

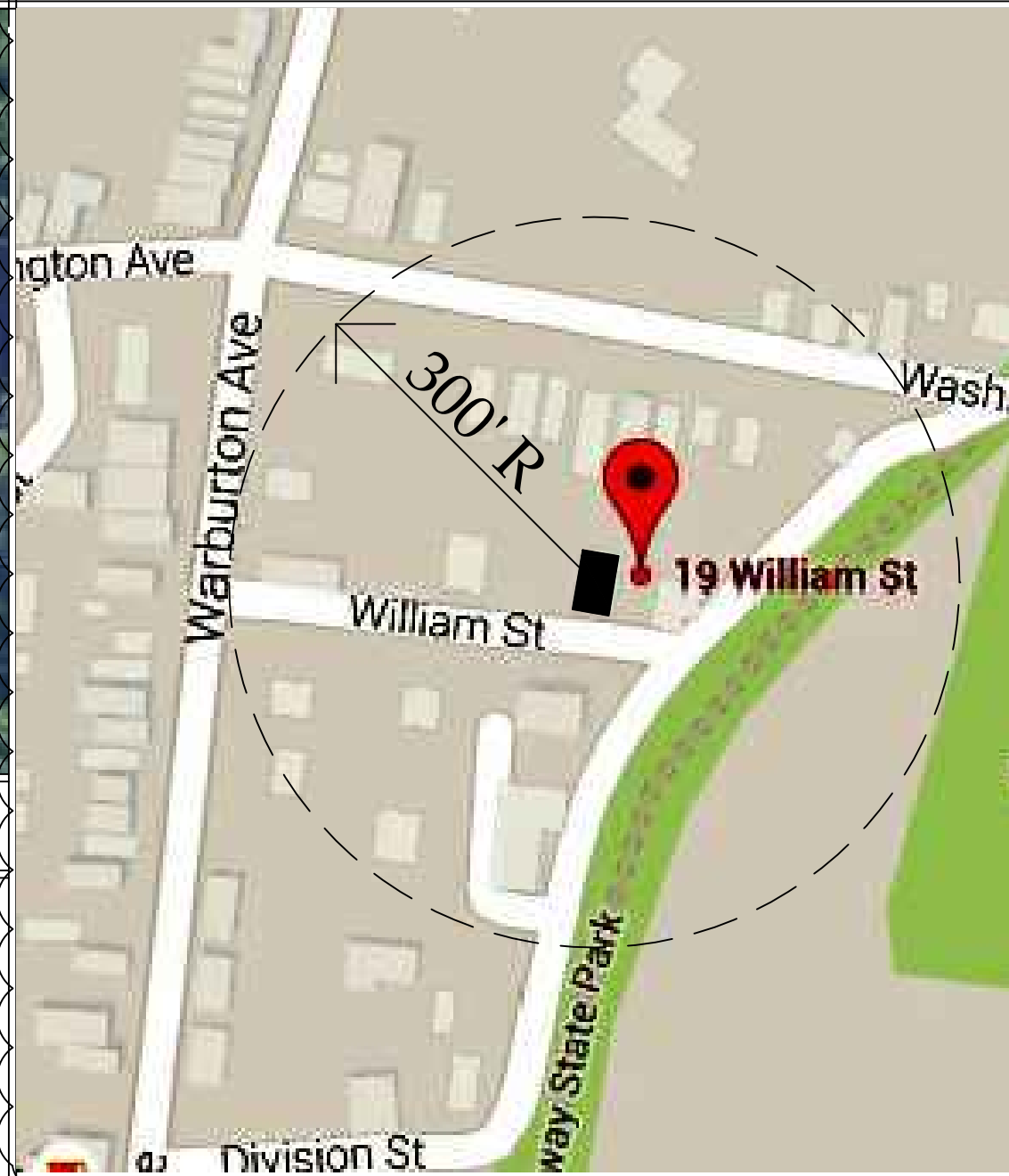
# LOCATION PLAN

NTS

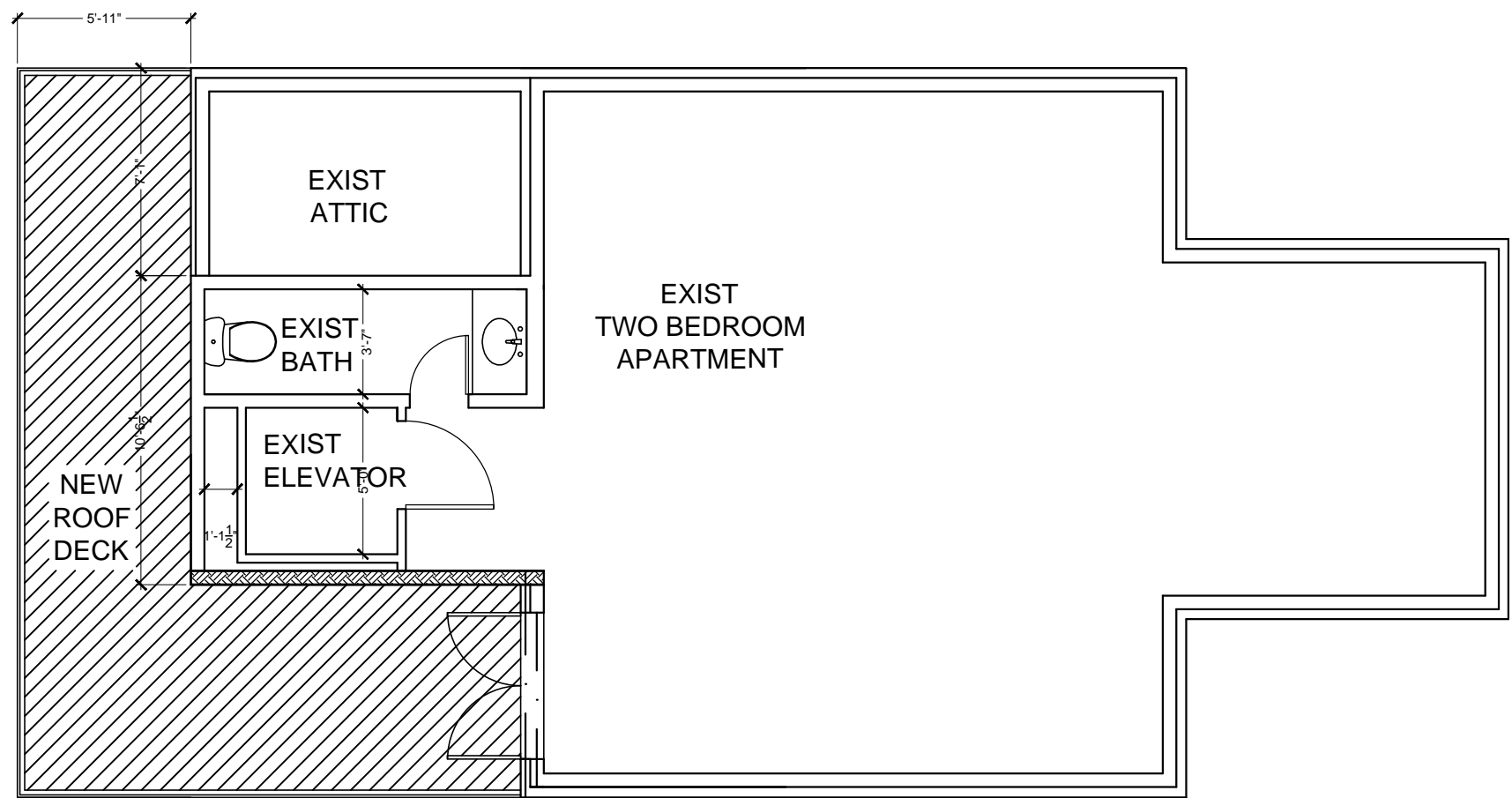


# VICINITY PLAN

SCALE = 200' / 1"



1



PLAN OF THIRD FLOOR & ROOF DECK

# KEY PLAN

SCALE: 1/8" = 1'-0"



## HASTINGS GREEN BUILDING CODE COMPLIANCE NOTES

- EXTERIOR LIGHTING SHALL COMPLY WITH WITH HGBC 160.8.H, LIGHT ZONE 2
- CONTROLS FOR EXTERIOR LIGHTING TO COMPLY WITH HGBC 160.9.A.1
- PAINTS, STAINS AND OTHER FINISHING MATERIALS TO COMPLY WITH HGBC 160.11.A.1,2,3,4,& 5
- CONSTRUCTION WASTE MANAGEMENT TO COMPLY WITH HGBC 160-11.C

## GENERAL NOTES

### GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL COMPLY FULLY WITH THE RESIDENTIAL CODE OF NYS, EXISTING BUILDING CODE OF NYS, LOCAL BUILDING CODE & FIRE DEPARTMENT REGULATIONS, AND ALL OTHER AGENCIES HAVING JURISDICTION OVER PROJECT.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH CONDITIONS OF THE SITE, AND THE WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS, PRIOR TO SUBMITTING A BID FOR CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS TO COMPLETE THE PROJECT, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, TESTED AND READY FOR OWNER'S USE.
- THE CONTRACTOR SHALL PROVIDE WORKMAN'S COMPENSATION, LIABILITY AND PROPERTY DAMAGE INSURANCE, TO THE LIMITS REQUIRED BY THE GOVERNING MUNICIPALITY.
- THE CONTRACTOR SHALL OBTAIN ALL INSPECTIONS, APPROVALS AND PERMITS, AND PAY ALL NECESSARY PERMIT FEES REQUIRED BY THE LOCAL BUILDING DEPARTMENT AND ALL OTHER AGENCIES HAVING JURISDICTION OVER THE PROJECT, SUCH AS PLUMBING, & ELECTRICAL, EXCEPT FOR THE BUILDING PERMIT, WHICH SHALL BE OBTAINED BY THE OWNER. THE CONTRACTOR SHALL OBTAIN THE CERTIFICATE OF OCCUPANCY FOR THE PROJECT WHEN CONSTRUCTION IS COMPLETE.

