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AUG 25 2011
TOWN CLERK

TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Cranston (Chan) Rogers, P.E.,
Karyl Spiller Walsh

August 23, 2011

Minor Site Plan Decision
Medway Middle School – 45 Holliston Street
New Entryway & Façade Improvements

You are hereby notified that on August 23, 2011, at a duly called and properly posted meeting, the Medway Planning and Economic Development Board acted on the application of the Medway School Department for approval of a minor site plan project for the new entryway and façade improvements for the Medway Middle School at 45 Holliston Street. After reviewing the application and information compiled during the public review process which commenced on July 27, 2011 (*the date of application submittal*), the Board, on a motion by Chan Rogers, seconded by Karyl Spiller-Walsh, approved the application with conditions noted herein. Those voting in favor were Andy Rodenhiser, Chan Rogers and Karyl Spiller-Walsh. Thomas Gay was absent from the 8-9-2011 meeting and member Robert Tucker was recused as he serves as chairman of the Medway Middle School Building Committee, which is the proponent for this project.

SITE INFORMATION – The application pertains to the Medway Middle School building at 45 Holliston Street in the Agricultural Residential Zoning District, shown as Parcel 1C-118&26 on Medway Assessors Map 1-2 (January 1, 2010).

PROPOSED SCOPE OF WORK – The Town is undertaking a comprehensive repair project for the Medway Middle School. This is a 2 year project to commence September 2011 and conclude August 2013. The scope of work is primarily the replacement of interior building systems. There are no proposed changes to the use of the building or its functioning as a middle school for grades 5-8 and as administrative offices for the Medway School Department. The project does not change the enrollment or employment numbers. No alterations are planned to the vehicular or pedestrian access to and from the building.

The major exterior aspect of the work pertains to the demolition of the existing front entrance plaza and a proposed new front entrance canopy structure and lobby addition (approximately 2000 sq. ft) on the Holliston Street side of the school building. The work will

also include concrete paving in front of the addition. Other exterior improvements will entail window replacement and installation of colored panels and decorative brick trim along portions the east facing building façade.

Site improvements include the replacement of portions of the existing parking lots on the east side of the building. However, there are no increased parking requirements resulting from the overall scope of interior work. Other site work entails removal and replacement of some of the existing concrete sidewalks that are presently in disrepair and the addition of some sections of sidewalk to provide a continuous accessible loop around the entire building. Replacement site lighting is proposed to improve conditions. Landscaping is minimal and is limited to repairs to areas disturbed by the construction process and the installation of underground utilities including new water line and electric service.

Site regrading is limited to improvements needed to achieve adequate ADA accessibility. The proposed site improvement work is not expected to have any effect on peak stormwater runoff rates and volumes. No adverse effects to the existing drainage system are anticipated.

PROCEDURAL SUMMARY

- June 6 and July 11, 2011 Applicant meets informally with the Medway Design Review Committee to discuss façade renovation
- July 27, 2011 Medway Middle School Building Committee, on behalf of the Medway School Department, submits an application for a minor site plan for improvements to the Middle School building at 45 Holliston Street.
- July 28, 2011 Notice of Public Briefing is mailed to abutters and posted with the Medway Town Clerk and to the Town's web site.
- August 4, 2011 Building Inspector/Zoning Enforcement Officer John Emidy provides a written confirmation of his prior determination that the proposed scope of work constitutes a minor site plan project pursuant to the Site Plan section of the Medway Zoning bylaw.
- August 9 and 23, 2011 Public Briefing is opened and closed.

NOTE – As Planning and Economic Development Board Member Robert Tucker is chairman of the Medway Middle School Building Committee, he recused himself from acting in the capacity of a Planning and Economic Development Board member for purposes of reviewing this site plan application.

