLING DOWN TO END STREETS EXCEPT WHERE DEVELOPMENT NOT FEASIBLE OTHERWISE MINIMUM ROADWAY WIDTH FOR A PERMANENT PRIVATE WAY = 15 FEET, HOT MIX ASPHALT CURE CO. BERM, 12" WIDE, 12" HIGH, 12" WIDE, 12" HIGH, DRIVEWAY OPENING WITHIN 14 FT. OF A LATCH BURN, SIDEWALKS, NO SIDEWALKS ARE PROPOSED, STREET LIGHTS: NO STREET LIGHTS ARE PROPOSED, WALKWAYS & BIKEWAYS

SECTION AND RECORD OWNERS:

| SECTION AND RECORD OWNERS | SECTION AND RECORD OWNERS |
|---------------------------|----------------------------------|
| 5.7.10 | FASALINO HOME IMPROVEMENTS, INC. |
| 5.7.20 | 184 MAIN STREET |
| 5.7.24 | P. (508) 533-3733 |
| 5.7.31 | F. (508) 533-3733 |
| 6.2.32 | F. (508) 533-3733 |
| 7.2.2 P | |
| 7.8.3 | |
| 7.8.6 (G) | |
| 7.8.6 (O) | |
| 7.10.2 | |
| 7.11.2 | |
| 7.11.3 | |
| 7.11.4 | |
| 7.21 | |
| 7.22 | |

APPLICANT / PROPERTY INFORMATION:

APPLICANT:
 FASALINO HOME IMPROVEMENTS, INC.
 184 MAIN STREET
 MEDWAY, MASSACHUSETTS 02053
 P. (508) 533-3733
 F. (508) 533-3733

RECORD OWNERS:
 FASALINO HOME IMPROVEMENTS, INC.
 184 MAIN STREET
 MEDWAY, MASSACHUSETTS 02053
 P. (508) 533-3733
 F. (508) 533-3733

PREPARED FOR: FASALINO HOME IMPROVEMENTS, INC.
 MAP 2-2 PARCEL 28-7 & 28-7-1
 ASSESSORS REFERENCE: MAP 2-2 PARCEL 28-7 & 28-7-1
 DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
 BOOK 28158 PAGE 284

PLAN REFERENCES:
 PLAN BOOK 982 PLAN NO. 32 OF 2009
 PLAN BOOK 452 PLAN NO. 242 OF 1994
 PLAN BOOK 314 PLAN NO. 340 OF 1984
 1947 COUNTY LAYOUT OF SUMMER STREET
 PLAN NO. 35 OF 1949 PL. BK. 148

25 SUMMER STREET
 PROPOSED "SUMMER VALLEY LANE"
 IN
 DEFINITIVE SUBDIVISION MODIFICATION
 IN
 MEDWAY, MASSACHUSETTS

DATE: FEBRUARY 28, 2012
 REUSE DATES:
 MARCH 14, 2013

O'DRISCOLL
 LAND SURVEYING CO.
 LAND SURVEYING CFS MAPPING LAND CONSULTING
 48 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314 e-mail: dfaist@faisteng.com

FAIST ENGINEERING, INC.
 67 HALL ROAD
 STURBRIDGE, MA 01566
 Phone: (508) 864-6802

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

City Clerk
Secretary
Town Clerk

APPROVAL DATE: 6-26-2013
 ENDORSEMENT DATE: 3-26-2013

RESERVED FOR REGISTRY USE

THIS DEFINITIVE SUBDIVISION PLAN IS SUBJECT TO A COVENANT TO BE RECORDED WITH THE PLAN.

I MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECORDED AND THAT THE PLAN IS SUBJECT TO A COVENANT TO BE RECORDED WITH THE PLAN. THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

MaryJane White
 TOWN CLERK
 DATE: March 25, 2013

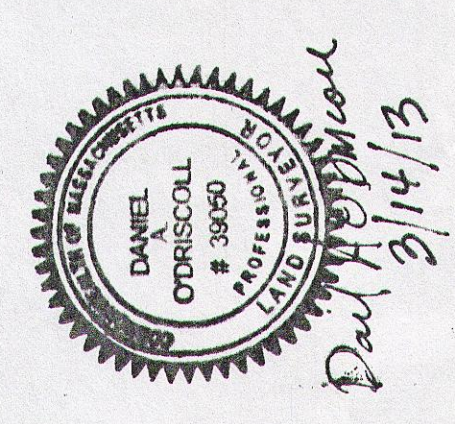
PREPARED FOR: PASOUNG HOME IMPROVEMENTS, INC.
 ASSESSORS REFERENCE: MAP 2-2 PARCEL 28-7 & 28-7-1
 DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS BOOK 26159 PAGE 264

PLAN REFERENCES:
 PLAN BOOK 582 PLAN No. 32 OF 2009
 PLAN BOOK 455 PLAN No. 242 OF 1998
 PLAN BOOK 314 PLAN No. 948 OF 1984
 BOOK 2955 PAGE 240 PLAN No. 428 OF 1951
 PLAN BOOK 150 PLAN No. 100 OF 1951
 PLAN No. 35 OF 1948 PL. BK. 145

ZONING DISTRICT: AGRICULTURAL-RESIDENTIAL II (AR II)

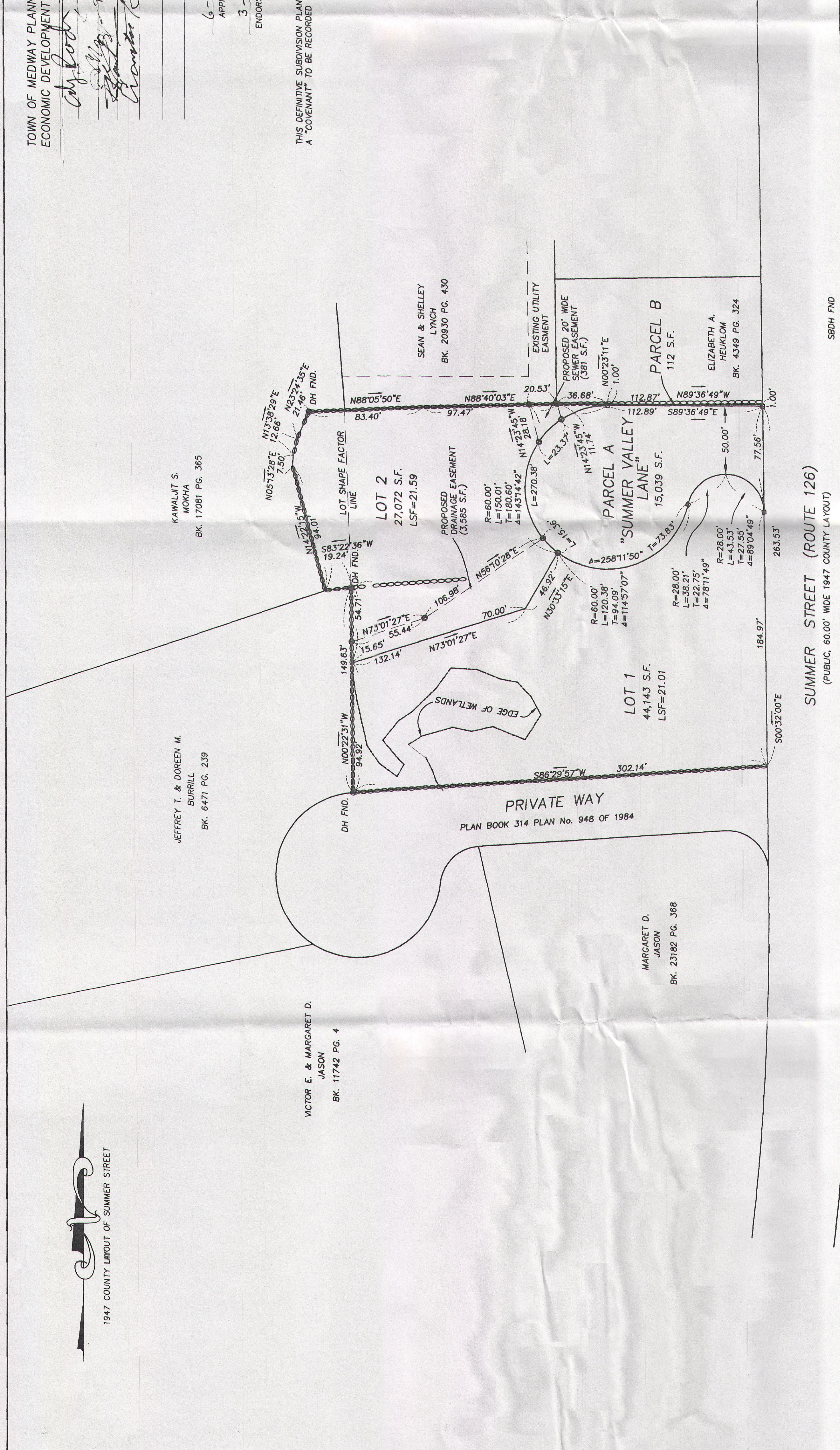
MODIFIED
 "SUMMER VALLEY LANE"
 DEFINITIVE SUBDIVISION PLAN
 IN
 MEDWAY, MASSACHUSETTS
 SCALE: 1"=40'
 DECEMBER, 2011
 REVISED: MARCH 14, 2013

