

Town of Medway

DESIGN REVIEW COMMITTEE
155 Village Street, Medway MA 02053
(508) 533-3264 • FAX: (508) 321-4988

Matthew Buckley, Chair
Julie Fallon, Vice-Chair
Tom Gay, Member
Rachel Walsh, Member
Mary Weafer, Member
Lisa Graves, Member

Approved: 9/14/15

Meeting Minutes: July 27, 2015
Medway Library, Cole Room

Call to Order: – With a quorum, this meeting was called to order by Chairman Buckley at 7:03 p.m.

Attendees:

	6/1/15	6/15/15	6/29/15	7/6/15	7/27/15	8/3/15	8/17/15
Matthew Buckley	X	X	X	X	X		
Julie Fallon		X					
Tom Gay	X	X	X	X	X		
Mary Weafer	X	X	X	X	X		
Rachel Walsh	X		X	X	X		
Lisa Graves			X	X	X		

Susy Affleck-Childs and Dan Hooper also attended.

Minutes:

Chairman Buckley moved that the Committee approve the meeting minutes from May 4, 2015 as submitted; Rachel Walsh second; No discussion; 3-0-2 (Tom and Lisa abstained).

Mary Weafer moved that the Committee approve the meeting minutes of the joint meeting of the Planning & Economic Development Board and Design Review Committee from May 5, 2015 as submitted; Chairman Buckley second; No discussion; 2-0-3 (Tom, Mary, and Lisa abstained).

Sign Design Review - Advance Auto Parts:

Charlie Schalliol of SES, Inc. attended the meeting on behalf of the applicant. He explained that SES, Inc. handles all branding, including signage, for Advance Auto Parts across the country. They are asking for approval for the main sign on the building and a sign panel on the monument sign. The sign on the building will consist of 27” channel letters. The letters

will be red and the flag logo will be black and white. Mr. Schalliol explained that the traditional sign for Advance Auto Parts has a red background with yellow letters but they modified it for this project. The raceway will be the same color as the building. The monument sign will be externally illuminated. The Advance Auto Parts sign panel will have a red background with yellow lettering and the flag will be black and white. The Committee is only approving the sign panel for Advance Auto Parts not the entire monument sign. Planning & Economic Development Coordinator Susy Affleck-Child explained that this monument sign will only contain signs for Buildings A & B. Building C will have its own sign. The Committee made the following recommendations:

- Reduce the size of the lettering and logo on the monument sign panel by 10-15%. It will create more negative space and make the sign easier to read.
- Keep the colors on the wall sign and monument sign consistent. The Committee recommended using red letters and a white background on the monument sign panel to create consistency. Mr. Schalliol said it is unlikely that Advance Auto Parts would change the colors for the monument sign panel as well.

Site Plan Review – John’s Auto:

A representative for the applicant did not attend the meeting. The Committee briefly reviewed the proposed site plan for John’s Auto Body at 27 Jayar Road. The applicant is proposing to add a 5,000 sq. ft. one story pre-engineered steel building. It will not be connected to the existing building. The building will be used for storage and also contain service bays. The Public Hearing begins on July 28, 2015. At this point no new signage is being proposed. The business is located at the end of Jayar Road in an industrial area and is bordered by wetlands and a Town well. The DRC does not have any recommendations.

Special Permit Site Plan Review – The Willows at Medway ARCPUD:

Jeffrey Robinson, a Managing Partner at Salmon Health & Retirement, Lee Rich of Dario Designs, and landscape architect Dave Thompson attended the meeting on behalf of the applicant. The Committee reviewed and discussed the building elevations. Mr. Rich showed the previous elevations and the new elevations with the recommendations from the previous DRC meeting incorporated. Mr. Rich also reviewed the materials, including the stone veneer and windows. He said that only Ply Gem Fieldstone in Sherwood will be used throughout the property for stone detail and that the red color will be minimized. The window patterns will vary by building. He said they are thinking of going with the desert sand color for the windows. He said all trim will be white.

Detached Cottages – The Committee reviewed the detached cottage elevations. Mr. Rich said the railings will be 36” vinyl. He said the trim and railings will be white. The stone that is being used at the base of the cottages will also be used around the chimneys and will be Ply Gem Fieldstone in Sherwood. He said they will definitely vary the gable positions. The windows on the detached cottages will be 4 over 1 with a transom.

Pavilion – The Committee reviewed the pavilion elevations. Mr. Rich said stone was added to the base of the building and also around the base of the posts at the entry. They will use Ply Gem Fieldstone in Sherwood. They would like to go with green railings but Ply Gem does not have this color so they may need to choose another color or use wood and paint them green. He said the dormers were not changed because it did not work for the floor plan. The wall that extended off the building was removed. The windows will be uneven 2 over 1 with a transom.

Attached Cottages – The Committee reviewed the attached cottage elevations. The windows are similar to those being used on the pavilion. Some of the transoms will be a little larger. The stone will be the same that is being used throughout the project. Mr. Rich said they did not incorporate the brown color from the pavilion because they wanted the pavilion to stand out. The exterior entry to the attached cottages will be hardscaped.

Main Building – The Committee reviewed the main building elevations. Mr. Rich explained that they reduced the color banding on the south elevation. They created vertical color blocks instead but left the color banding on the ends. The Committee agreed that the color banding worked for the end sections. The group discussed the red section of the building on the south elevation and whether the white inside the red was too prominent. Mr. Robinson said they used this same design on The Willows in Worcester. The group agreed that once the windows were blacked out the white would not be as pronounced. Mr. Rich said they added vertical colors blocks to the gray wall facing the courtyard as well. The Committee said they really like Elevation 6 of the main building. Chairman Buckley said the left side of Ground Perspective 8 is the first view of the main building and a good spot for a landscape feature or stone wall. The Committee said they would recommend that all windows are white and not desert sand. Mr. Rich said the plants for the courtyard have not been chosen.

Medical Building – The Committee reviewed the medical building elevations. The Committee said the new window configuration for the silo is much better. They also reviewed the lighting and said it is appropriate for the building. Mr. Rich said they chose not to change the gable on the north elevation. He said they think it adds to the character of the design. Mr. Rich said there will be a 36” vinyl picket fence around the adult daycare drop off

area. He said he will get a sample of the fence for the Committee's review. The Committee recommended using a matte finish if possible to eliminate the glossiness.

Landscape Design – The Committee reviewed the landscape design. Mr. Rich said that a fieldstone wall will be constructed in the island near the main entrance with stones from the site. He said that the gazebo that is planned for the area near the entry has not been designed. The Committee asked to see the gazebo design when it is ready. The group discussed the privacy fence and landscaping for the east side of the property. The goal of the privacy fence is to reduce the noise and lights from the pavilion. Dan Hooper of Naumkeag Street said he would like to further discuss the landscaping that is being planned for the end of Naumkeag Street. Mr. Hooper said this area is fairly bare and that he would prefer to see hemlocks and eastern red cedars planted instead of low growing junipers. Mr. Robinson asked Mr. Rich to take a closer look at this area when they walk the site with the Planning & Economic Development Board. Mr. Robinson said there would not be a second meeting for the abutters. Mr. Hooper said in his opinion the current approach to the east side of the property is significantly better than the original plan. The privacy fence is vinyl and will be tan. The Committee said they would prefer a matte finish or texture to reduce the glossiness. Mr. Rich said he would get the Committee a sample.

Signs at Entry – The Committee reviewed the designs for the main entrance signs and medical building monument sign. The placement of the medical building sign still needs to be resolved. Mr. Robinson said they are not sure how many tenants will occupy the building but it is possible there could be 5-6 tenants. The Committee said that the size of the medical building sign is too large particularly for the residential area. Chairman Buckley said the Committee discourages applicants from using ladder signs. Instead they recommend having a monument sign that identifies the site and then additional signage inside the site. The applicant is allowed 40 sq. ft. total for the monument sign and the proposed sign is 48 sq. ft. per side. Mr. Rich explained that they created this design based on feedback from the previous DRC meeting. The Committee said they would find examples of signs that may fit well and share them with the applicant. The Committee said regardless of the design the size and location of the proposed sign needs to be addressed. In addition, they discussed the size of the walls at the main entrance. At the previous meeting, the Committee recommended reducing them by 20%. Mr. Robinson said they did not reduce the walls since the last meeting. They agreed that the design is very nice but too large for the residential area. Planning & Economic Development Coordinator Susy Affleck-Child said the applicant plans to apply to the ZBA for a variance for surface area and height for the walls at the main entrance. A decision on whether the lighting that is being proposed is considered external or internal needs to be made as well. Rachel asked the applicant to consider keeping the signs

on the walls the same size and in same position but bring the height of the stone wall down. The Committee discussed several other ideas, including having the anchor tenants name on the monument sign, branding the medical building and using that name on the monument sign or adding it to the signs on the main entrance walls, and berming the area under the stone walls at the main entrance.

Stream Crossings - Mr. Robinson said they do not plan to build bridges at the stream crossings. They plan to use fill and retaining walls. The Committee asked them to consider using the same stone veneer that is being used throughout the project for any exposed areas.

Retention Pond - There will be a retention pond behind the pavilion. It will be screened from the abutting properties. The Committee asked that additional shrubs be added to this area because it will be wide open. They also asked that the area be naturalized. It is important that it become a feature and not a scar.

The Committee made the following recommendations:

- Use Ply Gem Fieldstone in Sherwood for all stone applications throughout the project. Minimize the red color. Make sure the size of the stones are varied and include some larger stones.
- The Committee said they think the windows should be white and not desert sand.
- The main signs at the entrance need to be reduced in size. They far exceed the allowable square footage and do not seem too imposing for the residential area.
- The placement of the medical building sign needs to be determined.
- The size of the medical building sign needs to be reduced. It is double the allowable size.
- The design of the medical building sign needs work. The Committee will send the applicant several good examples.
- Consider branding the medical building and using that name on the monument sign or adding it to the signs at the main entrance.
- Add additional shrubs around the storm water basins. Naturalize this area as much as possible. Make it a feature and not a scar.
- Use the same stone veneer that is being used throughout the project for any exposed areas on the retaining walls at the stream crossings.
- All vinyl fences should have a matte finish or texture to reduce glossiness.
- Address bare area at the end of Naumkeag Street.
- Send samples of the fences that will be used on property.
- Send design of small gazebo that will be near the entrance of the property.

- Add a landscape feature or stone wall to the left side of Ground Perspective 8. This is the first view of the main building.

Action Items:

- Mary will do Advance Auto Parts LOR for Friday.
- Collect photos of monument signs to share with The Willows ARCPUD.
- Work on LOR for The Willows ARCPUD.
- Julie will work on the cover for the new Design Review Guidelines.
- Mary will gather local photos for the new Design Review Guidelines.
- Ideas for a message board at Choate Park, including location, design, fonts, illumination etc.

Schedule:

The next DRC meeting will be on August 3, 2015 at the Medway Public Library at 7:00 p.m.

Adjournment:

With no further business before this committee, a motion was made by Chairman Buckley, seconded by Mary Weafer to adjourn at 10:36 p.m.

Respectfully Submitted,

Michelle Reed



**Medway Design Review Committee (DRC)
Application for Sign Design Review**

Medway Location/Address (Where sign will be installed): 72 Main St
(What is the interior width of the storefront? 80')

Building/Development Name: (if applicable): Advance Auto Parts

Medway Zoning District: C1

Applicable Sign Standard Table (from Medway Zoning Bylaw) **Table #** 2.

Applicant Information (Local Medway business establishment where the sign is to be installed)

Business Name: Advance Auto Parts

Mailing Address: 72 Main St., Medway, MA 02053

Contact person: Bret Skirvin

Phone: 574.232.7471 Cell Phone 574.850.5815

Email address: Bas@sesbranding.com

Type of Proposed Sign – For definitions, refer to *Medway Zoning Bylaw (Section V. R. Sign Regulation)*.
The *Medway Zoning Bylaw* is available on-line at: www.townofmedway.org.

Type of Sign	Signs Dimensions	Total Square Footage of Sign Surface Area	Type of Illumination (internal or external or none)	Compliance To be reviewed by Medway Planning Coordinator
Wall/Façade	(2) 2' - 3" x 31' 8"	(2) 71 sf	Internal	
Free-standing Individual Business				
Free-standing Multi-Tenant Development	2' - 0" x 8' - 0"	16sf	Internal	
Awning				
Projecting				
Directory				

Attach the following items to this form. pdf format preferred for application and attachments.
Please email application and documents to drc@townofmedway.org.

- X 1. Manufacturer's scaled COLOR drawing with dimensions and DETAILED specifications for materials and illumination. (You may bring in preliminary sketches of your design concept if you would like assistance in developing your sign design. If this is the case, you should plan to attend a second meeting with the DRC to finalize your sign design.)
- X 2. For a wall sign, a scaled image showing where the sign's position on the building.
- N/A 3. For any proposed freestanding sign
 Landscaping Plan for the base of the sign
 Plot Plan marked with location of the free-standing sign and distances from street/lot lines.
- X 4. Color photograph(s) of building/location(s) where sign will be installed and existing signs.
- X 5. Color drawing of corporate logo (if applicable).
- N/A 6. Color photograph of similar/comparable sign on which your sign design is based.
- X 7. A letter or other descriptive or explanatory information you want to provide to the DRC

Does this application pertain to a completely new sign?

Yes No (If NO, please include photos/info of the existing sign you are modifying)

Does this application pertain to a replacement panel for an existing sign structure?

Yes (If yes, please include photos/info of the existing sign) No

If the business is located in a multi-tenant development, is there a Master Sign Plan for the development?

Yes No Don't Know

Does your lease require the property owner's approval of your sign?

Yes No Not applicable

Sign Designer/Fabricator/Installer Information

Company Name: Atlas Sign Industry
Mailing Address: 1077 West Blue Heron Blvd., West Palm Beach 33404
Contact person: James Abreu
Phone: 800-772-7932 Cell Phone: _____
Email address: James.A@atlassignindustries.us

Property Owner Information

Company Name: Thurken III, LLC
Mailing Address: 389 Main Street, Salem, New Hampshire 03079
Contact person: Rich Landry
Phone: 857-472-3827 Cell Phone: _____
Email address: RL@landryarchitects.com

Proposed sign designs are reviewed by the Medway Design Review Committee (DRC).

The business owner and sign designer/fabricator must attend the DRC meeting.

The DRC meets on the first & third Monday night of each month at 7 p.m. - Medway Library, 26 High ST
(Agendas are posted at the Town's web page at www.townofmedway.org)

The Application for Sign Design Review and all supporting information must be submitted to the DRC by 12 noon on the Wednesday before a DRC meeting.

Please submit this application form and all attachments as follows:

Email: drc@townofmedway.org **PREFERRED!!**
Fax: 508-321-4987
Mail: Design Review Committee
c/o Medway Planning office
155 Village Street, Medway, MA 02053
Drop Off: Medway Planning office @ Medway Town Hall, 155 Village Street
Phone: 508-533-3291 (Medway Planning office)

Applicants and sign designers should read Medway's Sign Design Guidelines. Sign designs should be developed in accordance with those Guidelines.

Date Application Received by Medway Planning office: _____

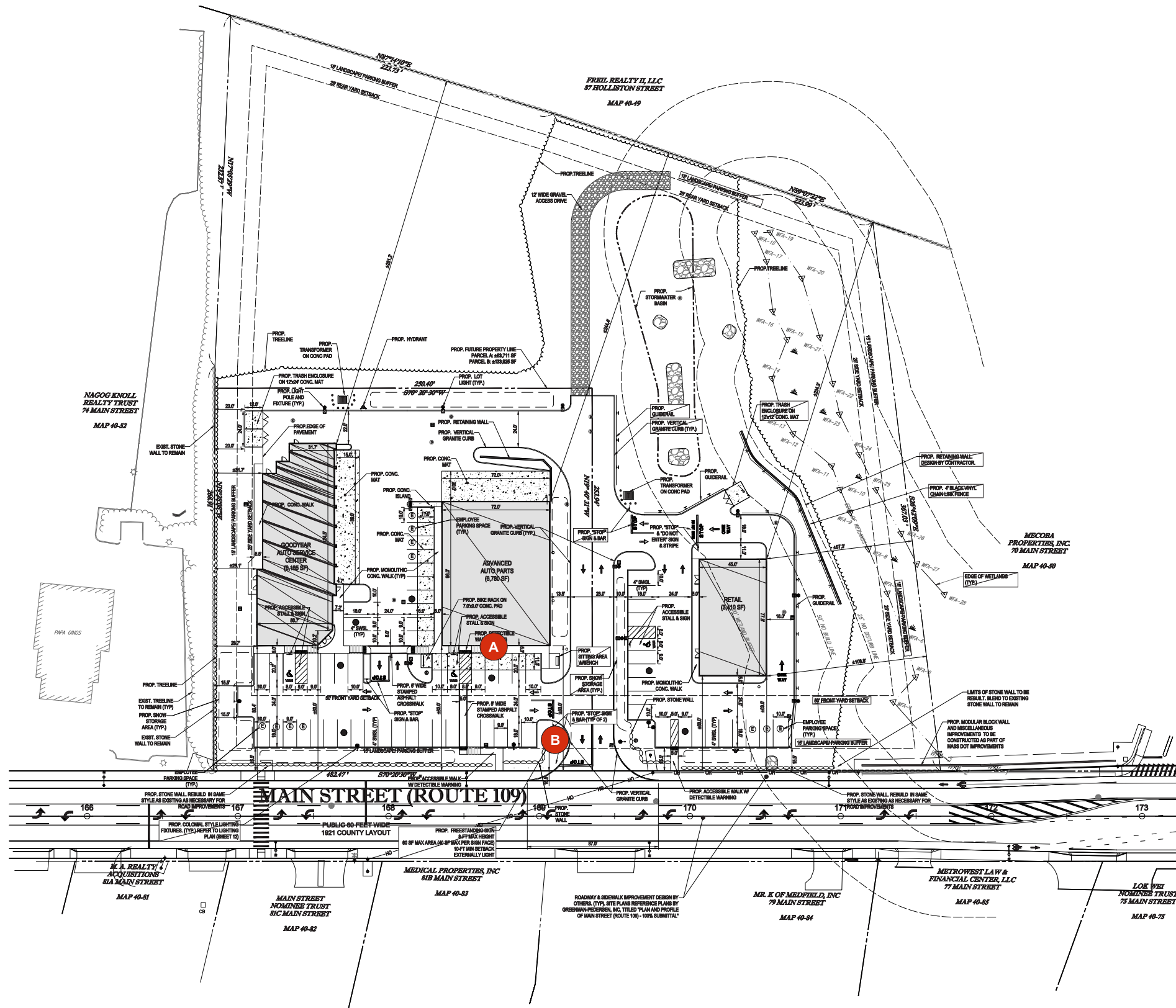
Reviewed by Medway Planning Coordinator: _____

DRC Meeting Date: _____

Date of DRC Review Letter Submitted to Building Department: _____



Advance Auto Parts is seeking approval for the following signs: (2) 27" Channel Letterset wall signs, as well as a 2'x 8' tenant panel on the Medway Commons multi-tenant monument sign. This is a unique situation for Advance Auto Parts, as they typically locate in a freestanding building, rather than sharing with other tenants. Their prototypical sign package includes 30" yellow Channel Lettersets with a red-panel mounting background. Given the circumstances, Advance Auto Parts is modifying their standard proposal to incorporate red Channel Letters to compliment the architecture and better fit in with their surroundings. Our signs are clear and well designed, and incorporate internal illumination. We have reviewed the sign design guidelines, and we believe our signs promote a positive image, and are visually appealing, yet function properly at the same time. Our proposal complies with what is allowed by code, and Advance Auto Parts feels that their image and branding will positively contribute to the overall beauty and character of the Town of Medway.



