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December 3, 2015

To: The Planning Board for consideration at their Dec. 17th meeting

Re: Washington Mews Project

We enclose a reissue of all drawings on this project.

Issues raised at the November meeting and our responses are as follows:

- (1) *Show solution to openings in west walls of W units to meet state code*
We are proposing a full height tilt turn operating door/window flanked by two sidelites of fixed PyroLite 60 min rated glass. Total frame area is 56 SF. See drawings. Also see note on Drawing #10
- (2) *Elaborate on detail of grade transition from garage entrance to street, operation of signal system etc.*
See revisions on drawing #1 including description of signaling system and garage access control. Also see new drawing 18 showing all of lower Washington Avenue and the impact of the project on existing street parking and vehicle waiting space.
- (3) *Provide detailed drawings of the North Exit way and details of the easement agreement proposed for these facilities*
See new drawing #16 which illustrates all proposed changes on Village property and includes a draft of the essential parts of the proposed easement agreement. We are proposing that a steel stair supported on posts link our pathway which descends 3' along the north P.L. of our site to the +70' grade adjacent to the commuter lot. This in order not to disturb the root systems of the only significant trees on these lands which are adjacent to it. There are two trees immediately north of our proposed building which cannot survive the construction activity. We propose to replace these with 5 new trees which we have shown on the plan.
- (4) *Provide lighting plan and fixture cuts for exterior "public" areas*
See new drawing E-1 which shows all proposed exterior lighting. Also see new drawing #16 which describes the North Exitway and its proposed lighting.
- (5) *Erect additional flags marking location and heights of SW corners of all S units*
These were put in place on November 24th. Surveyor retained by the village verified heights of old flags as follows: Northernmost (NE corner W-1) flag 2 = 1.7' too low, Center (north face of W-5) flag 1 = 2.1' too high, Southernmost (SE corner W-7) flag 3 = 0.1' too low.
- (6) *Provide a drawing describing the retaining wall at the NE corner of E-1 and the "fan room" under E-1*
See new drawing #16 and revisions to drawings #1 and #2. This wall projects Only 4' from E-1 as we wish to keep it away from the root system of the very large oak further along on the property line. We wish the existing grades here to be maintained and spill around this short wall. This is illustrated on our north elevation on drawing #7.

- (7) *Provide a drawing showing the detail of the proposed fences between the E unit gardens*
 On drawing #5 Roof Plan , Terrace and Garden Elevations ,we have added more details for these gardens including the division fences.
- (8) *Provide more clarity on the site coverage being proposed and insuring that all paving, whether pervious or impervious and whether on natural grade or over a subterranean structure, be treated as coverage*
 We are providing new drawing #9 showing all coverage based on these terms. The results are as follows: total coverage equals 19,676.56sf out of total site 20,440sf or 96.21%. If the pervious brick paving on grade is removed, this falls to 18,641sf or 91.2%. If the mews area of 5357.61sf is added it drops to 71.56 %. We believe our *visible* coverage to be consistent with other properties in the district.
- (9) *Correct minor errors in the SWPPP and transmit these to Hahn Engineering*
 This has been done but as of this date we have not had a response.
- (10) *Obtain approval from the Westchester County Department of Environmental Facilities for the project and notably the garbage structure placed over their trunk sewer*
 We met with Mr. Marian Pompa, director of their waste water division who saw no problems with the proposal and agreed to supply a written confirmation of this before your meeting.
- (11) *Itemize the proposed responsibilities of the condominium corporation with respect to maintenance of vegetated roofs, snow removal, etc. Also outline the proposed restrictions on the buyers use of their roofs*
 We have added notes on these conditions and restrictions on the roof plan drawing #5.
- (12) *Re-examine designation of bedrooms in units containing supplemental spaces which could be used as bedrooms to insure that parking and open space requirements reflect the maximum possible BR count.*
 Drawing 10 has been revised and we found that if Family Rooms were counted as bedrooms it added 4 (W-2,W-3,W-4,S-1) However we had overstated the BR count by 2 (S-2 and S-3) so that the net increase is only 2 however this raises the parking requirement for the 4 units by ¼ space per unit x 4 or one space while the 2 units being reduced from 4 to 3 do not effect their parking needs, therefore our total parking requirement goes from 29 ¼ to 30 ¼ increasing our variance from 4 to 5 spaces 2 of which are for the maintenance office. Open space requirements rise by 400sf but this is provided for in each of these units.
- (13) *Re study design of south elevation for S units and Café to improve its relationship to the project as a whole and to reduce its “commercial, hotel like” image*
 See revised drawing #6. We have separated the floor structures and balconies so that each house reads as an individual “house”. We have also reduced the amount of exposed concrete dramatically and substituted materials and details used elsewhere on the E and W units. We have also added a north elevation of these units on drawing 7 with the same objectives in mind.

We attach a revised list of recommendations being sought for variances.

BALDWIN & FRANKLIN ARCHITECTS

Edward R. Baldwin

cc: Alex Cheng, Charles Minozzi

encl: Updated list of recommendations for variances being sought

Washington Mews Variances

COVERAGE:

Relief from Article 295-18 and 295-72-2 E-4 restricting coverage to 80% in this MRC district to allow coverage of 96.21% on this site.

Applicant's argument:

Site coverage as defined in 295-5 does not refer to subgrade structures. Structure as also defined in 295-5 refers only to structures above grade. If the Mews area is considered open space which it is, then the project complies.

PARKING:

Relief from the strict application of 295-36A to permit the provision of 25 spaces in lieu of the 30 required.

Relief from 295-29B requiring that maneuvering aisles be 25' to permit a 24' standard width in this instance.

Applicant's argument:

2 spaces are required only due to the existence of a small administrative/maintenance office within the common area of the project. This will be used for very short periods of time. 25 spaces is very adequate for 16 dwelling units.

YARD REQUIREMENTS:

Relief from the application of 295-72.2(e)1 and 295-20G interpreted by the Building Dept to require a 27' setback on the west side of the site and 25' on the east.

Applicant's argument:

No set back is required as an MR-C district is not a residential district as defined under 295-5. Of the 22 properties that comprise the MR-C district none comply with this interpretation and only 3 have any side yard setbacks at all.

USE OF VILLAGE LANDS:

The board is requested to recommend to the BOT that an easement be granted to permit development of a pedestrian path and steps across village lands north of the site to provide a means of egress for, and a public pedestrian route through, the project.

APPROVAL AFFORDABLE UNIT DESIGNATIONS

Units E-5 1 BR and W-6 2BR

LIST OF DRAWINGS:

S	Survey	14	Sections Showing Building Height Limits (Section 295-5 "Height, Building" B (1) & Section 295-72-2 (E)3(a)&(b))
1	Parking Floor Plan	15	Open Space Diagram
2	Mews Level Plan	16	Locations of Percolation Wells & Flags
3	Second Floor Plan	17	North Exitway Plan
4	Third Floor Plan	18	Lower Washington Avenue Plan
5	Roof Plan, Terrace & Garden Enlarged Plan	E1	Exterior Lighting Plan
6	Washington Avenue South Elevation & West Elevation of West Building	VP1	View Preservation, 1 of 2
7	North Elevation from Parking Lot, West Elevation of East Houses seen from the Mews & South Elevation of East Houses Including Elevator/Garbage/Mail Building	VP2	View Preservation, 2 of 2
8	Longitudinal & Transverse Sections, North Elevation of 'S' Units		
9	Site Analyses		
10	Zoning Analysis		
11	Landscape Design Proposal		
12	Diagram of Plan Sections per 295-5-B(2), Diagram of Front & Rear Property Extensions & Table of Building Heights & Limits		
13	Plan Showing Building Height Limits (Section 295-5 "Height, Building" B (2))		



OWNERS
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CONSULTANTS
- Tomasz LOPINSKI, CAD & 3D Modeling
- NCK Engineering, Structural
- Larry J. NARDECCHIA Jr., P.E., Civil Engineering
- JMC Site Development Consultants

WASHINGTON MEWS

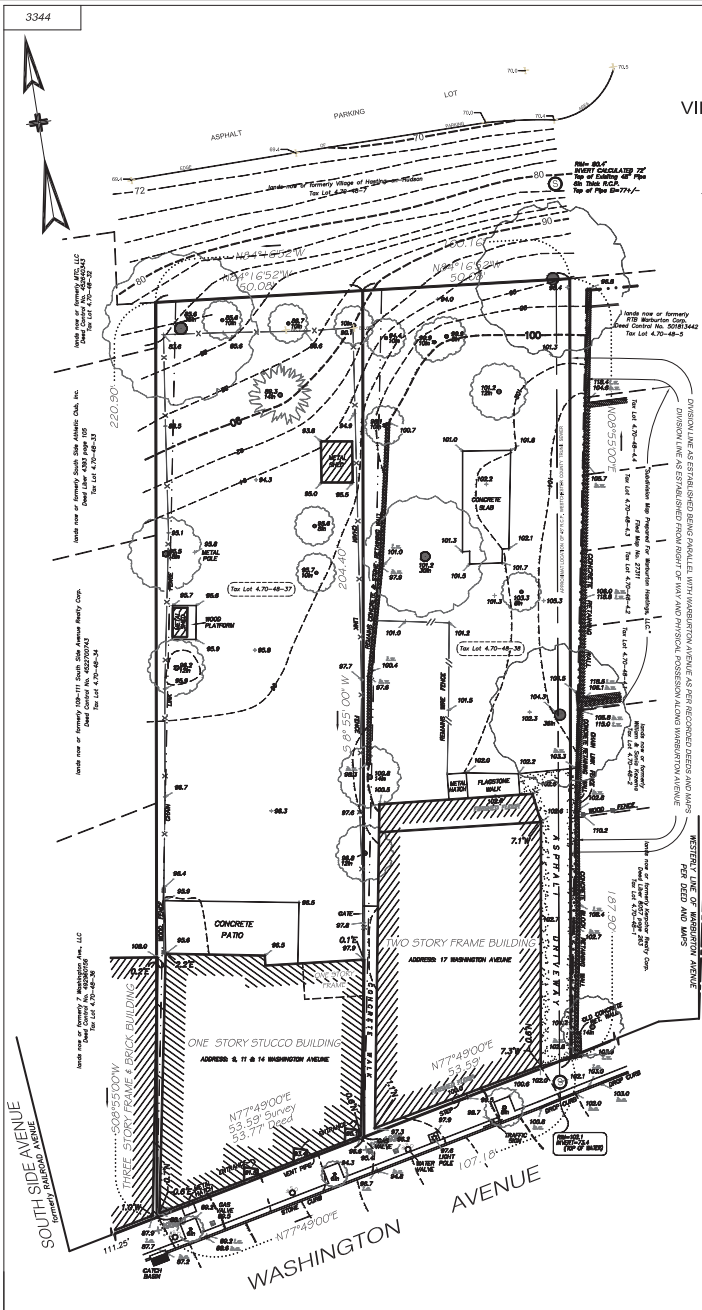
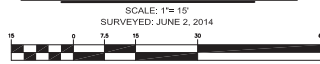
A MID-BLOCK INFILL MEWS HOUSING DEVELOPMENT

SECTION 4.70 - BLOCK 48 - LOTS 37 & 38

ISSUE DATE: 3 DECEMBER 2015

3344

TOPOGRAPHIC SURVEY OF PROPERTY SITUATE IN THE TOWN OF GREENBURGH VILLAGE OF HASTINGS-ON-HUDSON WESTCHESTER COUNTY NEW YORK



- THE PREMISES SHOWN HEREON BEING KNOWN AND DESIGNATED AS CERTAIN LOTS DESCRIBED IN DEEDS LIBER 11848 PAGE 127 AND LIBER 10182 PAGE 36 AS RECORDED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS.
- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF GREENBURGH VILLAGE OF HASTING-ON-HUDSON SECTION; 4.70 BLOCK; 48 LOT: 37 PROPERTY AREA: 10,633 Sq Ft / 0.2441 Acre SECTION; 4.70 BLOCK; 48 LOT:38 PROPERTY AREA: 9,807 Sq Ft / 0.2251 Acre TOTAL PROPERTY AREA: 20,440 Sq Ft / 0.4692 Acre
- SURVEY IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINATION MAY DISCLOSE.
- ELEVATIONS ARE BASED ON AN ARBITRARY DATUM. FINISHED FLOOR OF 17 WASHINGTON AVENUE IS 100.0
- THE OFFSETS SHOWN HEREON ARE FOR INFORMATIONAL PURPOSE ONLY. OFFSETS ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES ONLY. LOCATION OF UNDERGROUND UTILITY STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES / STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATION IS TO BE DONE CONTRACTOR SHALL CONTACT THE SALESY NEW YORK (OUTSIDE N.Y.C. & LONG ISLAND CALL 811 OR 1-800-962-7862, www.811nyc.com; IN N.Y.C. & LONG ISLAND CALL 811 OR 1-800-272-4480 www.nyc.gov/811) AND REQUEST CODE 753. PROTECTION OF UNDERGROUND FACILITIES. 16 NYCRR PART 753, ADOPTED FEB. 5, 1997 AND AMENDED JULY 15, 2002.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS - ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