O'DRISCOLL
 LAND SURVEYING Co.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 48 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314
 SHEET 2 OF 7



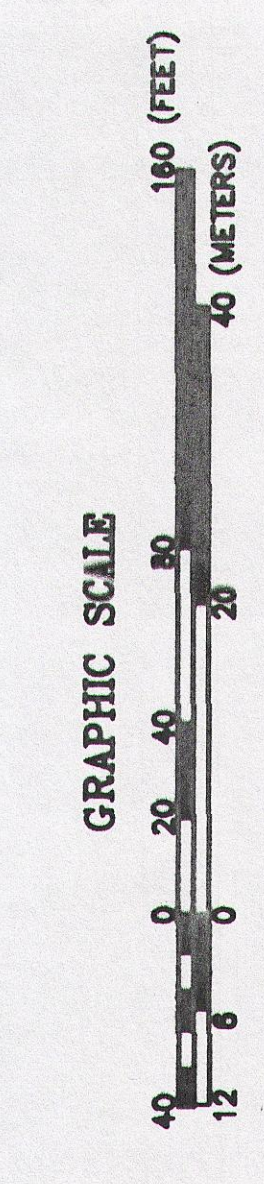
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

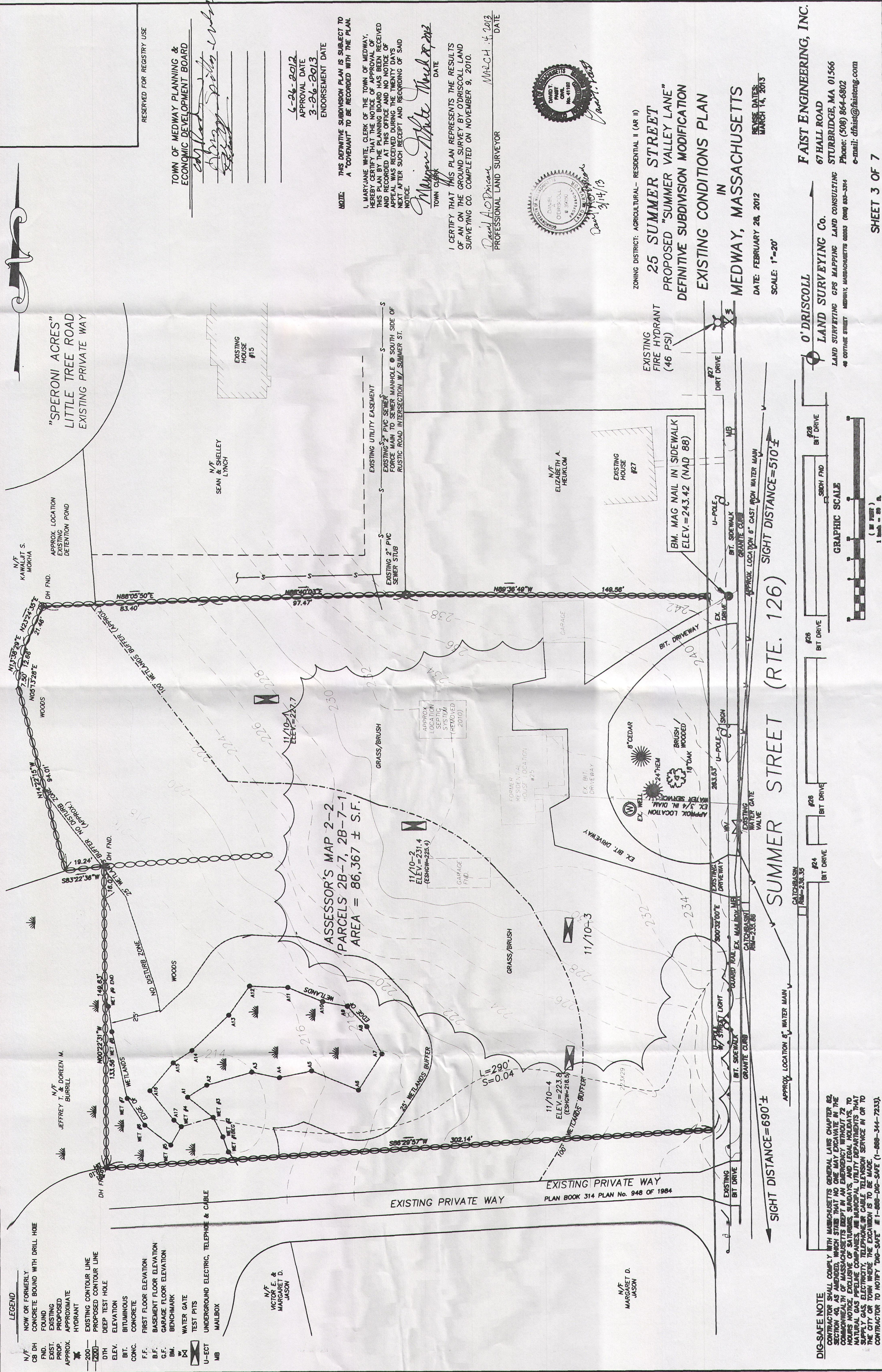
Daniel A. Driscoll
 PROFESSIONAL LAND SURVEYOR
 DATE: MARCH 14, 2013



PARCEL B IS NOT CONSIDERED A SEPARATE BUILDING LOT.
 DH FND. DENOTES DRILL HOLE FOUND
 SBDM FND. DENOTES STONE BOUND WITH DRILL HOLE FOUND
 LSF DENOTES LOT SHAPE FACTOR (LOT PERIMETER SQUARED / LOT AREA)

LOT 2 FRONTAGE TO LOT SHAPE FACTOR LINE=150.01'
 LOT 2 AREA TO LOT SHAPE FACTOR LINE=23,014 S.F.
 LSF=PERIMETER SQUARED / AREA
 LSF=706.48² / 23,014 =21.62
 ■ DENOTES CONCRETE BOUND TO BE SET
 ● DENOTES IRON ROD TO BE SET





LEGEND

- N/V NOW OR FORMERLY
- CB DH CONCRETE BOUND WITH DRILL HOE
- FOUND
- EXST. EXISTING
- PROP. PROPOSED
- APPROX. APPROXIMATE
- HYDRANT
- 200' EXISTING CONTOUR LINE
- 500' PROPOSED CONTOUR LINE
- DLH DEEP TEST HOLE
- ELEV. ELEVATION
- BT. BITUMINOUS
- CONC. CONCRETE
- F.F. FIRST FLOOR ELEVATION
- B.F. BASEMENT FLOOR ELEVATION
- G.F. GARAGE FLOOR ELEVATION
- BM. BENCHMARK
- WATER GATE
- TEST PITS
- U-ECT UNDERGROUND ELECTRIC, TELEPHONE & CABLE
- MB MAILBOX

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

Cheryl A. Pelletier
Robert J. Pelletier

APPROVAL DATE: 6-26-2012
 ENDORSEMENT DATE: 3-26-2013

NOTE: THIS DEFINITIVE SUBDIVISION PLAN IS SUBJECT TO A COVENANT TO BE RECORDED WITH THE PLAN.

MARYLANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS DEFINITIVE SUBDIVISION PLAN WAS RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID PLAN.

Marylane White
 TOWN CLERK
 DATE: March 2, 2013

I CERTIFY THAT THIS PLAN REPRESENTS THE RESULTS OF AN ON THE GROUND SURVEY BY O'DRISCOLL LAND SURVEYING CO. COMPLETED ON NOVEMBER 9, 2010.

David A. Driscoll
 PROFESSIONAL LAND SURVEYOR
 DATE: MARCH 4, 2013



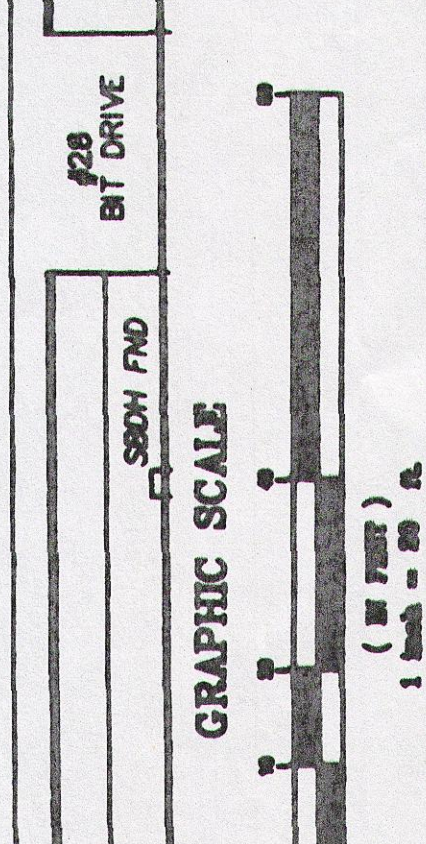
ZONING DISTRICT: AGRICULTURAL - RESIDENTIAL I (AR I)

25 SUMMER STREET
 PROPOSED "SUMMER VALLEY LANE"
 DEFINITIVE SUBDIVISION MODIFICATION
 EXISTING CONDITIONS PLAN
 IN
 MEDWAY, MASSACHUSETTS

DATE: FEBRUARY 28, 2012
 REVISION DATE: MARCH 14, 2013
 SCALE: 1"=20'

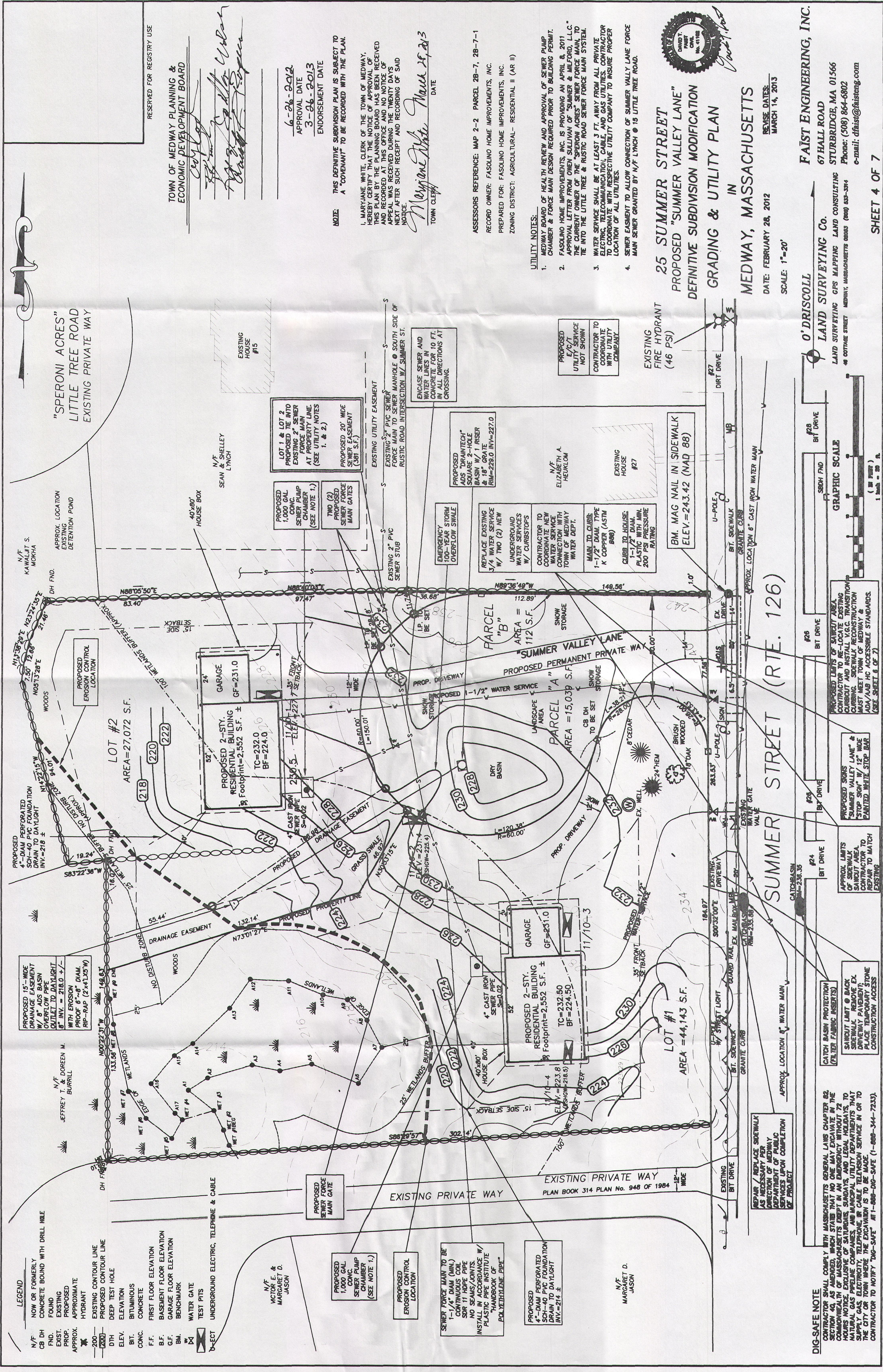
Faist Engineering, Inc.
 67 HALL ROAD
 STURBRIDGE, MA 01566
 Phone: (508) 864-6802
 e-mail: dfaist@faisteng.com

LAND SURVEYING CO.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 40 OFFICE STREET MEDWAY, MASSACHUSETTS 01948
 Phone: (508) 853-3844
 e-mail: dfaist@faisteng.com



DISCLAIMER NOTE

CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82 SECTION 40, AS AMENDED, WHICH STATE THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 82. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE NATURAL GAS PIPELINE COMPANIES, THE MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, CABLE TELEVISION SERVICE OR TO THE CONTRACTOR TO NOTIFY "DIG-SAVE" AT 1-888-DIG-SAVE (1-888-344-7233).