- THE ARCHITECT IS NOT RESPONSIBLE FOR WORKMANSHIP, CONSTRUCTION METHODS, OR ANY OMISSIONS OR DERIVATIONS FROM THE DRAWINGS DURING CONSTRUCTION.
- DIMENSIONS SHOWN SHALL GOVERN OVER MEASUREMENTS SCALED FROM PLANS. WALL DIMENSIONS ARE GIVEN TO FINISHED SURFACES.
- ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK.
- MATERIALS & PRODUCTS INDICATED ON DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
- THE DRAWINGS AND NOTES ARE INTENDED TO BE COMPLETE. SHOULD ANYTHING BE OMITTED FROM THE DRAWINGS NECESSARY TO THE PROPER CONSTRUCTION OF THE WORK HEREIN DESCRIBED, IT SHALL BE THE DUTY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT. THE BUILDER SHALL VISIT THE SITE & INFORM THE ARCHITECT OF ANY DISCREPANCIES OF FIELD CONDITIONS THAT MAY INTERFERE WITH THE TOTAL COMPLETION OF ALL WORK INCLUDED WITHIN THE CONTRACT AND VERIFY ALL CONDITIONS PRIOR TO THE ORDERING OF MATERIALS AND THE START OF CONSTRUCTION.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, SHALL BE INCLUDED IN THE WORK, THE SAME AS SPECIFIED OR INDICATED.

- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION & SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, SEQUENCES & PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK.
  - THE CONTRACTOR SHALL PROVIDE FOR LEGAL REMOVAL AND DISPOSAL OF ALL WASTE FOR THE DURATION OF THE PROJECT, AND SHALL LEAVE THE PREMISES AT THE END OF THE PROJECT IN BROOM CLEAN CONDITION.
- STRUCTURAL DESIGN NOTES**
- UNIFORM DESIGN LOADS (P.S.F.)
- |      | DEAD LOAD | LIVE LOAD | DL & LL |
|------|-----------|-----------|---------|
| DECK | 10        | 60        | 70      |
- LUMBER DESIGN**
- | SIZE          | TYPE              | Fb, PSI   |
|---------------|-------------------|-----------|
| 2X2, 2X3, 2X4 | #2 Douglas Fir    | 1315/1510 |
| 2X6           | #2 Douglas Fir    | 1050/1210 |
| 2X8, 2X10     | #2 Douglas Fir    | 965/1210  |
| 2X2           | #1 Press Treated  | 875/1005  |
| Exterior      | South Yellow Pine | 1200/1400 |
- SEISMIC DESIGN CATEGORY TO BE D-1 (0.5g SDg 0.83g) USE WIND SPEED FOR DESIGN AT 100MPH, ROOF/GROUND SNOW LOADS FOR DESIGN 451/FT.

- FRAMING NOTES**
- NO HEADER BEAM, OR GIRDER SHALL BE CHANGED FROM THE SIZE AND SPECIFICATIONS SHOWN ON THE CONSTRUCTION DOCUMENTS, WITHOUT PRIOR REVIEW AND APPROVAL BY THE ARCHITECT.
  - THE ENTIRE WORK SHALL BE ACCURATELY FRAMED, PLUMB, LEVEL AND TRUE, WELL SPIKED, BRACED AND ANCHORED TOGETHER TO FORM A RIGID STRUCTURE AND TO INSURE EVEN SETTLEMENT AND SHRINKING THROUGHOUT, UNLESS OTHERWISE NOTED ON THE PLAN. ALL FRAMING MEMBERS TO BE 16" O. C.
  - BEAM HANGERS BY TECO OR SIMPSON AS APPROVED BY ARCHITECT, SHALL BE USED WHERE BEAMS FRAMED INTO GIRDERS AND AT ALL DISCONTINUOUS OR FLASH FRAMING.
  - BLOCK ALL NEW POSTS TO BEARING WITH KILN DRIED LUMBER.
  - FASTEN ALL LEDGERS WITH (2) 5/8" DIAMETER BOLTS @ 16" O.C.
  - ALL GIRDERS AND BUILT-UP BEAMS TO BE SPIKED WITH 10D, 8" AND STAGGERED TOP & BOTTOM W/ TWO BOLTS TO ALIGN AT ENDS.
  - ALL NEW RAFTERS TO BE FASTENED TO (2) 2"X6" TOP PLATES W/ SIMPSON HURRICANE TIES

## INSULATION AND FENESTRATION REQUIREMENT BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE
4	0.35	0.60	38	13
MASS WALL R-VALUE*	FLOOR R-VALUE	BASEMENT* WALL R-VALUE	SLAB* R-VALUE & DEPTH	CRAWL SPACE* WALL R-VALUE
5/10*	19	10/13*	10, 2FT*	10/13*

- R-VALUE ARE MINIMUMS. U-FACTORS. R-19 INSULATION SHALL BE PERMITTED TO BE COMPRESSED INTO 2X6 CAVITY.
- THE FENESTRATION U-FACTORS COLUMN EXCLUDES SKYLIGHTS.
- THE FIRST R-VALUE APPLIES TO CONTINUOUS INSULATION, THE SECOND TO FRAMING CAVITY INSULATION; EITHER INSULATION MEETS THE REQUIREMENTS.
- R-5 SHALL BE ADD TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS.
- THE SECOND R-VALUES APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE EXTERIOR OF THE MASS WALL.

## DESIGN REQUIREMENTS for the 2010 RESIDENTIAL CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				
			WEATHERING	FROST LINE DEPTH	TERMITE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
20 psf	100-110	C	severe	42" min	medium to heavy	yes	NO

## DATES

DESIGN DRAWINGS	7-15-15
CONSTRUCTION DRAWINGS	7-23-15
BUILDING PERMIT & WAIVER SUB.	8-05-15
BUILDING PERMIT	9-16-15
ZONING BOARD SUBMISSION	9-16-15
PLANNING BOARD SUBMISSION	9-16-15
AMENDED PB & ZBA SUBMISSION	10-1-15

## LIST of DRAWINGS

- A-1 GENERAL NOTES, CLIMATIC & GEOGRAPHIC CRITERIA, INSULATION & FENESTRATION REQUIREMENTS, LIST OF DRAWINGS, & DATES, HASTINGS GREEN BUILDING CODE NOTES, LOCATION PLAN
- A-2 DECK FLOOR PLAN & ROOF PLAN
- A-3 FIRST & SECOND FLOOR STRUCTURAL PLANS
- A-4 EAST & WEST ELEVATIONS
- A-5 NORTH ELEVATION & RAILING DETAILS
- A-6 BUILDING SECTION
- A-7 BEFORE & AFTER VIEW OF 1
- A-8 BEFORE & AFTER VIEW OF 2
- A-9 BEFORE & AFTER VIEW OF 3
- A-10 BEFORE & AFTER VIEW OF 4
- A-11 BEFORE & AFTER VIEW OF 5
- S-1 SITE PLAN, ZONING CALCULATIONS

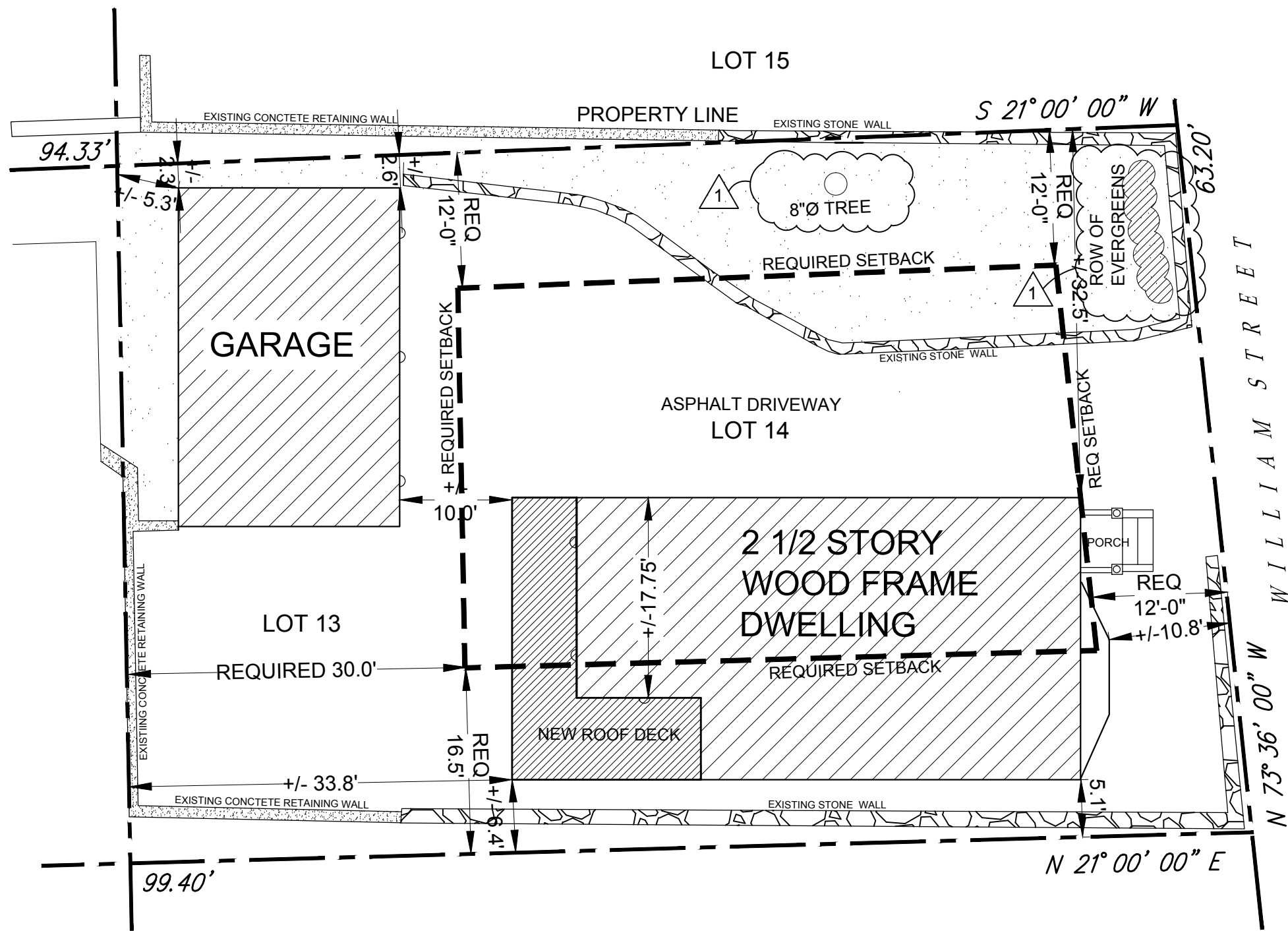
NEW ROOF DECK AT  
**BEADLING-SACHS RESIDENCES**  
 19 WILLIAM STREET, HASTINGS-ON-HUDSON, NY 10706