Scale: 1" = 80'

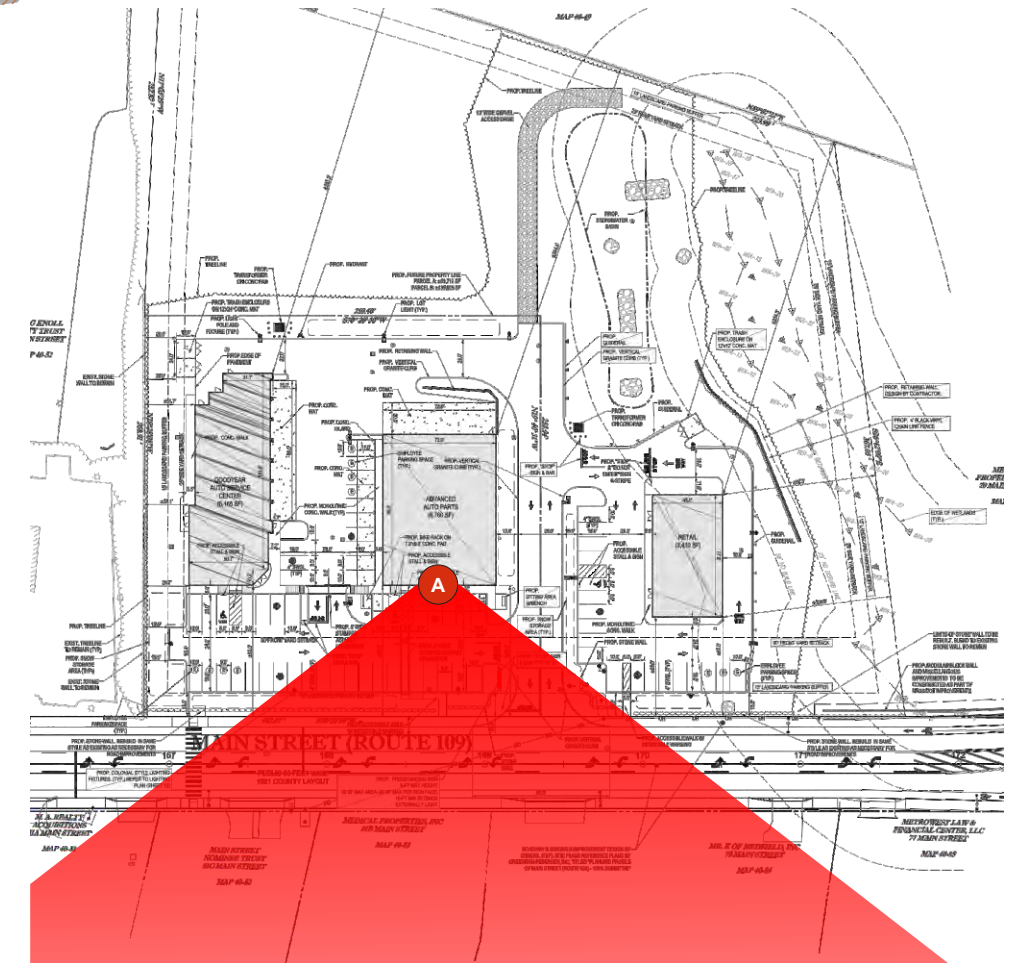
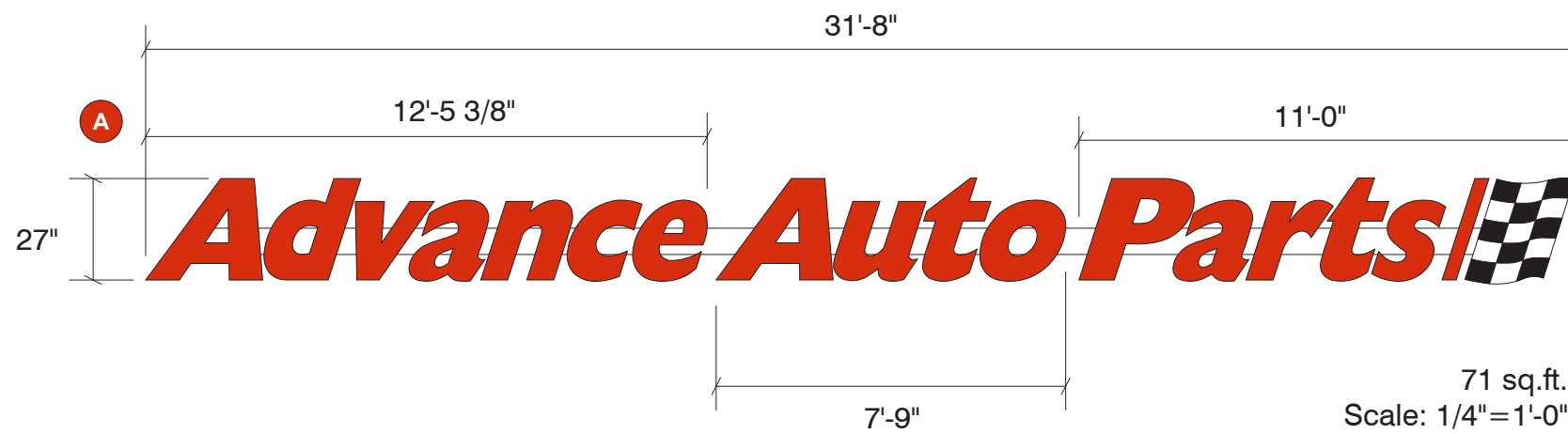
Size and placement of signage is approximate.



FRONT ELEVATION

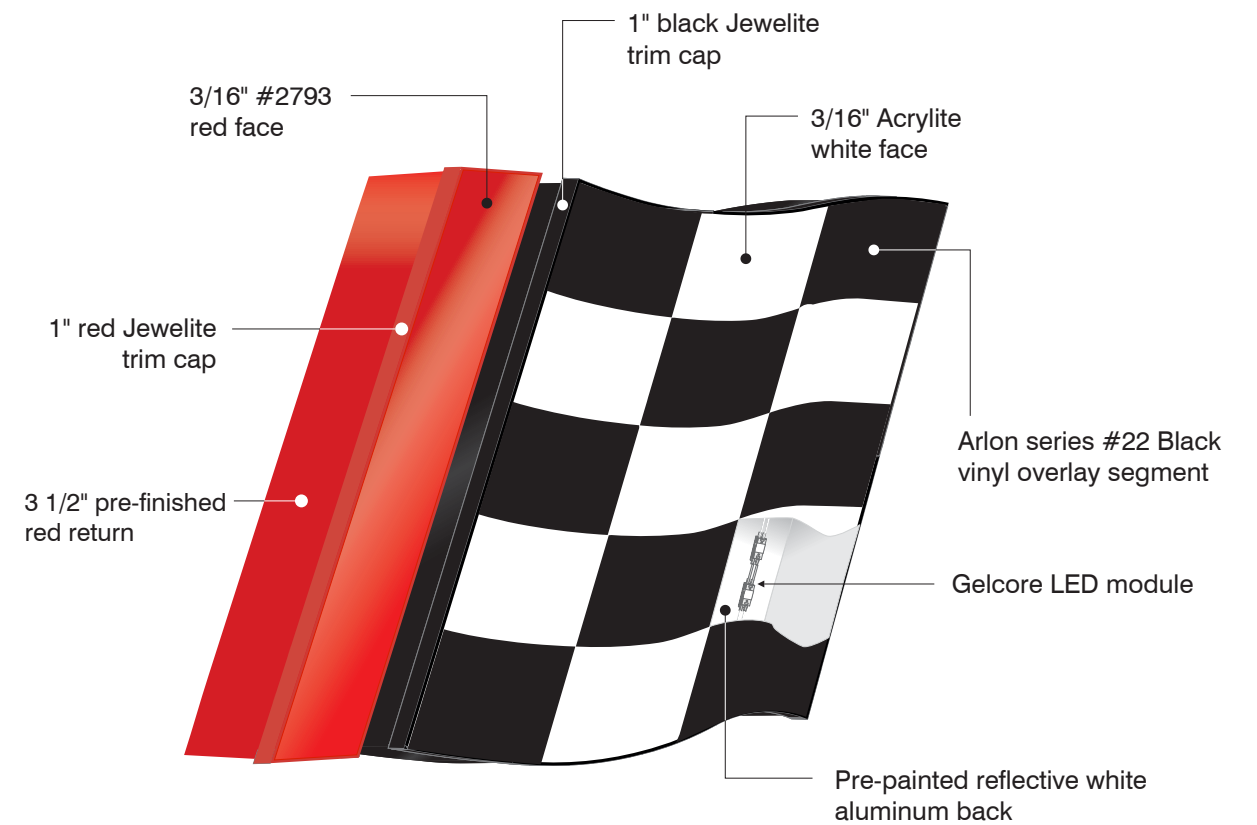
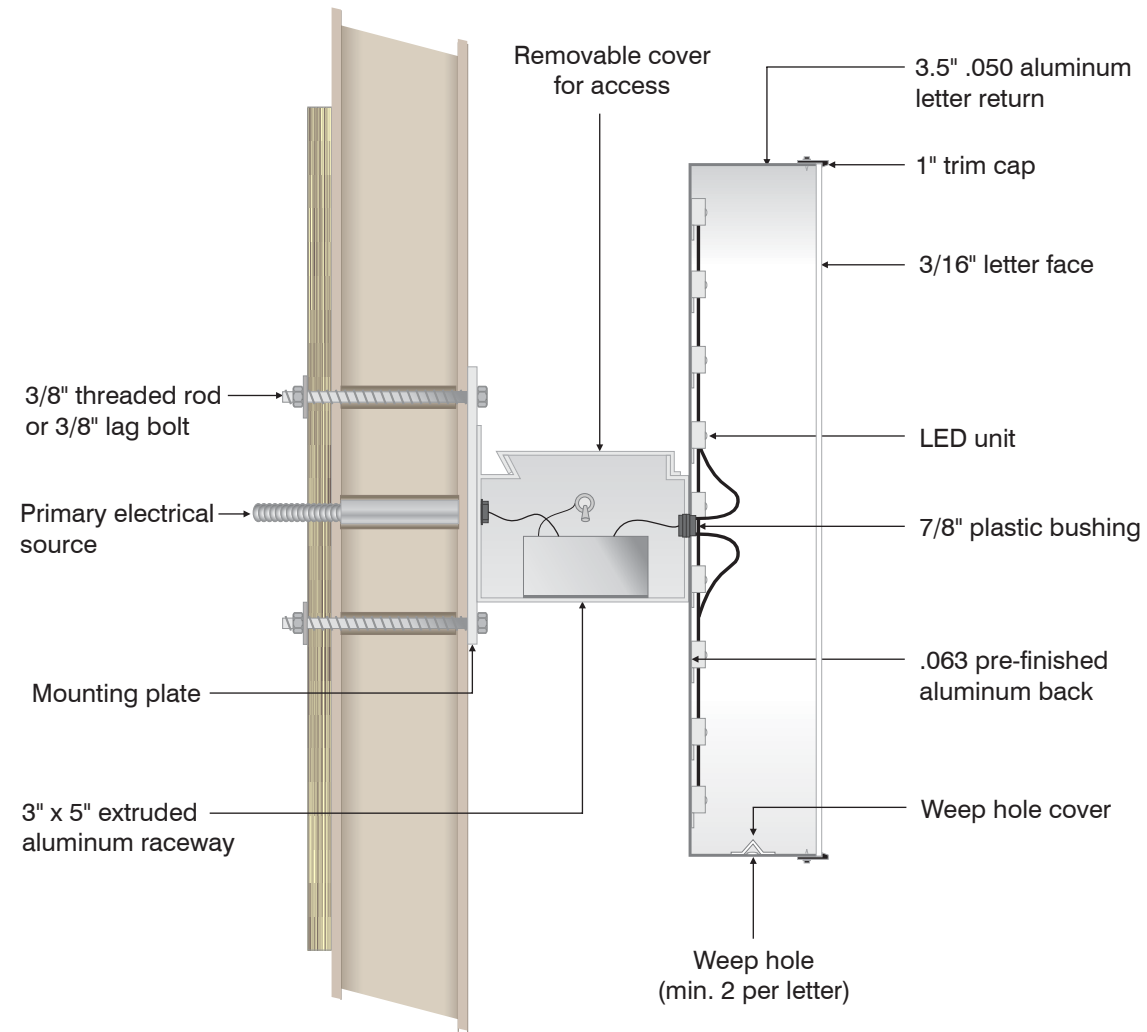
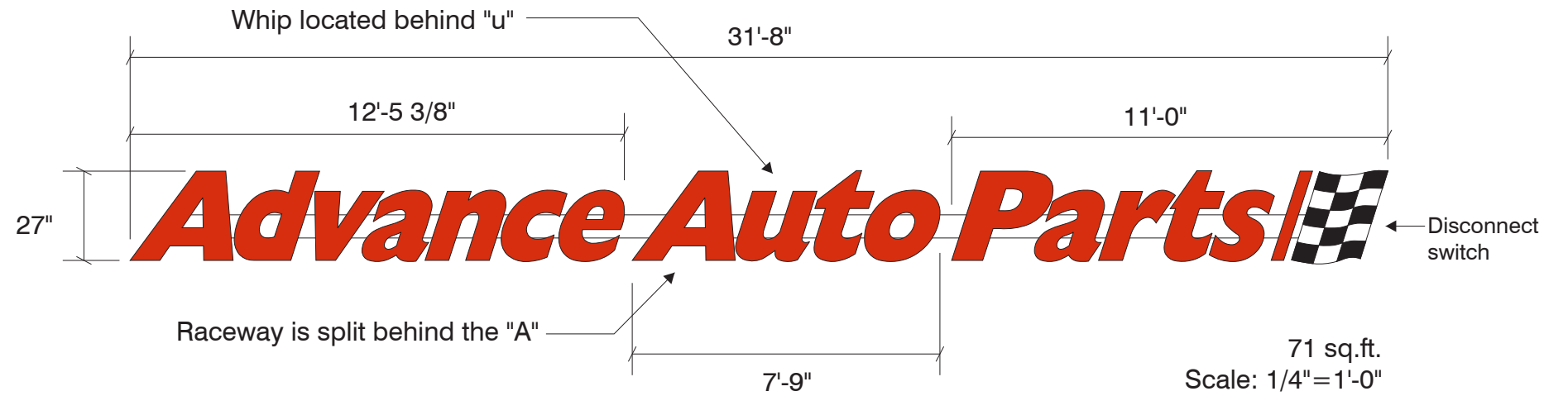
Scale: NTS

*This elevation is prototypical and for representational usage only.
Architecture and dimensions are subject to change upon procurement of site specific elevations.*



A1 27" Red Channel Letterset

POWER SUPPLY: Gelcore model GECLPS3 or GECLPS4 (UL classified)
 LED UNIT: Gelcore (5 per ft.)
 DISCONNECT SWITCH: 20 amp toggle safety switch, single pole with rubber boot (UL approved)



Sign components to be in strict compliance with all UL standards.



I/We Thurken Medway LLC hereby grant Site Enhancement Services, acting as sign agent for Advance Auto Parts, the right to proceed with the process of applying to the Town of Medway for signage permits including meeting with the Medway Design Review Committee for approvals needed for a wall sign for Advance Auto Parts to be located in Tri Valley Commons at 72 Main Street in Medway, MA. We have reviewed the wall sign proposal and drawings from Site Enhancement Services, Inc. showing a 71 sq. ft. channel letter wall sign to be affixed directly to the building façade without the accompanying background panel as had been shown on the Master Signage Plan approved as part of the special permit/site plan decision. We authorize Site Enhancement Services to move forward with the sign permitting process for this wall sign for Advance Auto Parts.

Representative's Name: Richard E Landry Jr.

Representative's Signature:

Company Name: Thurken Medway, LLC

Address: PO Box 857

New Castle, NH 03854

Phone Number: 857-472-3827

Position: Manager

Date: 07/20/2015

(Please notarize below)

The foregoing instrument was acknowledged before me this _____ day of _____, 20__, by _____ who is personally known to me or has produced _____ as identification.

-

GENERAL SITE NOTES:

1. SITE EXISTING CONDITIONS, WETLANDS LOCATIONS, AND TOPOGRAPHY ARE BASED ON AN ON THE GROUND SURVEY BY O'DRISCOLL LAND SURVEYING CO., MEDWAY MA, AS SHOWN ON A PLAN ENTITLED "EXISTING CONDITIONS, 25 JAYAR ROAD, MEDWAY, MA" DATE JULY 2014.
2. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
3. SITE IS NOT WITHIN AN AREA OF 100-YEAR FLOOD BASED ON F.I.R.M. FLOOD INSURANCE RATE MAP NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 142 OF 430 MAP NUMBER 25021C0142E, EFFECTIVE DATE: JULY 17, 2012.
4. ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAD '88)

CURRENT OWNER:
 JOHN J. & CAROLINE C. SOLARI
 18 WINTHROP STREET
 MEDWAY, MA 02053
 PHONE: (508) 533-2800

ASSESSOR'S MAP ID: 24-013 DEED: BK 14144 PG 371

ZONING: INDUSTRIAL I & GROUNDWATER PROTECTION DISTRICT
 EXISTING USE: PARKING AREA FOR ADJACENT AUTO REPAIR BUSINESS

LEGEND

- MON MONUMENT
- BC BOUNDARY CORNER
- N.F. NOT FOUND
- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- 200 EXISTING CONTOUR LINE
- UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- C.C.B. CAPE COD BERM
- CB DRAIN CATCH BASIN
- ☆ LIGHT POST