LEGEND

- N/F NOW OR FORMERLY
- DN DRAINAGE
- FD FOUNDATION
- EX EXISTING
- PROP. PROPOSED
- APPROX. APPROXIMATE
- HYD. HYDRAULIC
- 200' EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- DN DEEP TEST HOLE
- ELEV. ELEVATION
- BT. BITUMINOUS
- CONC. CONCRETE
- F.F. FIRST FLOOR ELEVATION
- B.F. BASEMENT FLOOR ELEVATION
- G.F. GARAGE FLOOR ELEVATION
- BM. BENCHMARK
- WATER GATE
- D-DIRECT UNDERGROUND ELECTRIC, TELEPHONE & CABLE

PROPOSED 15'-WIDE OVERFLOW PIPE W/ 8" ADS BASIN WITH 8" ADS LIGHT 3" DIA. 21.0'-7" HIGH WITH EROSION PROOF 8"-8" DIA. RIP-RAP (2.4x1.35")

PROPOSED 100-YEAR STORM OVERFLOW SWALE W/ TWO (2) NEW CURBS/W/ CURBSTOPS

REPLACE EXISTING UNDERGROUND WATER SERVICES W/ TWO (2) NEW CONTRACTOR TO COORDINATE NEW CONNECTION WITH TOWN OF MEDWAY WATER DEPT.

MAN TO CURB 1-1/2" DIA. TYPE K COPPER (ASTM B88) CUES TO HOUSE PLASTIC WITH MIN. 200 PSI PRESSURE RATING

BM. MAG NAIL IN SIDEWALK ELEV.=243.42 (NAD 88)

PROPOSED 2-STY. RESIDENTIAL BUILDING Footprint=2,552 S.F. ± TC=232.0 BF=224.0

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PROPOSED 2-STY. RESIDENTIAL BUILDING Footprint=2,552 S.F. ± TC=232.0 BF=224.0

PROPOSED 4"-DIAM PERFORATED SCH-40 PVC FOUNDATION SOIL-TO-DAYLIGHT INVERT=214 ±

SEWER FORCE MAIN TO BE CONTINUOUS COIL SUR 11 HOPE PIPE INSTALL IN ACCORDANCE W/ PLASTIC PIPE INSTITUTE "HANDBOOK OF POLYMER PIPE"

PROPOSED 1,000 GAL. SEWER PUMP CHAMBER (SEE NOTE 1.)

TWO (2) PROPOSED 8" SEWER MAIN LINES (SEE NOTE 1.)

PROPOSED 2" PVC SEWER FORCE MAIN TO INTERSECT @ SOUTH SIDE OF RUSTIC ROAD INTERSECTION W/ SUMMER ST.

ENCASE SEWER AND WATER LINES IN 18" GRADE IN ALL DIRECTIONS AT CROSSING.

PROPOSED 15'-WIDE OVERFLOW PIPE W/ 8" ADS BASIN WITH 8" ADS LIGHT 3" DIA. 21.0'-7" HIGH WITH EROSION PROOF 8"-8" DIA. RIP-RAP (2.4x1.35")

PROPOSED 100-YEAR STORM OVERFLOW SWALE W/ TWO (2) NEW CURBS/W/ CURBSTOPS

REPLACE EXISTING UNDERGROUND WATER SERVICES W/ TWO (2) NEW CONTRACTOR TO COORDINATE NEW CONNECTION WITH TOWN OF MEDWAY WATER DEPT.

MAN TO CURB 1-1/2" DIA. TYPE K COPPER (ASTM B88) CUES TO HOUSE PLASTIC WITH MIN. 200 PSI PRESSURE RATING

BM. MAG NAIL IN SIDEWALK ELEV.=243.42 (NAD 88)

PROPOSED 15'-WIDE OVERFLOW PIPE W/ 8" ADS BASIN WITH 8" ADS LIGHT 3" DIA. 21.0'-7" HIGH WITH EROSION PROOF 8"-8" DIA. RIP-RAP (2.4x1.35")

PROPOSED 100-YEAR STORM OVERFLOW SWALE W/ TWO (2) NEW CURBS/W/ CURBSTOPS

REPLACE EXISTING UNDERGROUND WATER SERVICES W/ TWO (2) NEW CONTRACTOR TO COORDINATE NEW CONNECTION WITH TOWN OF MEDWAY WATER DEPT.

MAN TO CURB 1-1/2" DIA. TYPE K COPPER (ASTM B88) CUES TO HOUSE PLASTIC WITH MIN. 200 PSI PRESSURE RATING

BM. MAG NAIL IN SIDEWALK ELEV.=243.42 (NAD 88)

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

APPROVAL DATE: 6-26-2012

ENDORSEMENT DATE: 3-16-2013

APPROVAL DATE: 6-26-2012

ENDORSEMENT DATE: 3-16-2013

NOTE: THIS DEFINITIVE SUBDIVISION PLAN IS SUBJECT TO A "CONDEMNATION" TO BE RECORDED WITH THE PLAN.

MARSHALE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFIES THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED IN THE TOWN OF MEDWAY OFFICE OF RECORDS AND THAT THE NOTICE OF APPROVAL WAS RECORDED DURING THE NEXT BUSINESS DAY NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

Notary Public, Notary No. 25,213

TOWN CLERK

ASSESSORS REFERENCE: MAP 2-2 PARCEL 2B-7, 2B-7-1

RECORD OWNER: FASQUINO HOME IMPROVEMENTS, INC.

PREPARED FOR: FASQUINO HOME IMPROVEMENTS, INC.

ZONING DISTRICT: AGRICULTURAL- RESIDENTIAL II (AR II)

UTILITY NOTES:

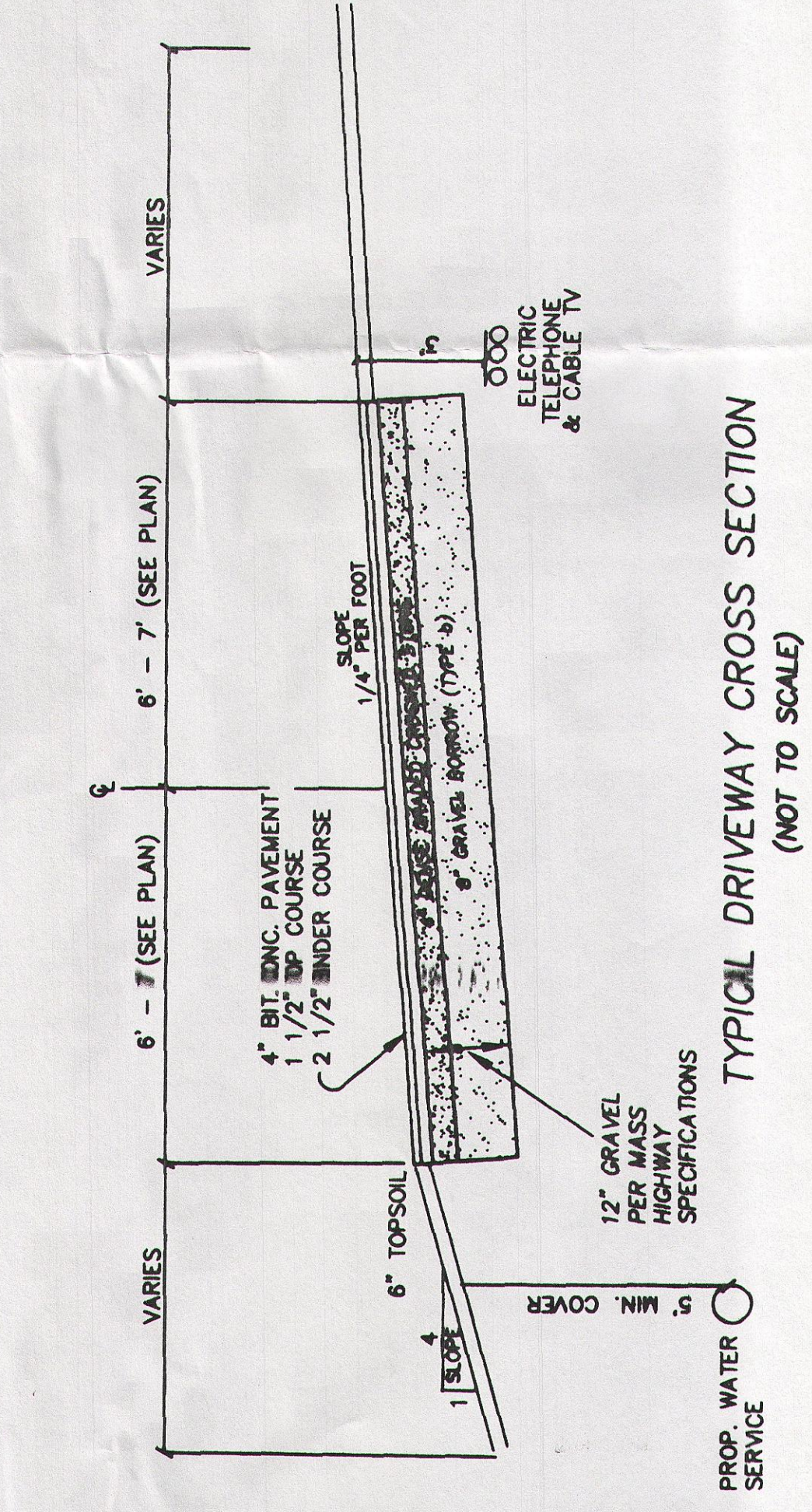
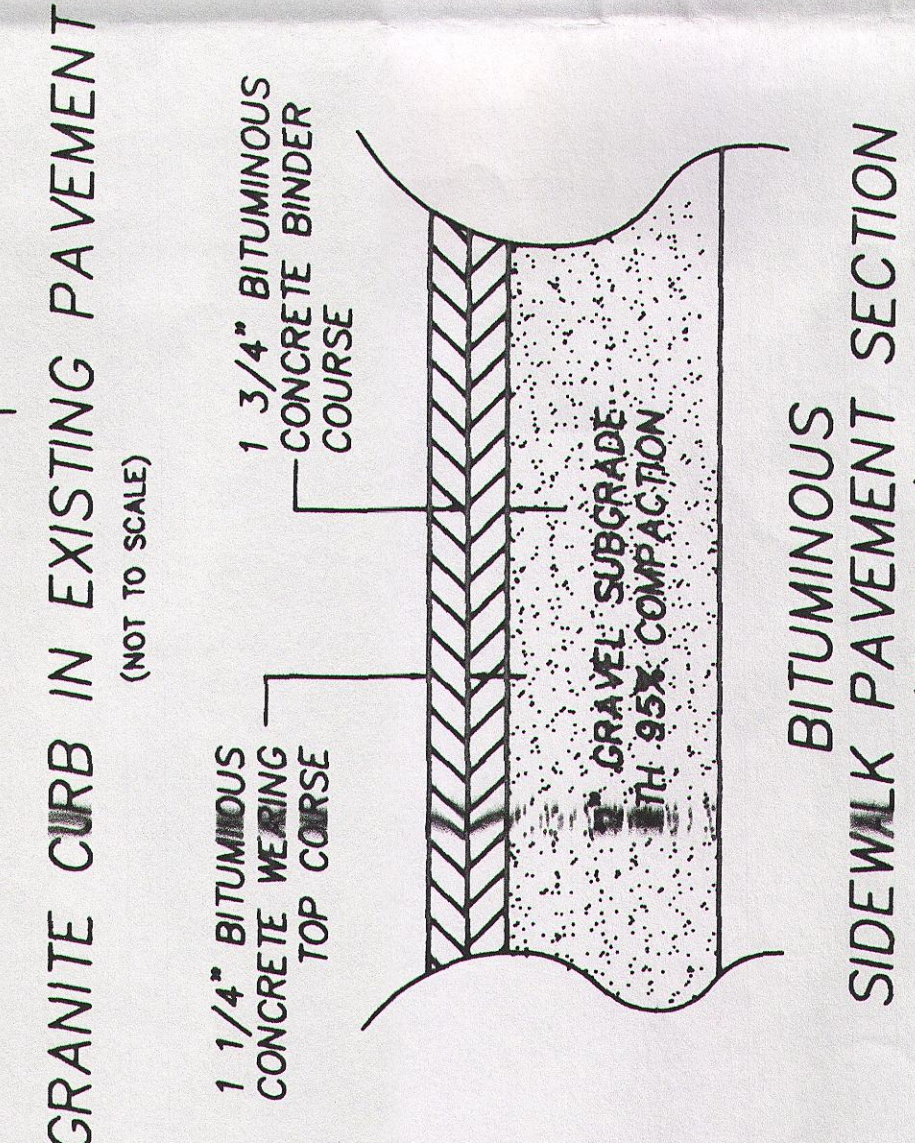
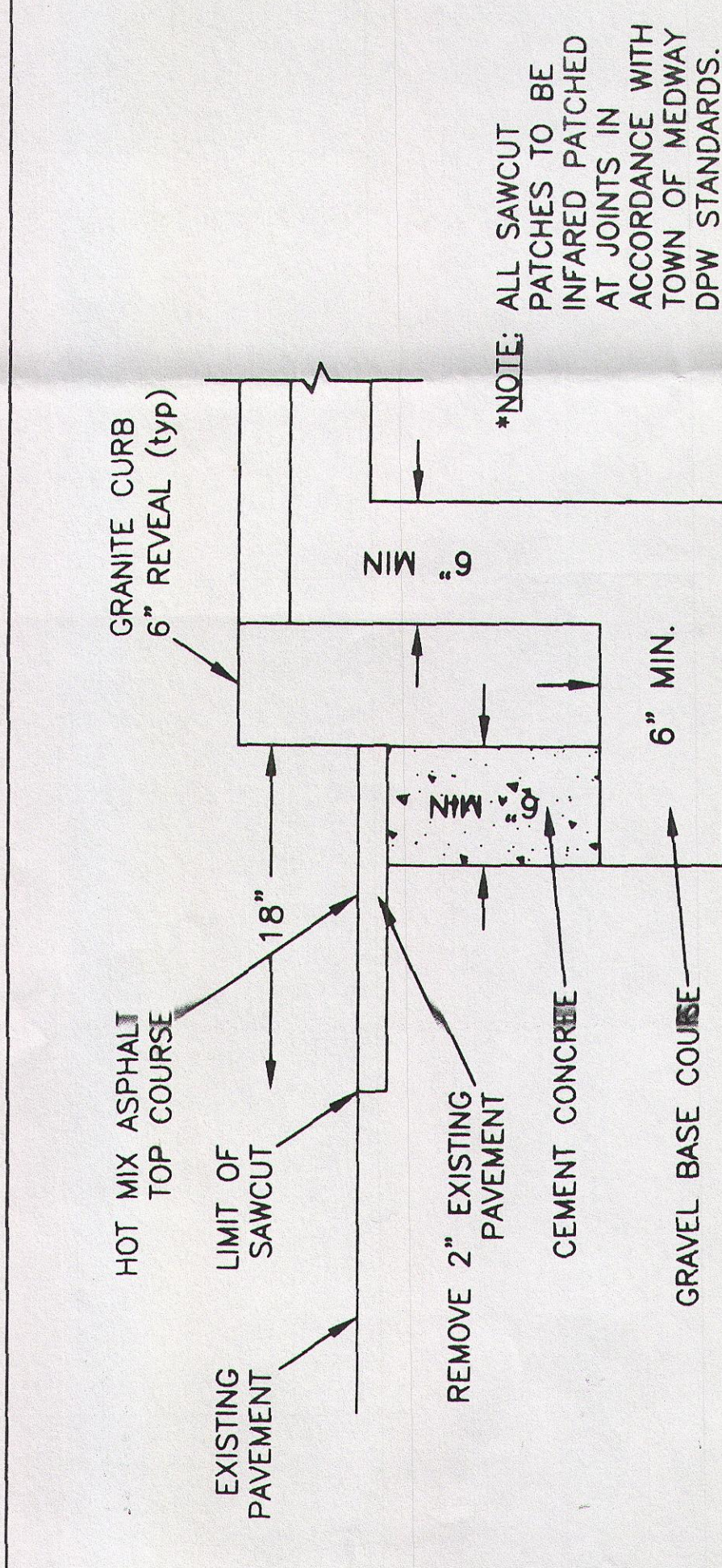
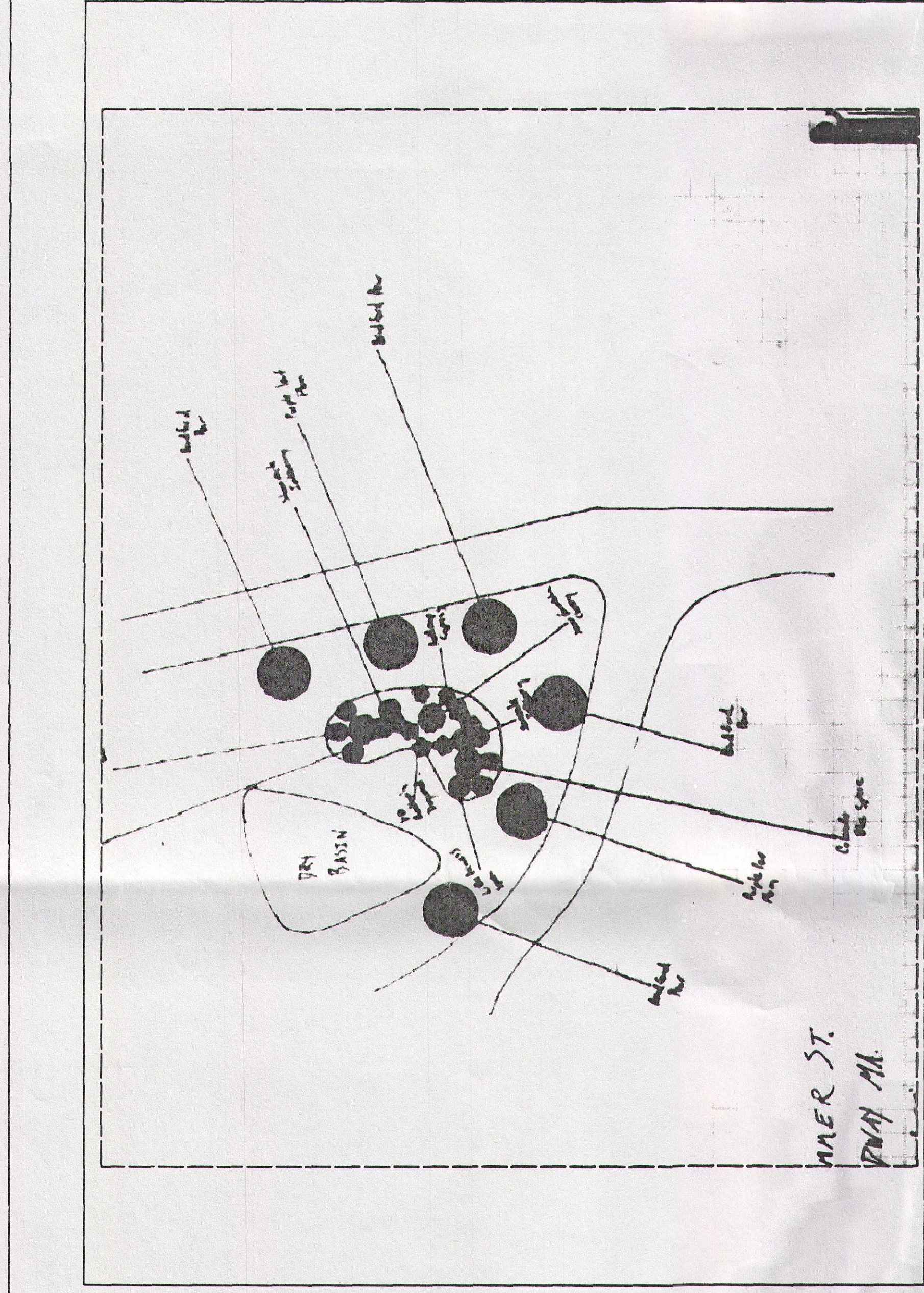
- CONTRACTOR SHALL VERIFY AND APPROVAL OF SEWER PUMP CHAMBER FORCE MAIN TO BE RECORDED TO RECORD PERMIT.
- CONTRACTOR SHALL VERIFY AND APPROVAL OF SEWER PUMP CHAMBER FORCE MAIN TO BE RECORDED TO RECORD PERMIT.
- APPROVAL LETTER FROM OWEN SULLIVAN OF "SUMMER & MEDFORD, L.L.C." THE CURRENT OWNER OF THE "SPERONI ACRES" SEWER FORCE MAIN, TO THE INTO THE LITTLE TREE & RUSTIC ROAD SEWER FORCE MAIN SYSTEM.
- WATER SERVICE SHALL BE AT LEAST 3 FT. AWAY FROM ALL PRIVATE PROPERTY BOUNDARIES AND SHALL BE COORDINATED WITH RESPECTIVE UTILITY COMPANY TO INSURE PROPER LOCATION OF ALL UTILITIES.
- SEWER EASEMENT TO ALLOW CONNECTION OF SUMMER VALLEY LANE FORCE MAIN SEWER GRANTED BY N/F LYNCH @ 15 LITTLE TREE ROAD.