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 ZONING BOARD SUBMISSION 9-17-15  
 PLANNING BOARD SUBMISSION 9-17-15  
 AMENDED PB & ZBA SUBMISSION 10-1-15

Scale: AS SHOWN

**A-1**



**SITE PLAN**  
SCALE: 3/32" = 1'-0"

SCHEDULE of LIGHT FIXTURES				
SYMBOL	TYPE/DESIGN	DIRECTION	POWER	TIMER
	LED FLOOD LIGHTS	DOWN & 180°	50 WATTS	NO
	LED WALL LIGHTS	DOWN & 180°	10 WATTS	NO

### ZONING COMPLIANCE SCHEDULE

Zone: MR-1.5: MULTI-FAMILY RESIDENTIAL DISTRICT			
	REQUIRED	EXISTING	PROPOSED
<b>MIN. LOT SIZE REQUIREMENTS:</b>			
LOT AREA (SQUARE FEET):	MIN 1,500 SF	6,102.19 SF	N/A
LOT WIDTH (FEET):	25 FT	63.20 FT	N/A
<b>MINIMUM YARD REQUIREMENTS:</b>			
FRONT (FEET):	12 FT	+/-10.8 FT	+/-10.8 FT
SIDE (FEET): *	16.5 FT	+/-6.4 FT	+/-6.4 FT
REAR (FEET):	30 FT	± 33.8 FT	± 33.8 FT
<b>MAXIMUM BUILDING HEIGHT REQUIREMENTS:</b>			
FEET:	3 STORIES	+/-38.0 FT	+/-38.0 FT
<b>MAXIMUM BUILDING COVERAGE REQUIREMENTS:</b>			
LOT AREA (PERCENT):	15% 915.33 SF	82% 3,206.17 SF	-
<b>MINIMUM DWELLING UNIT SIZE REQUIREMENTS:</b>			
DWELLING UNIT SIZE (SQUARE FEET):	MIN 1,500 FT	±4,993.89 SF	-

### FLOOR AREA CALCULATIONS

LOCATION	EXISTING	PROPOSED	TOTAL
LOT AREA (S.F.):	+/-6102.19		+/-6102.19
<b>FLOOR AREA:</b>			
FIRST FLOOR (S.F.):	±1085.87	-	±1085.87
SECOND FLOOR (S.F.):	±1085.87	-	±1085.87
THIRD FLOOR (S.F.):	±893.82	-	±893.82
ACCESSORY - GARAGE FLOOR (S.F.):	±550.37	-	±550.37
PORCHES FLOOR (S.F.):	±419.19	-	±419.19
BASEMENT FLOOR (S.F.):	±958.77	-	±958.77
ATTIC FLOOR (S.F.):	-	-	-
<b>TOTAL FLOOR AREA:</b>			
HABITABLE FLOOR AREA (S.F.):	±3,065.56	-	±3,065.56
TOTAL FLOOR AREA (S.F.):	±4,993.89	-	±4,993.89

\* PER ZONING CODE (295-72E), FRONT AND SIDE YARD IS AT LEAST 12 FEET OR 1/2 OF THE HEIGHT OF THE BUILDING WALL NEAREST THE SIDE LOT LINE, WHICHEVER IS GREATER, PLUS 1 FOOT FOR EACH 10 FEET LENGTH IN EXCESS OF 50 FEET.

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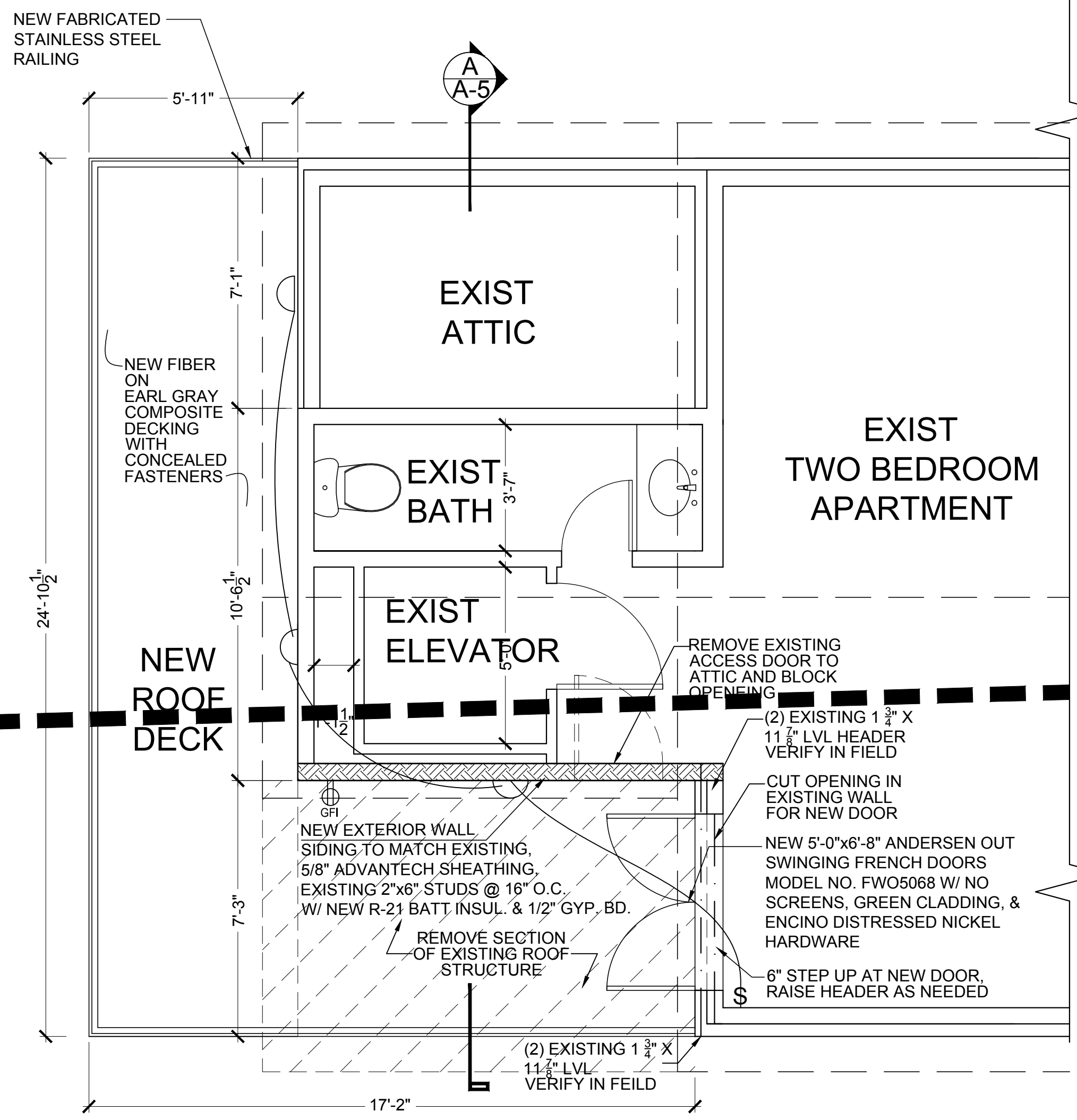
DESIGN DRAWINGS 7-15-15  
CONSTRUCTION DRAWINGS 7-23-15  
BUILDING PERMIT & MAJOR SUBMISSION 8-05-15  
BUILDING PERMIT SUBMISSION 9-17-15  
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PLANNING BOARD SUBMISSION 9-17-15  
AMENDED PB & ZBA SUBMISSION 10-1-15

Scale: AS SHOWN

S-1

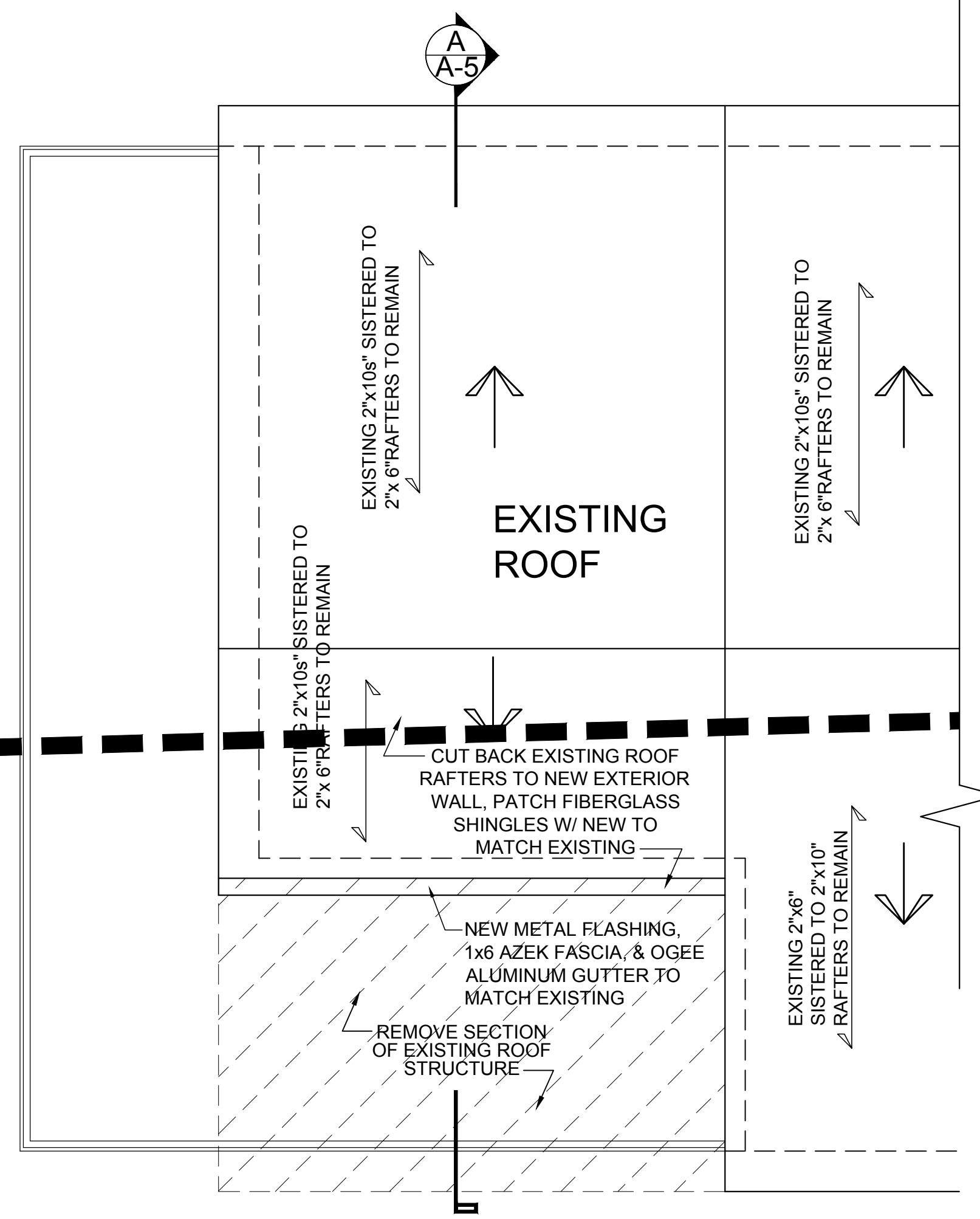
NEW ROOF DECK AT  
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19 WILLIAM STREET, HASTINGS-ON-HUDSON, NY 10706