CERTIFIED TO:
RTB WASHINGTON LLC
ALL NEW YORK TITLE AGENCY INC.
STEWART TITLE INSURANCE COMPANY

WARBURTON AVENUE
REC'D BY: [Signature]
DATE: [Date]

Link
Land Surveyors P.C.
21 Clark Place, Suite 148 Phone 645-628-2857
Mahopac N.Y. 10541 Fax 645-621-0013

NO	DATE	DESCRIPTION	BY
2	7-28-14	Revised Distance	JRL
1	7-2-14	Additional locations	JRL

JOSEPH R. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 00066

NEW YORK STATE LICENSED
LAND SURVEYOR SEAL

ZONING ANALYSIS MR-C DISTRICT LOTS 37 & 38, SECTION 4.70, BLOCK 48

DISCUSSION POINTS		ITEM	REQUIRED	EXISTING	PROPOSED	REQUIRED VARIANCES					
COVERAGE CALCULATIONS (SEE DRAWING SHOWING COVERAGE ON SHEET 9)		LOT AREA	2500 SF	20,440 SF/ 0.4692 acres	20,440 SF						
Total project coverage exceeds the 80% permitted by 295-72.2 e (4) only because the Hastings Building Dept has deemed the portion of the Mews over the subgrade garage to constitute building coverage. The basis for this interpretation is that the garage constitutes a structure and that structures constitute coverage.		MINIMUM AREA PER DWELLING UNIT	500 SF	N.A.	1278 SF						
We have reviewed the definition of structure in 295-5 and very clearly it refers only to items placed above grade. The Mews is located at a grade very close to that now existing. We do not believe it should be considered as building coverage. If the Mews area was replaced by pervious pavement at 50% total development coverage would be 13.1% less or 78.5%. Despite this interpretation the excess coverage is only 0.4% or 11.6% if the portion of the mews on natural grade is also included.		BUILDING COVERAGE ABOVE GRADE	N.A.	5296 SF or 25.9%	12,293 SF or 60.1%						
OPEN SPACE Required open space 295-72.2 a (2) Except for five east units which have 13'-9" deep gardens at grade, all units will have open space created within the footprint of the unit by a combination of balconies and roof terraces. The Hastings Building Department has deemed that the mews is not a 'court' as defined in 295-5 and therefore that 295-21 C does not apply to this project.		TOTAL COVERAGE BY ALL STRUCTURES	80% MAX 16,352 SF	5596 SF or 27.3%	17,944 SF or 87.8%	Relief from 295-72.2 E 4 87.8% in lieu of 80%					
OFF STREET PARKING REQUIREMENTS		TOTAL PERVIOUS PAVING COVERAGE		952 SF or 4.6%	1053.11 SF or 5.2%						
The new curb cut will be 22' in width less than the 24' allowed. The existing 12' curb cut will be removed. The entry will be restricted to right turn in & right turn out. The ramp connecting the sidewalk within the garage will permit 2 way traffic. However by means of signal lights we will avoid this. One vehicle may wait off the street not obstructing traffic while the entry door is in operation. Cars exiting the garage will be aware of such a vehicle and be able to wait until the ramp is clear. Ramp grade is well within the 5% maximum stipulated in 295-31.		TOTAL DEVELOPMENT COVERAGE	NOT STIPULATED	APPROX. 57.89%	91.6%	MAXIMUM IS NOT STIPULATED. 295-72-2 E 4 DOES NOT MENTION PERVIOUS PAVEMENT					
YARD REQUIREMENTS When this project was first reviewed by Mr. Sharma in August of 2007 all yard requirements were deemed to be zero and were so shown on the schedule in the code. Mr. Minozzi advised us on May 29th that all side yards in this district are required to be 10' as all properties abut lands in the same MR-C district and that the MR-C district is to be considered a residential district. In addition he stated that additional set backs after the first 50' @ 1' per 10' as required by 295-20 G would be added to the 10' yard. This results in a 27' side yard at the west side of the site and 25' on the east side. Up until this time we thought 295-72.2 e (1) referred to residential only R districts and also that 295-20 G could not be added to a zero setback. Of the 22 properties that comprise the MR-C district none are in compliance with this requirement & only 3 have any side yard at all. Imposition of these side yard provisions would naturally eliminate the possibility of a Mews development and instead lead to an apartment block concept which we would consider less desirable for the site & for the neighborhood. Since the purpose of districting is to maintain the historic context & character of the existing buildings, (295-2 K) & (295-109 a&b), it seems inconsistent to apply 295-72.2 (c) to any building in this district. This interpretation was not imposed in carrying out our projects at 491-493a and 495 Warburton Avenue. Site plan proposed meets all criteria outlined in 295-109.		OPEN SPACE BY UNIT Per 295-72.2.A(2), requirement is: - 100 SF for each studio or 1 bedroom unit - 100 SF added for each additional bedroom. Resultant required areas are shown in the next columns. Provided space exceeds requirements in all cases.	E-1 200 SF E-2 100 SF E-3 200 SF E-4 200 SF E-5 100 SF W-1 400 SF W-2 200 SF W-3 100 SF W-4 100 SF	W-5 200 SF W-6 200 SF W-7 200 SF S-1 200 SF S-2 400 SF S-3 400 SF S-4 200 SF CAFE none	N.A.	E-1 396 SF E-2 337 SF E-3 337 SF E-4 337 SF E-5 337 SF W-1 496 SF W-2 267 SF W-3 267 SF W-4 267 SF	W-5 267 SF W-6 458 SF W-7 430 SF S-1 425 SF S-2 636 SF S-3 636 SF S-4 328 SF CAFE 127 SF	NONE			
HEIGHT LIMITS (SEE SHEETS 12, 13 & 14) 295-5 "HEIGHT, BUILDING" B (1) & B (2) + 295-72.2 (E) 3 (a) & (b) limiting height to 40'.		Per 295-36 A, required parking per unit is: - 1 1/4 spaces for studio - 1 1/2 spaces for 1 bedroom - 1 3/4 spaces for 2 bedrooms - 2 spaces for 3 bedrooms Per 295-36 E, CAFE is exempt OFFICE requires 2 spaces TOTAL REQUIRED: 29 1/4	E-1 1 3/4 E-2 1 1/2 E-3 1 3/4 E-4 1 3/4 E-5 1 1/2 W-1 2 W-2 1 3/4 W-3 1 1/2 W-4 1 1/2	W-5 1 1/2 W-6 1 3/4 W-7 1 1/2 S-1 1 3/4 S-2 2 S-3 2 S-4 1 3/4 CAFE 0 OFFICE 2	N.A.	TOTAL: 25 spaces	RELIEF FROM 295-36A TO ALLOW THE PROVISION OF 25 SPACES IN LIEU OF 29 1/4				
EXIT WAY/CONNECTION TO TRAIN STATION We propose a gravel pathway approximately 4' wide to connect the exit stair on the north end of the development to existing old stairs in need of reconstruction at the SW corner of the station parking lot. (see sheet 1) These stairs give out to the sidewalk leading to Southside Avenue and the station. We are asking the village to enter into a reciprocal easement agreement with RTB Washington LLC or their designated condominium corporation, to allow RTB to construct and maintain this pathway and steps in perpetuity as a public pedestrian way. In turn the village would receive a public right of passage through the Mews at the Mews level to Washington Avenue. We contacted Erika Krieger of the New York DOS regarding obtaining a state code variance to permit an exit into a 4' wide path in lieu of the 10' wide laneway prescribed by the code. Erica thought this likely.		Per 295-36 A, required parking per unit is: - 1 1/4 spaces for studio - 1 1/2 spaces for 1 bedroom - 1 3/4 spaces for 2 bedrooms - 2 spaces for 3 bedrooms Per 295-36 E, CAFE is exempt OFFICE requires 2 spaces TOTAL REQUIRED: 29 1/4	E-1 1 3/4 E-2 1 1/2 E-3 1 3/4 E-4 1 3/4 E-5 1 1/2 W-1 2 W-2 1 3/4 W-3 1 1/2 W-4 1 1/2	W-5 1 1/2 W-6 1 3/4 W-7 1 1/2 S-1 1 3/4 S-2 2 S-3 2 S-4 1 3/4 CAFE 0 OFFICE 2	N.A.	FRONT: 0' REAR: 0' SIDES: 10' (INCREASING 1' FOR EVERY 10' OF DEPTH AFTER 50'. SEE DWG ON SHEET 9) TOTAL WEST SIDE IS 27' TOTAL EAST SIDE IS 25'	RELIEF FROM 295-72E (1) RELIEF FROM 295-20G ENCROACHMENTS TOTAL IS 7,194 SF SEE DWG 9				
CAFE		All buildings are in compliance with 295.72.2 (E)									
OFFICE		HEIGHT LIMITS (SEE SHEETS 12, 13 & 14) 295-5 "HEIGHT, BUILDING" B (1) & B (2) + 295-72.2 (E) 3 (a) & (b) limiting height to 40'.									
GARAGE		EXIT WAY/CONNECTION TO TRAIN STATION We propose a gravel pathway approximately 4' wide to connect the exit stair on the north end of the development to existing old stairs in need of reconstruction at the SW corner of the station parking lot. (see sheet 1) These stairs give out to the sidewalk leading to Southside Avenue and the station. We are asking the village to enter into a reciprocal easement agreement with RTB Washington LLC or their designated condominium corporation, to allow RTB to construct and maintain this pathway and steps in perpetuity as a public pedestrian way. In turn the village would receive a public right of passage through the Mews at the Mews level to Washington Avenue. We contacted Erika Krieger of the New York DOS regarding obtaining a state code variance to permit an exit into a 4' wide path in lieu of the 10' wide laneway prescribed by the code. Erica thought this likely.					EXIT TO TRAIN STATION				A recommendation from the PB & ZBA to the B of T that such an easement be granted.