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

 TOWN CLERK
 DATE _____

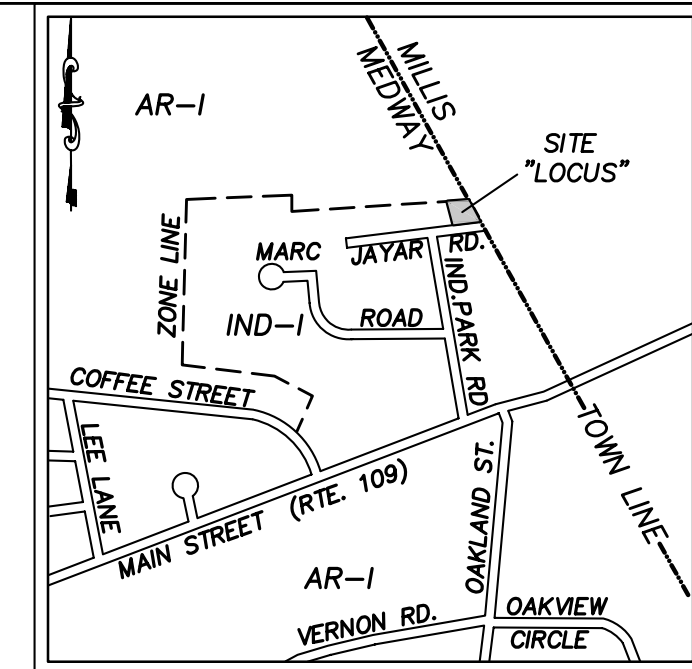
 APPROVAL DATE

 ENDORSEMENT DATE

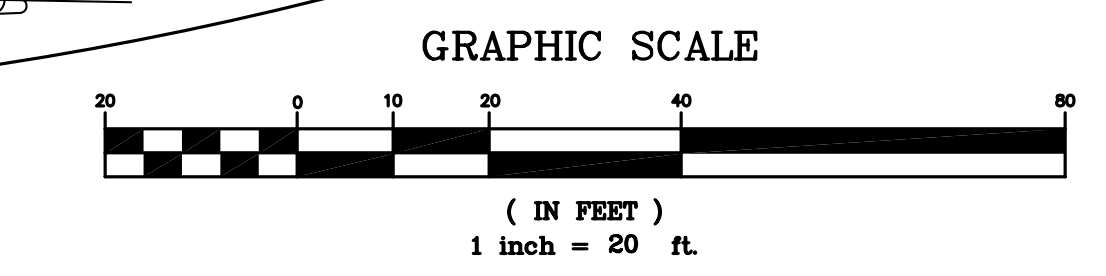
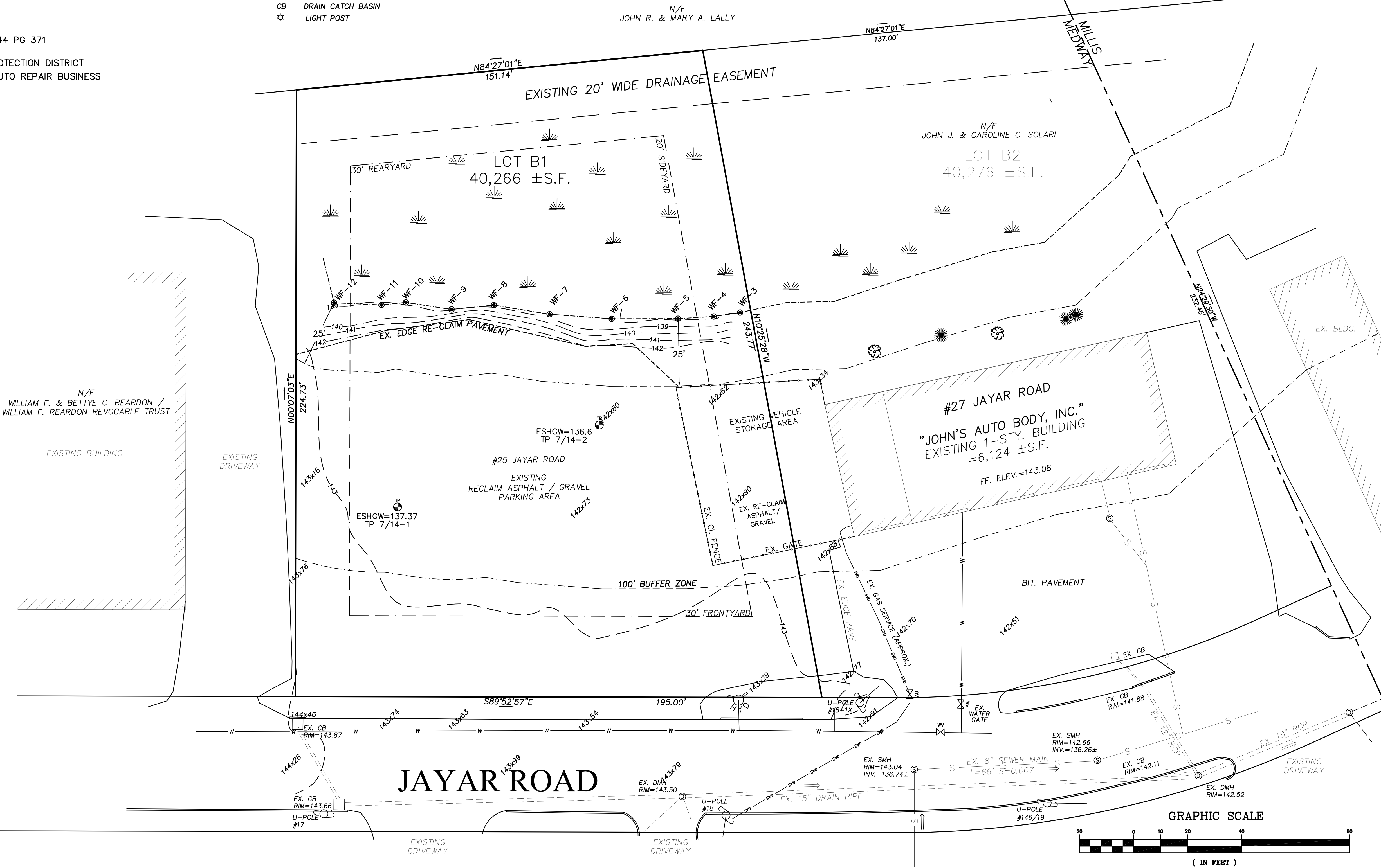
I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____

N/F
 JOHN R. & MARY A. LALLY



LOCUS MAP
 (1" = 1,000')



FAIST ENGINEERING, INC.
 #67 HALL ROAD STURBRIDGE, MA 01566
 Phone (508) 864-6802 e-mail: dfaist@faisteng.com
O'DRISCOLL LAND SURVEYING, Co.
 LAND SURVEYING GIS MAPPING LAND CONSULTING
 46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

DATE:	
REVISIONS PER:	

DATE ISSUED:	10/16/14
DWG. SCALE:	1" = 20'
DRAWN BY:	DO/DF
REVIEWED BY:	DIT
PROJECT NO.:	JOH-2014

EXISTING CONDITIONS
#25 JAYAR ROAD
MEDWAY, MA

1 of 1

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3. SITE IS NOT WITHIN AN AREA OF 100-YEAR FLOOD BASED ON F.I.R.M. FLOOD INSURANCE RATE MAP NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 142 OF 430 MAP NUMBER 25021C0142E, EFFECTIVE DATE: JULY 17, 2012.
4. ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAD '88)

GRADING & UTILITY NOTES:

1. LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY UTILITY CONNECTIONS OR CROSSING OF PROPOSED AND EXISTING UTILITIES. THEREFORE, THE CONTRACTOR MUST CONTACT "DIG-SAFE" AND THE RESPECTIVE PUBLIC AND PRIVATE UTILITY COMPANIES, AND THE MUNICIPALITY INVOLVED SHOULD BE NOTIFIED FOR ACCURATE DELINEATION OF SUBSURFACE UTILITY LINES BEFORE CONSTRUCTION AND/OR DEMOLITION IS COMMENCED ON THIS PROPERTY.
2. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY THE TOWN OF MEDWAY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS FOR AND FOR PERFORMING ANY NECESSARY WORK INVOLVED IN CONNECTION WITH THE DISCONTINUANCE OF ANY UTILITIES OR WITHIN THE JURISDICTION OF ANY UTILITY COMPANIES, SUCH AS ELECTRICITY, TELEPHONE, WATER, GAS, AND ANY SYSTEM OR SYSTEMS WHICH WILL BE AFFECTED BY THE WORK TO BE PERFORMED UNDER THIS CONTRACT.
4. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENT, AND UTILITY COMPANIES, IN WRITING, AT LEAST 48 HOURS AND NOT MORE THAN 30-DAYS PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITIES AT THE SITE. CONSTRUCTION SHALL NOT INTERFERE WITH OR INTERRUPT UTILITIES WHICH ARE TO REMAIN IN OPERATION.
5. ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE TOWN OF MEDWAY, MA.
6. GAS, TELEPHONE, AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC, AND PLUMBING CONSULTANTS. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND DESIGN OF NEW UTILITIES WITH ELECTRIC, CABLE TELEVISION AND TELECOMMUNICATION UTILITIES.
7. INSTALL WATER LINES WITH A MINIMUM OF FIVE (5) FT. COVER AND MAXIMUM OF SEVEN (7) FT. COVER MATERIAL.
8. MAINTAIN 10 FT. HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LINES. WHEREVER THERE IS LESS THAN 10 FT. OF HORIZONTAL SEPARATION AND 18 IN. VERTICAL SEPARATION BETWEEN SEWER AND WATER UTILITIES, ENCASE BOTH UTILITIES IN CONCRETE.
9. UTILITY STRUCTURES TO BE ABANDONED SHALL BE REMOVED TO A DEPTH OF NO LESS THAN 3 FEET BELOW FINISHED GRADE, THE BOTTOMS OF THE STRUCTURES SHALL BE BROKEN AND THE STRUCTURES SHALL BE BACKFILLED WITH CLEAN, COMPACTED GRAVEL.
10. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED OR REMOVED AND DISPOSED (R&D).
11. CONTRACTOR IS RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR THE GAS LINE INSTALLATION.
12. CONTRACTOR SHALL JET CLEAN SITE DRAIN LINES AND VACUUM DRAIN STRUCTURES PRIOR TO DEMOBILIZATION.
13. MAINTAIN 5 FT. HORIZONTAL SEPARATION BETWEEN GAS UTILITY SERVICE AND ALL OTHER UTILITIES.
14. ELECTRICAL, CABLE, & TELEPHONE UTILITY LAYOUT IS PRELIMINARY AND SUBJECT TO FINAL DESIGN BY THE UTILITY COMPANY. LOCATIONS SHOWN ARE FOR UTILITY LAYOUT PLANNING PURPOSES AND SUBJECT TO CHANGE IN THE FIELD BY EACH RESPECTIVE UTILITY COMPANY.
15. ALL SEWER LATERAL CONNECTIONS TO MAIN WILL USE WYE CONNECTION.
16. SEE CONSTRUCTION DETAILS & ADDITIONAL NOTES ON SHEETS C-3, C-4, & C-5
17. INTERIOR BUILDING PLUMBING SHOWN IS SCHEMATIC ONLY FOR PURPOSES OF EXTERIOR SEWER PIPING LOCATION. INTERIOR PLUMBING DESIGN BY OTHERS.
18. INTERIOR FLOOR DRAINS TO CONNECT DIRECTLY TO MDC TRAP VIA 4" CAST IRON PIPING SEPARATE FROM SANITARY WASTE LINE.
19. CONTRACTOR TO REMOVE HYDROSEED WASTE FROM WETLANDS PRIOR TO CONSTRUCTION.
20. SEE ORDER OF CONDITIONS DEP FILE NO. CE 216-0850 FOR WETLANDS BUFFER ZONE PLANTING REQUIREMENTS.

DIG-SAFE (1-888-344-7233) NOTE:

CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

LEGEND

- MON MONUMENT
- BC BOUNDARY CORNER
- N.F. NOT FOUND
- N/F NOW OR FORMERLY
- EX. EXISTING
- PROP. PROPOSED
- INV. INVERT
- HYDRANT
- SEWER MANHOLE
- DRAIN MANHOLE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- UTILITY POLE
- BIT. BITUMINOUS
- CONC. CONCRETE
- CB DRAIN CATCH BASIN
- C/O CLEAN OUT

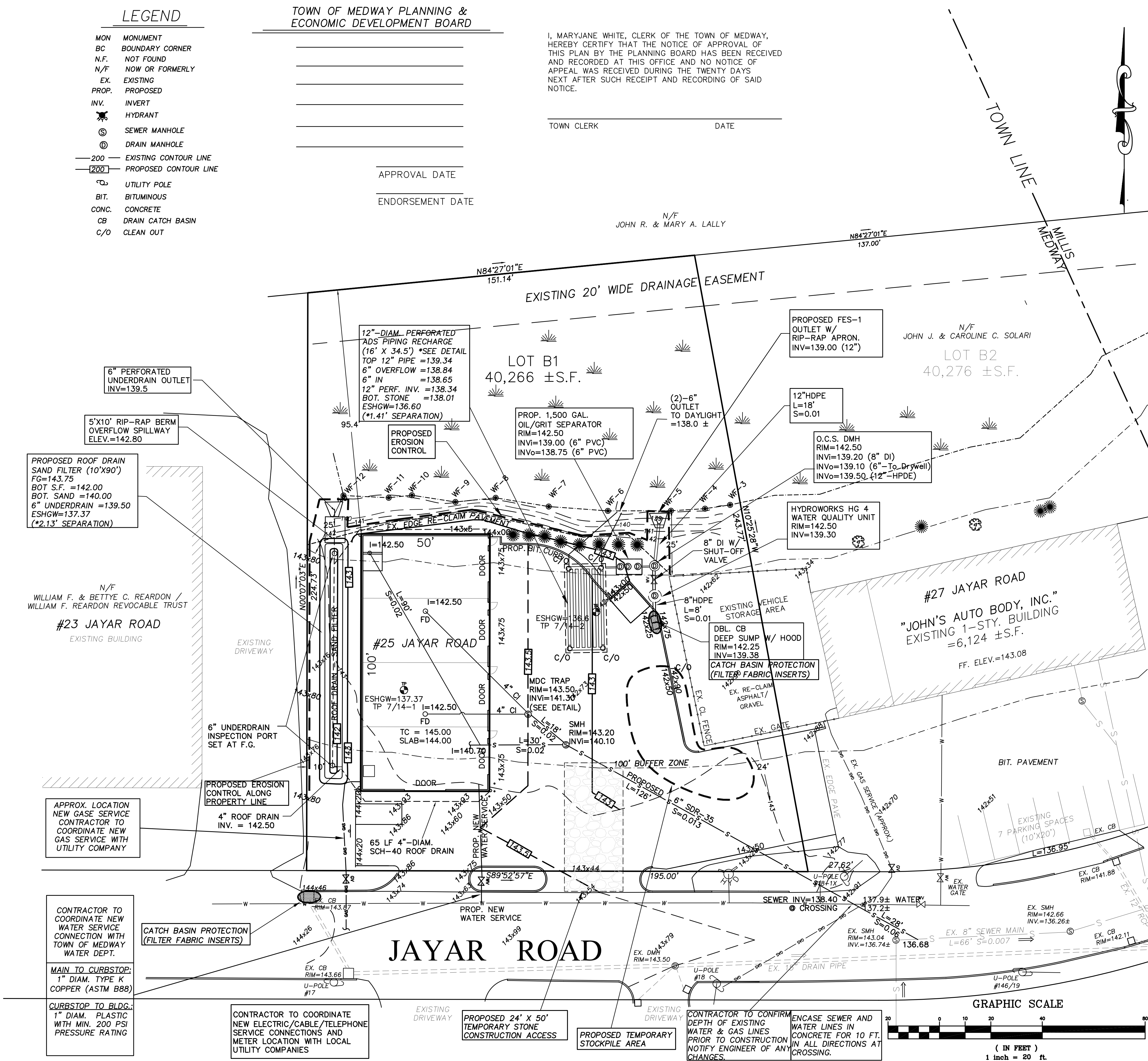
TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

APPROVAL DATE _____

ENDORSEMENT DATE _____

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____



FAIST ENGINEERING, INC.
 #67 HALL ROAD STURBRIDGE, MA 01566
 Phone: (508) 864-6802 e-mail: dfaist@faisteng.com
O'DRISCOLL LAND SURVEYING, CO.
 LAND SURVEYING, GPS MAPPING, LAND CONSULTING
 46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 933-3314

REVISIONS PER:	DATE:
DRUM STORAGE/SPILL CONTAINMENT LOCATION	12/22/14
ROOF DRAIN SAND FILTER & PAVE RECHARGE	5/12/15
6/03/15 CONSERVATION SITE WALK/COMMENTS	6/08/15

DATE ISSUED:	10/16/14
DWG. SCALE:	1" = 20'
DRAWN BY:	DO/DF
REVIEWED BY:	DIT
PROJECT NO.:	JOH-2436

GRADING & UTILITIES PLAN
 #25 JAYAR ROAD
 5,000 S.F. COMMERCIAL BUILDING
 MEDWAY, MA

C-2

RESPONSIBILITIES OF OWNER/PERMITEE

- The Owner/Permittee shall:
- Provide the contractor with copies of land-use permits that owner has acquired.
 - Inform all parties involved with the proposed site work of this plan's objectives and requirements.

RESPONSIBILITIES OF CONTRACTOR

- The contractor is responsible for preventing erosion of the site and for protecting adjacent storm sewers and waterways from sedimentation.
- The contractor shall:
- Install, monitor, and maintain of the soil erosion and sediment control measures as shown on this plan.
 - Comply with all permit requirements.

PRECONSTRUCTION CONFERENCE - Prior to Construction, Following Installation of Erosion Control

The Permittee, Owner-of-record, Contractor, Engineer, and Town Representatives (Conservation Commission) shall hold a "pre-construction" conference at the site to review the proposed soil erosion and sediment control measures.

GENERAL CONTROLS

Cleaning of Stormwater Structures:
Clean all stormwater structures, including, but not limited to pipes, swales, subsurface retention basins, sediment traps, and riprap aprons of sediment upon completion of the project.

Construction Entrance:
Place clean washed stone at the site entrances to the length, width and depth indicated on the plans and details to help remove mud and/or clods of soil from construction vehicles exiting from the site. Add additional stone as necessary to maintain adequate serviceability.

Pavement Maintenance:
The contractor shall sweep paved roadways adjacent to the site on a routine basis to prevent tracking of mud onto public roadways and washing of mud into waterways. If the contractor's schedule for cleaning the pavement is found to be inadequate by the Owner, Owner's Representative, or Town, the contractor shall increase the frequency at no additional cost to the owner.

Waste Disposal:
The contractor shall provide an adequate number of covered waste containers to ensure that no litter, debris, building materials, or similar materials are discharged to wetlands or watercourses. The contractor shall instruct subcontractors to use the containers for waste material. The containers shall be promptly emptied when full.

DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES

TEMPORARY STABILIZATION MEASURES

Silt Fence:
Install silt fence at various locations as shown on the plans and details. Embed the silt fence into the ground and firmly anchor it as shown in the details. Remove sediment once levels have reached 1/4 of the effective fence-height. Repair and/or replace silt fence immediately if damaged or deteriorated.

Stockpiling or Storage of Excavated Materials:
Completely surround temporary material stockpiles with silt fence to prevent transportation of sediment.

Dust Control:
Take precautions to prevent dust from becoming a nuisance to abutting property owners. Broom off pavements adjoining the excavation on a daily basis. Cover and/or keep moist all earth stockpiles at all times. Use calcium chloride to control dust over certain areas of the site, as directed by the engineer or shown on the plans. Calcium chloride shall conform to ASTM D-98, Type I. The contractor shall maintain and inspect, on a daily basis, the adequacy of dust control measures and correct any deficiencies immediately.

Temporary Stabilization:
Top soil stockpiles and disturbed portions of the site where construction activity ceases for at least 21 days will be stabilized with temporary seed and mulch no later than 14 days from the last construction activity in that area. The temporary seed and mulch procedures and specifications shall be in accordance with the landscape architect's recommendations. Areas of the site which are to be paved will be temporarily stabilized by applying geotextile and stone sub-base until bituminous pavement can be applied.

PERMANENT STABILIZATION MEASURES

Disturbed portions of the site where construction activities permanently cease shall be stabilized with permanent seed no later than 14 days after the last construction activity. The permanent seed and mulch specifications and procedure shall be in accordance with the landscape architect's recommendations.

The contractor shall be responsible for all landscaped areas. If topsoil, seed, and/or mulch is washed away by rainfall, the contractor shall restore the area.

EXCAVATION DEWATERING PRACTICES

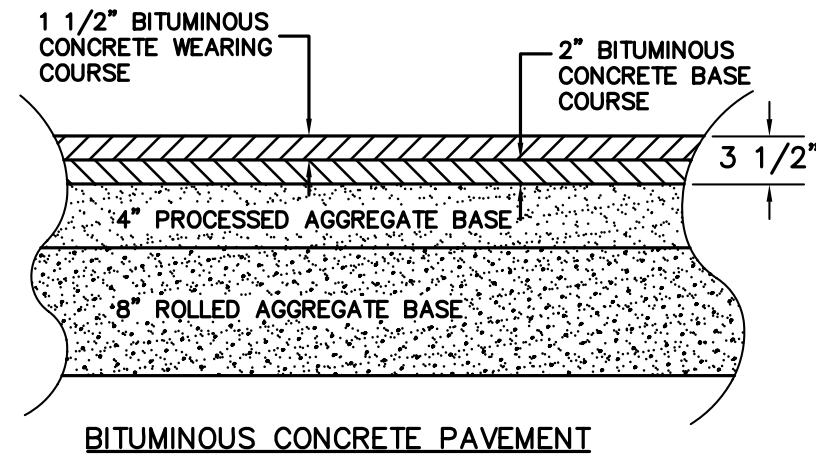
- AT NO TIME SHALL EXCAVATION "DEWATERING" BE DIRECTLY DISCHARGED TO: CATCH BASIN, DRAIN PIPE, WETLAND, STREAM, OR FLOOD PLAIN AREA.
- TRENCH & EXCAVATION DE-WATERING WASTEWATER SHALL BE DISCHARGED THROUGH AN "ULTRA PIPESOCK" OR EQUIVALENT SEDIMENT/OIL FILTER TRAP WITH 12" DEPTH GRAVEL FILTER BERM.
- DE-WATERING DISCHARGES SHALL BE DIRECTED TO ON-SITE SEDIMENT CONTROL SYSTEMS AND/OR DRAINAGE SWALES.