INFORMATION PROVIDED:

Application for Minor Site Plan Review – dated July 26, 2011

Project Description dated July 27, 2011 prepared by KBA Architects, Charlestown, MA

Development Impact Report dated July 27, 2011 prepared by KBA Architects

Stormwater Review Letter dated July 27, 2011 prepared by Christopher Garcia, PE of Carcia Galusaka Desousa Consulting Engineers, Inc., Dartmouth, MA

The proposal is shown on plans titled *Repairs to the Medway Middle School*, prepared by KBA Architects as follows:

Sheet C1.0	Site Demolition and Preparation Plan – July 1, 2011
Sheet C1.1	Site Layout Plan – July 1, 2011
Sheet C2.1	Site Utility Plan - July 1, 2011
Untitled Sheet	Main Entry Perspective A, Main Entry Perspective B, Floor Graphics Study. Main Office Rendered Floor Plan, Exterior Elevation at Main Entry

TESTIMONY

Applicant & Representatives

Robert K. Tucker - Chairman of the Medway Middle School Building Committee
Dan Bradford - KBH Architects
Brian Kelley - Compass Project Management

Matthew Buckley, Chairman of the Medway Design Review Committee

Eric Hulstrom, 15 Dean Street

CONDITIONS OF APPROVAL

1. **Plan Revisions**

- A Cover Sheet with title page and index
- A signature box for Planning and Economic Development Board endorsement signatures with space provided for approval and endorsement dates.
- Add a note that lighting must comply with lighting standards of Medway Zoning Bylaw.
- All sheets shall have titles and dates.

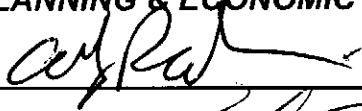
2. **On-going Cooperation with the Medway Design Review Committee** The applicant shall continue to meet and work with the Medway Design Review Committee over the course of project development and construction on the following matters:

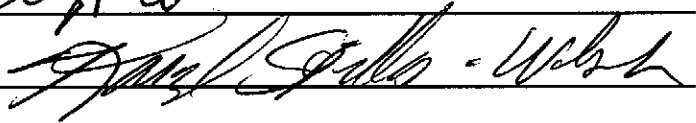
- Unification of the existing and new architecture through the continuation of a brick detail along the base of the new building
- Development of a landscaping plan (*to offset the planned removal of all mature trees currently located in front of the catwalk/breezeway*). The plan shall include seating areas and planters of some type and shall address paving materials/patterns. The original High School bell, currently on site, should be incorporated into the landscaping/seating area

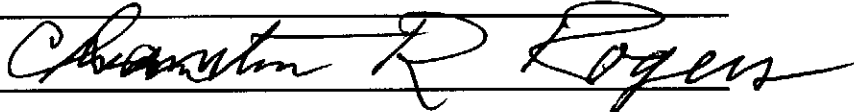
- Preservation of the existing mature rhododendrons and other plantings in the interior courtyard.
 - Reposition the existing plantings located alongside the 70's addition to the front of that same building.
 - Selection of replacement exterior light fixtures
 - Determination of color scheme for new lobby exterior wall panels, metal window frames, new insulated panels between old windows, and the new entrance canopy.
3. **Plan Endorsement** - Within thirty (30) days after the Board has filed its *Decision* with the Town Clerk, the Applicant shall submit a final site plan reflecting all required revisions to the Board to review for compliance with the Board's *Decision*. The Applicant shall provide an original of the site plan documents in their final form to the Board for signature/endorsement. After endorsement, the Applicant shall provide 6 full copied sets of the modified plan documents to the Board plus an electronic file.
4. **Project Completion** - Prior to the issuance of a permanent occupancy permit, the applicant shall provide the Board with a written certification of a professional engineer and/or architect registered in the Commonwealth of Massachusetts that all construction work has been completed in strict compliance with the approved and endorsed site plan and decision.

APPEALS - Any person aggrieved by the Board's *Decision* may appeal such to the court within twenty (20) days of the date the *Decision* is filed with the Town Clerk.

PLANNING & ECONOMIC DEVELOPMENT BOARD MEMBERS:

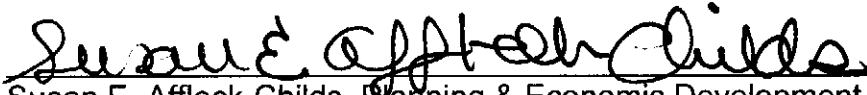






Date: August 23, 2011

ATTEST:



Susan E. Affleck-Childs, Planning & Economic Development Coordinator

- cc: Robert K. Tucker, Medway Middle School Building Committee
Dr. Judith Evans, Medway School Superintendent
John Emidy, Building Commissioner
Thomas Holder, DPS Director
Suzanne K. Kennedy, Town Administrator
Paul Trufant, Fire Chief
Dan Bradford, KBA Architects