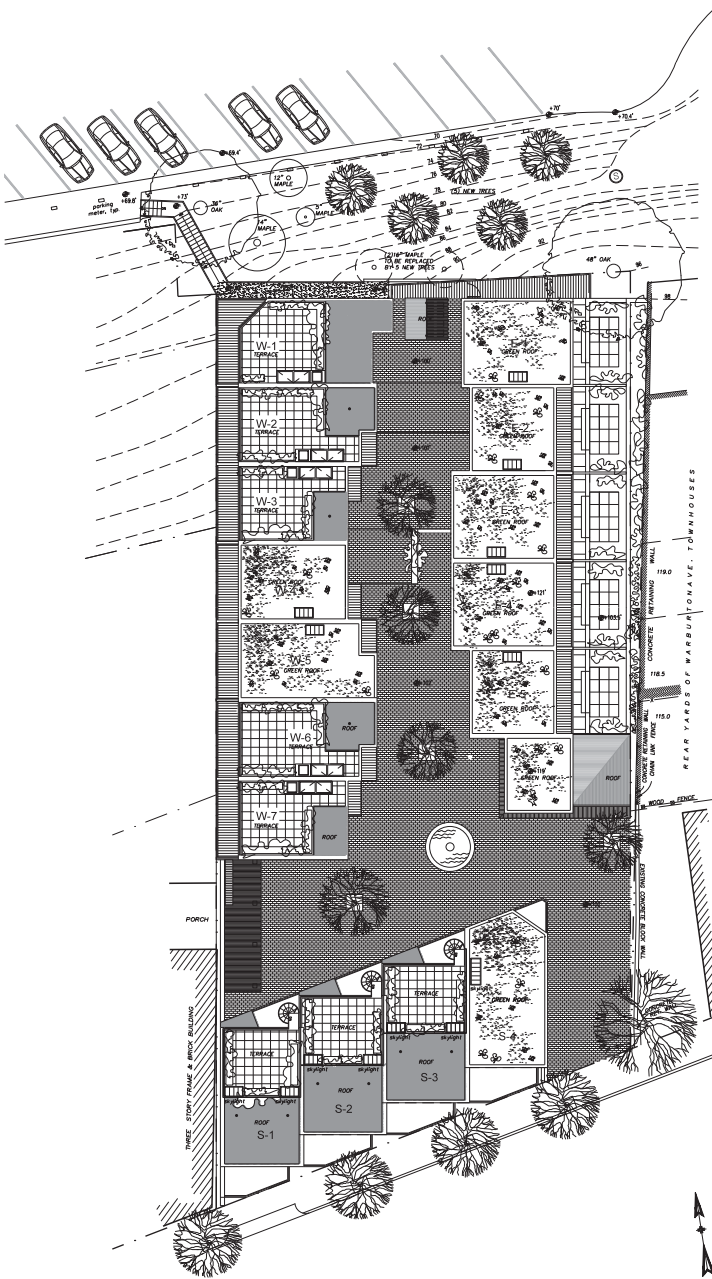
TABULATION OF SPACES BY USE								
UNIT	USE (Residential, Commercial, Office, Garage)	LEVEL	NET F.A.	BR'S	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED	ROOF GARDEN	OFF STREET PARKING SPACES REQUIRED
E-1	R	MEWS	507 S.F.	0	-	396 S.F.	NO	1.75
		LOWER	608 S.F.	1	100 S.F.	-		
		2nd FL.	507 S.F.	1	100 S.F.	-		
TOTAL			1622 S.F.	2	200 S.F.	396 S.F.		
E-2	R	MEWS	470 S.F.	0	-	257 S.F.	NO	1.5
		LOWER	390 S.F.	1	100 S.F.	80		
		2nd FL.	390 S.F.	1	100 S.F.	80		
TOTAL			860 S.F.	1	100 S.F.	337 S.F.		
E-3	R	MEWS	560 S.F.	0	-	257 S.F.	NO	1.75
		LOWER	480 S.F.	2	200 S.F.	80		
		2nd FL.	480 S.F.	2	200 S.F.	80		
TOTAL			1040 S.F.	2	200 S.F.	337 S.F.		
E-4	R	MEWS	560 S.F.	0	-	257 S.F.	NO	1.75
		LOWER	480 S.F.	2	200 S.F.	80		
		2nd FL.	480 S.F.	2	200 S.F.	80		
TOTAL			1040 S.F.	2	200 S.F.	337 S.F.		
E-5	R	MEWS	470 S.F.	0	-	257 S.F.	NO	1.5
		LOWER	390 S.F.	1	100 S.F.	80		
		2nd FL.	390 S.F.	1	100 S.F.	80		
TOTAL			860 S.F.	1	100 S.F.	337 S.F.		
W-1	R	MEWS	616 S.F.	0	-	124 S.F.	YES	2.0
		LOWER	616 S.F.	1	100 S.F.	124 S.F.		
		LOWEST	655 S.F.	2	200 S.F.	124 S.F.		
TOTAL			2542 S.F.	3	400 S.F.	496 S.F.		
W-2	R	MEWS	540 S.F.	0	-	89 S.F.	YES	2.00
		LOWER	540 S.F.	2	200 S.F.	89 S.F.	*not included	
		LOWEST	357 S.F.	1	100 S.F.	89 S.F.		
TOTAL			1437 S.F.	3	300 S.F.	267 S.F.*		
W-3	R	MEWS	449 S.F.	0	-	89 S.F.	YES	1.75
		LOWER	449 S.F.	1	100 S.F.	89 S.F.		
		LOWEST	357 S.F.	1	100 S.F.	89 S.F.		
TOTAL			1255 S.F.	2	200 S.F.	267 S.F.		
W-4	R	MEWS	449 S.F.	0	-	89 S.F.	NO	1.75
		LOWER	449 S.F.	1	100 S.F.	89 S.F.		
		LOWEST	357 S.F.	1	100 S.F.	89 S.F.		
TOTAL			1255 S.F.	2	200 S.F.	267 S.F.		
W-5	R	MEWS	540 S.F.	0	-	89 S.F.	NO	1.5
		LOWER	540 S.F.	2	200 S.F.	89 S.F.		
		LOWEST	548 S.F.	0	-	89 S.F.		
TOTAL			1628 S.F.	2	200 S.F.	267 S.F.		
W-6	R	MEWS	540 S.F.	0	-	89 S.F.	YES	1.75
		LOWER	540 S.F.	2	200 S.F.	89 S.F.		
		LOWEST	1080 S.F.	2	200 S.F.	178 S.F. + ROOF		
TOTAL			2160 S.F.	4	400 S.F.	425 S.F.		
S-1	R	MEWS	559 S.F.	1	100 S.F.	99 S.F.	YES	2
		LOWER	559 S.F.	0	-	163 S.F.		
		3rd FL.	559 S.F.	2	200 S.F.	163 S.F.		
TOTAL			1797 S.F.	3	300 S.F.	425 S.F.		
S-2	R	MEWS	625 S.F.	1	100 S.F.	127 S.F.	YES	2.0
		LOWER	625 S.F.	0	-	127 S.F.		
		2nd FL.	625 S.F.	0	-	191 S.F.		
TOTAL			2500 S.F.	2	200 S.F.	425 S.F.		
S-3	R	MEWS	625 S.F.	1	100 S.F.	127 S.F.	YES	2.0
		LOWER	625 S.F.	0	-	127 S.F.		
		2nd FL.	625 S.F.	0	-	191 S.F.		
TOTAL			2500 S.F.	2	200 S.F.	425 S.F.		
S-4	R	MEWS	54 S.F.	0	-	-	NO	1.75
		LOWER	640 S.F.	0	-	164 S.F.		
		3rd FL.	640 S.F.	2	200 S.F.	164 S.F.		
TOTAL			1314 S.F.	2	200 S.F.	328 S.F.		
CAFE	C	MEWS	654 S.F.	0	-	127 S.F.	NO	0
		LOWER	758 S.F.	0	-	0 S.F.		
		LOWEST	1412 S.F.	0	-	-		
TOTAL			3824 S.F.	0	0 S.F.	127 S.F.		
OFFICE			231 S.F.	0	NONE	NONE	NO	2
GARAGE			9082 S.F.	0	NONE	NONE	NO	0
GRAND TOTALS			34,353 S.F.		3600 S.F.	6075 S.F.		30 1/4 SPACES

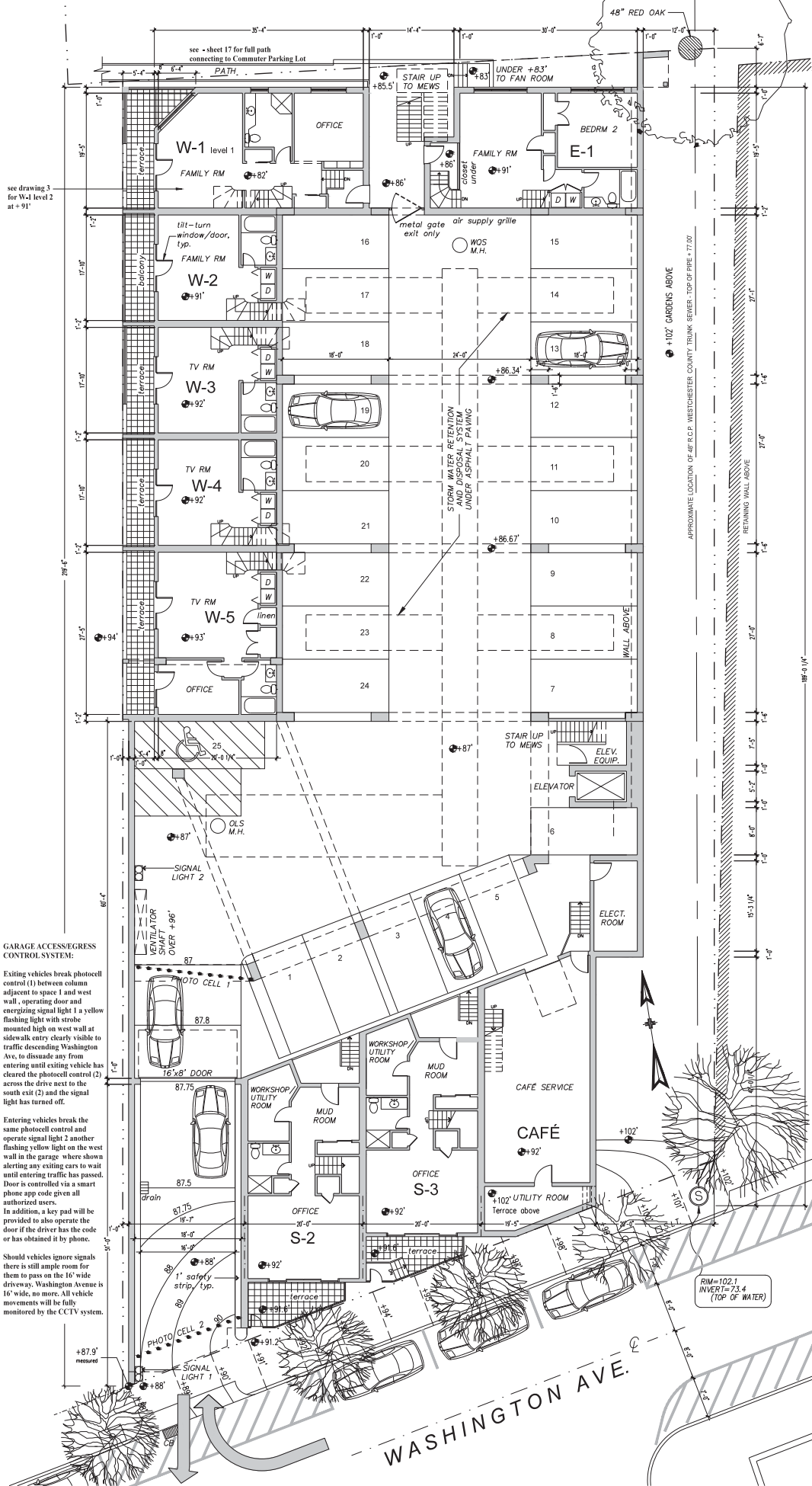
NOTE: Under the NYS building code, all R uses are R-2 occupancies, the office is B occupancy and the garage (enclosed) is S-2 occupancy.

LANDSCAPE DESIGN PROPOSAL

Live plantings proposed for the public domain of the project will be as follows:

- 3 new street trees equal to those now existing in cast iron grating flush with sidewalk.
- 5 new trees in concrete planters within the Mews as shown on the plans. These we propose be Honey Locusts (*Gleditsia triacanthos*) 2 1/2" caliper as their small leaves and high visual transparency will not overly shade the Mews space nor dominate or fill it excessively. At each of these planters we would propose English Ivy (*Hedera helix*) as a ground cover which hopefully would flow over the edges of the planters.
- At North driveway we propose adding 5 new trees (4" caliper) to replace two maples when must be removed to permit construction work.
- At numerous window boxes we would propose annual flowering plants.
- For the vegetated roofs on the East Houses, W-4 and S-4 we would propose a modular system employing a variety of Sedums mixed with short meadow grasses be used. A system such as Tremco's VIK MOD would be appropriate as it is as close to being maintenance free as any system on the market.
- For the cast houses we propose a self supporting green wall at the rear of each garden extending to the height of the concrete wall.
- Paving throughout the Mews we propose be a clay brick in a running bond adding color and a non institutional, non commercial feeling which conventional concrete modular units can never achieve.
- Roof terraces on S and W houses have 1'-6" high planter boxes which are substantially concealed by the parapets. Plant material will be provided by individual owners and will be restricted by the condominium agreement to be maintained no more than 2'-6" high, i.e. 1'-6" higher than the parapet.
- At the center of the south end of the mews we propose a fountain to provide a sitting wall and water to reflect light and provide sound to add atmosphere. The fountain will be illuminated at night.