GENERAL CONDITIONS

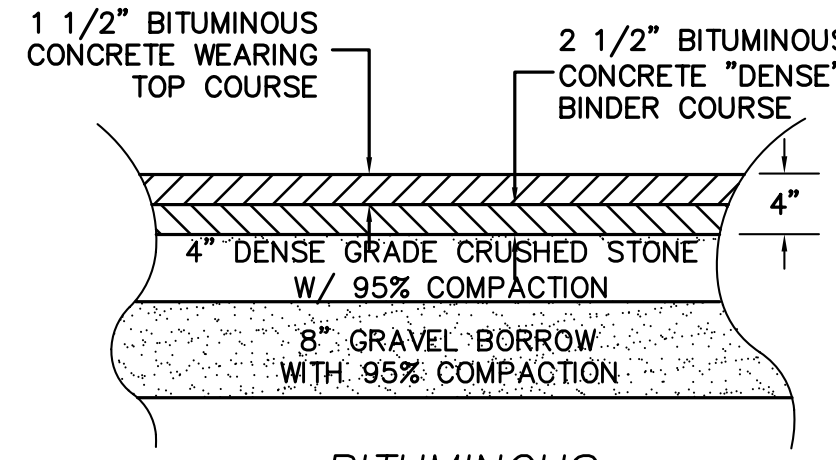
- If erosion control measures are damaged by construction vehicles, acts of vandalism, or severe weather conditions, the contractor shall immediately remove sediment in the vicinity of the erosion control measures and repair these measures to a functional condition.
- If, during or after construction, it becomes apparent that existing erosion control measures are incapable of controlling erosion, the engineer or the Town may require additional control measures including, but not limited to: additional haybales, silt fence, sediment basins, mechanically anchored mulch, or enhanced dewatering filtration.
- No construction shall proceed until a written proposal of methods to prevent construction debris, paint, spent blast materials, or other materials from entering a storm sewer, the wetland, or watercourse has been submitted by the Contractor to the Owner and approved by the Owner, and such methods have been implemented as the Owner directs. These materials shall be collected and disposed of in an environmentally safe manner in accordance with all applicable Federal and State laws and regulations. The Owner may order the Contractor to cease such activity temporarily if, in the judgement of the Owner, wind or storm conditions threaten to cause the deposit of such materials into a waterway.
- All temporary fill shall be stabilized during use to prevent erosion and shall be suitably contained to prevent sediment or other particulate matter from reentering a wetland or watercourse. All areas affected by temporary fills must be restored to their original contours or as directed by the Owner, and revegetated. The areal extent of temporary fill or excavation shall be confined to that area necessary to perform the work, as approved by the Owner.
- Dumping of oil, chemicals or other deleterious materials on the ground is forbidden. The contractor shall provide a means of catching, retaining, and properly disposing of drained oil, removed oil filters, or other deleterious material. All spills of such materials shall be reported immediately by the Contractor to appropriate Town and State Agencies.
- ALL REFUELING OF CONSTRUCTION EQUIPMENT IS TO TAKE PLACE OUTSIDE OF THE 100-FOOT BUFFER ZONE. NO CONCRETE WASHOUT OR WASHING OF CONSTRUCTION EQUIPMENT IS ALLOWED WITHIN THE 100-FT. BUFFER ZONE.
- INSPECTIONS:** Erosion Control shall be inspected DAILY or after an legitimate storm event. Inspection shall be recorded in a log along with time and date. Log shall be available for inspection by the Conservation Agent or Commissioner.
- FILL MATERIAL TESTING:** CONSERVATION COMMISSION MAY REQUIRE TESTING OF OUTSIDE FILL SOURCES AND THE RESULTS REVIEWED BY A STATE OF MASSACHUSETTS LICENSED SITE PROFESSIONAL (LSP) AND CONSERVATION AGENT PRIOR TO DELIVERY TO THE SITE. CONTRACTOR TO REFER TO CONSERVATION ORDER OF CONDITIONS FOR SPECIFIC SOIL TESTING AND REVIEW REQUIREMENTS FOR ALL OUTSIDE FILL SOURCES.
- DEP SIGN:** A SIGN SHALL BE DISPLAYED AT THE SITE NOT LESS THAN TWO (2) SQUARE FEET (S.F.) OR MORE THAN THREE (3) S.F. IN SIZE BEARING THE WORDS, "MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (or MA DEP) DEP FILE NUMBER CE 216-0850.

DIG-SAFE NOTE (1-888-344-7233):

- CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



ON-SITE PAVEMENT SECTION (NOT TO SCALE)



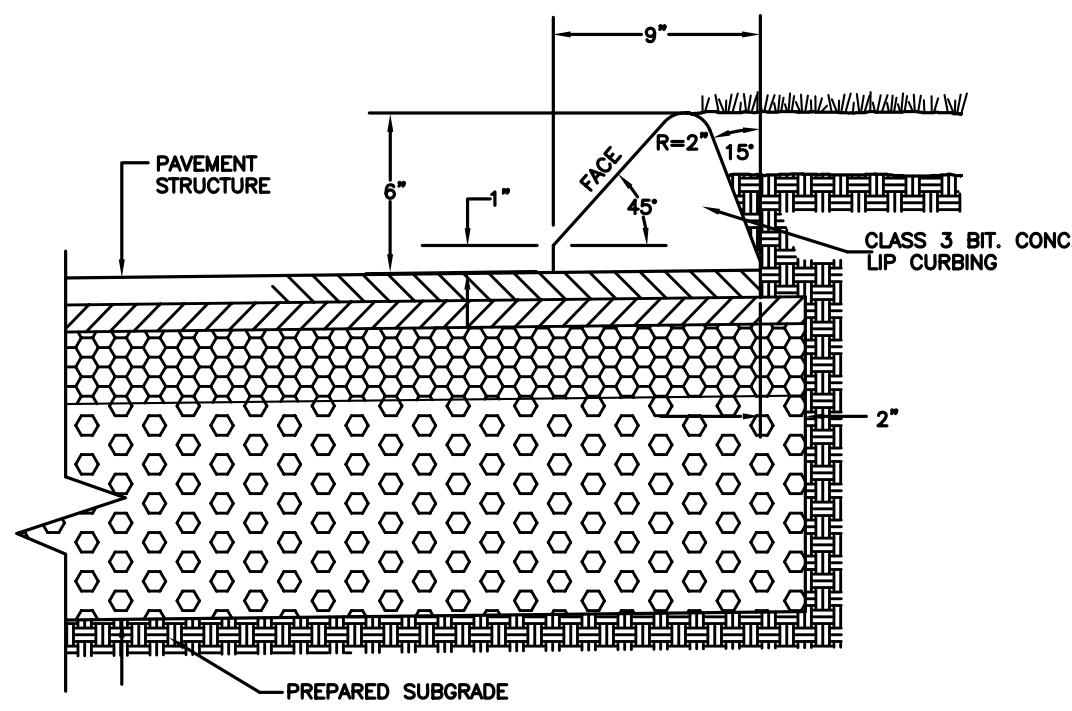
BITUMINOUS ROADWAY PAVEMENT SECTION (NOT TO SCALE)

BITUMINOUS PAVEMENT PATCH TOWN ROADWAY DETAIL (NOT TO SCALE)

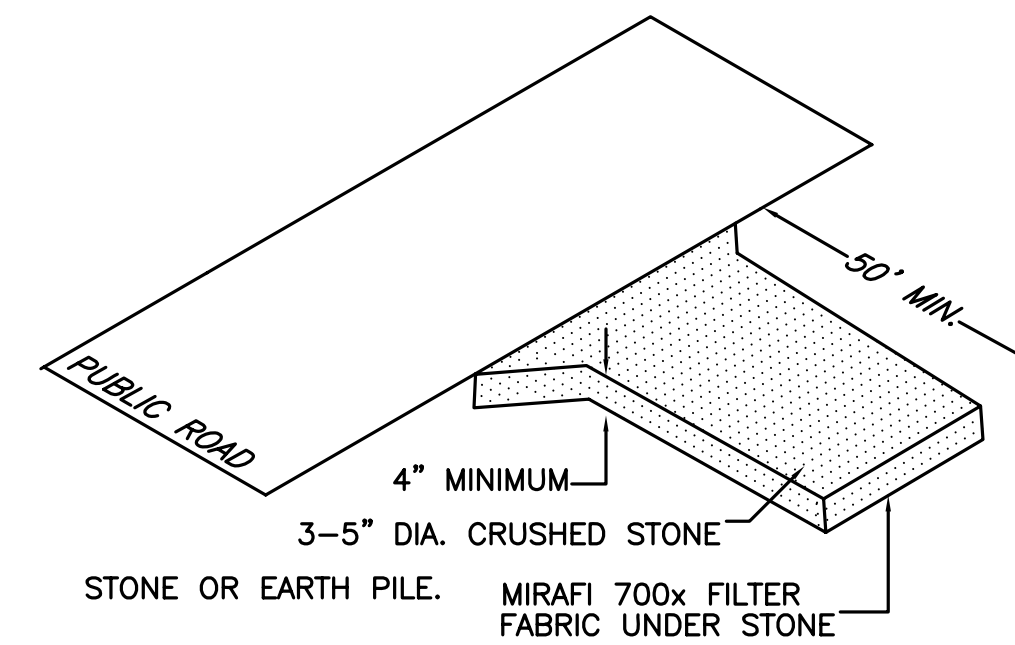
- CONTRACTOR TO OBTAIN "TOWN OF MEDWAY STREET OPENING PERMIT" PRIOR TO ANY WORK IN THE PUBLIC STREET RIGHT OF WAY. ALL SAWCUT PAVEMENT AREAS MUST BE PATCHED IN COMPLIANCE WITH DPS PERMIT REQUIREMENTS.
- BACKFILL TRENCH WITH FLOWABLE FILL AS REQUIRED;
- PATCH PAVEMENT AREA TO MATCH MATERIALS AND THICKNESS OF EXISTING PAVEMENT;
- LIMITS OF PAVEMENT SAWCUT, INFARED PATCH ALL JOINTS IN ACCORDANCE WITH TOWN OF MEDWAY DPS.

TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

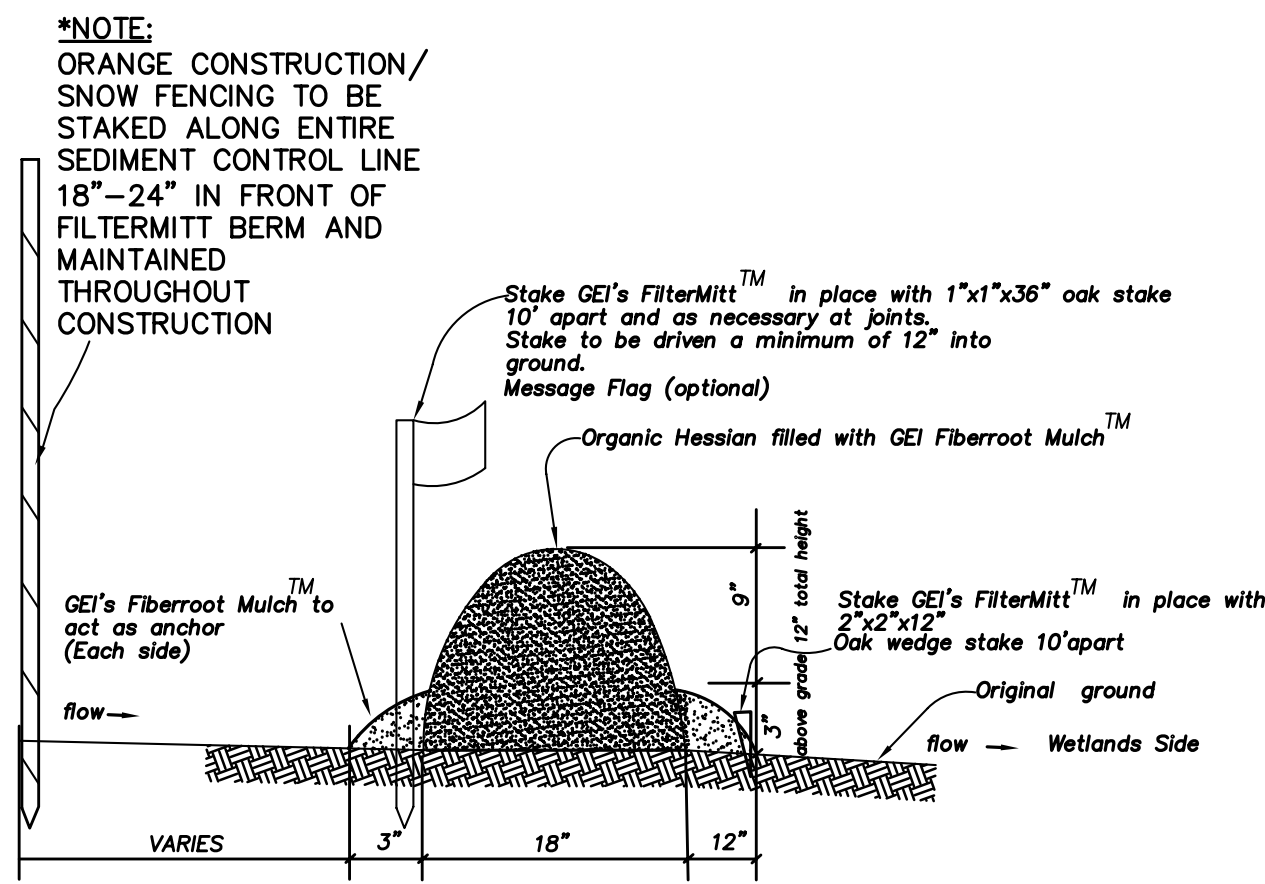
DATE



TYPE-2 BITUMINOUS CURBING DETAIL (NOT TO SCALE)



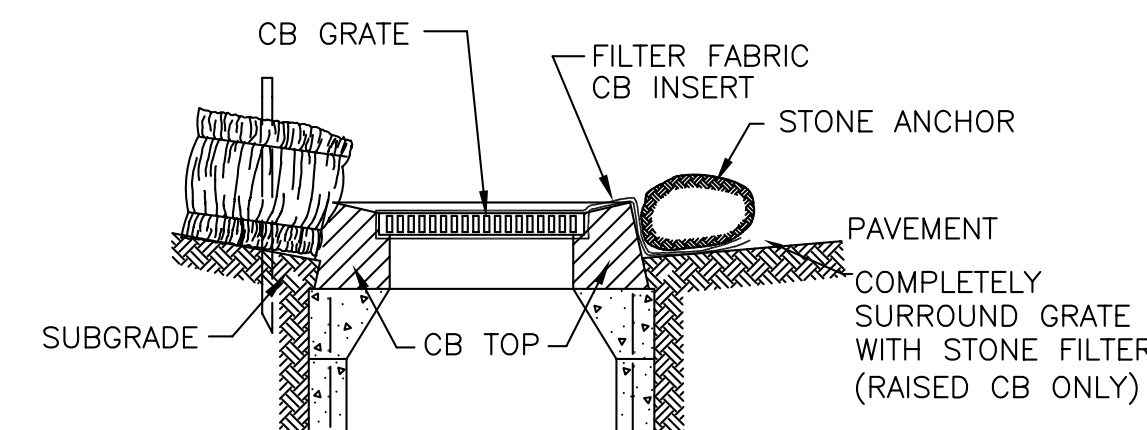
CONSTRUCTION ENTRANCE DETAIL (TYP.) (NOT TO SCALE)



Section of GEI's FilterMitt 2:1 Slopes or steeper

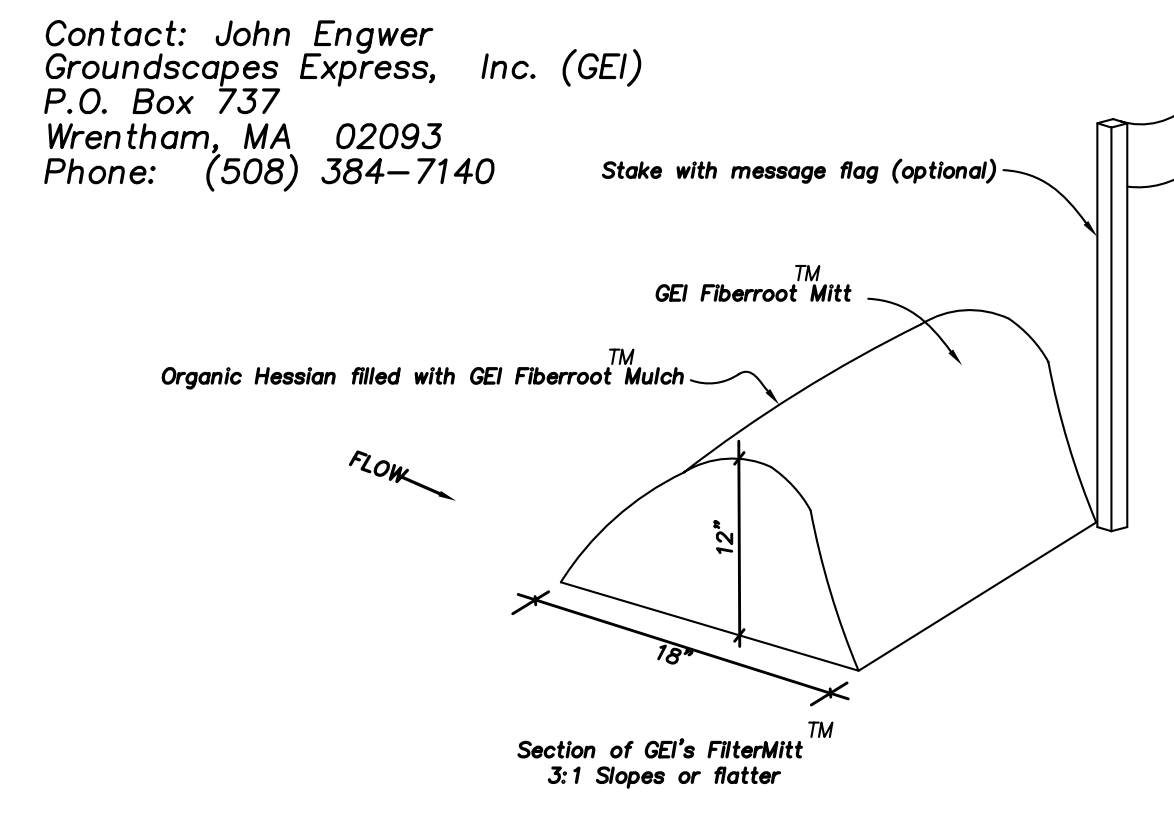
NOTE: SEDIMENT CONTROL SYSTEM SHALL BE SHALL BE GEI FILTERMITT OR APPROVED EQUAL.

TYPICAL SEDIMENT CONTROL SYSTEM (SCALE: N.T.S.)