SCHEDULE of LIGHT FIXTURES				
SYMBOL	TYPE/DESIGN	DIRECTION	POWER	TIMER
	LED FLOOD LIGHTS	DOWN & 180°	50 WATTS	NO
	LED WALL LIGHTS	DOWN & 180°	10 WATTS	NO



**THIRD FLOOR DECK PLAN**  
SCALE: 1/4" = 1'-0"

LEGEND			
	SECTION NO.		
	SHEET NO.		
	SECTION DETAIL		
	GROUND FAULT INTERRUPTER DUPLEX		EXISTING WALL TO REMAIN
	S SWITCH		NEW INTERIOR WALL: 1/2" gypsum bd. each side of 2x4s 16" o.c.
	EXTERIOR SCONCES		EXTERIOR WALL: Siding to match existing, house wrap, 5/8" Advantech engineered panel, 2x6 studs @16" o.c., R-19 batt insulation, 1/2" gypsum board



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

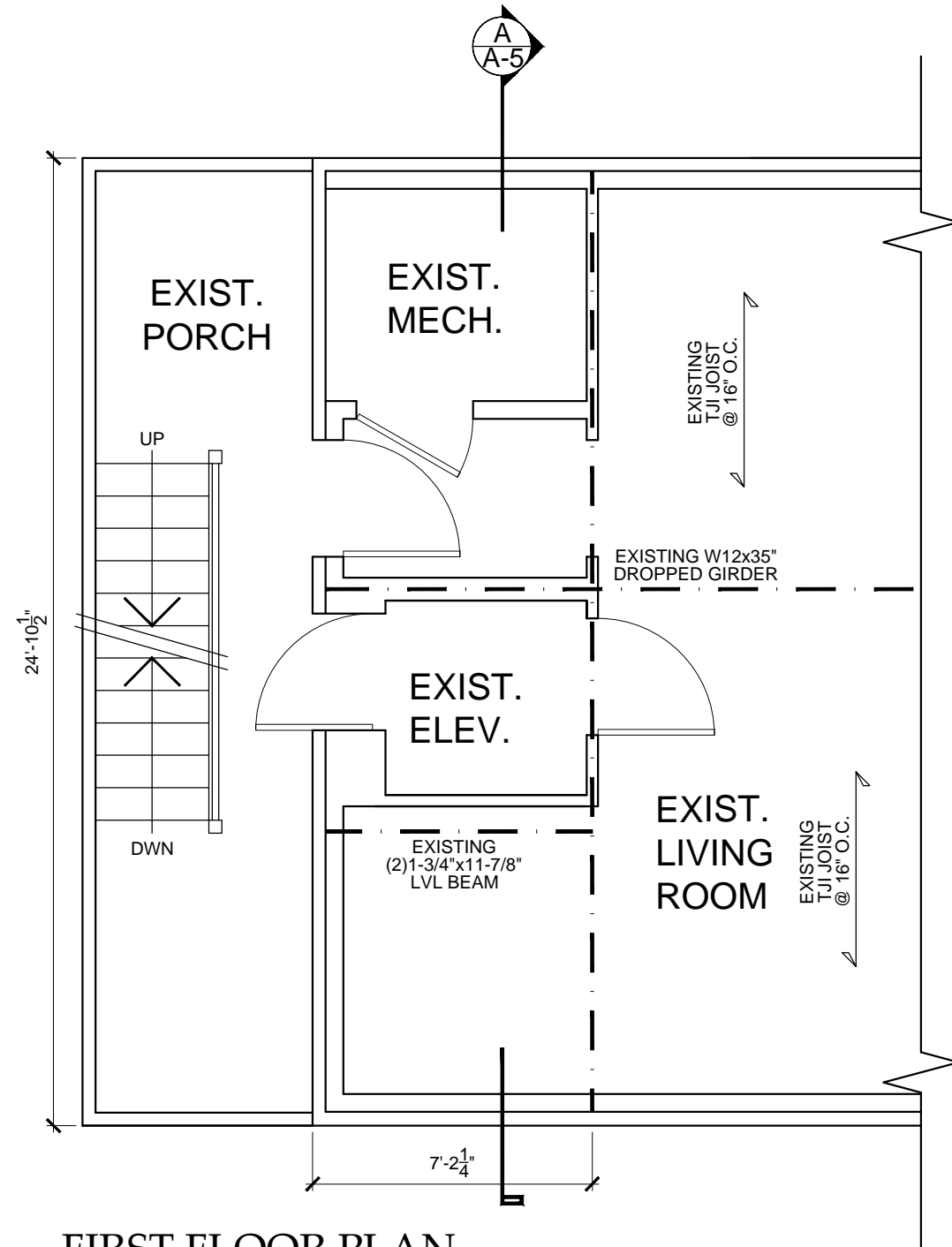
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PLANNING BOARD SUBMISSION 9-17-15  
AMENDED PG & ZBA SUBMISSION 10-1-15

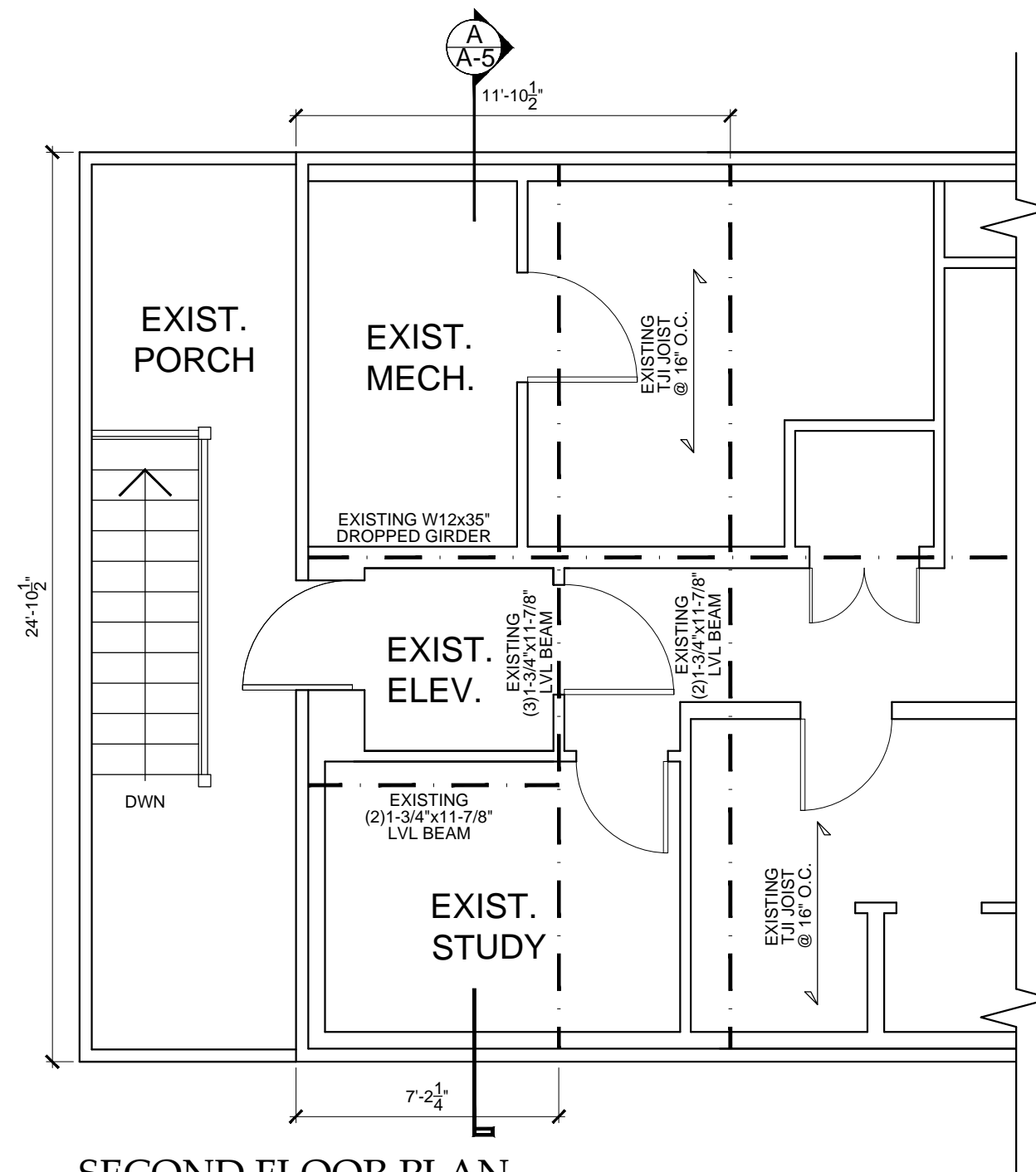
Drawing Title  
ROOF DECK PLAN  
ROOF PLAN  
Scale:  
AS SHOWN