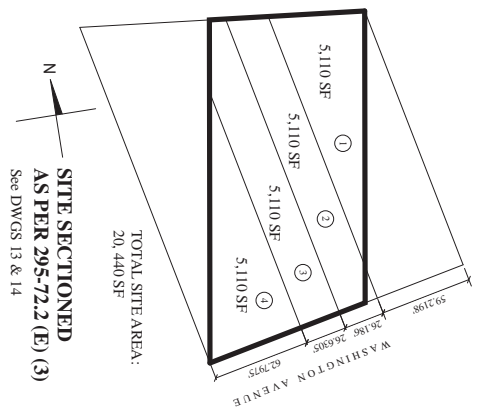
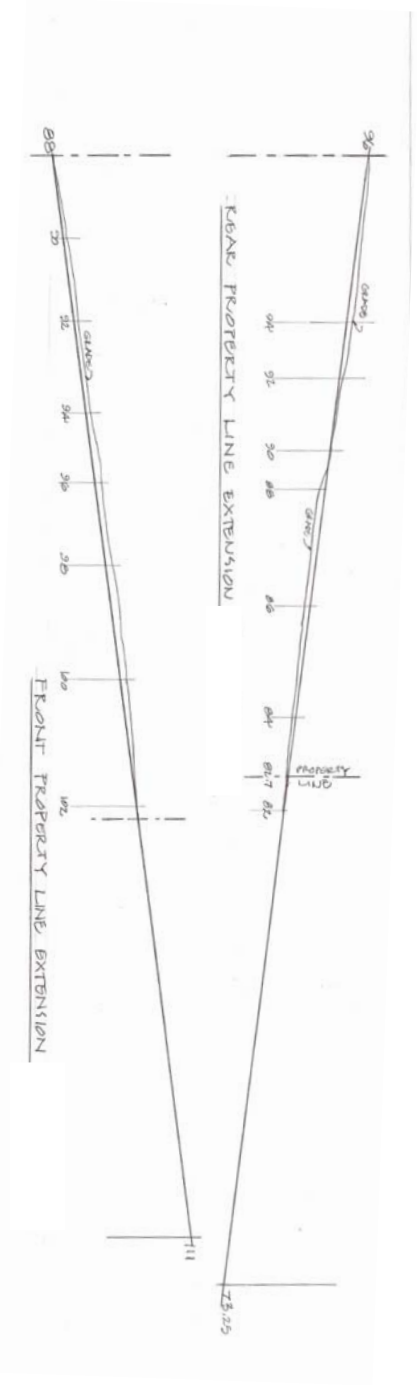


GARAGE ACCESS/EGRESS CONTROL SYSTEM:

Exiting vehicles break photocell control (1) between column adjacent to space 1 and west wall, operating door and energizing signal light 1 a yellow flashing light with strobe mounted high on west wall at sidewalk entry clearly visible to traffic descending Washington Ave, to dissuade any from entering until exiting vehicle has cleared the photocell control (2) across the drive next to the south exit (2) and the signal light has turned off.

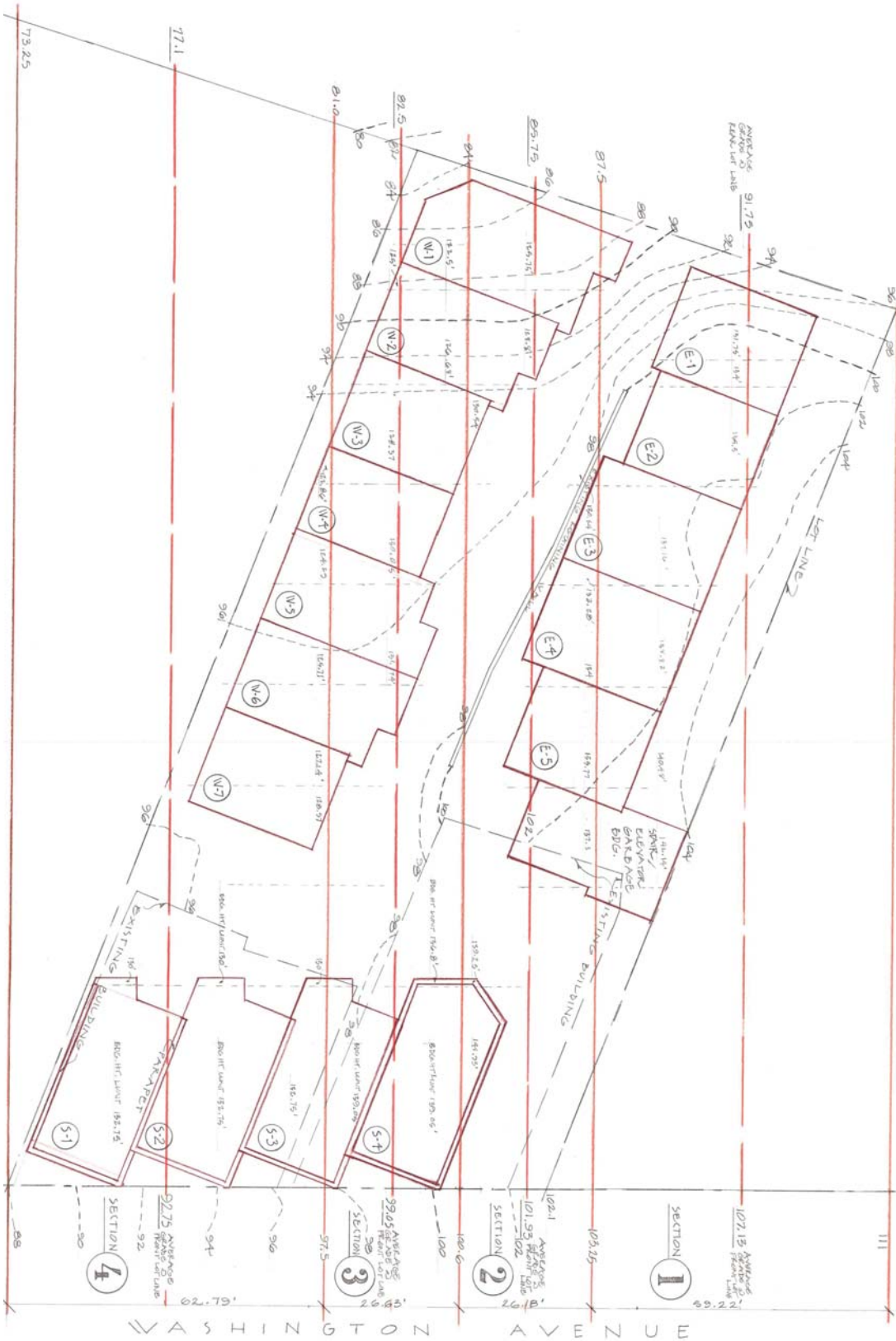
Entering vehicles break the same photocell control and operate signal light 2 another flashing yellow light on the west wall in the garage, where shown alerting any exiting cars to wait until entering traffic has passed. Door is controlled via a smart phone app code given all authorized users.

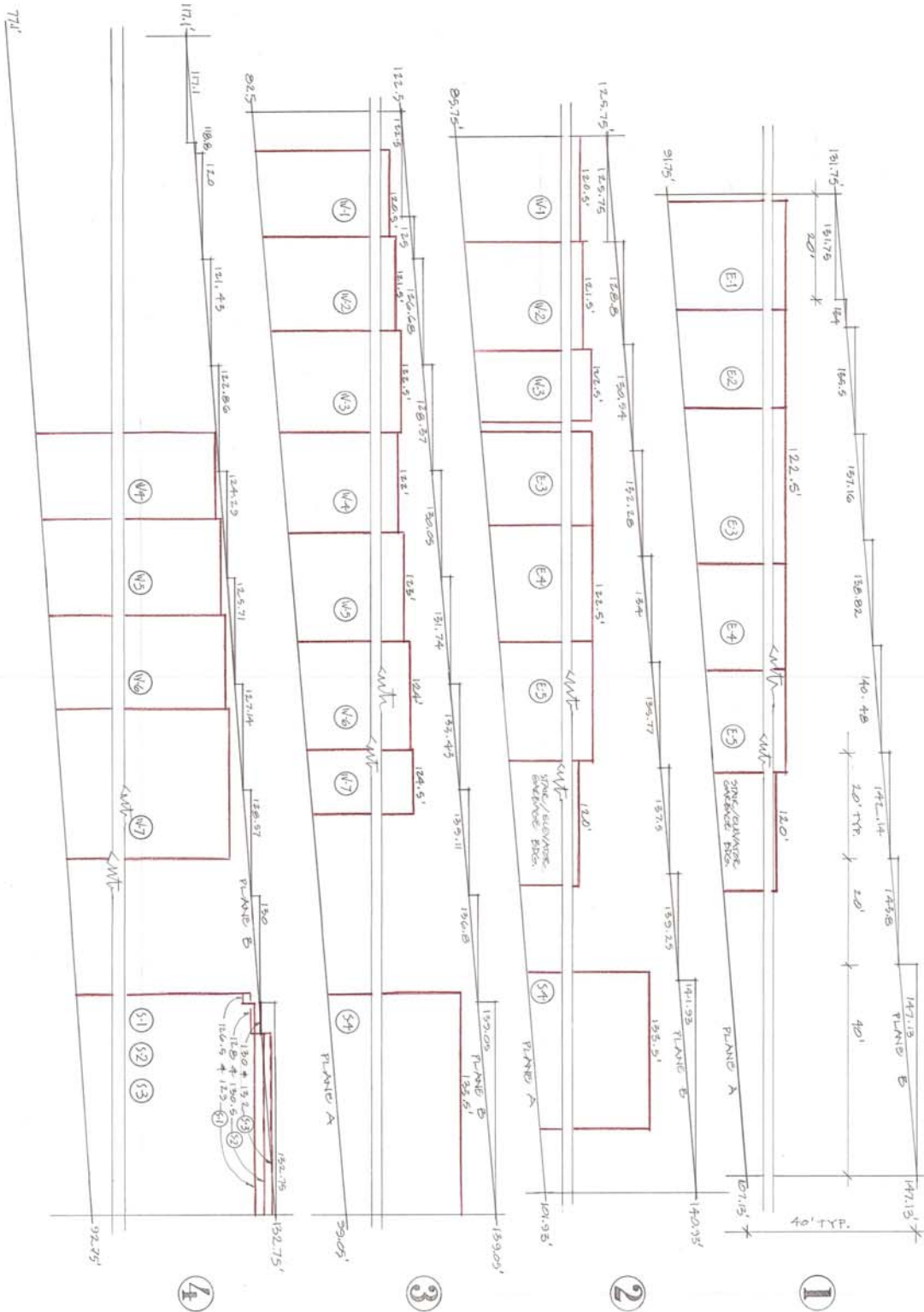
In addition, a key pad will be provided to also operate the door if the driver has the code or has obtained it by phone. Should vehicles ignore signals there is still ample room for them to pass on the 16' wide driveway. Washington Avenue is 16' wide, no more. All vehicle movements will be fully monitored by the CCTV system.