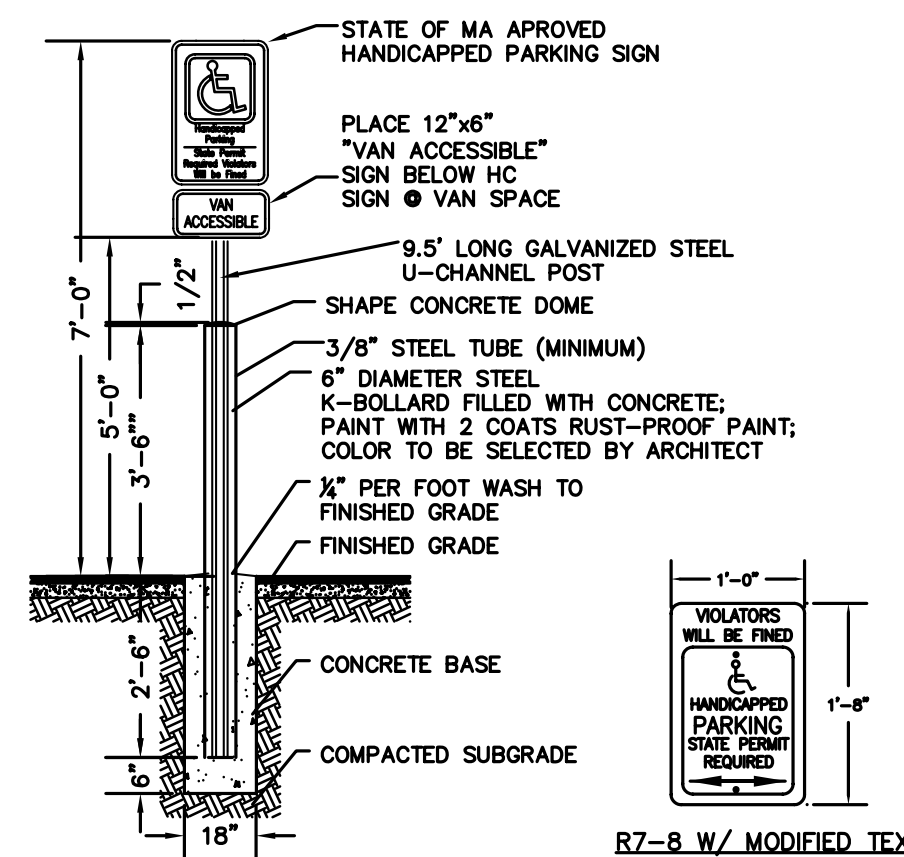


NOTE: REMOVE CB GRATE, PLACE FILTER FABRIC REPLACE GRATE, TAKING CARE NOT TO DAMAGE FILTER FABRIC. ANCHOR WITH STONE OR EARTH PILE IF NECESSARY.

CATCH BASIN PROTECTION DETAIL (NOT TO SCALE)



Section of GEI's FilterMitt 3:1 Slopes or flatter



HANDICAP PARKING SIGN (SCALE: N.T.S.)

CONSTRUCTION SCHEDULE AND EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: #25 JAYAR ROAD
LOCATION: #25 JAYAR ROAD, MEDWAY, MA
PROJECT DESCRIPTION: NEW 5,000 S.F. BUILDING & PARKING AREA IMPROVEMENTS
PARCEL AREA: 0.92 +/- ACRES

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
1. *PRE-CONSTRUCTION MEETING W/ CONSERVATION AGENT			
2. CLEAR VEHICLES & BRUSH / REMOVE FROM SITE			
3. REMOVE HYDROSEED WASTE FROM WETLANDS AREA			
4. INSTALL EROSION CONTROL & SILTSACKS IN CATCH BASINS	INSPECT EROSION CONTROLS DAILY AND AFTER RAINFALL EVENTS.		
5. INSTALL ANTI-TRACKING PAD	*CONTACT CONSERVATION AGENT FOR INSPECTION OF EROSION CONTROLS		
6. STRIP RECLAIM ASPHALT/GRAVEL AND STOCKPILE			
7. EXCAVATE FOR FOUNDATION			
8. POUR CONCRETE FOUNDATION			
9. BACKFILL & ROUGH GRADING			
10. CONSTRUCT BUILDING			
11. INSTALL STORMWATER STRUCTURES			
12. CONSTRUCT SAND FILTER			
13. INSTALL UTILITIES & DRYWELL			
14. FINAL SITE GRADING			
15. PAVE PARKING AREA / CURBS			
16. TOPSOIL, LOAM, AND SEED			
17. INSTALL BUFFER ZONE PLANTINGS (SEE ORDER OF CONDITIONS)			
18. SURVEYOR FINAL AS-BUILT PLAN			
19. REQUEST CERT. OF COMPLIANCE FROM CONSERVATION COMM.	REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED W/ APPROVAL FROM CON. COMM.		

*APPLICANT AND/OR LANDOWNER SHALL NOTIFY COMMISSION IN WRITING AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO COMMENCING ANY WORK

MEDWAY CONSERVATION COMMISSION:
BRIDGET GRAZIANO, CONSERVATION AGENT
155 VILLAGE STREET
MEDWAY, MA 02053
PHONE: 508-321-4992
CELL: 508-918-5986
E-MAIL: bgraziano@townofmedway.org

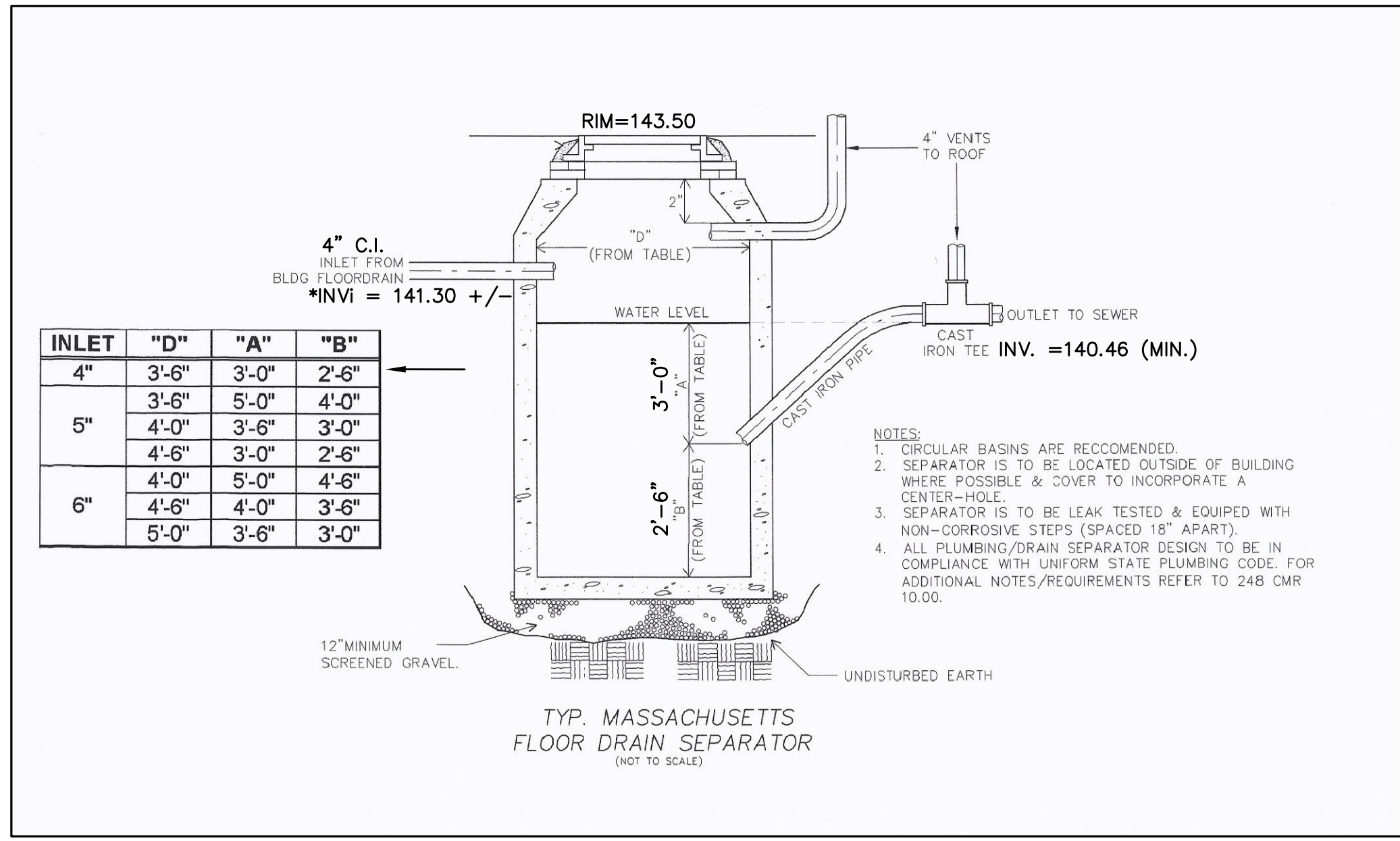
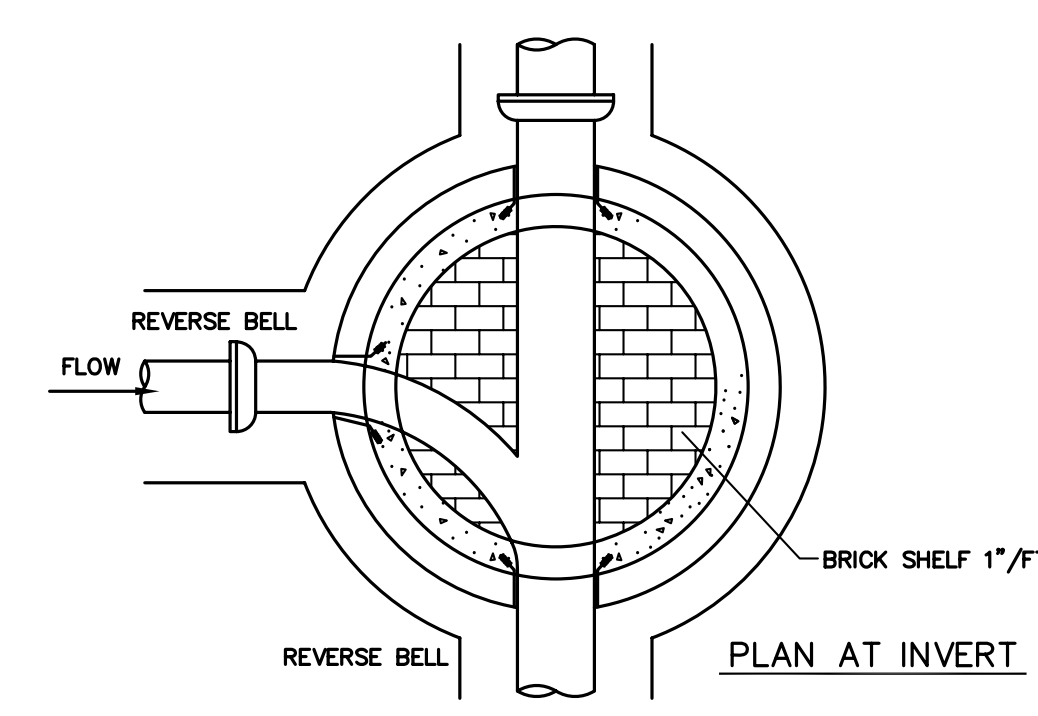
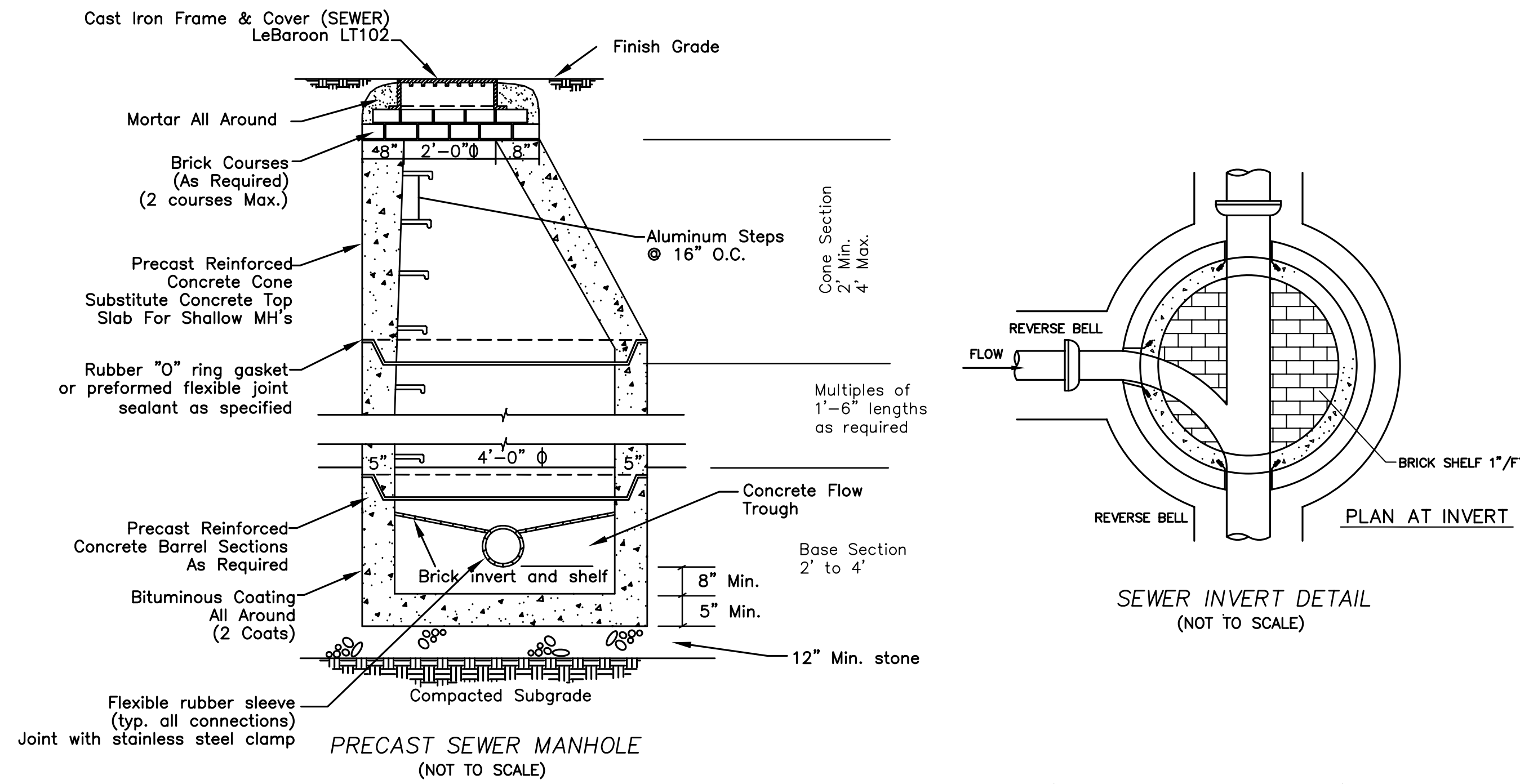
FAIST ENGINEERING, INC.
67 HALL ROAD STURBRIDGE, MA 01566
Phone: (508) 864-6802
E-mail: dfaist@faisteng.com

REVISIONS PER:	DATE:
1 SAND FILTER & PAVE RECHARGE	5/12/15
2 SITE WALK/COMMENTS	6/08/15

DATE ISSUED:	SCALE:	DRAWN BY:	REVIEWED BY:	PROJECT NO:
10/16/14	1"=20'	DF	DTF	JOH-2436

DETAIL SHEET #1
#25 JAYAR ROAD
5,000 S.F. COMMERCIAL BUILDING
MEDWAY, MA 02053

C-3

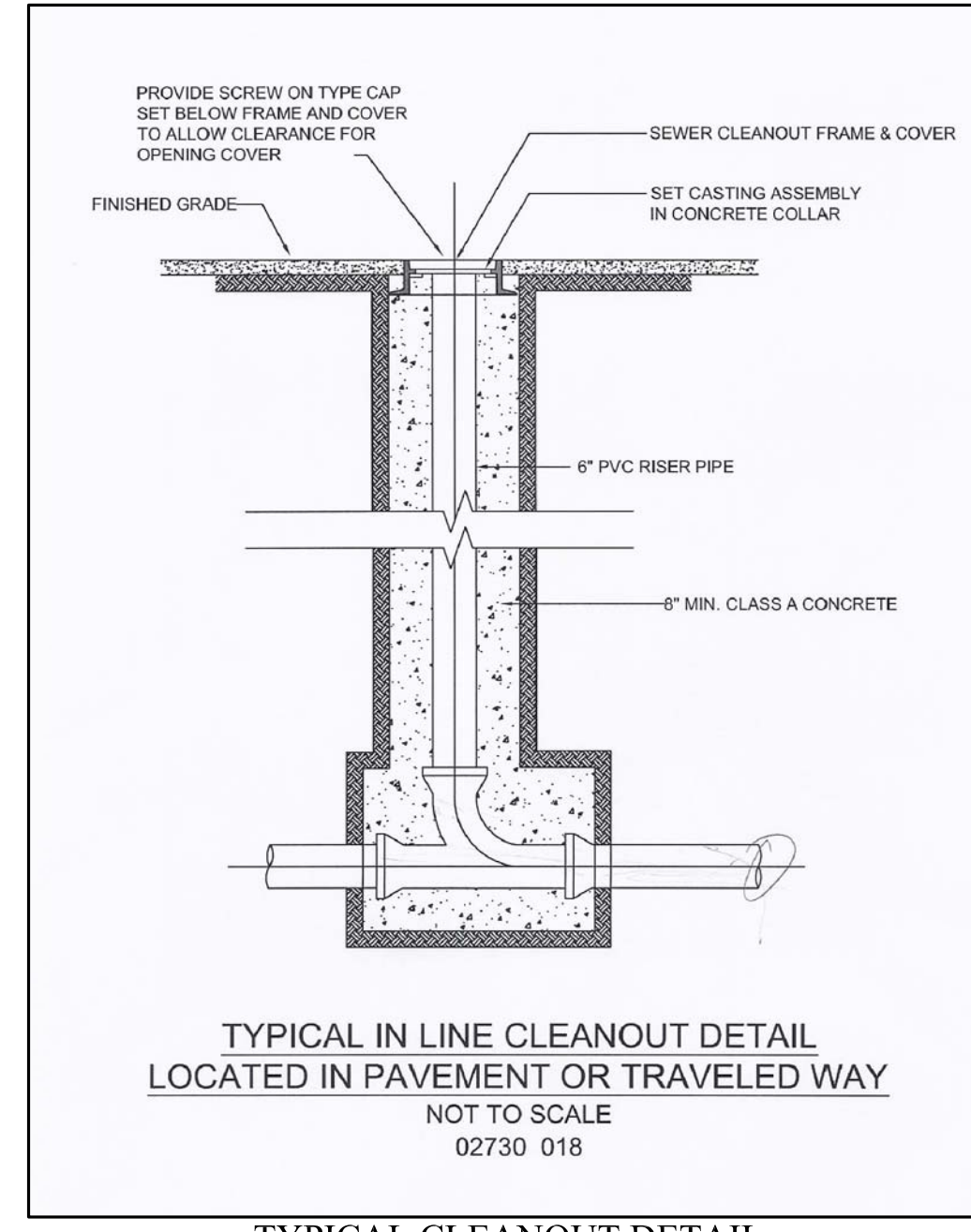
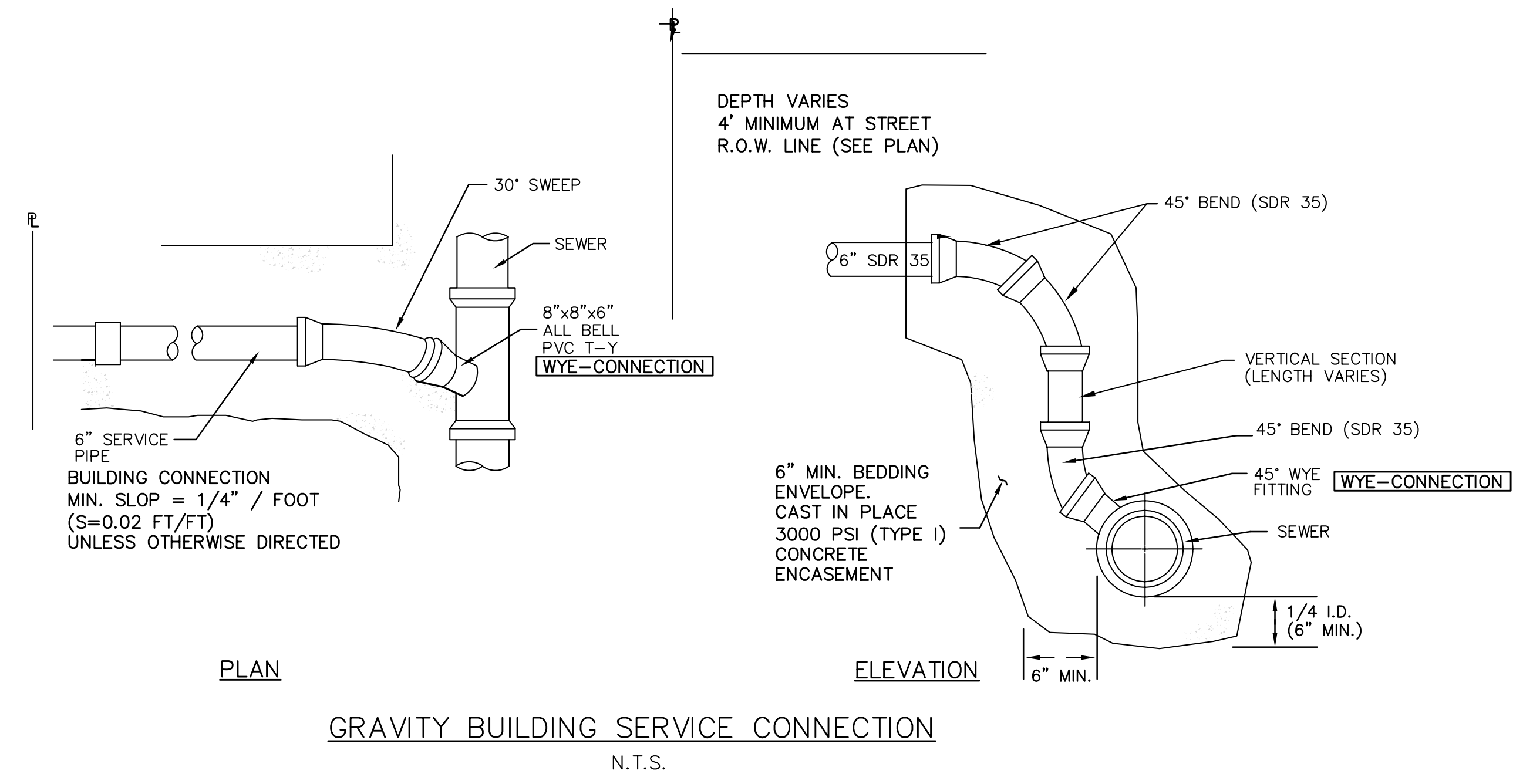