**A-2**



**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

LEGEND		
	SECTION NO.	
	SHEET NO.	
	SECTION DETAIL	
	GROUND FAULT INTERRUPTER DUPLEX	
	SWITCH	
	EXTERIOR SCONCES	
		EXISTING WALL TO REMAIN
		NEW INTERIOR WALL: 1/2" gypsum bd. each side of 2x4s 16" o.c.
		EXTERIOR WALL: Siding to match existing, house wrap, 5/8" Advantech engineered panel, 2x6 studs @ 16" o.c., R-19 batt insulation, 1/2" gypsum board

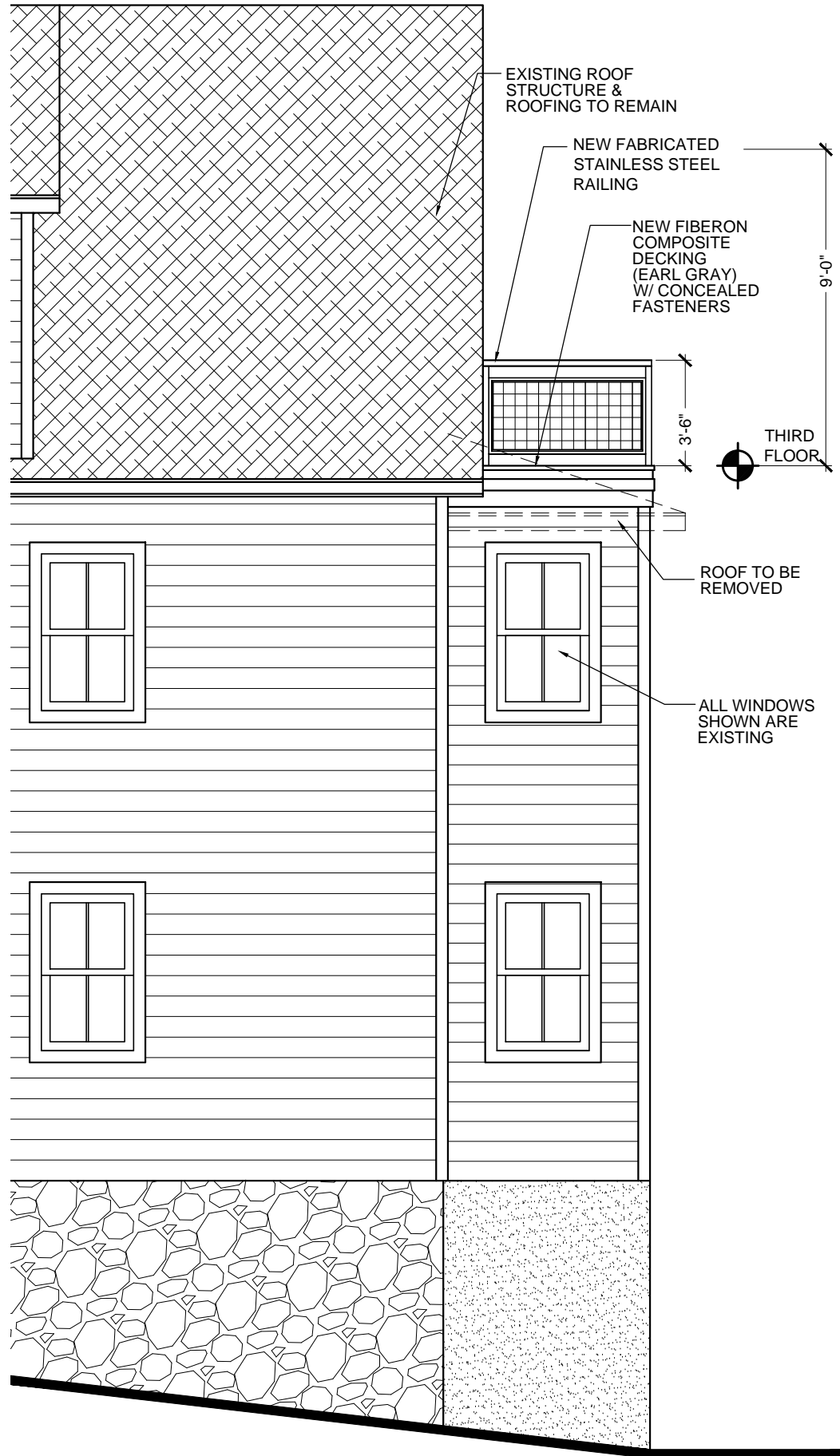
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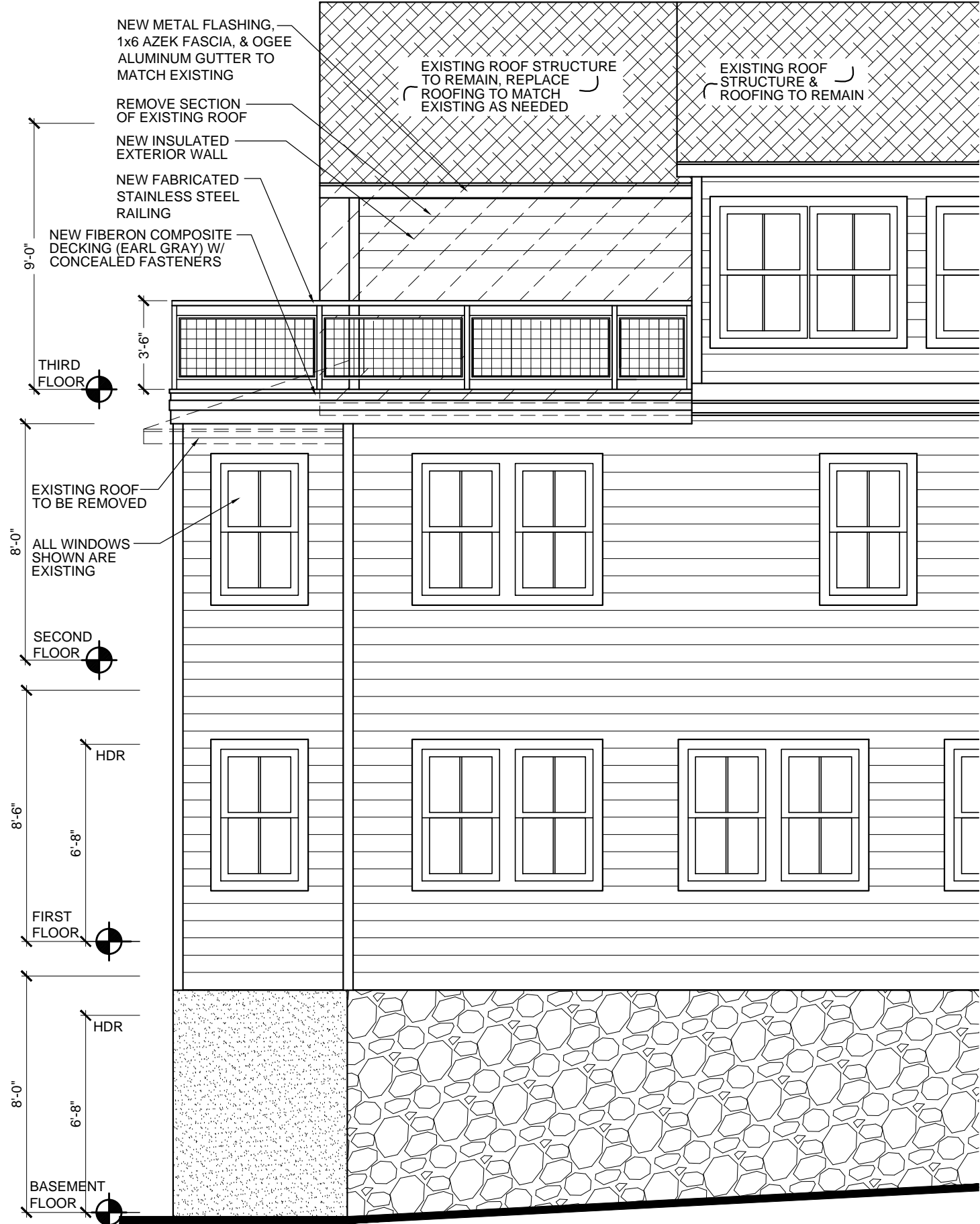
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 BUILDING PERMIT SUBMISSION 8-17-15  
 ZONING BOARD SUBMISSION 8-17-15  
 PLANNING BOARD SUBMISSION 8-17-15