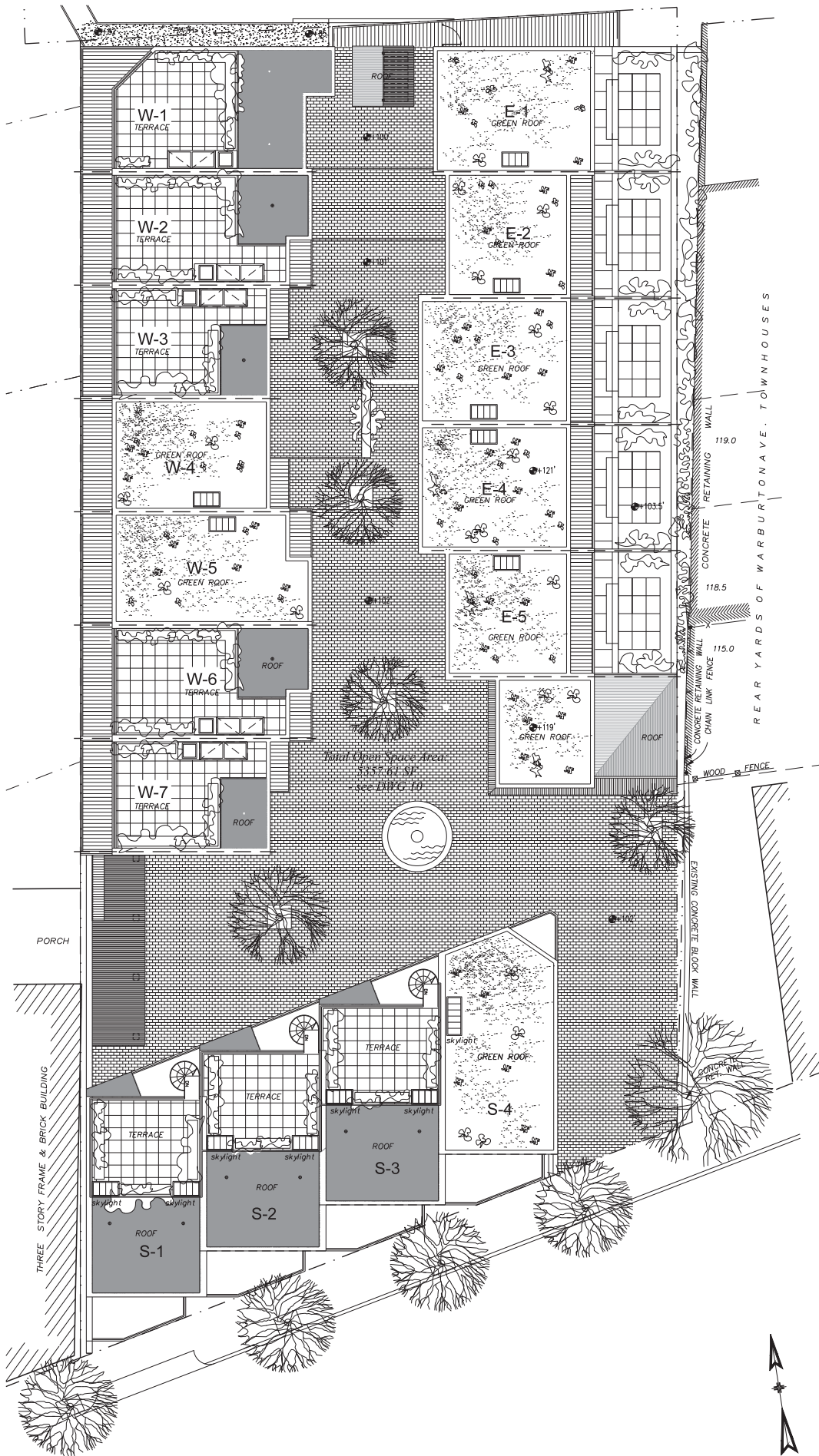


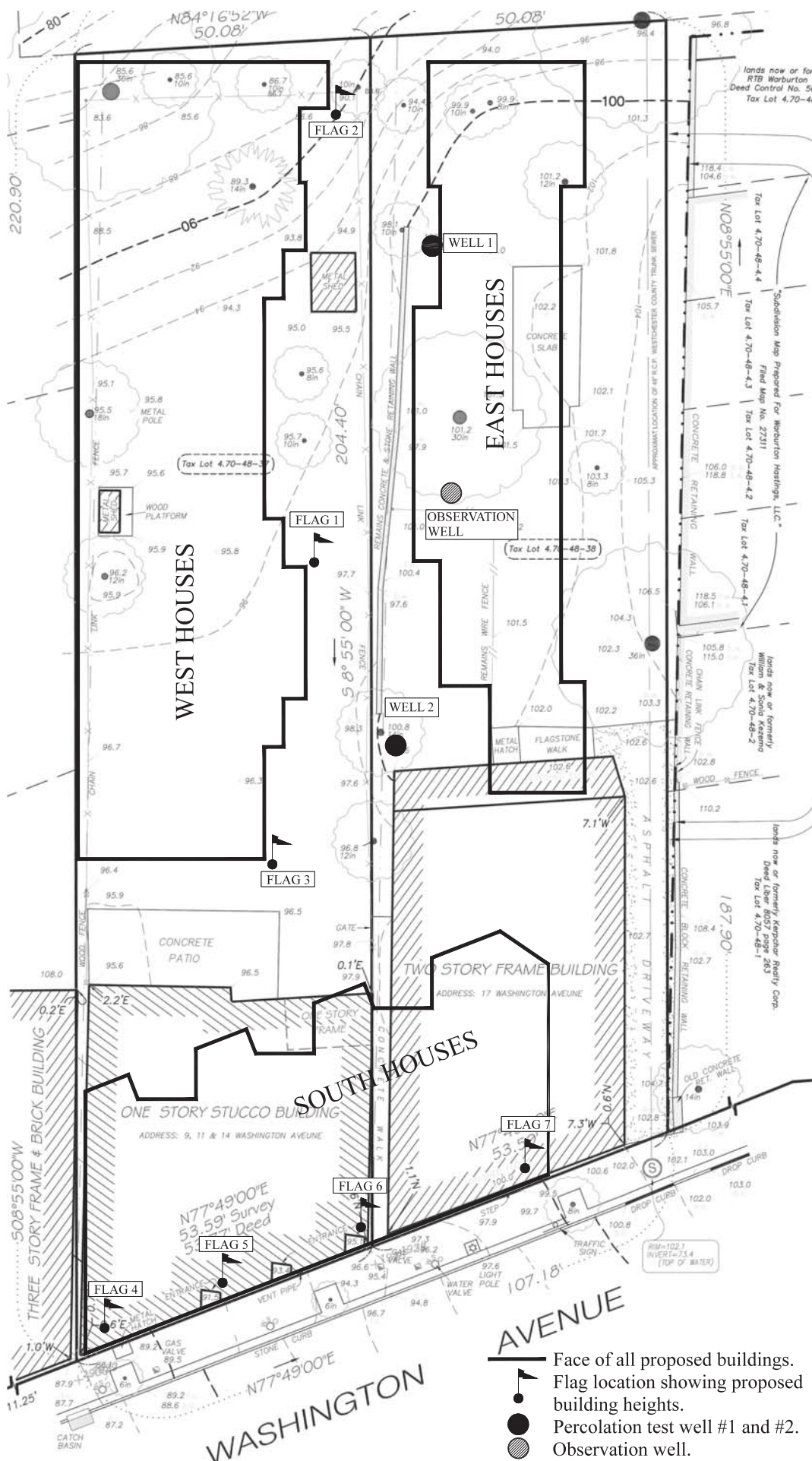
LOWEST HEIGHT LIMIT PER UNIT
(OF THE POSSIBLE RANGE OF HEIGHTS)

UNIT	ALLOWED	PROPOSED	HEIGHT LIMIT
S-1	+132'5" & 130' @ rear 2'	+130'	+135'
S-2	+132'5" & 130' @ rear 2'	+130.5'	+135'
S-3	+132'5" & 130' @ rear 2'	+132' & 130'	+135' & 0'
S-4	+130'5" & 128'8" @ rear 2'	+133.5'	+135'
W-1	+122.5'	+130.5'	+135'
W-2	+122.5'	+128'	+135'
W-3	+122.5'	+127'	+135'
W-4	+122.5'	+127'	+135'
W-5	+122.5'	+127'	+135'
W-6	+122.5'	+127'	+135'
E-1	+131.75'	+122.5'	+135'
E-2	+131.75'	+122.5'	+135'
E-3	+131.75'	+122.5'	+135'
E-4	+131.75'	+122.5'	+135'
GARB	+130'	+122.5'	+135'
MAIL	+130'	+122.5'	+135'
BLDG.	+135.77'	+130'	+157.77'









- Face of all proposed buildings.
- Flag location showing proposed building heights.
- Percolation test well #1 and #2.
- Observation well.

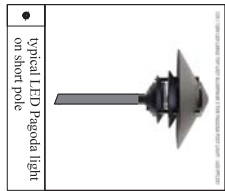
Baldwin & Franklin Architects
 73 Washington Avenue
 Hastings-on-Hudson, N.Y. 10706
 Tel.: (914) 693 5324 Fax: (914) 693 5676

Project: **WASHINGTON MEWS
 RTB WASHINGTON LLC**

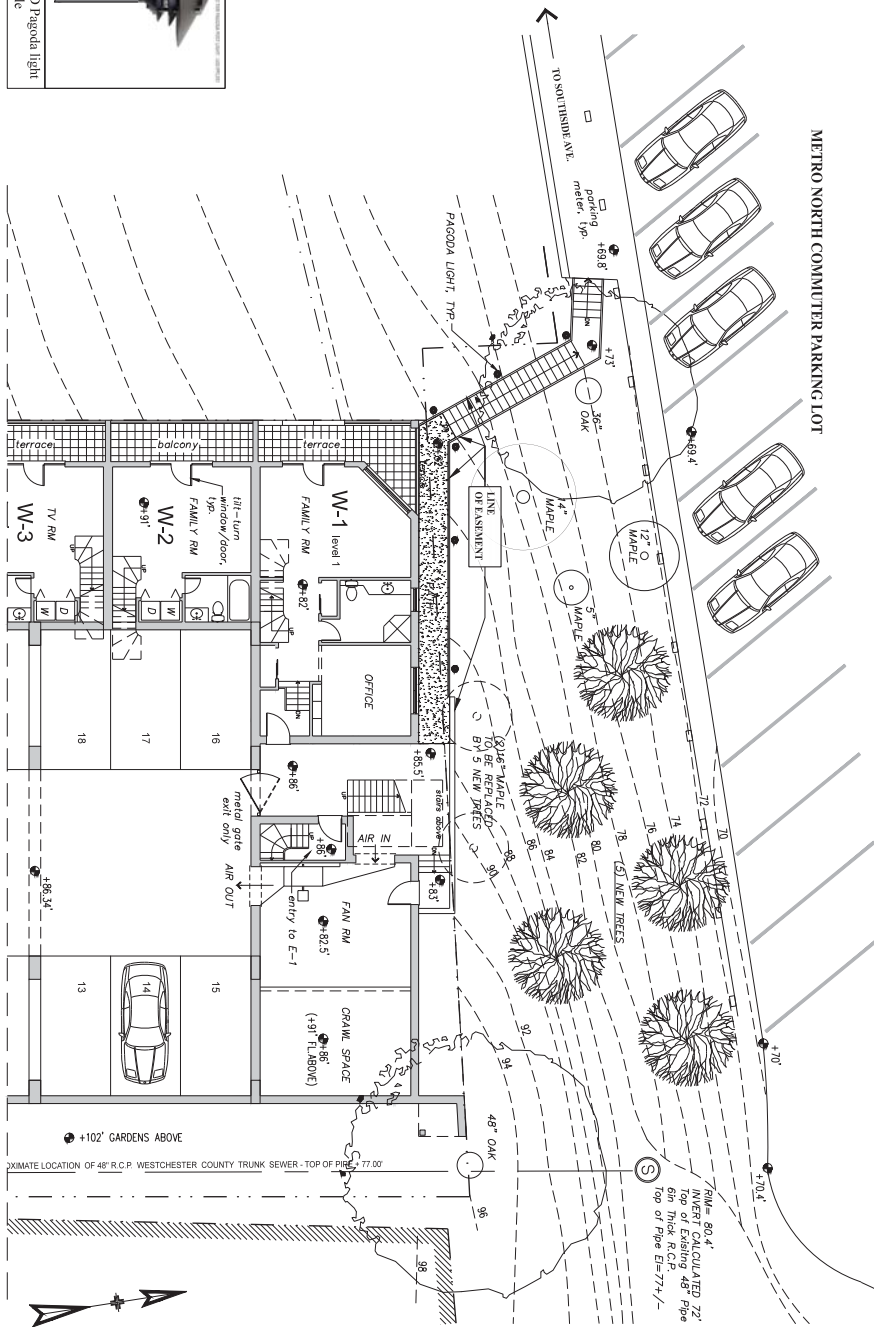
Sheet Title: **Flag & Well Location**

Project No: 1405
 Date: Dec 3rd 2015
 Scale: 1/8" = 1'-0"
 Drawn: GA

Sheet No: **16**



• Typical LED Pagoda light on short pole



METRO NORTH COMMUTER PARKING LOT

DRAFT EASEMENT AGREEMENT:

The Village of Hastings on Hudson and RTB Washington LLC developer of the Washington Mews project agree as follows:

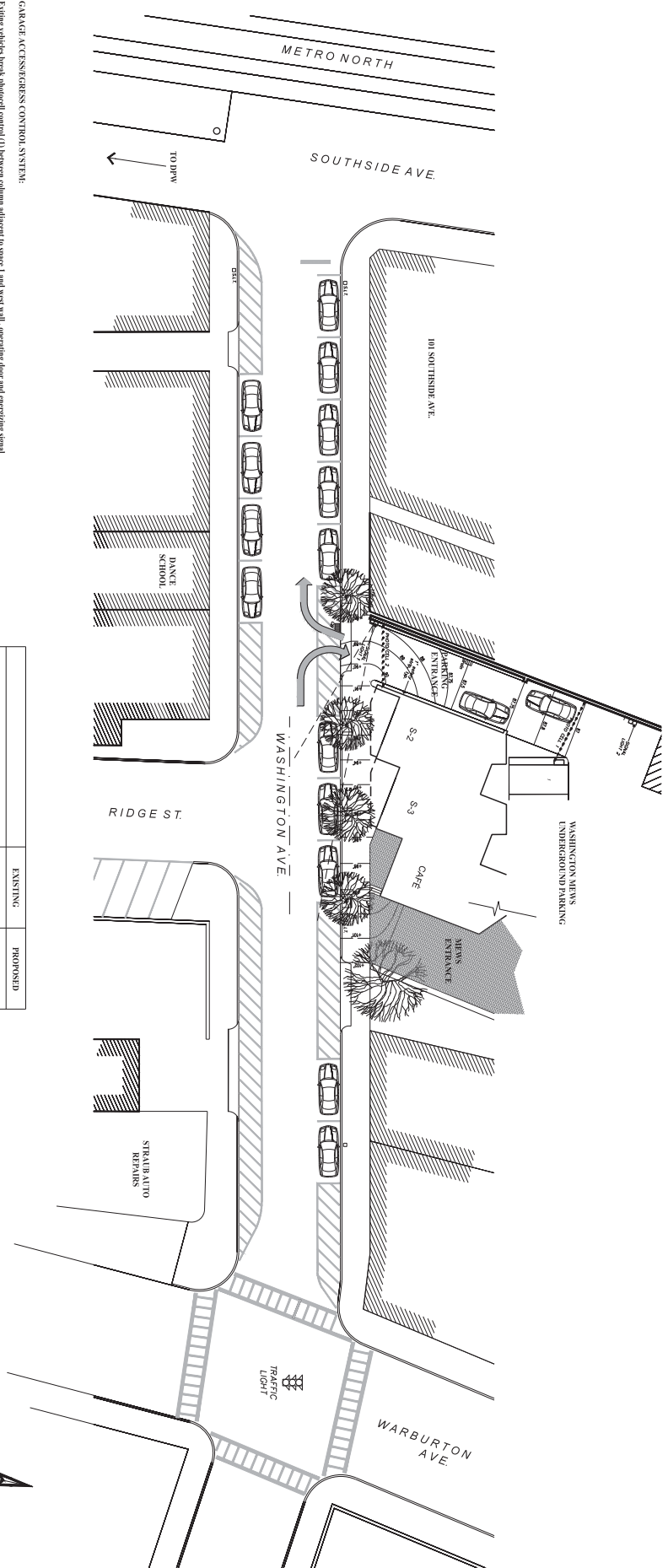
- (1) The village will grant to RTB the right in perpetuity to construct and maintain a path and steps on village lands linking their project with the Metro North commuter parking lot north of their project. Said path and steps shall be limited in scope to those described on the attached drawing.