*INTERIOR BUILDING PLUMBING DESIGN BY OTHERS.
CONTRACTOR TO CONFIRM FINAL FLOOR DRAIN LOCATION AND ELEVATIONS PRIOR TO INSTALLATION.
M.D.C. TRAP OIL / WATER SEPARATOR TO SANITARY SEWER (NOT TO SCALE)

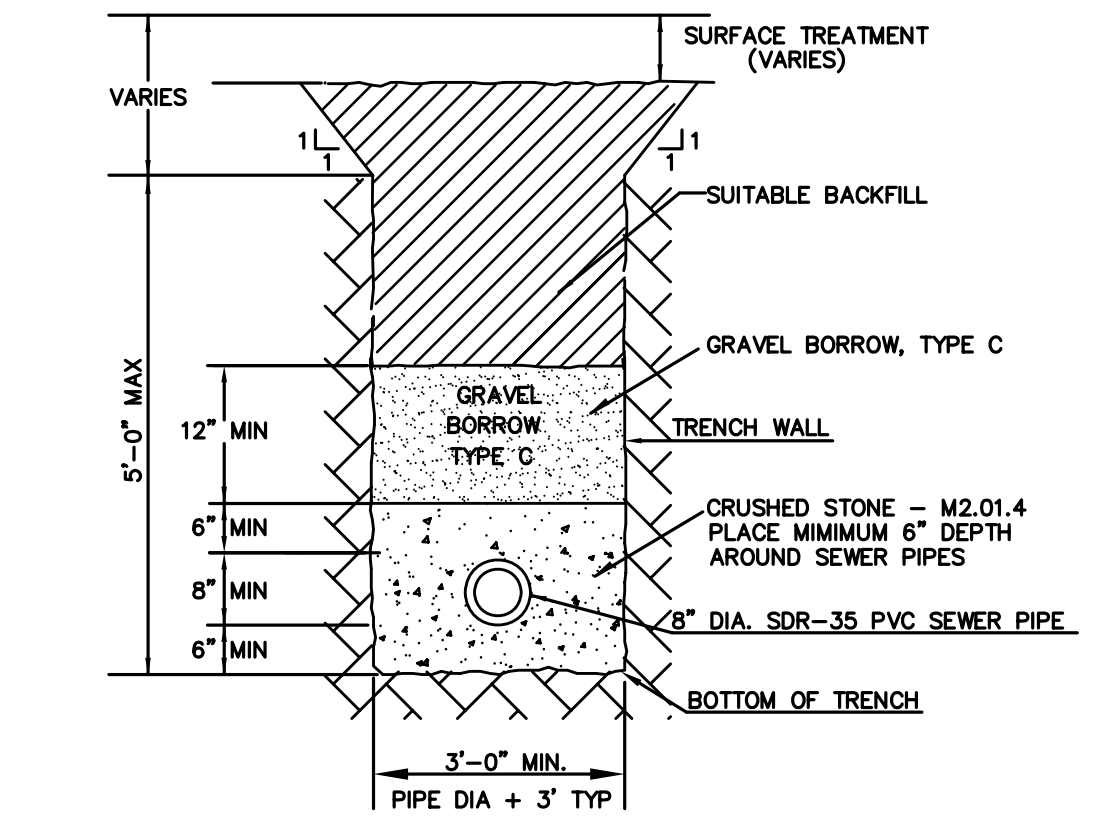
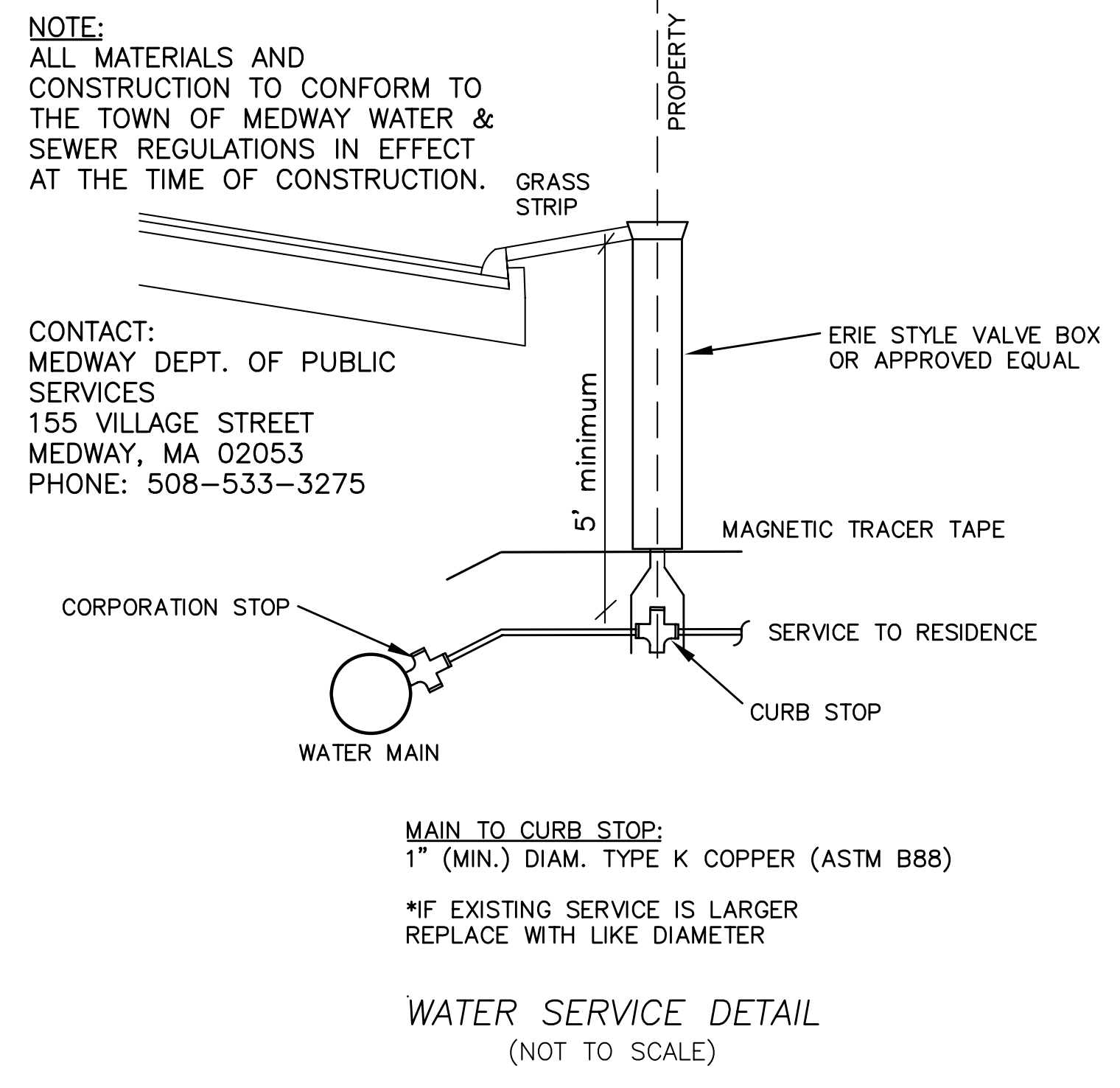
TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

DATE _____

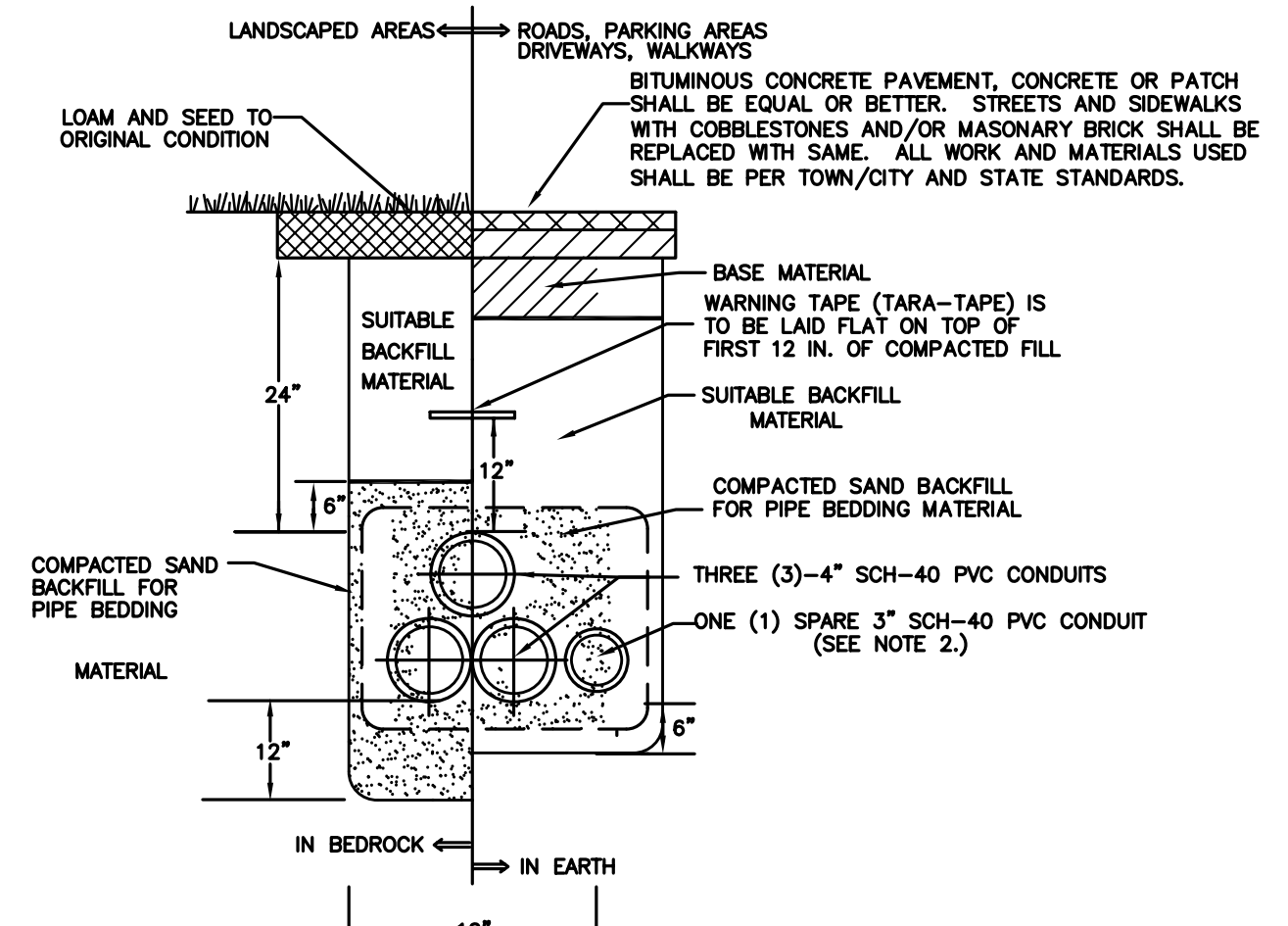
FAIST ENGINEERING, INC.
67 HALL ROAD STURBRIDGE, MA 01566
Phone: (508) 864-6802
E-mail: dfaist@faisteng.com



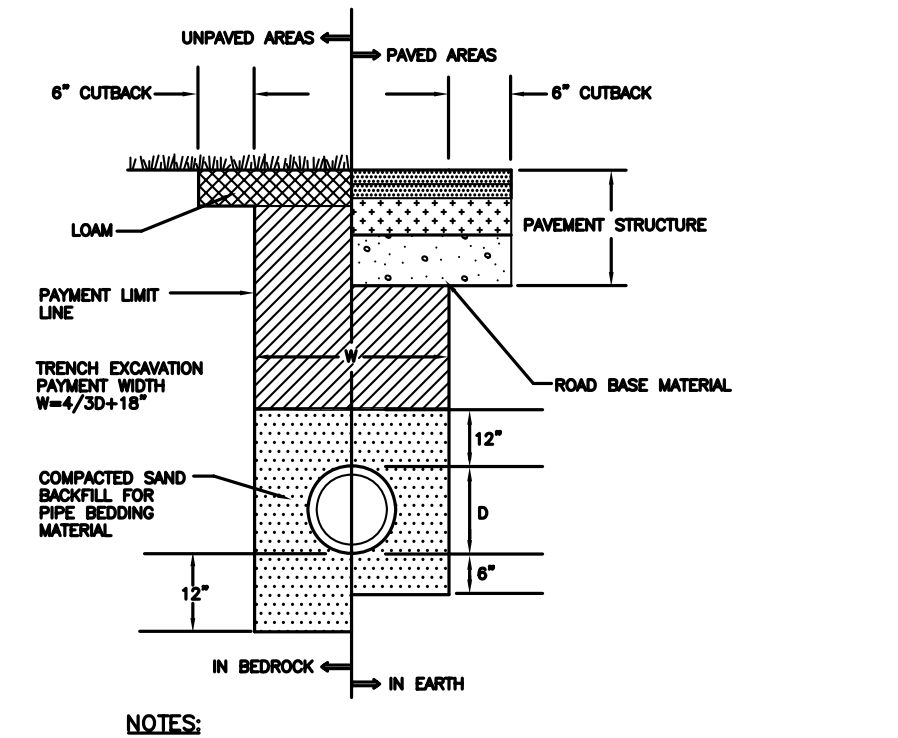
TYPICAL CLEANOUT DETAIL (NOT TO SCALE) 02730 018



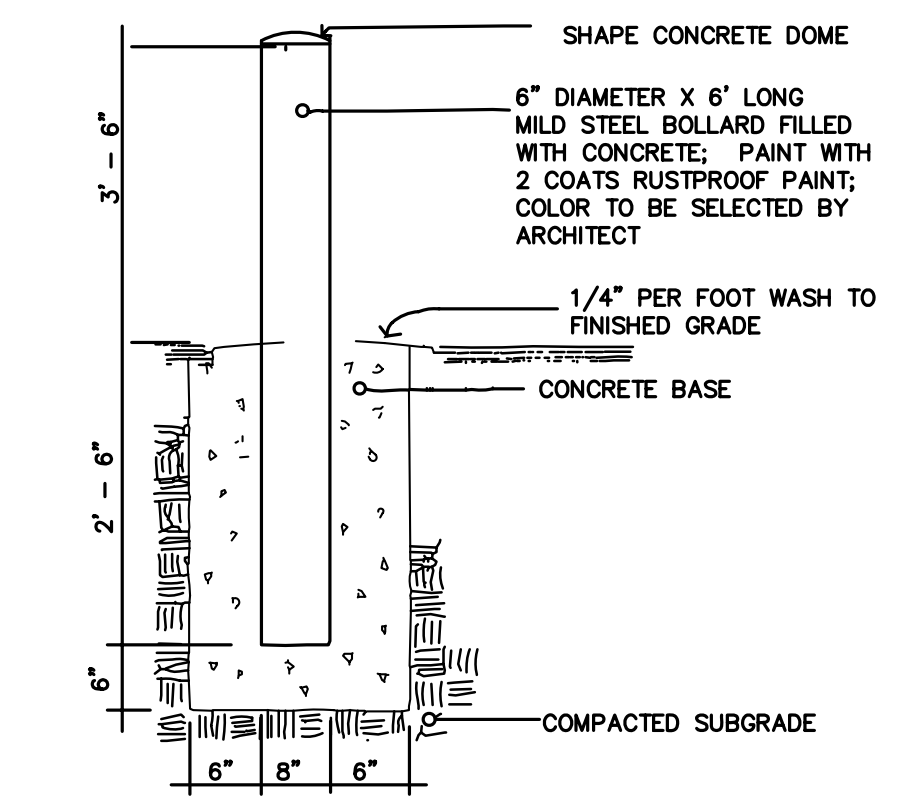
NOTES:
1) REFERENCE 1: TOWN OF MEDWAY PLANNING BOARD DEFINITIVE SUBDIVISION RULES AND REGULATIONS "STANDARD UTILITY TRENCH DETAIL" CD-24, DATE APRIL 26, 2005.
2) REFERENCE 2: MEDWAY WATER & SEWER REGULATIONS: "TRENCH SECTIONS FOR PVC PIPE 18-IN. DIAMETER AND SMALLER" DETAIL.
3) ALL SEWER INSTALLATION WORK SHALL CONFORM TO THE TOWN OF MEDWAY WATER AND SEWER REGULATIONS.



NOTES:
1. TRENCH TO BE INFRA RED TREATED TO PERMANENTLY SEAL ALL JOINTS
2. SPARE 3" SCH 40 PVC COMMUNICATION CONDUIT SHALL BE INSTALLED IN THE SAME TRENCH WITH ELECTRIC, TELEPHONE, AND CABLE CONDUIT FOR FUTURE USE BY TOWN OF MEDWAY.



NOTES:
1. THIS DETAIL APPLIES TO CONSTRUCTION OF WATER, GAS, TELEPHONE, ELECTRIC, AND CABLE TELEVISION UTILITIES, UNLESS DIRECTED OTHERWISE BY APPLICABLE UTILITY COMPANIES.
2. PROVIDE 5" MINIMUM COVER OVER WATER SERVICE LINE UNLESS DIRECTED OTHERWISE BY WATER COMPANY.