Drawing Title  
 FIRST FLOOR &  
 SECOND FLOOR  
 Scale  
 AS SHOWN

**A-3**



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

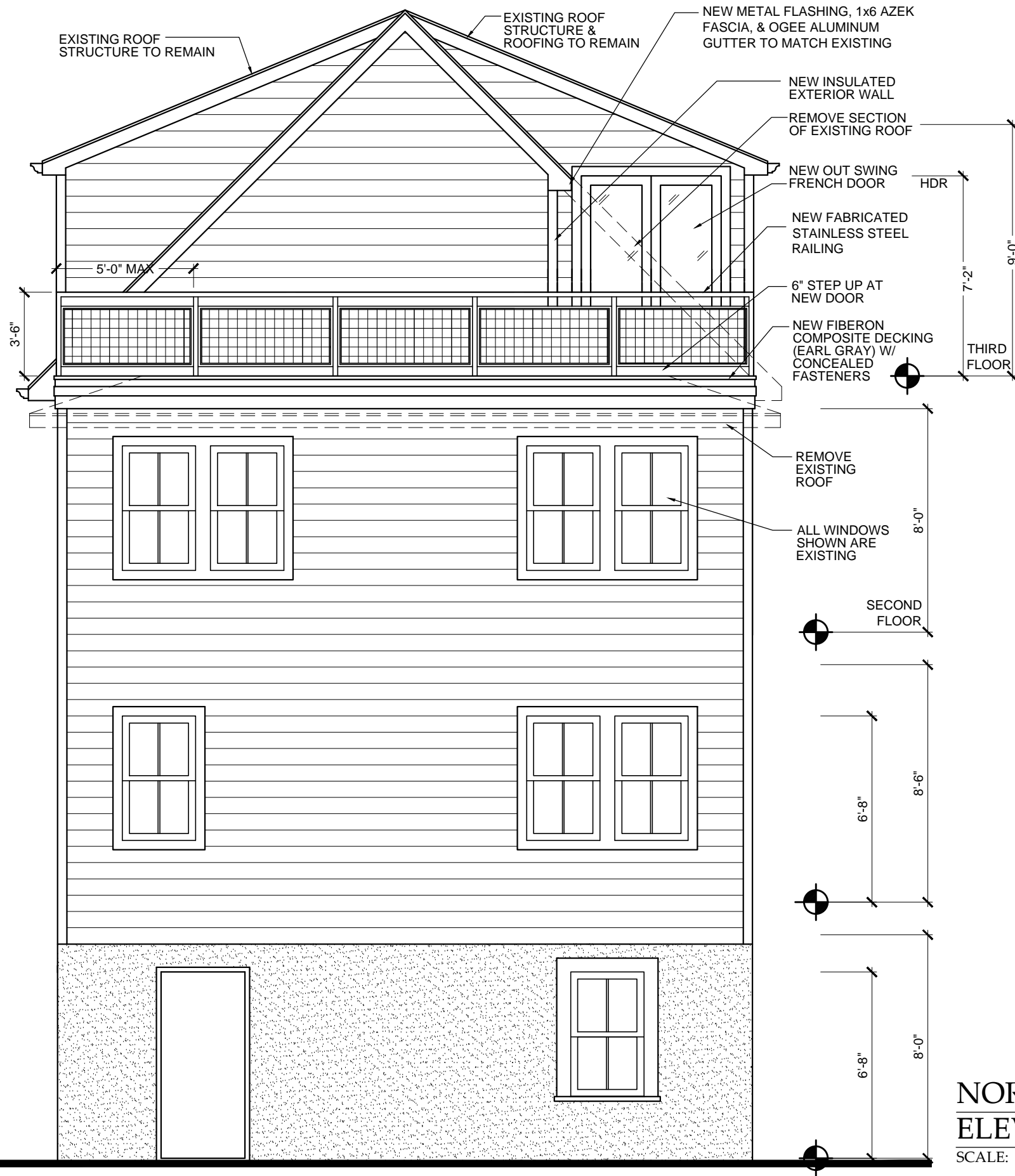
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PLANNING BOARD SUBMISSION 8-17-15

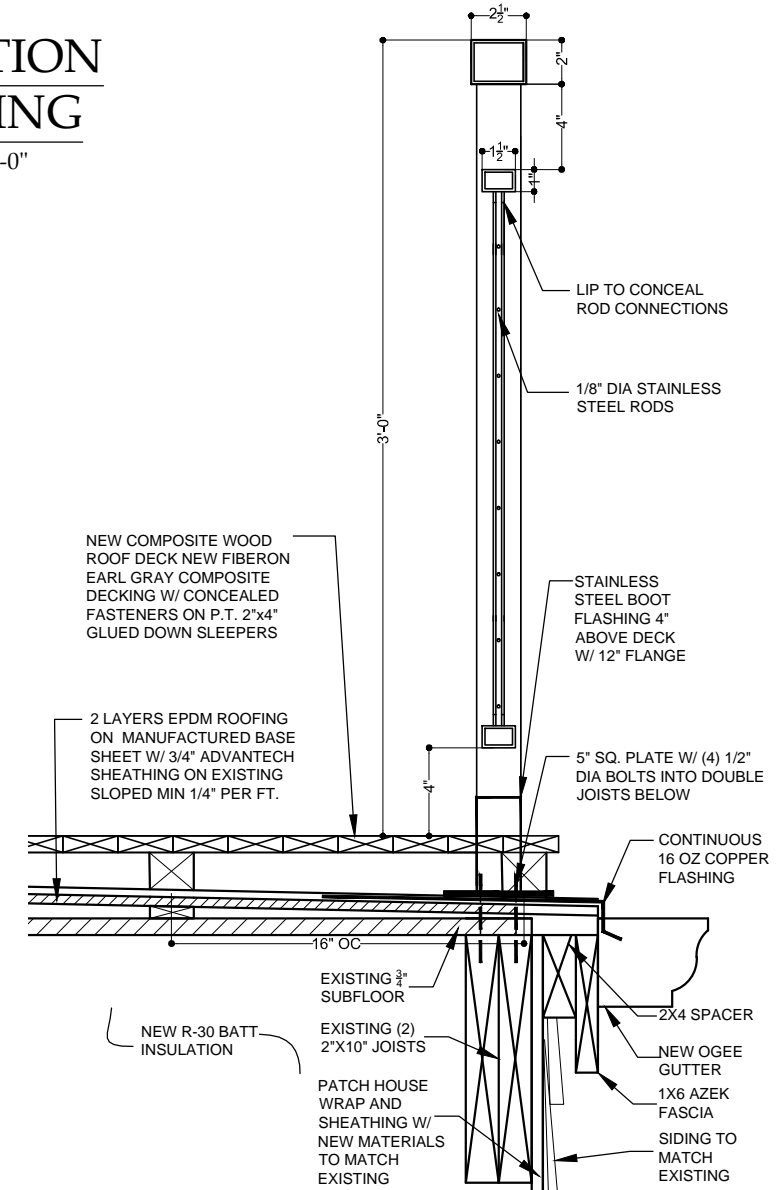
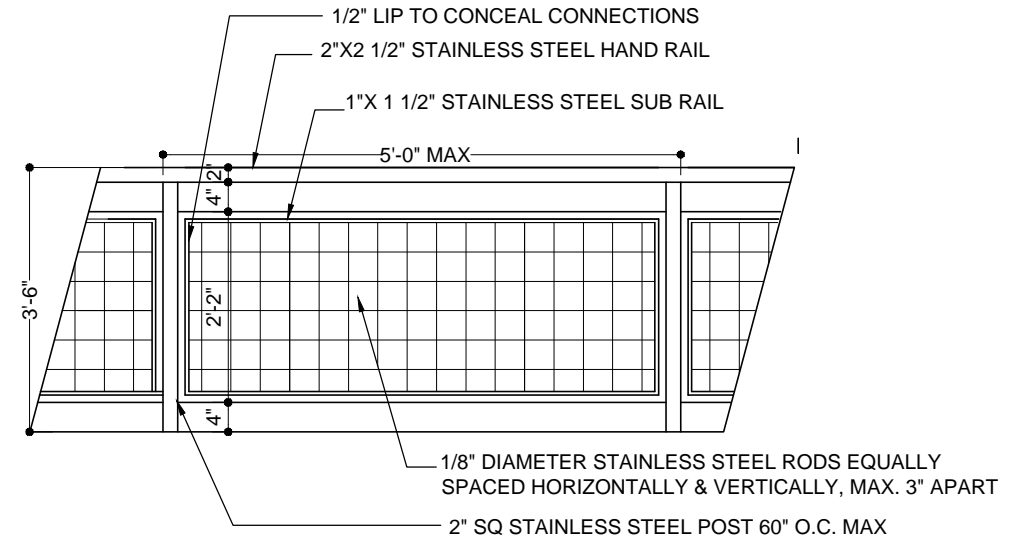
Drawing Title  
**EAST & WEST ELEVATIONS**  
Scale:  
AS SHOWN

**A-4**



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**ELEVATION of RAILING**  
SCALE: 1/2" = 1'-0"



**SECTION THROUGH RAILING**  
SCALE: 1 1/2" = 1'-0"

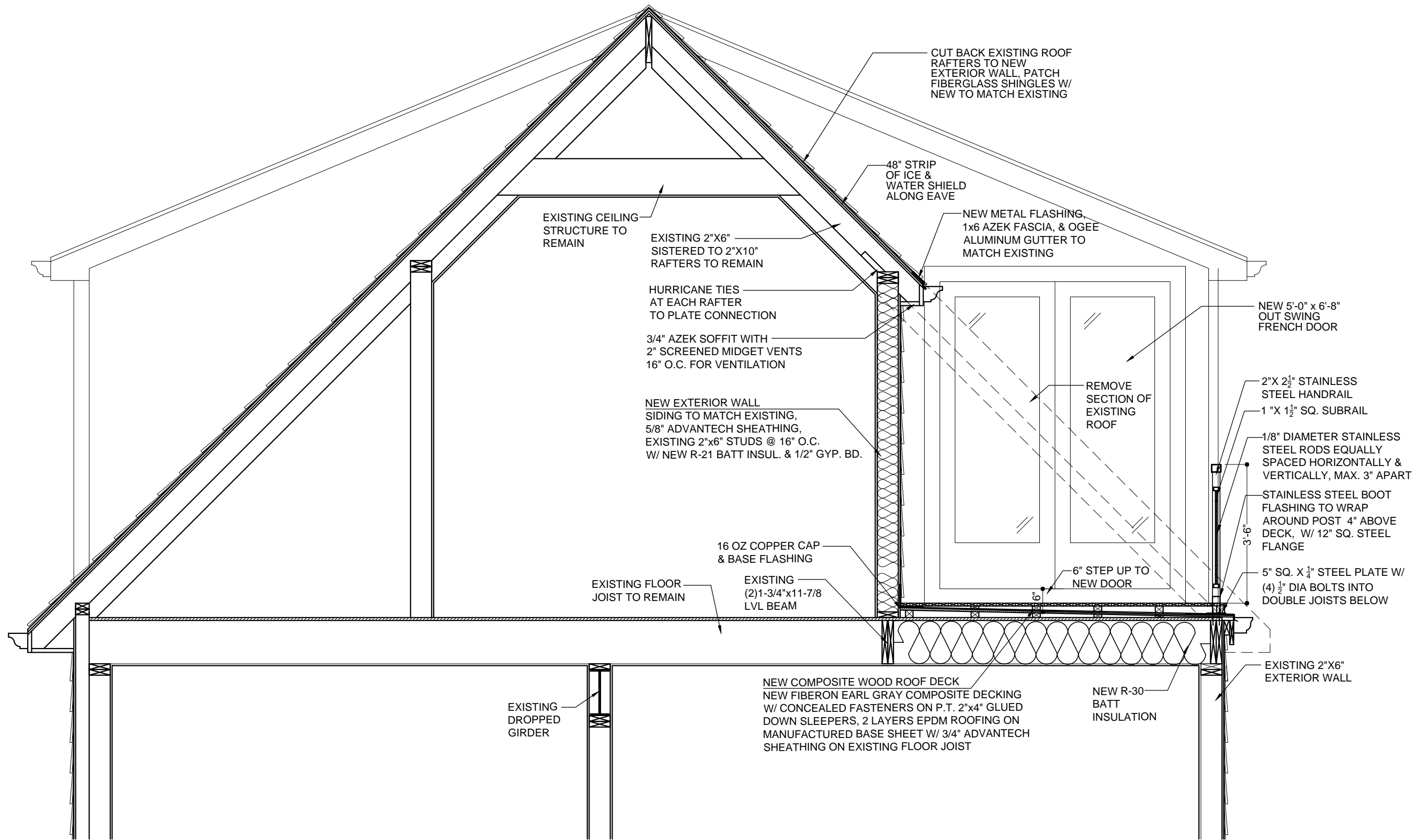
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DESIGN DRAWINGS 7-15-15  
CONSTRUCTION DRAWINGS 7-23-15  
BUILDING PERMIT & WAIVER SUBMISSION 8-6-15  
BUILDING PERMIT SUBMISSION 8-17-15  
ZONING BOARD SUBMISSION 8-17-15  
PLANNING BOARD SUBMISSION 8-17-15