- (1) The path and steps are to serve as an exitway for the project and as a public pedestrian way connecting the pedestrian mews within the project (which opens to Washington Avenue on its south end) to the commuter lot and Southside Avenue.

- (1) RTB will absorb all costs associated with its construction and maintenance and provide public liability insurance coverage for the easement area and mews area naming the village as a consured and will provide a certificate to that effect to the village each year.

- (1) RTB intends that this pedestrian route be open at all times but reserves the right to close it to the public at night or at other times should it become a security hazard, or in the event that repairs are required.

- (1) RTB intends to transfer this agreement to their condominium corporation when it is formed. The village agrees to such transfer.
- (1) RTB agrees to also install 5 new 4" caliper trees where shown to replace two trees immediately north of the new building which must be removed to carry out its construction. They will also remove all refuse now scattered along this slope.



GARAGE ACCESS/EGRESS CONTROL SYSTEM:

Existing vehicles block photoed control (1) between column adjacent to space 1 and west wall, operating door and emergency signal light. A key pad will be provided to also operate the door if the driver has the code or has obtained it by phone. Should vehicles ignore signals there is still ample room for them to pass on the 16' wide driveway. Washington Avenue is 16' wide, no more. All vehicle movements will be fully monitored by the CCTV system.

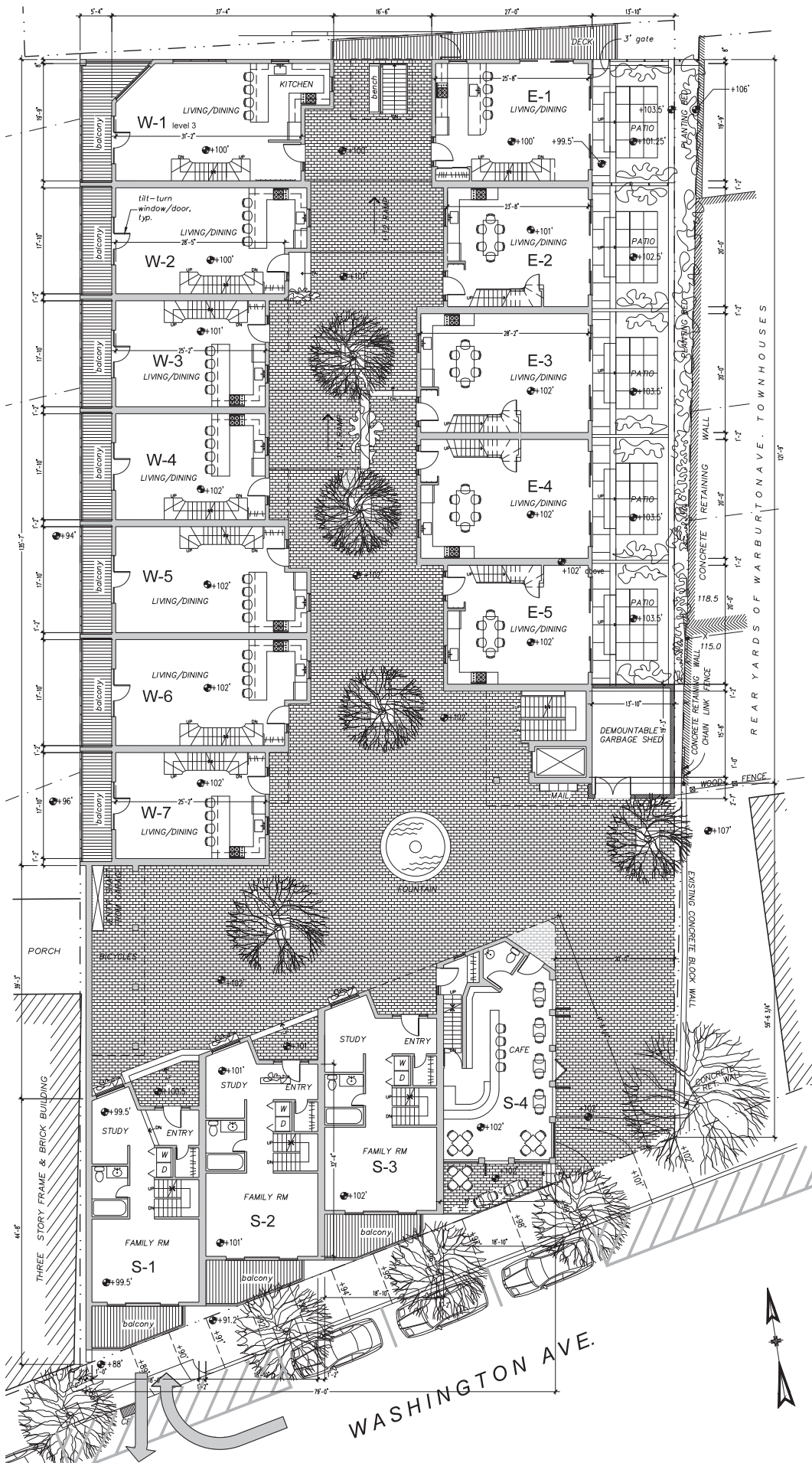
Existing vehicles block the same photoed control and emergency signal light 2 another flashing yellow light on the west wall in the garage, when shown advising any exiting cars to wait until entering traffic has passed. Door is controlled via a smart phone app code gives all authorized users.

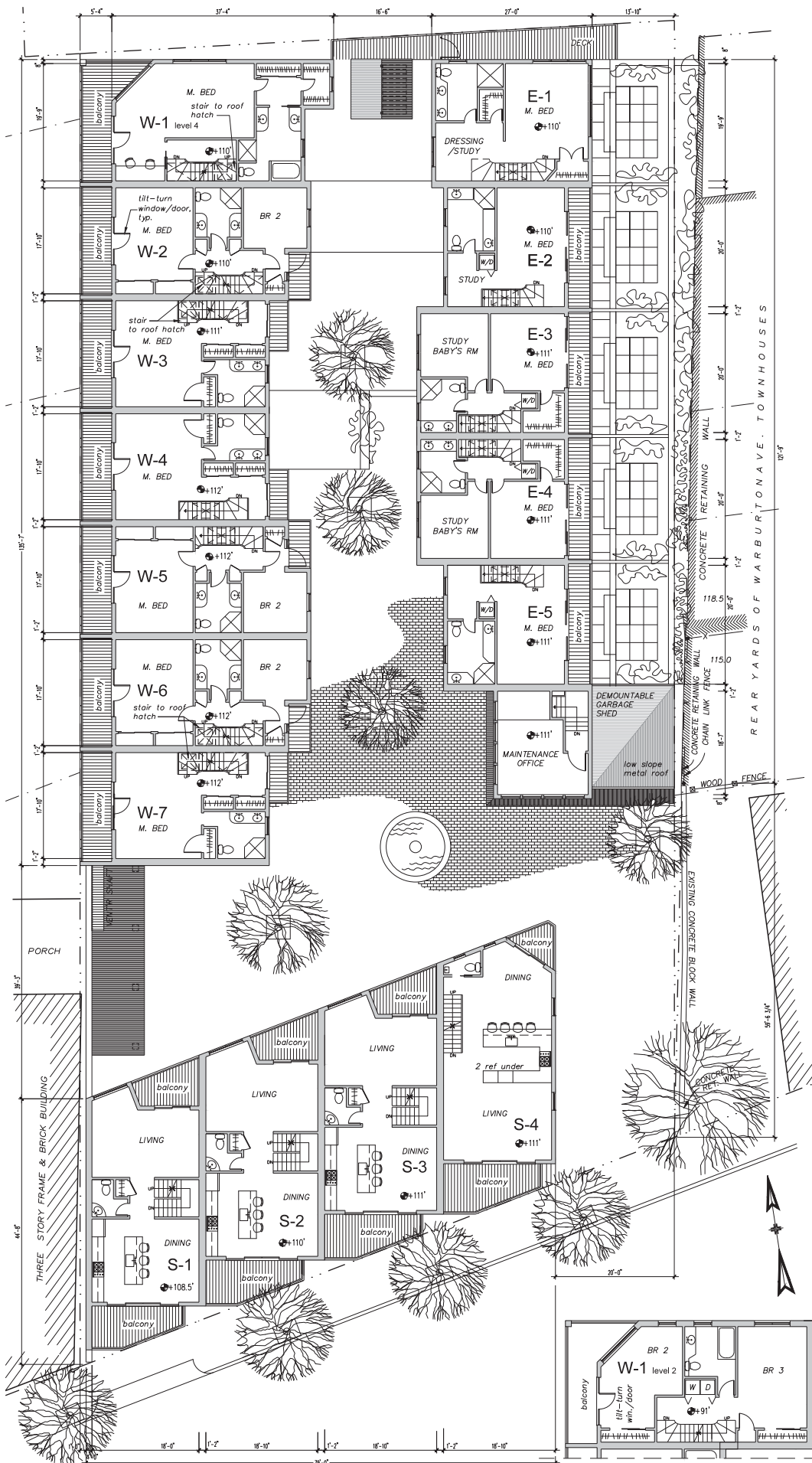
Existing vehicles block the same photoed control and emergency signal light 3 another flashing yellow light on the west wall in the garage, when shown advising any exiting cars to wait until entering traffic has passed. Door is controlled via a smart phone app code gives all authorized users.

In addition, a key pad will be provided to also operate the door if the driver has the code or has obtained it by phone.

Should vehicles ignore signals there is still ample room for them to pass on the 16' wide driveway. Washington Avenue is 16' wide, no more. All vehicle movements will be fully monitored by the CCTV system.

	EXISTING	PROPOSED
IN STREET DESIGNATED PARKING	15	14
IN BLOCK CURB CUTS	62	76
NO PARKING outside short term waiting areas	239 (12 cars)	200 (14 cars)