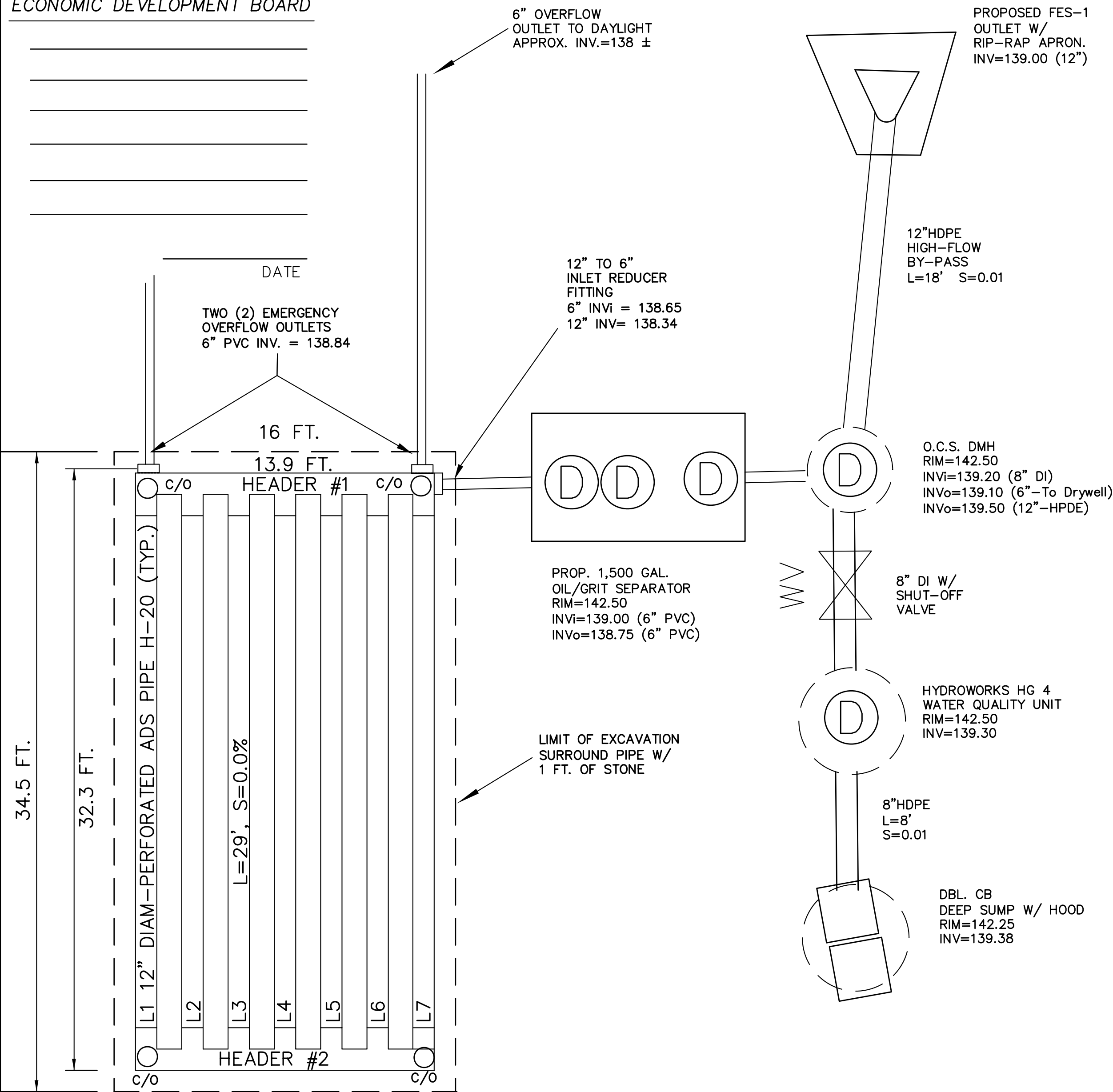
STEEL PIPE BOLLARD (NOT TO SCALE)

DIG-SAFE NOTE (1-888-344-7233):
1. CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

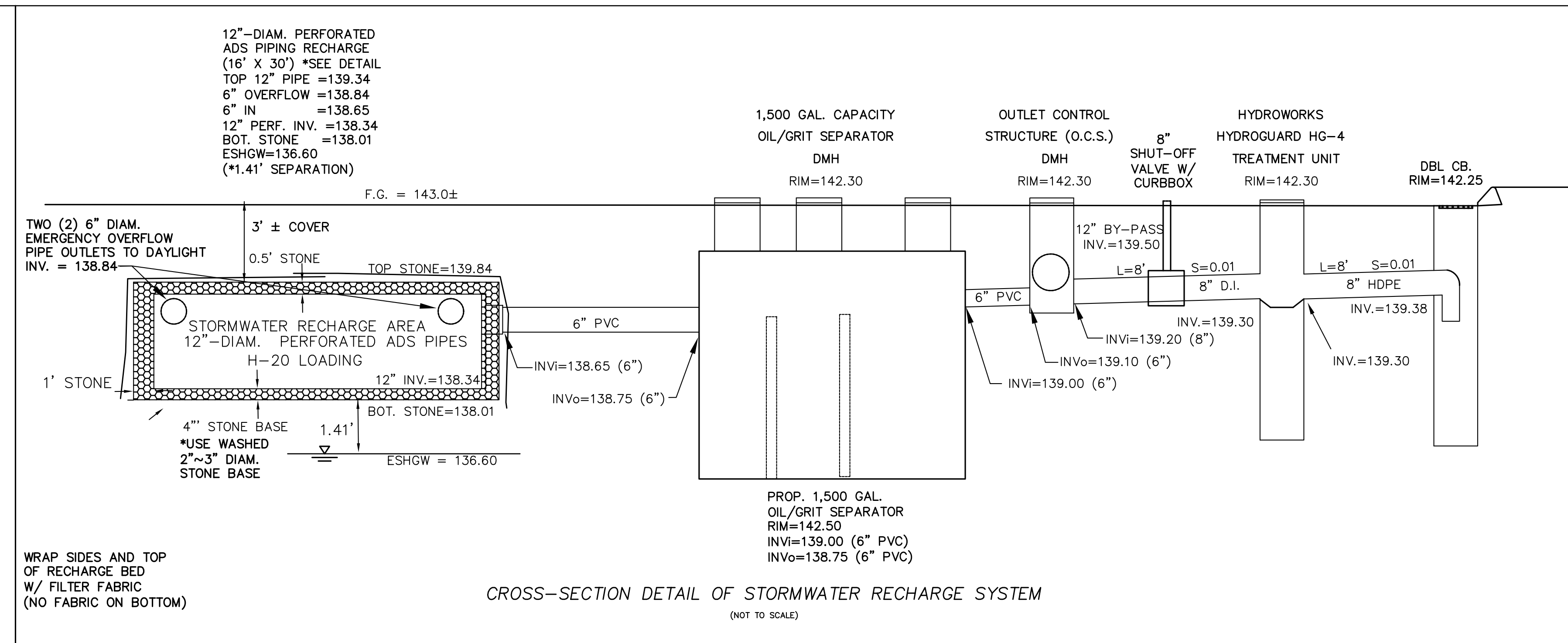
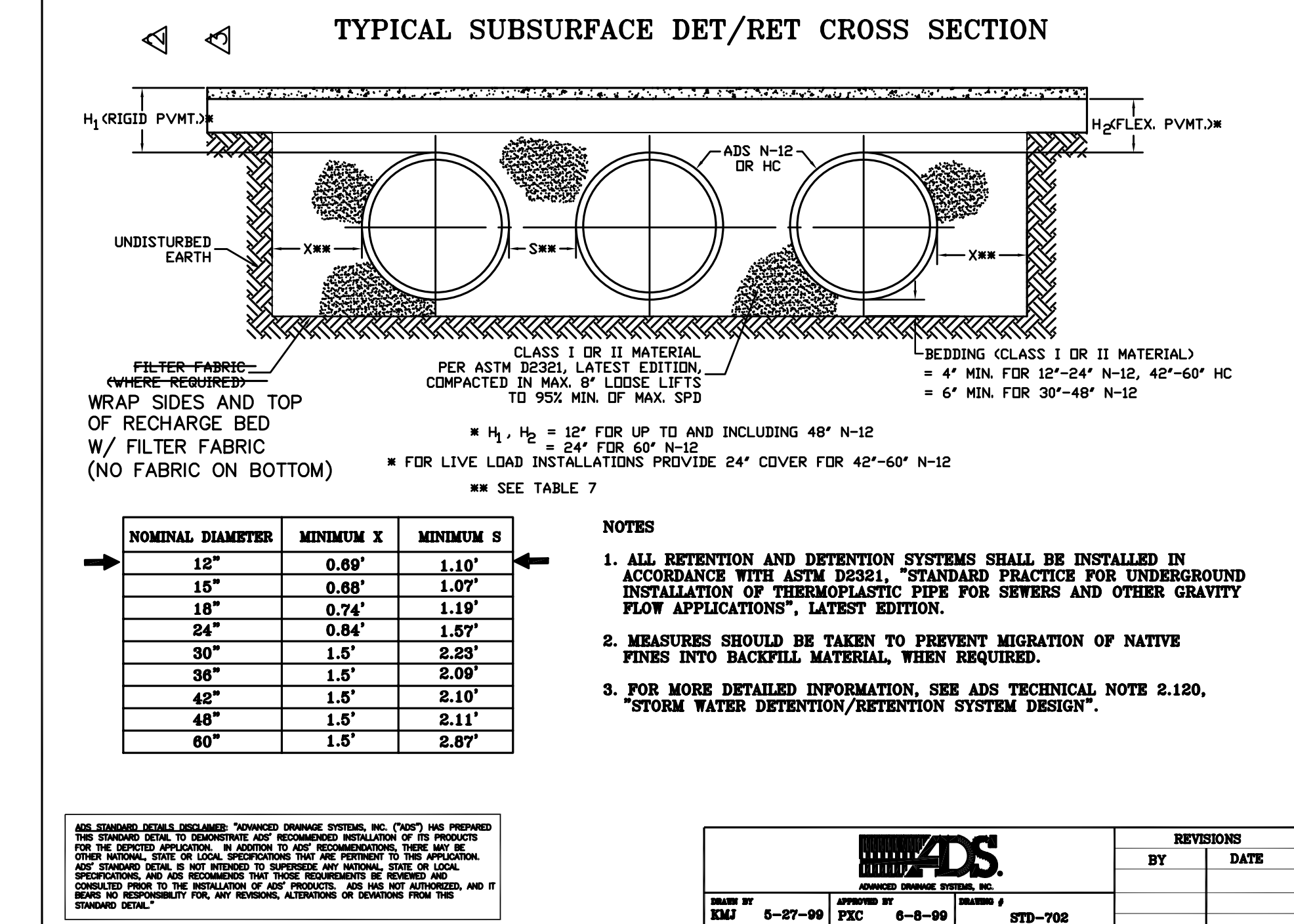
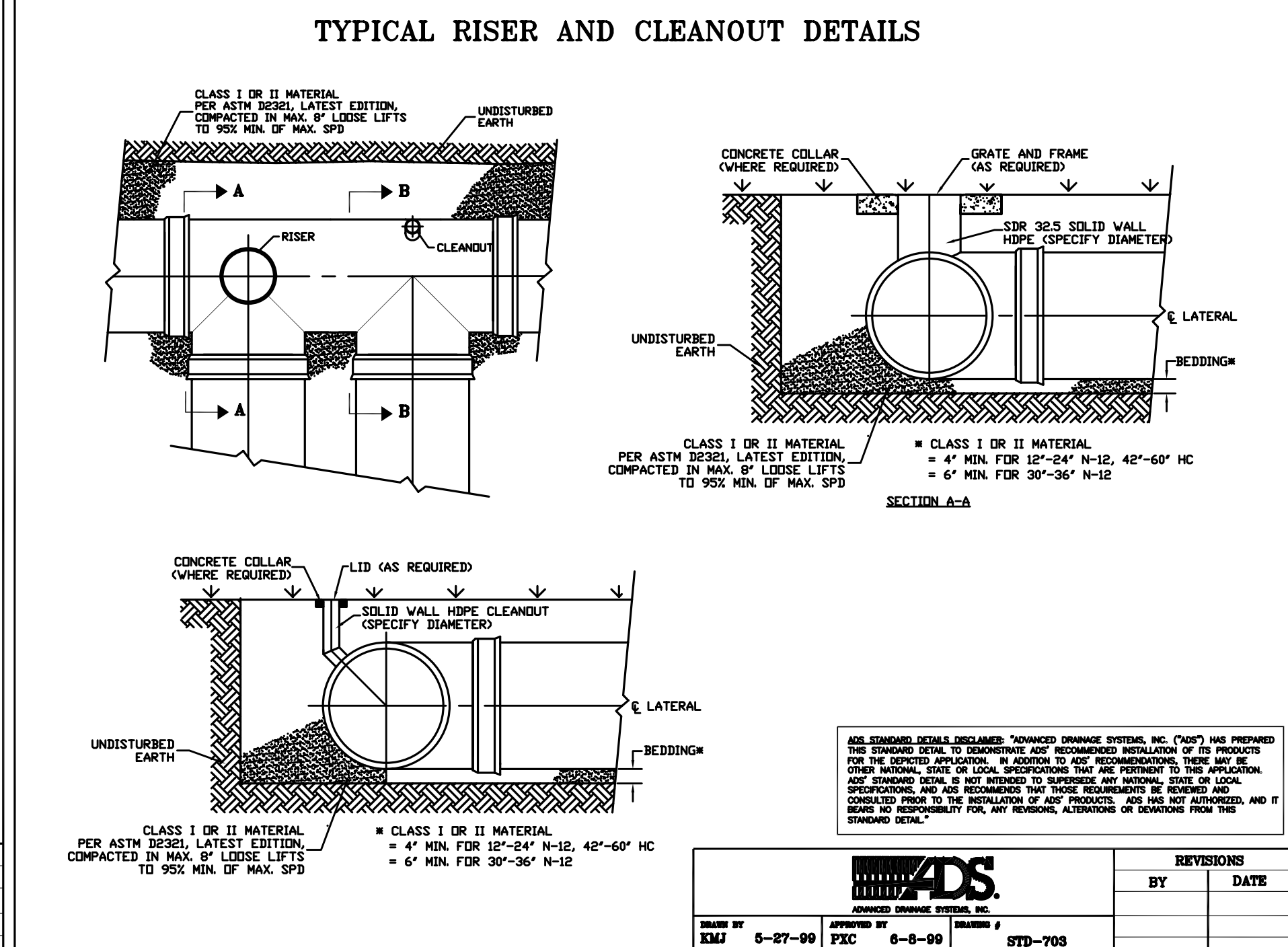
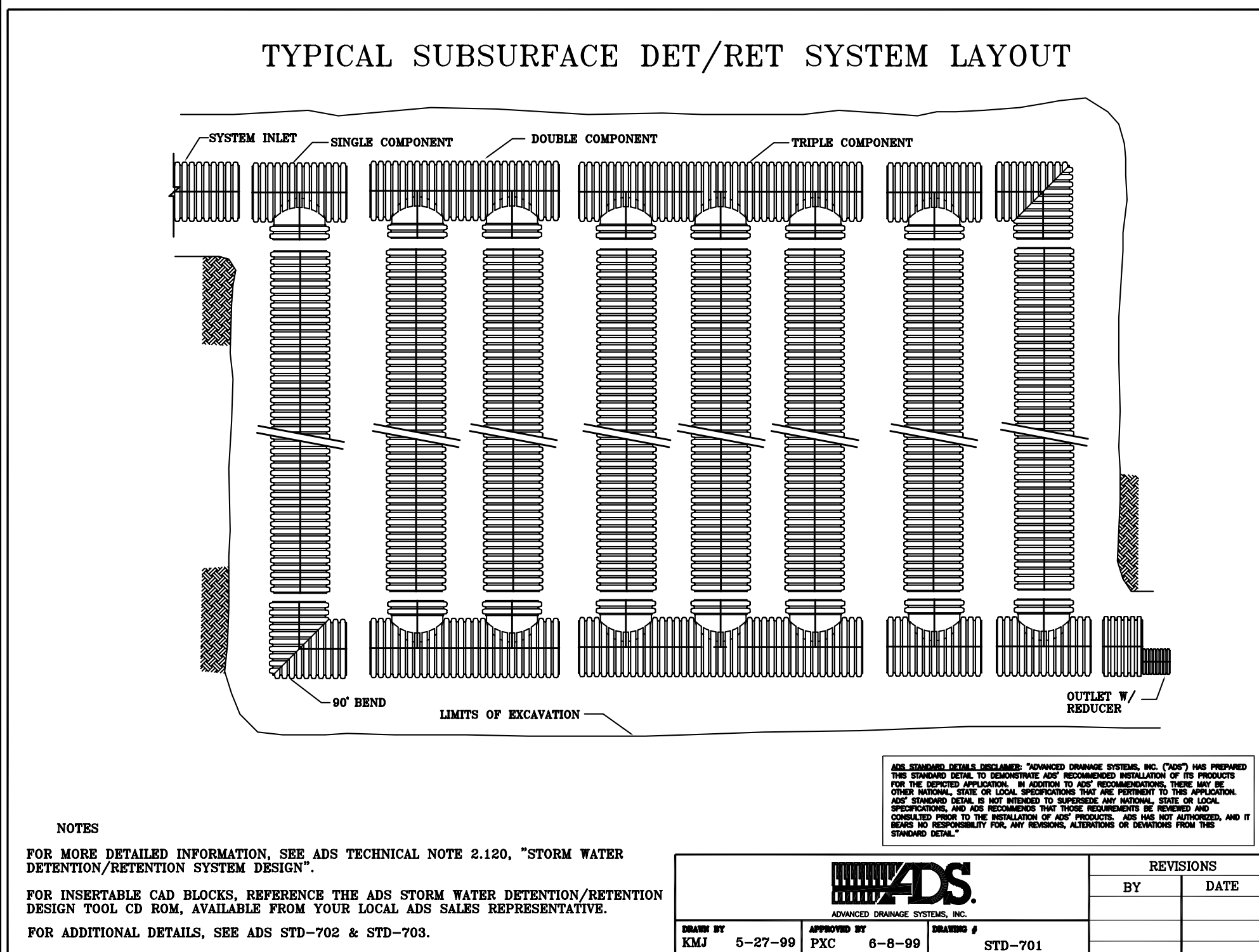
DATE:	5/12/15
REVISIONS PER:	DATE
1 SAND FILTER & PAVE RECHARGE	6/08/15
2 SITE WALK/COMMENTS	6/08/15
3 C.C. SITE WALK/COMMENTS	6/08/15
DATE ISSUED:	10/16/14
DWG. SCALE:	1"=20'
DRAWN BY:	DF
REVIEWED BY:	DTF
PROJECT NO:	JOH-2436