Drawing Title  
SECTION  
Scale:  
AS SHOWN

**A-5**



**SECTION THROUGH THIRD FLOOR & ROOF DECK**

SCALE: 1/2" = 1'-0"

NEW ROOF DECK AT  
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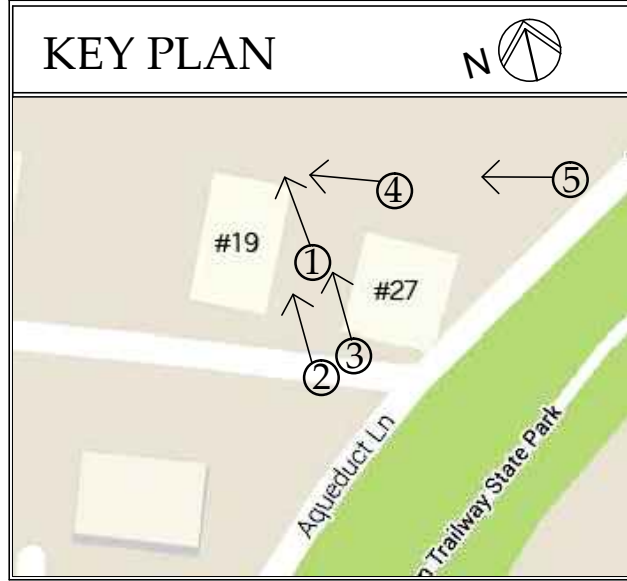
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 BUILDING PERMIT SUBMISSION 8-17-15  
 ZONING BOARD SUBMISSION 8-17-15  
 PLANNING BOARD SUBMISSION 8-17-15

Drawing Title  
 SECTION

Scale  
 AS SHOWN

**A-6**



**BEFORE**  
VIEW from  
NEIGHBORING PROPERTY  
on WILLIAM STREET



**AFTER**  
VIEW from  
NEIGHBORING PROPERTY  
on WILLIAM STREET

①

①

NEW ROOF DECK AT  
**BEADLING-SACHS RESIDENCES**  
 19 WILLIAMS STREET, HASTINGS-ON-HUDSON, NY 10706

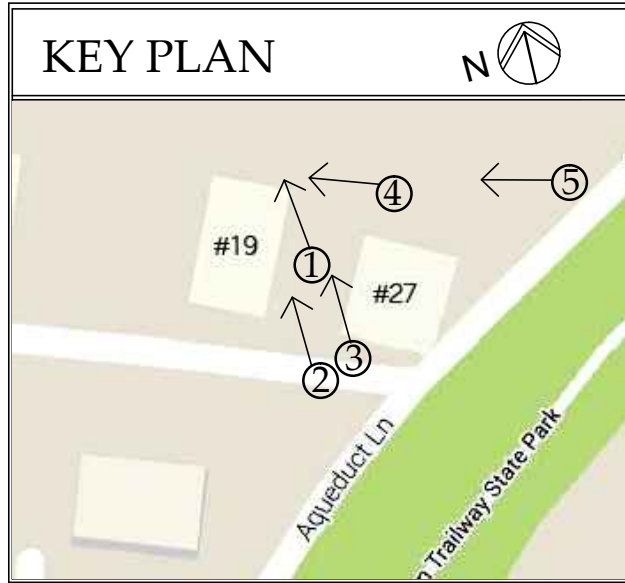
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DATE: PLANNING BOARD SUBMISSION 7-13-15  
 CLUSTERING DRAWINGS 7-20-15  
 BUILDING PERMIT & WAIVER SUBMISSION 8-05-15  
 ZONING BOARD SUBMISSION 9-17-15  
 PLANNING BOARD SUBMISSION 9-17-15

Drawing Title: VIEW PRESERVATION  
 on WILLIAM STREET  
 Scale: AS SHOWN

**A-7**





**BEFORE**  
VIEW from  
NEIGHBORING PROPERTY  
on WILLIAM STREET

2



**AFTER**  
VIEW from  
NEIGHBORING PROPERTY  
on WILLIAM STREET

2



**BEADLING-SACHS RESIDENCES**  
 19 WILLIAMS STREET, HASTINGS-ON-HUDSON, NY 10706

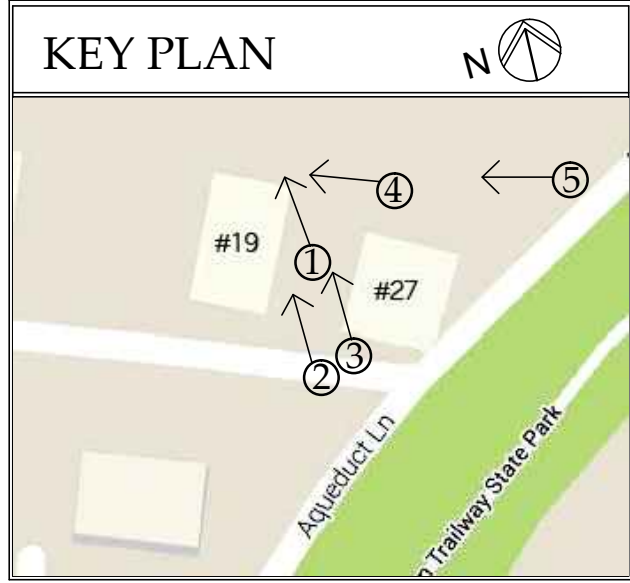
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Date	Description
7-13-15	PLANNING BOARD SUBMISSION
7-23-15	CONSTRUCTION DRAWINGS
8-05-15	BUILDING PERMIT & WAIVER SUBMISSION
9-17-15	ZONING BOARD SUBMISSION
9-17-15	PLANNING BOARD SUBMISSION

Drawing Title  
 VIEW PRESERVATION  
 STUDY 2  
 on WILLIAM STREET

Scale:  
 AS SHOWN

**A-8**



**BEFORE**  
VIEW from  
NEIGHBORING PROPERTY  
on WILLIAM STREET

③



**AFTER**  
VIEW from  
NEIGHBORING PROPERTY  
on WILLIAM STREET

③

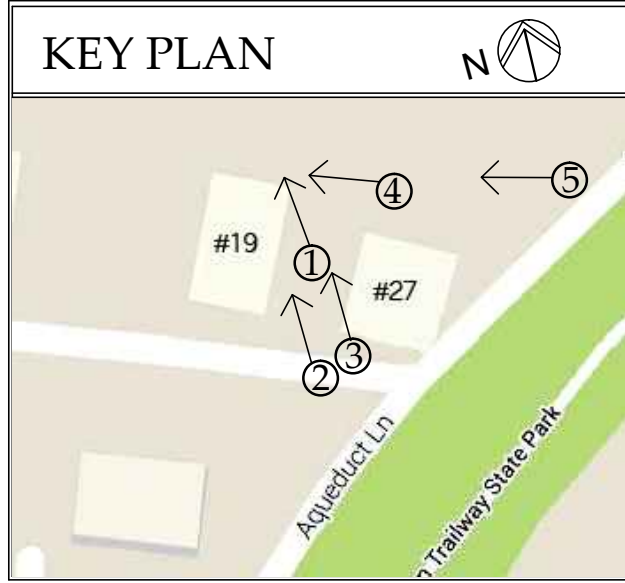


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PLANNING BOARD SUBMISSION	7-13-15
CONSTRUCTION DRAWINGS	7-29-15
BUILDING PERMIT & WAIVER SUBMISSION	8-06-15
ZONING BOARD SUBMISSION	9-17-15
PLANNING BOARD SUBMISSION	9-17-15

Drawing Title  
**NEW PRESERVATION  
STUDY 11  
on WILLIAM STREET**

Scale:  
AS SHOWN



**BEFORE**  
VIEW from  
NEIGHBORING PROPERTY  
on WILLIAM STREET

④



**AFTER**  
VIEW from  
NEIGHBORING PROPERTY  
on WILLIAM STREET

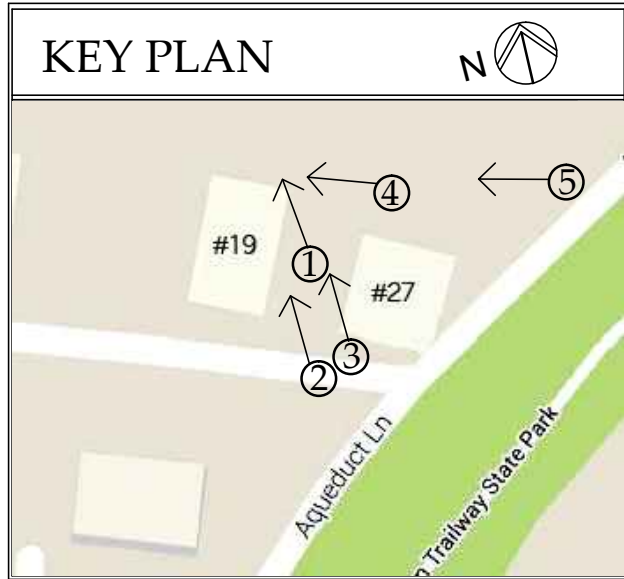
④

**BEADLING-SACHS RESIDENCES**  
 19 WILLIAMS STREET, HASTINGS-ON-HUDSON, NY 10706

**CHRISTINA GRIFFIN ARCHITECT PC**  
 10 Spring Street  
 Hastings-on-Hudson, New York 10706  
 914.478.0759 tel 914.478.0806 fax  
 www.christinagriffinarchitect.com