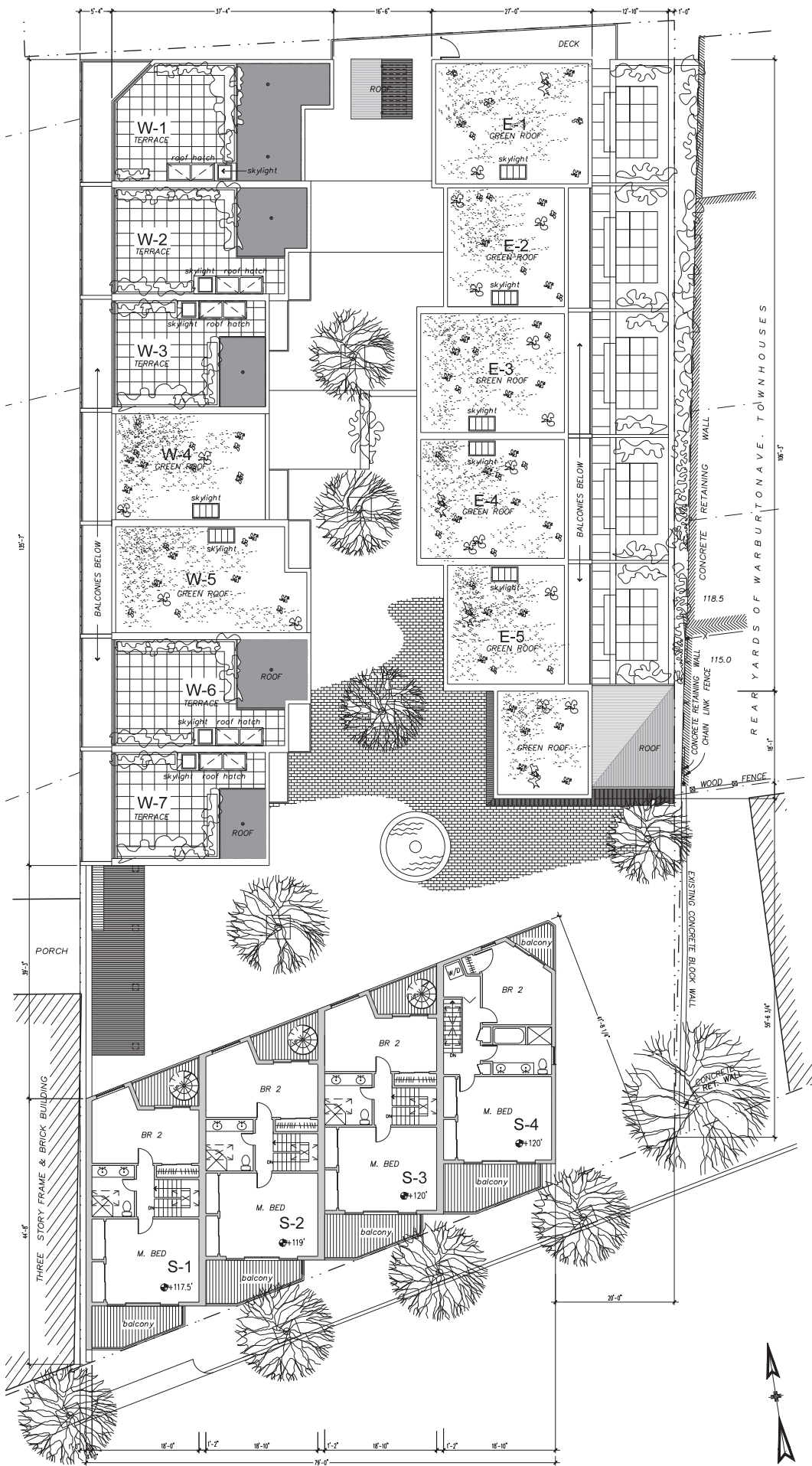
Baldwin & Franklin Architects
 73 Washington Avenue
 Hastings-on-Hudson, N.Y. 10706
 Tel.: (914) 693 5324 Fax: (914) 693 5676

Project: **WASHINGTON MEWS
 RTB WASHINGTON LLC**

Sheet Title: **Second Floor Plan**

Project No.: 1405
 Date: Dec 3rd, 2015
 Scale: 1/8" = 1'-0"
 Drawn: GA

Sheet No.: **3**



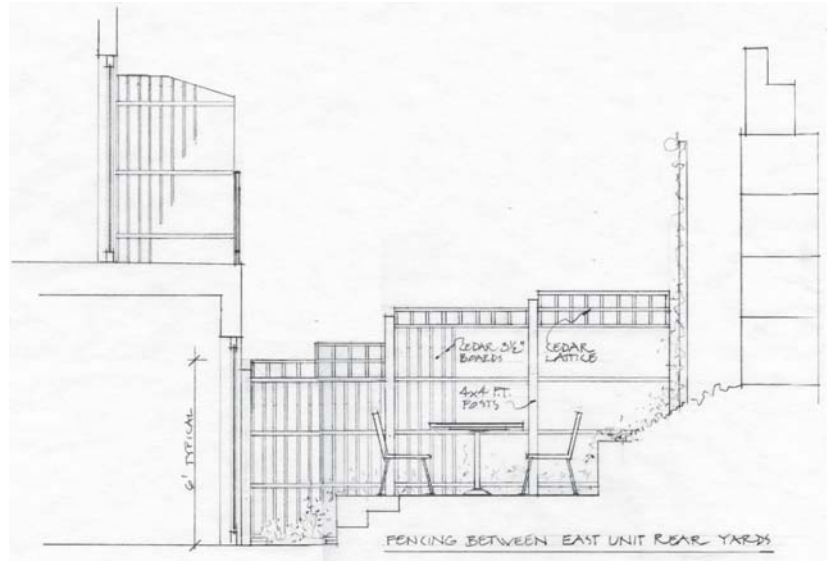
Baldwin & Franklin Architects
 73 Washington Avenue
 Hastings-on-Hudson, N.Y. 10706
 Tel.: (914) 693 5324 Fax: (914) 693 5676

Project: **WASHINGTON MEWS
 RTB WASHINGTON LLC**

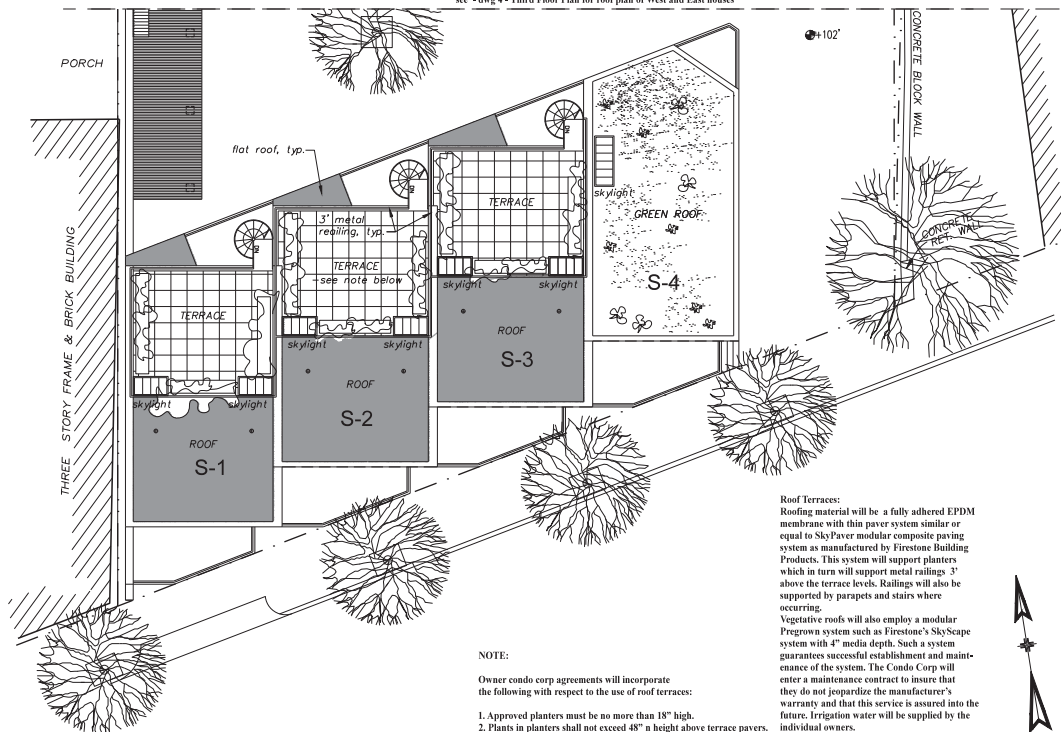
Sheet Title: **Third Floor Plan**

Project No.: 1405
 Date: Dec 3rd, 2015
 Scale: 1/8" = 1'-0"
 Drawn: GA

Sheet No.: **4**



see - dwg 4 - Third Floor Plan for roof plan of West and East houses



Roof Terraces:
Roofing material will be a fully adhered EPDM membrane with this paver system similar or equal to SkyPaver modular composite paving system as manufactured by Firestone Building Products. This system will support planters which in turn will support metal railings 3' above the terrace levels. Railings will also be supported by parapets and stairs where occurring.

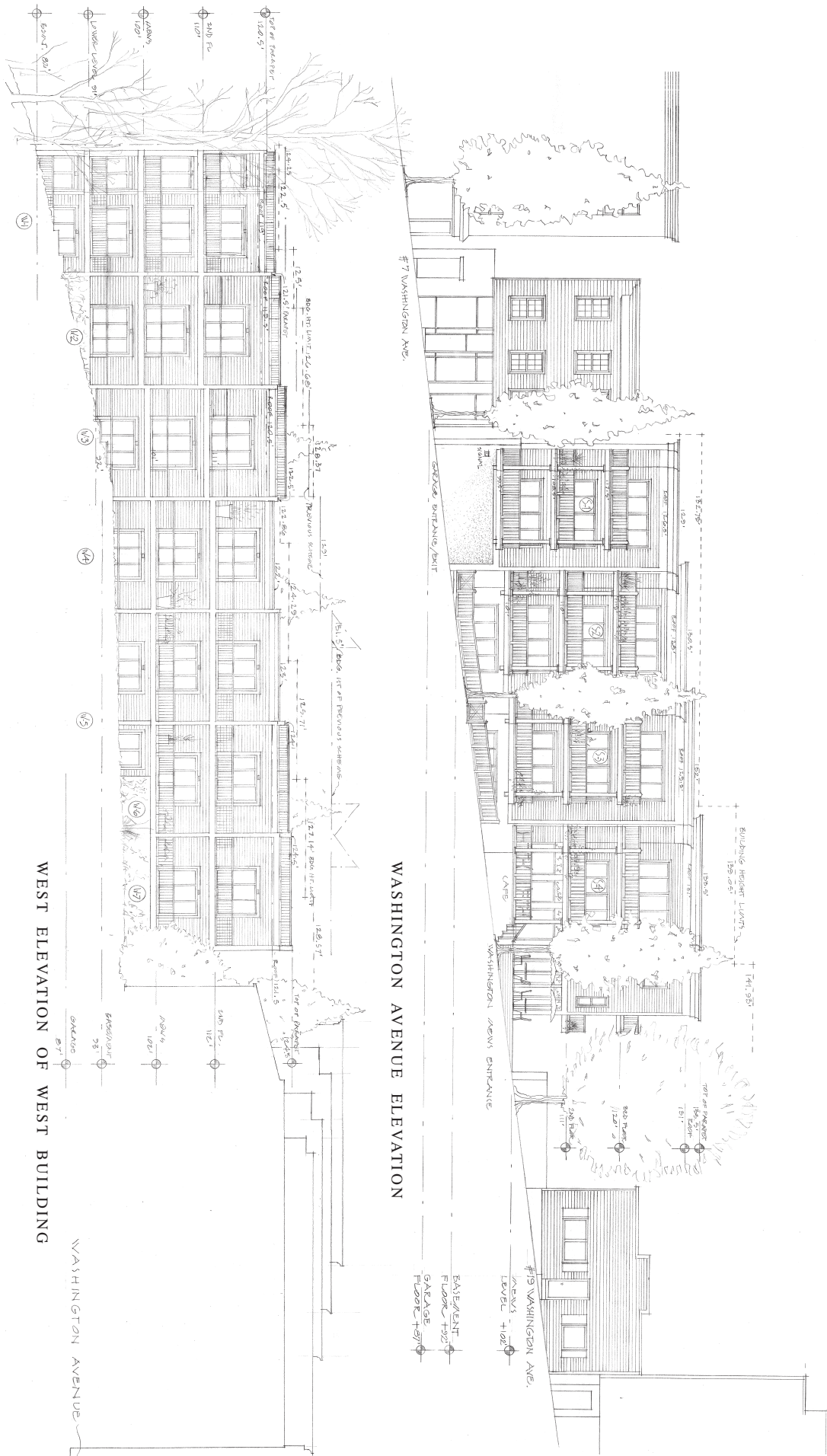
Vegetative roofs will also employ a modular Program system such as Firestone's SkyScape system with 4" media depth. Such a system guarantees successful establishment and maintenance of the system. The Condo Corp will enter a maintenance contract to insure that they do not jeopardize the manufacturer's warranty and that this service is assured into the future. Irrigation water will be supplied by the individual owners.