25 SUMMER STREET
PROPOSED "SUMMER VALLEY LANE"
DEFINITIVE SUBDIVISION MODIFICATION
GRADING & UTILITY PLAN
IN
MEDWAY, MASSACHUSETTS

DATE: FEBRUARY 28, 2012
REVISION DATE: MARCH 14, 2013
SCALE: 1"=20'

FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
LAND SURVEYING GPS MAPPING LAND CONSULTING
PHONE: (508) 864-6802
FAX: (508) 864-6803
E-MAIL: dfaist@faisteng.com

SHEET 4 OF 7



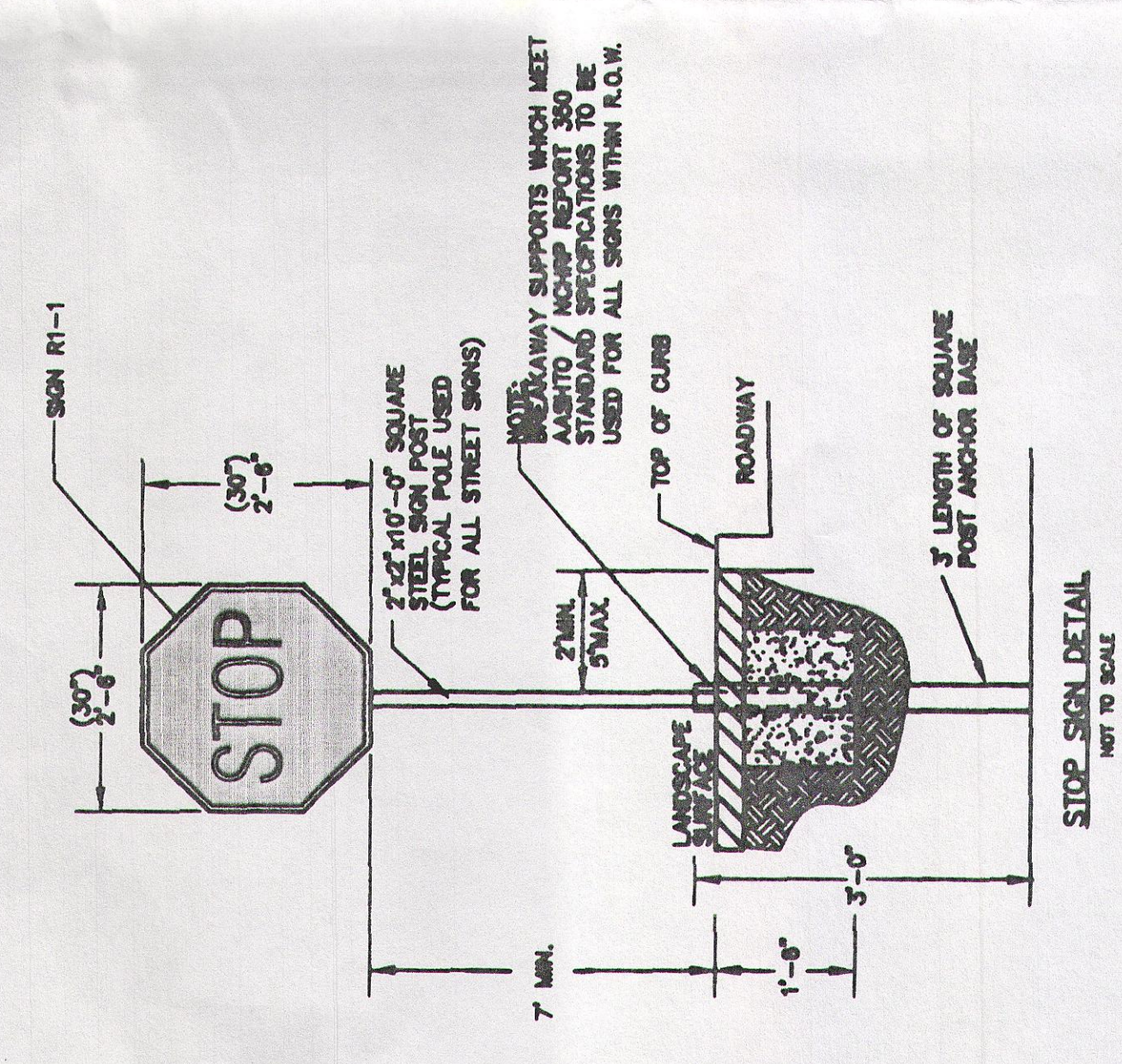
- NOTES:
- 6" MINIMUM OF COMPACTED LOAM SHALL BE PROVIDED ON ALL ROADWAY SIDE SLOPES, GRASS STRIPS, AND HOUSING UNIT LAWN AREAS.
 - DRIVEWAY GRADING AND BANK SLOPE AS SHOWN ON SHEET 4 OF 7.

DMG-SAFE NOTE:

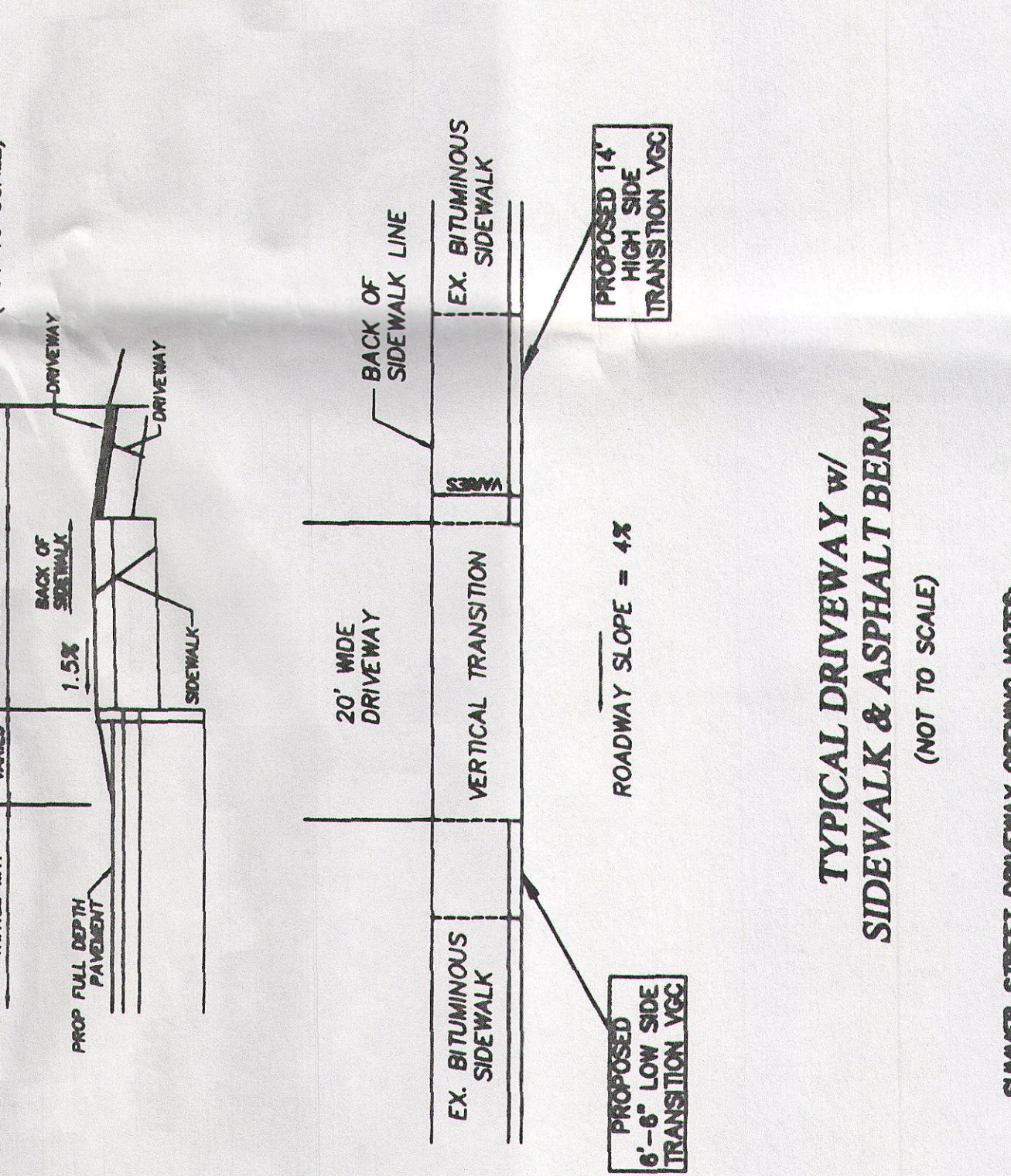
- CONTRACTOR REQUIRED TO NOTIFY THE SAFE 72 HOURS PRIOR TO ANY OH-100 WORK. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

LANDSCAPE SKETCH PROVIDED BY FASOLINO LANDSCAPE DESIGN & CONSTRUCTION

NOTICE: PLAN ON FILE WITH PLANNING & ECONOMIC DEVELOPMENT BOARD PREPARED BY FASOLINO LANDSCAPE DESIGN & CONSTRUCTION MEDWAY, MA 02053 PHONE: (508) 533-4330



SIGN DETAIL (NOT TO SCALE)



TYPICAL DRIVEWAY w/ SIDEWALK & ASPHALT BERM (NOT TO SCALE)

- SUMMER STREET DRIVEWAY CLOSING NOTES:
- CONTRACTOR SHALL OBTAIN A STREET CLOSING PERMIT FROM THE MEDWAY DEPARTMENT OF PUBLIC SERVICES FOR ALL WORK WITHIN THE SUMMER ST. RIGHT-OF-WAY AND PAY ALL APPLICABLE FEES AND DEPOSITS.
 - RECONSTRUCT THE OPENING ONTO SUMMER STREET TO MATCH THE EXISTING SUMMER STREET SIDEWALK CONDITIONS.
 - SAW OUT THE GUTTER EVEN WITH THE CURB AND SAW OUT THE SECTION OF SIDEWALK.
 - RAISE THE GRANITE CURBING ON EITHER SIDE OF THE OPENING.
 - INSTALL NEW GRANITE CURBING AT THE OPENING.
 - REPAIR THE SIDEWALK & SEAL ALL SEAMS AFTER WORK IS COMPLETE.