DETAIL SHEET #2
#25 JAYAR ROAD
5,000 S.F. COMMERCIAL BUILDING
MEDWAY, MA 02053

C-4

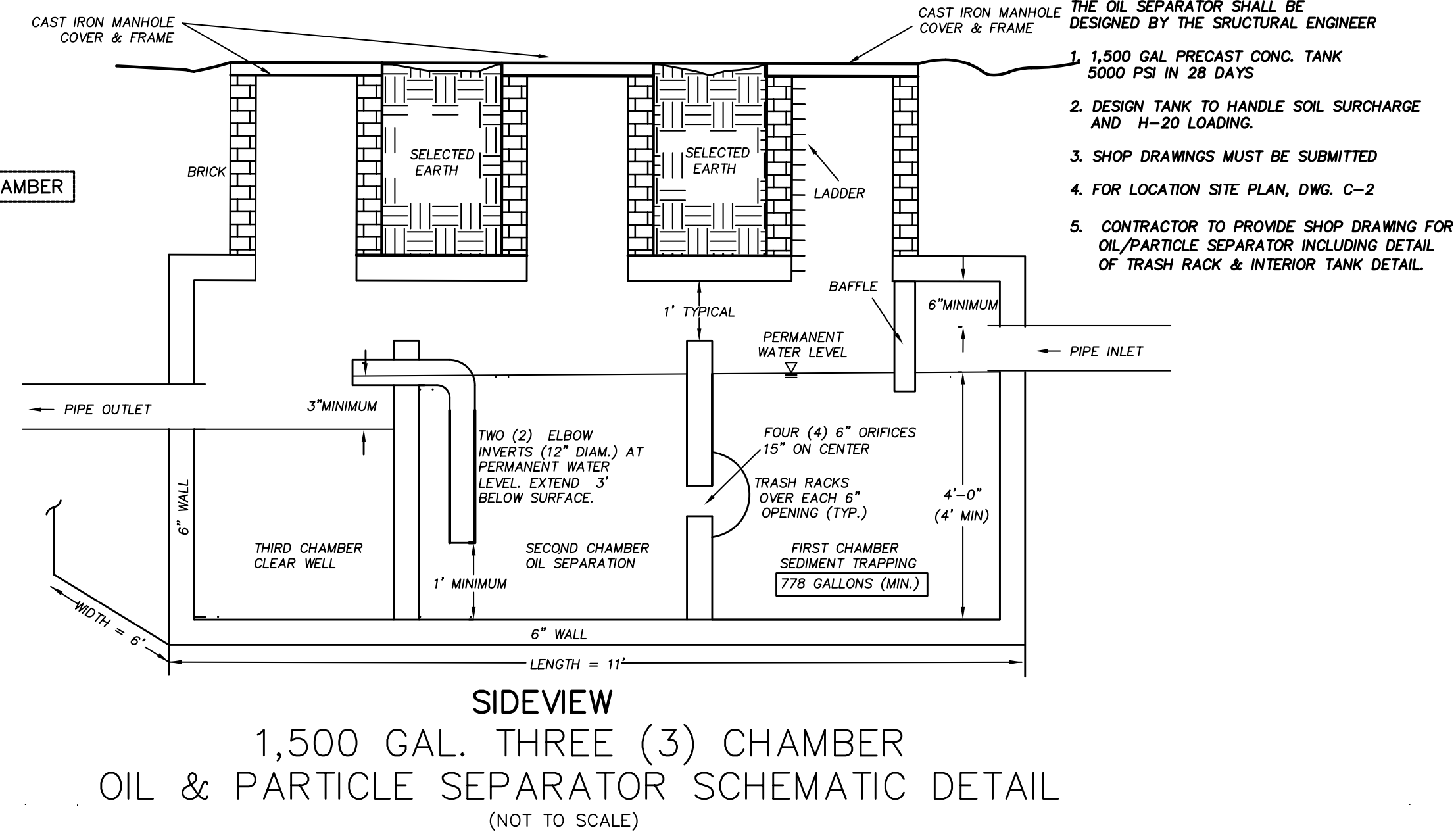


PARKING LOT - TREATMENT & RECHARGE SYSTEM
SEVEN (7) ROWS - 12" DIAMETER - PERFORATED ADS PIPE
(NOT TO SCALE)



CROSS-SECTION DETAIL OF STORMWATER RECHARGE SYSTEM
(NOT TO SCALE)

OIL / GRIT SEPARATOR SIZING:
DESIGN CAPACITY = 400 C.F. / ACRE IMPERVIOUS
7.4805 GAL/CF X 400 CF = 2,992 GAL/ACRE
PROPOSED PAVEMENT AREA = 11,258 S.F. = 0.26 ACRE
2,992 GAL / ACRE X 0.26 ACRE = 778 GAL = VOLUME OF 1ST CHAMBER



SIDEVIEW
1,500 GAL. THREE (3) CHAMBER
OIL & PARTICLE SEPARATOR SCHEMATIC DETAIL
(NOT TO SCALE)

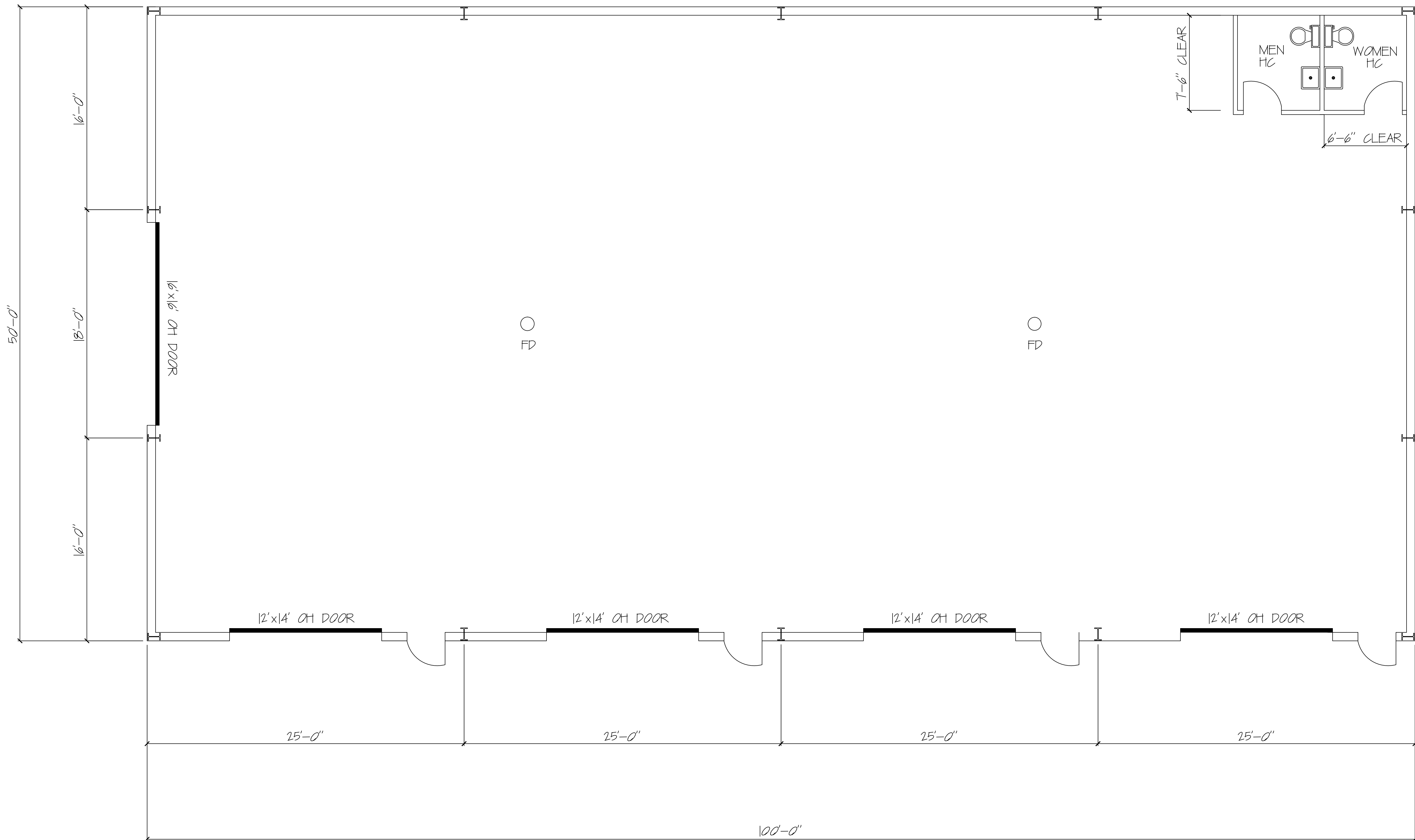
FAIST ENGINEERING, INC.
67 HALL ROAD
STURBRIDGE, MA 01566
Phone: (508) 864-6802
e-mail: dfaist@faisteng.com

PREPARED FOR/APPLICANT:
JOHN SOLARI
#18 WINTHROP STREET
MEDWAY, MA 02053
Phone: 508-533-2800

REVISIONS PER:	DATE:
1 SAND FILTER & PAVE RECHARGE	5/12/15
2 6/03/15 C.C. SITE WALK / COMMENTS	6/08/15

DATE ISSUED: 5/12/15
DWG. SCALE: N.T.S.
DRAWN BY: DTF
REVIEWED BY: DTF
PROJECT NO: JOH-2436

DETAIL SHEET #4
RECHARGE
SYSTEM



FLOOR PLAN

General Notes

TED GREENLAW
183 COLUMBIA STREET
HANOVER, MA

No.	Revision/Issue	Date

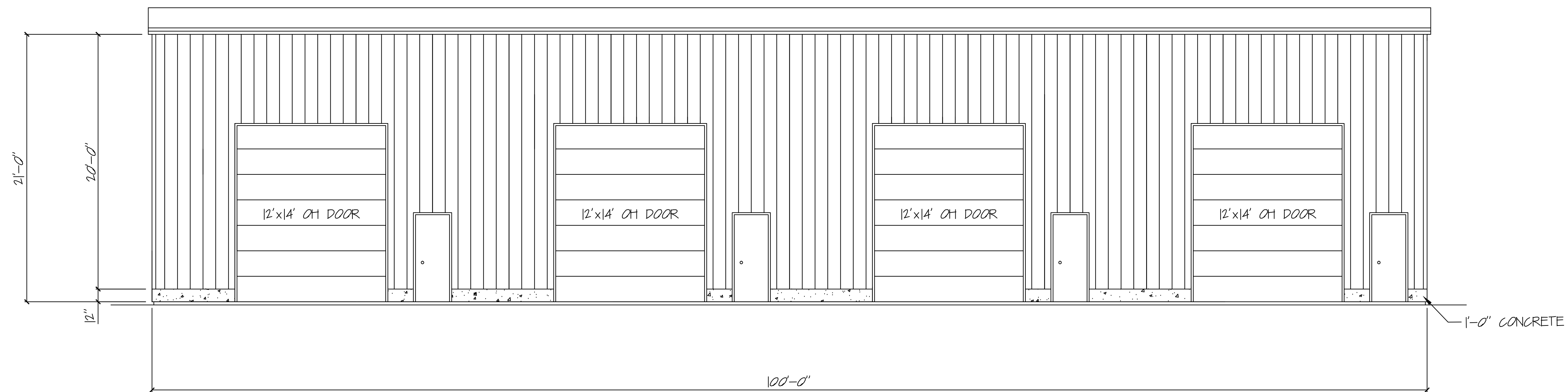
Firm Name and Address

PRIGGEN STEEL
133 FRANKLIN STREET
WRENTHAM, MA

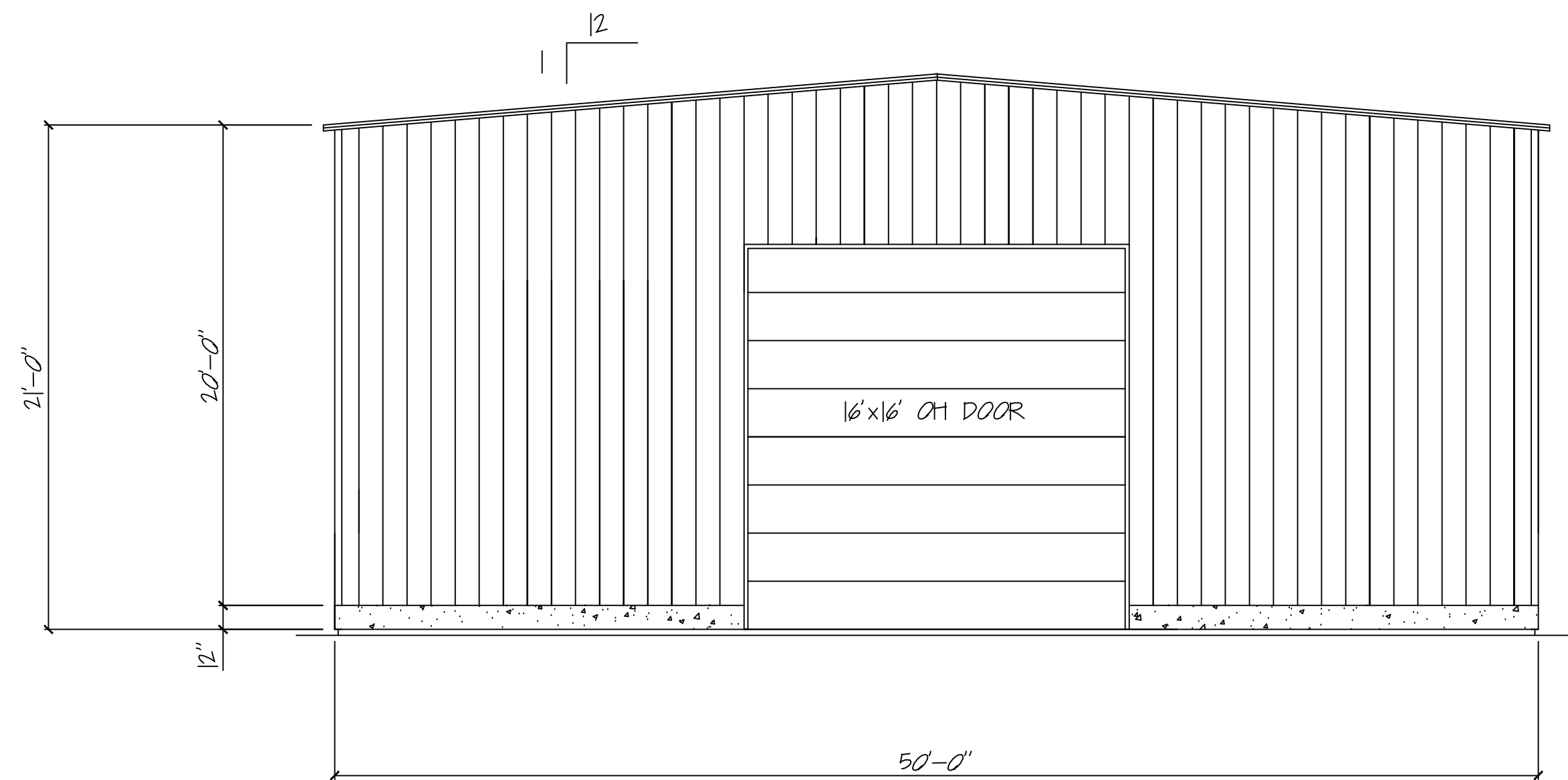
Project Name and Address

JOHNS AUTOBODY
27 JAYAR ROAD
MEDWAY, MA

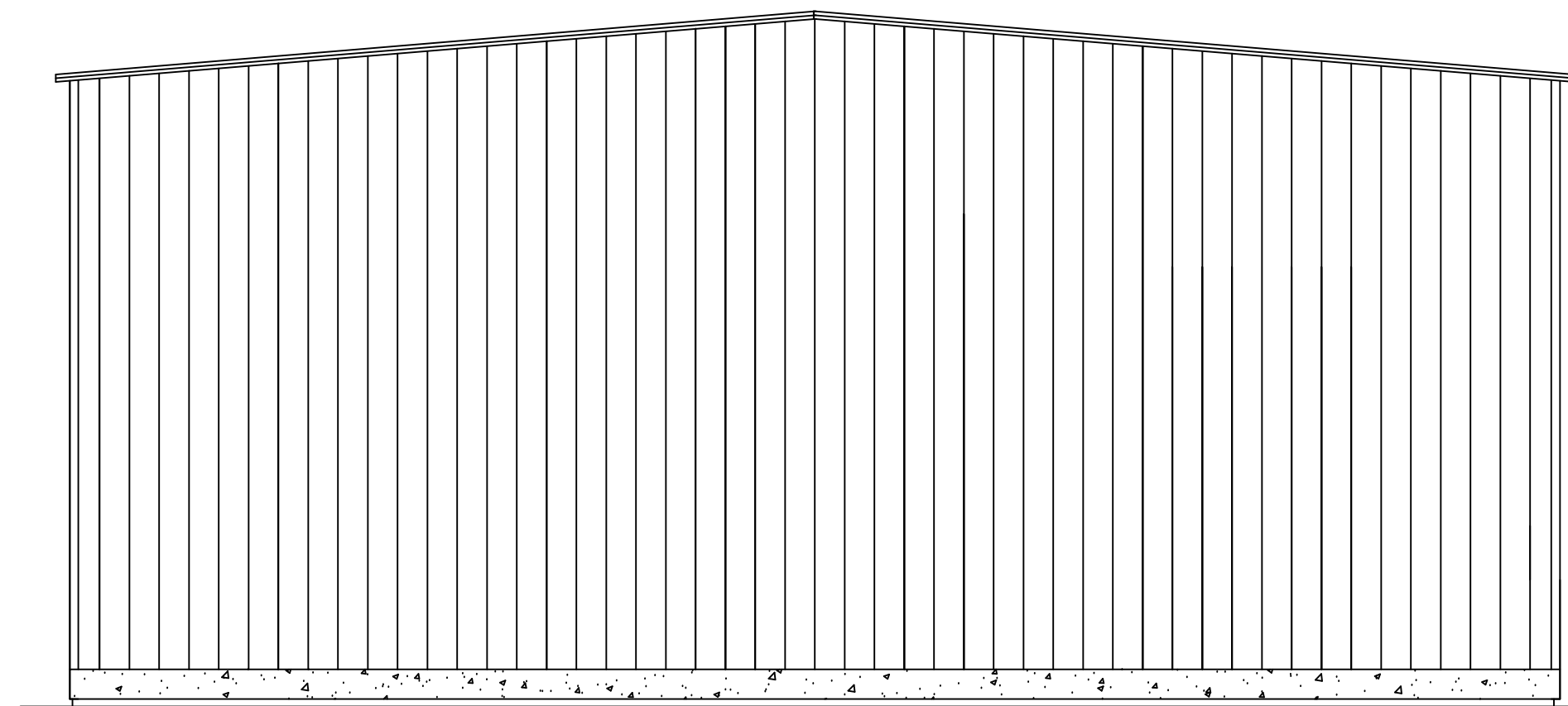
Project FLOOR	Sheet S-1
Date 10/15/14	
Scale 1/4" = 1'-0"	



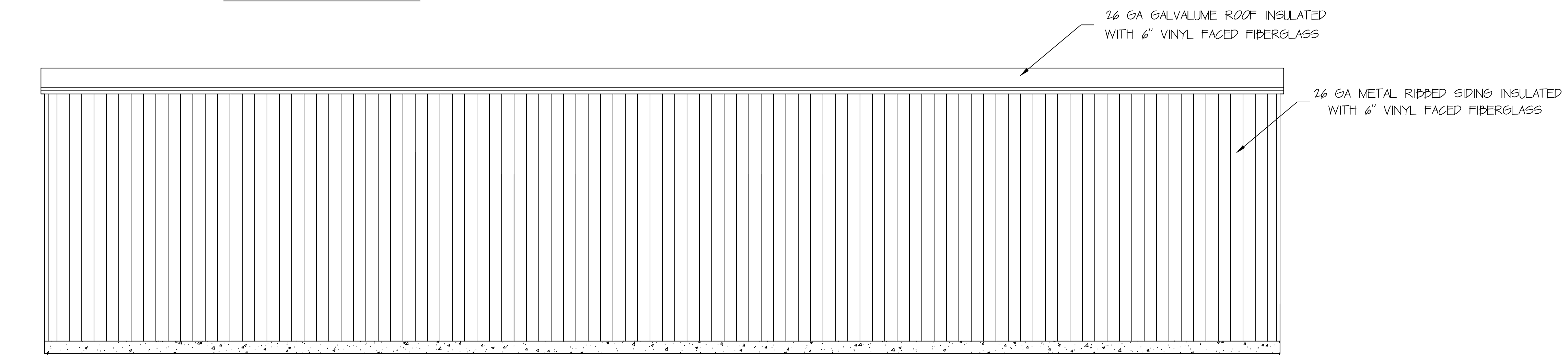
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

General Notes

TED GREENLAW
183 COLUMBIA STREET
HANOVER, MA

No.	Revision/Issue	Date

Firm Name and Address
PRIGGEN STEEL
133 FRANKLIN STREET
WRENTHAM, MA

Project Name and Address
JOHNS AUTOBODY
27 JAYAR ROAD
MEDWAY, MA

Project ELEVATION	Sheet S-2
Date 10/15/14	
Scale 3/16" = 1'-0"	