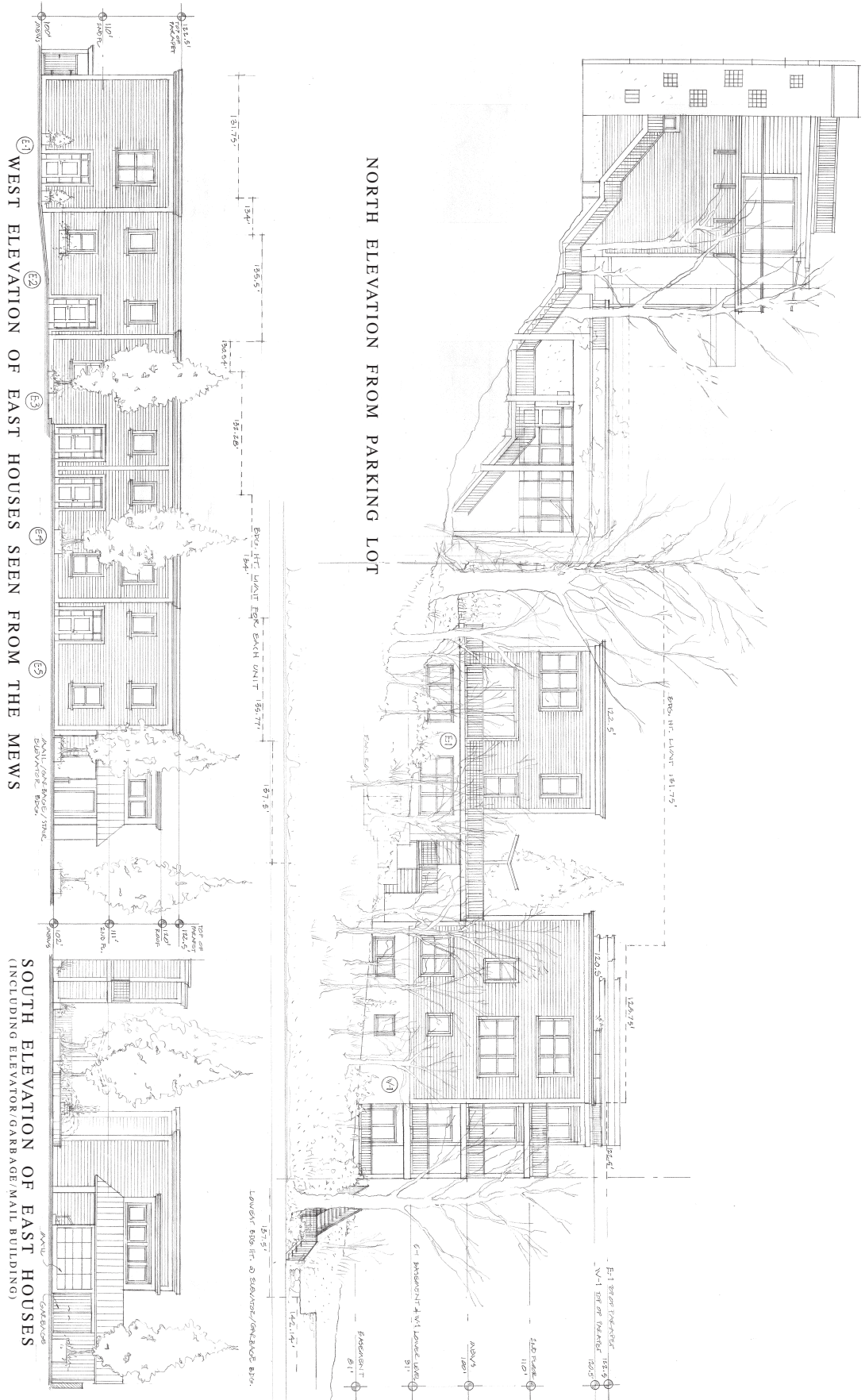
Exposed flat roof areas will have a light gray fully adhered EPDM exposed.

NOTE:

Owner condo corp agreements will incorporate the following with respect to the use of roof terraces:

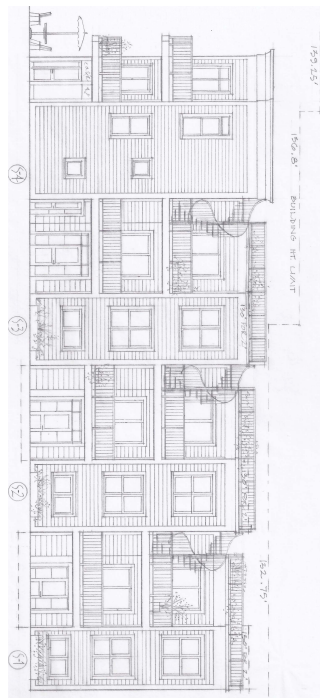
1. Approved planters must be no more than 18" high.
2. Plants in planters shall not exceed 48" in height above terrace pavers.
3. No fences or pergolas are permitted.
4. Furniture on terraces is not to exceed 48" in height.



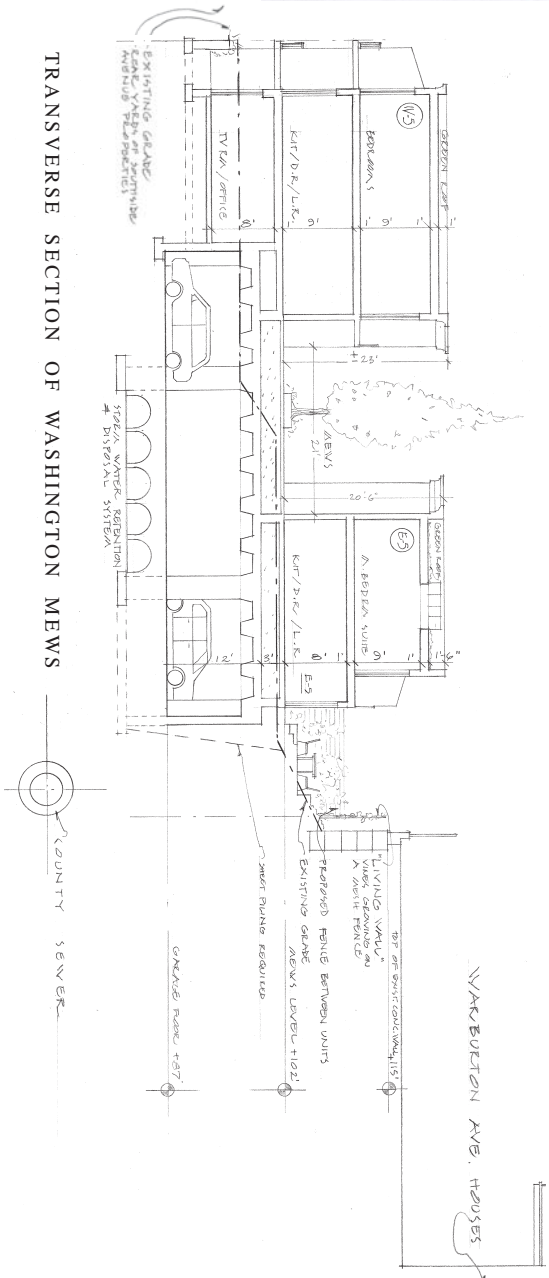




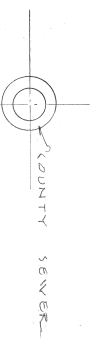
LONGITUDINAL SECTION/ELEVATION @ CENTER LINE OF MEWS LOOKING WEST



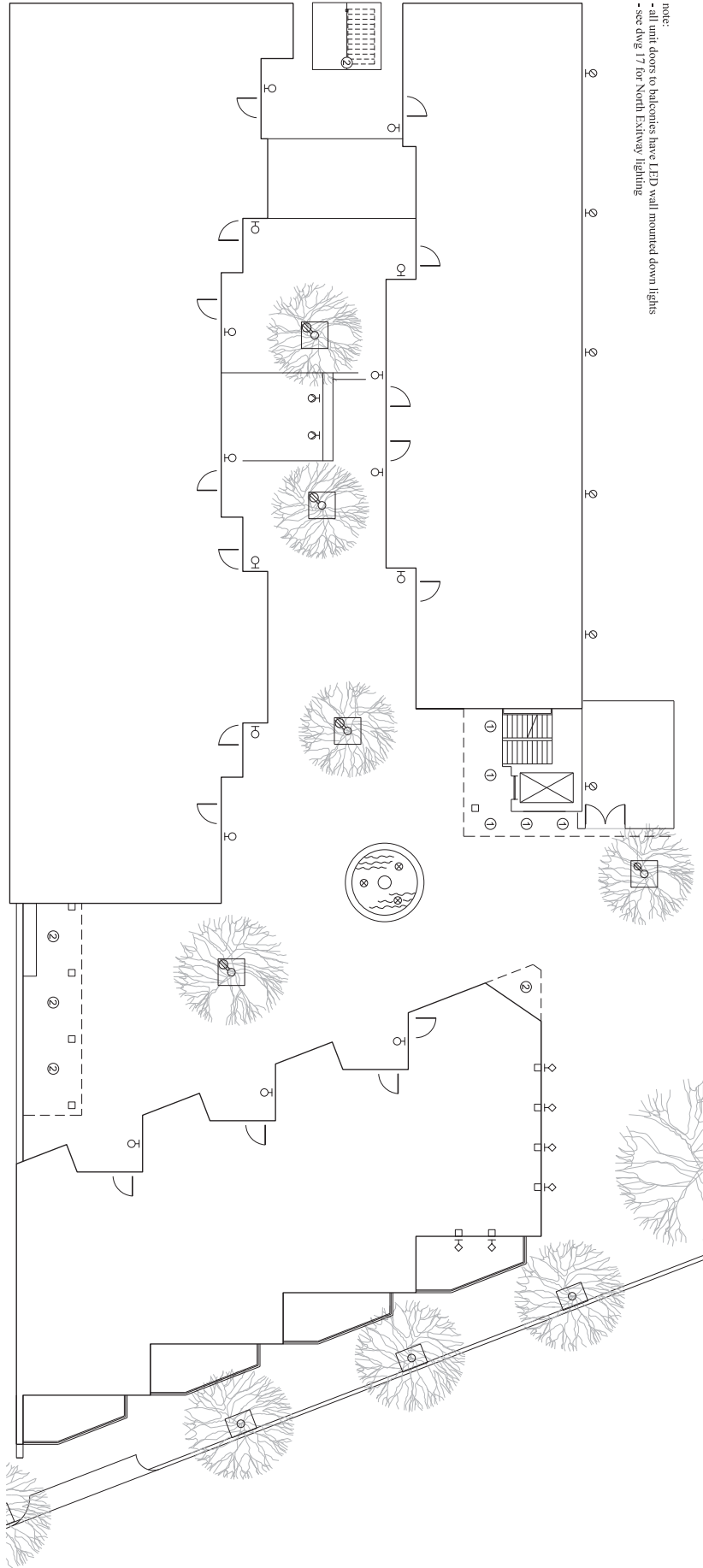
NORTH ELEVATION OF 'S' UNITS



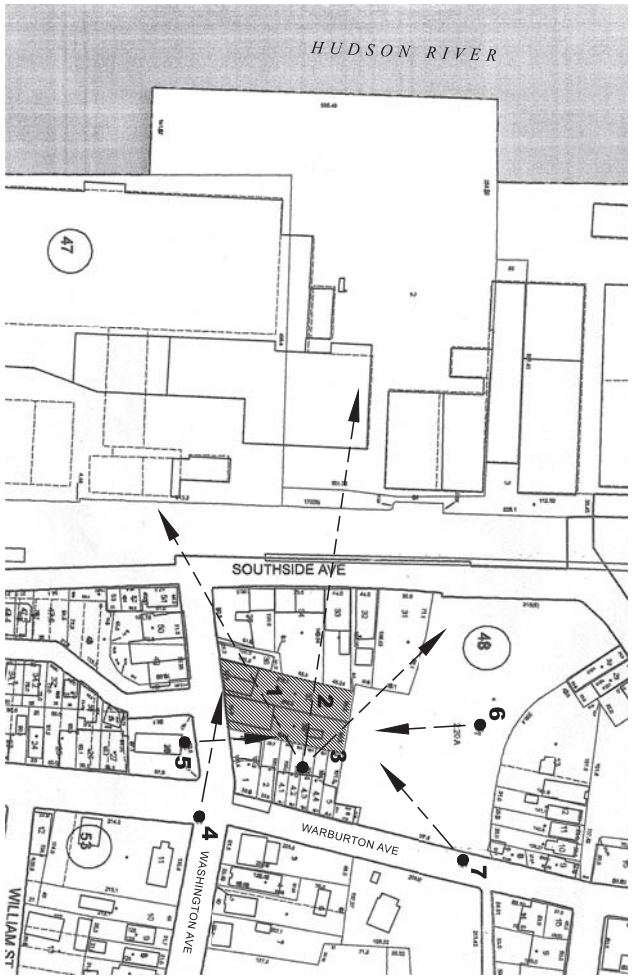
TRANSVERSE SECTION OF WASHINGTON MEWS



	6000 lumens typical exterior LED entry wall sconce
	typical decorative exterior sconce
	recessed LED step lights
	650 lumens recessed ceiling down light
	LED exterior heavily shielded down light wall fixture
	exterior waterproof LED spotlight
	tree light
	fountain light
	waterproof recessed to serve LED tree lights



note:
- all unit doors to balconies have LED wall mounted down lights
- see dwg 17 for North Exway lighting



VIEWPOINT MAP scale: 1" = 100'



site before trees removal (looking west from deck level of Warburton houses)



winter view



view 1 - existing



view 1 - proposed



view 2 - existing



view 2 - proposed



view 3 - existing



view 3 - proposed



view 4 - existing



view 4 - proposed



view 5 - existing



view 5 - proposed



view 6 - existing



view 6 - proposed



view 7 - existing



view 7 - proposed