Date	Description
7-13-15	PLANNING BOARD SUBMISSION
7-23-15	CONSTRUCTION DRAWINGS
8-05-15	BUILDING PERMIT & WAIVER SUBMISSION
9-17-15	ZONING BOARD SUBMISSION
9-17-15	PLANNING BOARD SUBMISSION

Drawing Title: VIEW PRESERVATION STUDY  
 on WILLIAM STREET  
 Scale: AS SHOWN



**BEFORE**  
VIEW from  
NEIGHBORING PROPERTY  
on AQUEDUCT LANE



**AFTER**  
VIEW from  
NEIGHBORING PROPERTY  
on AQUEDUCT LANE

NEW ROOF DECK AT  
**BEADLING-SACHS RESIDENCES**  
19 WILLIAMS STREET, HASTINGS-ON-HUDSON, NY 10706

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DATE

PLANNING BOARD PRE-SUBMISSION	7-13-15
CONSTRUCTION DRAWINGS 2-28-15	
BUILDING PERMIT & WAIVER SUBMISSION	8-05-15
ZONING BOARD SUBMISSION	8-17-15
PLANNING BOARD SUBMISSION	9-17-15

DRAWING TITLE

RESERVATION  
STUDY  
on AQUEDUCT LANE

SCALE:  
AS SHOWN

# ARISTOTLE BOURNAZOS, P.C.

LAND SURVEYORS - PLANNERS

LICENSED IN  
NEW YORK  
NEW JERSEY  
CONNECTICUT



20 CEDAR STREET  
NEW ROCHELLE  
NEW YORK 10801  
(914) 633-0100

This is to certify that I have surveyed Lots 13 and 14 as shown on "Map of Valuable Lots on Warburton and Washington Avenues...laid out for William Ward Tompkins", in the Village of Hastings-on-Hudson, Town of Greenburgh, Westchester County of Westchester, New York

Filed in the Westchester County Clerk's Office, Division of Land Records on Dec. 13, 1901 in Vol. 14, Pg.42

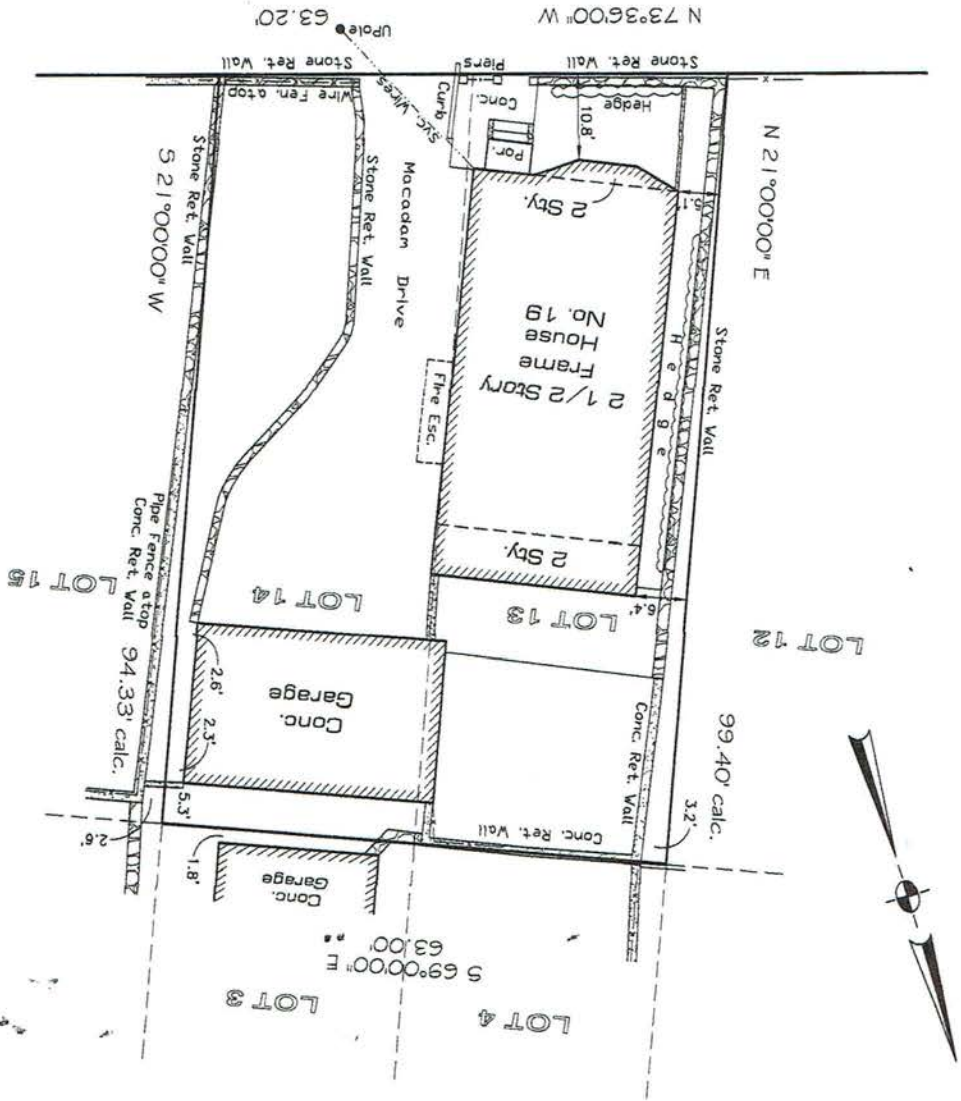
I have located all existing buildings and lines of possession and have shown their positions hereon.

Surveyed: Nov. 18, 2013

Map Drafted: Nov. 22, 2013 on scale of one inch to 15 feet

I hereby certify this survey to:

L.S., N.Y.S. Lic. No. 49586



## William Street

Note: Filed Map Vol. 14, P. 42 is lacking linear and angular data. Variations may be encountered with findings of others.

Guarantees or certifications indicated hereon shall run only to the person or persons for whom the survey is prepared, and on his behalf to the title company, government agency and lending institution listed hereon. Guarantees or certifications are not transferable to additional institutions or subsequent owners. Unauthorized alteration or additions to this survey map are a violation of section 7209 sub-section 2, of the New York State Education Law. No guarantee is implied by this map as to the existence or non-existence of record that would affect subject property, unless surveyor has been furnished a complete copy of the title report. Dimensions shown from structures to property lines are not intended to be used for construction of fences, structures or other improvements. "Will19" C13-311

October 1, 2015  
Members of the Hastings Zoning Board of Appeals  
Village of Hastings-on-Hudson  
7 Maple Avenue  
Hastings-on-Hudson, NY 10706

Re: New Roof Deck at the Beadling-Sachs Residence  
19 William Street

Dear Chairperson and Members of the Zoning Board of Appeals:  
As the Architect representing Malcolm W. Beadling, I am submitting the following drawings, dated September 17, 2015, describing a new roof deck at the Beadling-Sachs Residence.

- S-1 Site Plan, Zoning Compliance Data
- A-1 Location Plan, Key Plan, General Notes
- A-2 Roof Deck & Third Floor Plan, Roof Plan
- A-3 First Floor & Second Floor Plans
- A-4 East & West Elevations
- A-5 North Elevation, Railing Details
- A-6 Section through Third Floor & Roof Deck
- A-7 View Preservation Study 1
- A-8 View Preservation Study 2
- A-9 View Preservation Study 3
- A-10 View Preservation Study 4
- A-11 View Preservation Study 5  
Survey

We are requesting a review of the project for View Preservation and for the following variance from the Hastings Zoning Code:

**1. Variance from Section 295-72.1E (1c) – Side Yard Setback**

We are requesting a variance for an existing non-conforming side yard setback of 6.4 ft., which is less than the 16.5 ft. required. The non-conformity of 6.4 ft. will continue at the roof with the new roof deck.

I appreciate your understanding of our request for these variances, and look forward to presenting the drawings at the October 15, 2015 Zoning Board of Appeals meeting.

Sincerely,



**Christina Griffin** AIA LEED AP BD+C CPHC

cc: Malcolm Beadling

October 1, 2015

Members of the Hastings Planning Board  
Village of Hastings-on-Hudson  
7 Maple Avenue  
Hastings-on-Hudson, NY 10706

Re: View Preservation of  
New Roof Deck at the Beadling-Sachs Residence  
19 William Street

Dear Chairperson and Members of the Planning Board:

As the Architect representing the Malcolm Beadling, I am submitting the following drawings, dated September 17, 2015, describing a new roof deck at the Beadling-Sach Residence.

S-1 Site Plan, Zoning Compliance Data  
A-1 Location Plan, Key Plan, General Notes  
A-2 Roof Deck & Third Floor Plan, Roof Plan  
A-3 First Floor & Second Floor Plans  
A-4 East & West Elevations  
A-5 North Elevation, Railing Details  
A-6 Section through Third Floor & Roof Deck  
A-7 View Preservation Study 1  
A-8 View Preservation Study 2  
A-9 View Preservation Study 3  
A-10 View Preservation Study 4  
A-11 View Preservation Study 5  
Survey  
Short Environmental Assessment Form  
Site Plan Checklist

As shown on the drawings, a portion of the existing roof structure will be removed and replaced by the new deck, and the impact on view will be minimal. We are requesting a review of the project by the Planning Board at the October 15, 2015 meeting.

Thank you for your time and consideration to review our proposal.

Sincerely,



Christina Griffin AIA LEED

cc: Malcolm Beadling