RESERVED FOR REGISTRY USE

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

APPROVAL DATE: 1-24-2012

ENDORSEMENT DATE: 3-24-2013

APPROVAL DATE: 1-24-2012

ENDORSEMENT DATE: 3-24-2013

NOTE: THIS DEFINITIVE SUBDIVISION PLAN IS SUBJECT TO A COVENANT TO BE RECORDED WITH THE PLAN.

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS DEFINITIVE SUBDIVISION PLAN WAS RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NOTICE PERIOD FOR SUCH RECEIPT AND RECORDING OF SAID NOTICE.

MaryJane White
TOWN CLERK
DATE: March 28, 2013

MONUMENTS:

MONUMENTS INSTALLED ALONG THE STREET SHALL BE A GRANITE MONUMENT NOT LESS THAN FIVE INCHES SQUARE AND SHALL HAVE A 3/8" DIAMETER DRILL HOLE IN THE CENTER OF THE TOP SURFACE. MONUMENTS SHALL BE SET AT ALL EASEMENT CORNERS AT LEAST 30 INCHES IN LENGTH. IRON RODS SHALL BE SET SO THAT THE TOP IS AT A MAXIMUM ONE INCH ABOVE THE FINISH GRADE.

MONUMENTS SHALL BE SET AT ALL EASEMENT CORNERS AND ANGLE POINTS. DRILL HOLES SHALL BE MADE AT ALL EASEMENT CORNERS LOCATED ON A STONE WALL.

STREET MONUMENT DETAIL (NOT TO SCALE)

25 SUMMER STREET
PROPOSED "SUMMER VALLEY LANE"
DEFINITIVE SUBDIVISION MODIFICATION
CONSTRUCTION DETAIL SHEET #2
IN
MEDWAY, MASSACHUSETTS

DATE: FEBRUARY 28, 2012
REVERSE DATES: MARCH 14, 2013
SCALE: 1"=20'

O'DRISCOLL
LAND SURVEYING CO.
67 HALL ROAD
STURBRIDGE, MA 01566
PHONE: (508) 765-7755
E-MAIL: ddriscoll@driscoll.com

FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
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STORMWATER OPERATION & MAINTENANCE PLAN
 "25 SUMMER STREET - DEFINITIVE SUBDIVISION MODIFICATION"
 MARCH 2013
 MEDWAY, MA

**Long Term Operation & Maintenance Plan
 Site Stormwater Management System**
 LOT #1 & LOT #2 - "25 SUMMER STREET"
 Permanent Private Way - Medway, MA

Property Owner(s) / Responsible Party: **"Property Owner - Lot #1" &
 "Property Owner - Lot #2"**
 25 Summer Street - Permanent Private Way
 Medway, MA 02053

Storm water Management System Owner: (same as above)

Storm water System - Parcel "A"

- The proposed storm water system consists of
- One (1) shallow 24" depth grass dry basin;
 - Catch basin "overflow structure" w/ grates and
 - 8" HDPE outlet pipe linear of properties.

Shared Driveway - Parcel "A"

The proposed "shared" 12-16 ft. wide bituminous driveway located on Parcel "A" is also the responsibility of above listed Property Owners to keep this area clear, plowed in the winter, & free of debris. Driveway maintenance on an as needed basis will be necessary to keep the turnaround in serviceable condition.

The maintenance of Parcel "A" and its associated storm water system components is solely for the benefit of access to Lot #1 & Lot #2 - "25 Summer Street Definitive Subdivision". Therefore, maintenance activities consisting of mowing the grass, keeping the grass basin and swale free of leaves, debris, and silt will be the responsibility of both Property Owners.

STORMWATER OPERATION & MAINTENANCE PLAN
 "25 SUMMER STREET - DEFINITIVE SUBDIVISION MODIFICATION"
 MARCH 2013
 MEDWAY, MA

| STORMWATER SYSTEM INSPECTION AND MAINTENANCE SCHEDULE | | |
|---|--------------------------------------|--|
| Best Management Practice (BMP) | Inspection Frequency | Maintenance Frequency |
| STRUCTURAL BMPs | | |
| PARCEL "A" - 25 Summer Street Permanent Private Way | | |
| On-site Dry Basin | Bi-Annual (Early Spring & Late Fall) | Remove Sediment or Debris that may clog the system as needed |
| Catch Basin & 8" Outlet Pipe | Bi-Annual (Early Spring & Late Fall) | Annual and/or as needed |
| NON-STRUCTURAL STORMWATER CONTROLS | | |
| Landscaping | Bi-Annual (Early Spring & Late Fall) | Seasonally As Needed |
| Snow Removal | Seasonally As Needed | Seasonally As Needed |

The purpose of this Storm water Management System Operation and Maintenance Plan is to prevent erosion, sedimentation, pollution or other deterioration of the storm water management system and resource areas located on and adjacent to the site property located on Parcel "A" "25 Summer Street - Permanent Private Way" (the "Site"). The storm water management system shall be maintained properly to assure its continued performance.

STRUCTURAL STORMWATER BMP MAINTENANCE:

Grass Dry Basins:

- On-Site Grass Basins shall be inspected semi-annually for the first year, and at a minimum, annually thereafter.
- Vegetation within the grassed channels shall be kept below six (6) inches in height and clear of trash and debris. Any observed erosion or gullying shall be addressed and repaired immediately.
- Sediment removal shall take place as needed. Clearing by hand practices (i.e. shovels) is preferred to minimize disturbance to vegetation, slopes, and underlying soils.

STORMWATER OPERATION & MAINTENANCE PLAN
 "25 SUMMER STREET - DEFINITIVE SUBDIVISION MODIFICATION"
 MARCH 2013
 MEDWAY, MA

Catch Basin Overflow & Pipe Outlet:

- Inspect clean-out grate & pipe inlet twice per year for signs of accumulation of sediment or debris. Any debris or sediment that could potentially clog the system shall be removed as needed to ensure proper working status of the infiltration line.
- Inspection shall also involve visual observations of sediment and debris build up surrounding the 8" overflow pipe outlet.

NON-STRUCTURAL STORMWATER MANAGEMENT CONTROLS:

Landscaping & Pavement Maintenance:

- No debris, refuse or other materials, including but not limited to landscaping debris, leaves, shrubs and tree trimmings, logs, bricks, stone or trash shall be deposited within the grass dry basins.
- The use of pesticides, herbicides, and fertilizers on the site shall be minimized to the extent practicable and shall be applied in accordance with manufacturer recommendations by experienced and if applicable, licensed personnel.

Trash Removal

- Inspect on-site area for litter and trash as needed. Any accumulated trash, litter, and discarded materials in this area will be removed and will be disposed of at a suitable location on a monthly.

RESERVED FOR REGISTRY USE

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

[Signatures]

APPROVAL DATE: 6-26-2012
 ENDORSEMENT DATE: 3-26-2013

NOTE: THIS DEFINITIVE SUBDIVISION PLAN IS SUBJECT TO A "COVENANT" TO BE RECORDED WITH THE PLAN.

MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND THAT THE PERIOD OF APPEAL HAS BEGUN. THE PERIOD OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

Maryjane White, Clerk
 March 28, 2013
 TOWN CLERK

25 SUMMER STREET
 PROPOSED "SUMMER VALLEY LANE"
 DEFINITIVE SUBDIVISION MODIFICATION
 CONSTRUCTION DETAIL SHEET #3

IN
 MEDWAY, MASSACHUSETTS

DATE: FEBRUARY 28, 2012
 SCALE: 1"=20'

REVISION DATES:
 MARCH 14, 2013



O' DRISCOLL
 LAND SURVEYING CO.
 LAND SURVEYING GPS MAPPING LAND CONSULTING
 46 GORTON STREET MEDWAY, MASSACHUSETTS 01948
 Phone: (508) 765-7755
 e-mail: ddriscoll@driscoll.com

FAIST ENGINEERING, INC.
 67 HALL ROAD
 STURBRIDGE, MA 01566

SHEET 7 OF 7

DWG-SAFE NOTE:
 1. CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-84-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.