

July 1, 2015

Chairman and Members of the Hastings Planning Board
Village of Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, NY 10706

Re: Proposed Multi-Family Building at
457 & 461 Warburton Avenue

Dear Chairman and Members of the Planning Board:

As the Architect representing MonnaLissa LLC, for the development of properties located at 457 & 461 Warburton Avenue, I am submitting the attached drawings describing a new six unit multi-family residence. We are requesting an informal review and discussion of preliminary ideas for the project by the Planning Board at the July 16th meeting.

The preliminary drawings, dated July 1, 2015, attached, are as follows:

- Title Sheet
- S-1 Site Plan and Zoning Data
- S-2 Neighborhood Plan, Section through Site
- A-1a Garage Plan Scheme A
- A-1b Garage Plan Scheme B
- A-2 First Floor Plan and Second Floor Plans
- A-3 Third Floor Plan and Roof Plan
- A-4 Front Elevation
- A-5 Rear Elevation

I look forward to presenting these drawings to you at your next meeting. Thank you for your time and consideration of our proposal.

Sincerely,



Christina Griffin AIA LEED AP CPHC

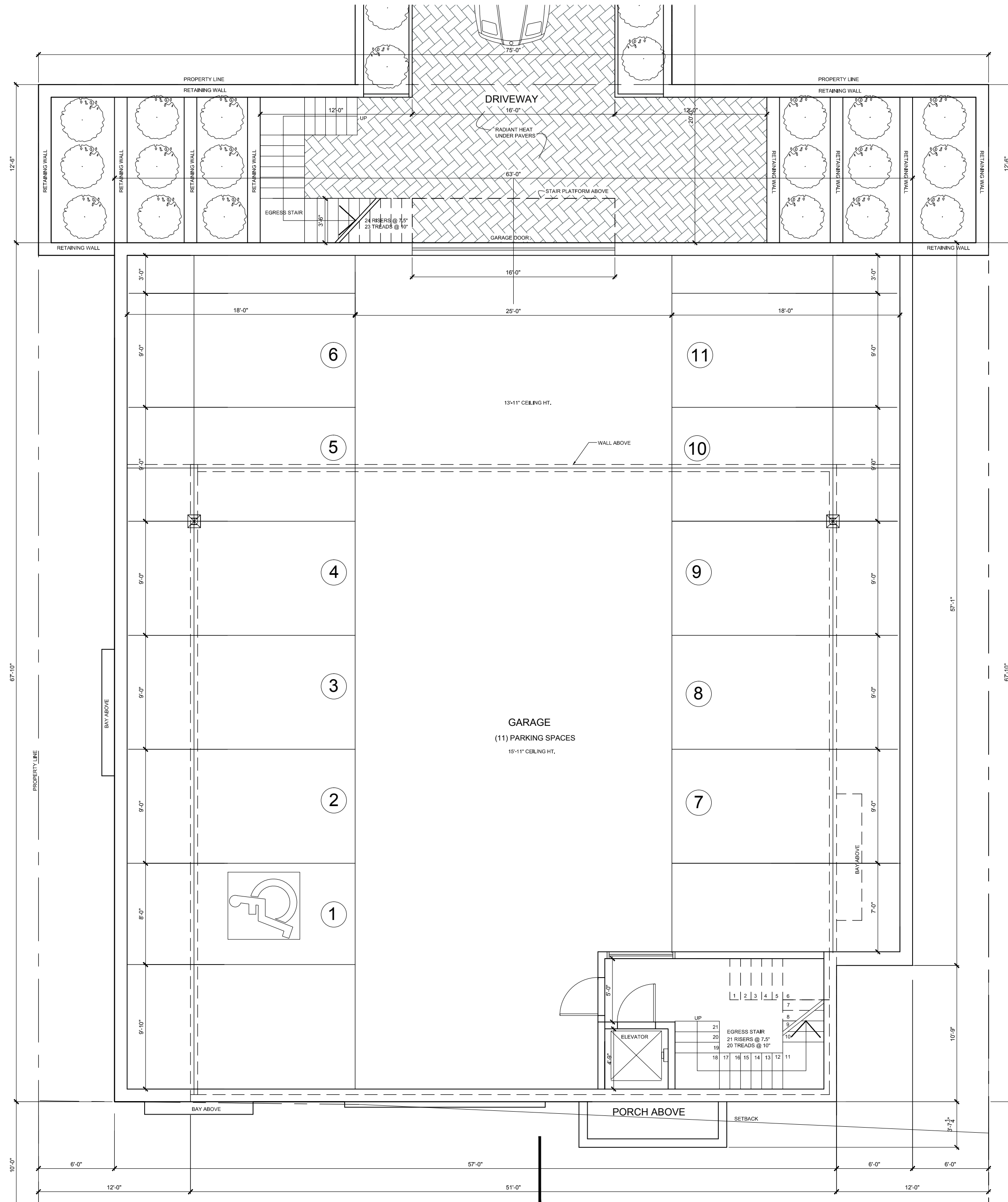
cc: MonnaLissa LLC
Cronin Engineering PC

NEW MULTI-FAMILY RESIDENCE
457 & 461 WARBURTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706



PLANNING BOARD SUBMISSION - 7-1-15

OWNER:	ARCHITECT:	CIVIL ENGINEER:	LIST OF DRAWINGS	DATES																				
MonnaLissa LLC John Bindela & Michael Pagliuca, Owners 276 West 138 Street Bronx, NY 10463 johnbindela@gmail.com	Christina Griffin Architect, P.C. Christina Griffin, AIA LEED AP CPHC 10 Spring Street Hastings-on-Hudson, NY 10706 914.478.0799 cg@cghostudio.com	Cronin Engineering, PE, PC Keith Staudohar, CPESC, CPSWQ 39 Arlo Lane Cortland Manor, NY 10567 914.736.3664 ex 204 keith@croninengineering.net	<table border="0"> <tr> <td>TITLE SHEET</td> <td>LIST OF DRAWINGS, DATES, 3-D SKETCH</td> </tr> <tr> <td>S-1</td> <td>SITE PLAN, ZONING DATA</td> </tr> <tr> <td>S-2</td> <td>SECTION THROUGH SITE, NEIGHBORHOOD PLAN</td> </tr> <tr> <td>A-1a</td> <td>GARAGE PLAN - SCHEME A</td> </tr> <tr> <td>A-1b</td> <td>GARAGE PLAN - SCHEME B</td> </tr> <tr> <td>A-2</td> <td>FIRST & SECOND FLOOR PLAN</td> </tr> <tr> <td>A-3</td> <td>THIRD FLOOR PLAN & ROOF PLAN</td> </tr> <tr> <td>A-4</td> <td>FRONT EXTERIOR ELEVATION</td> </tr> <tr> <td>A-5</td> <td>REAR EXTERIOR ELEVATION</td> </tr> </table>	TITLE SHEET	LIST OF DRAWINGS, DATES, 3-D SKETCH	S-1	SITE PLAN, ZONING DATA	S-2	SECTION THROUGH SITE, NEIGHBORHOOD PLAN	A-1a	GARAGE PLAN - SCHEME A	A-1b	GARAGE PLAN - SCHEME B	A-2	FIRST & SECOND FLOOR PLAN	A-3	THIRD FLOOR PLAN & ROOF PLAN	A-4	FRONT EXTERIOR ELEVATION	A-5	REAR EXTERIOR ELEVATION	<table border="0"> <tr> <td>PRELIMINARY PLANNING BOARD SUBMISSION</td> <td>7-1-15</td> </tr> </table>	PRELIMINARY PLANNING BOARD SUBMISSION	7-1-15
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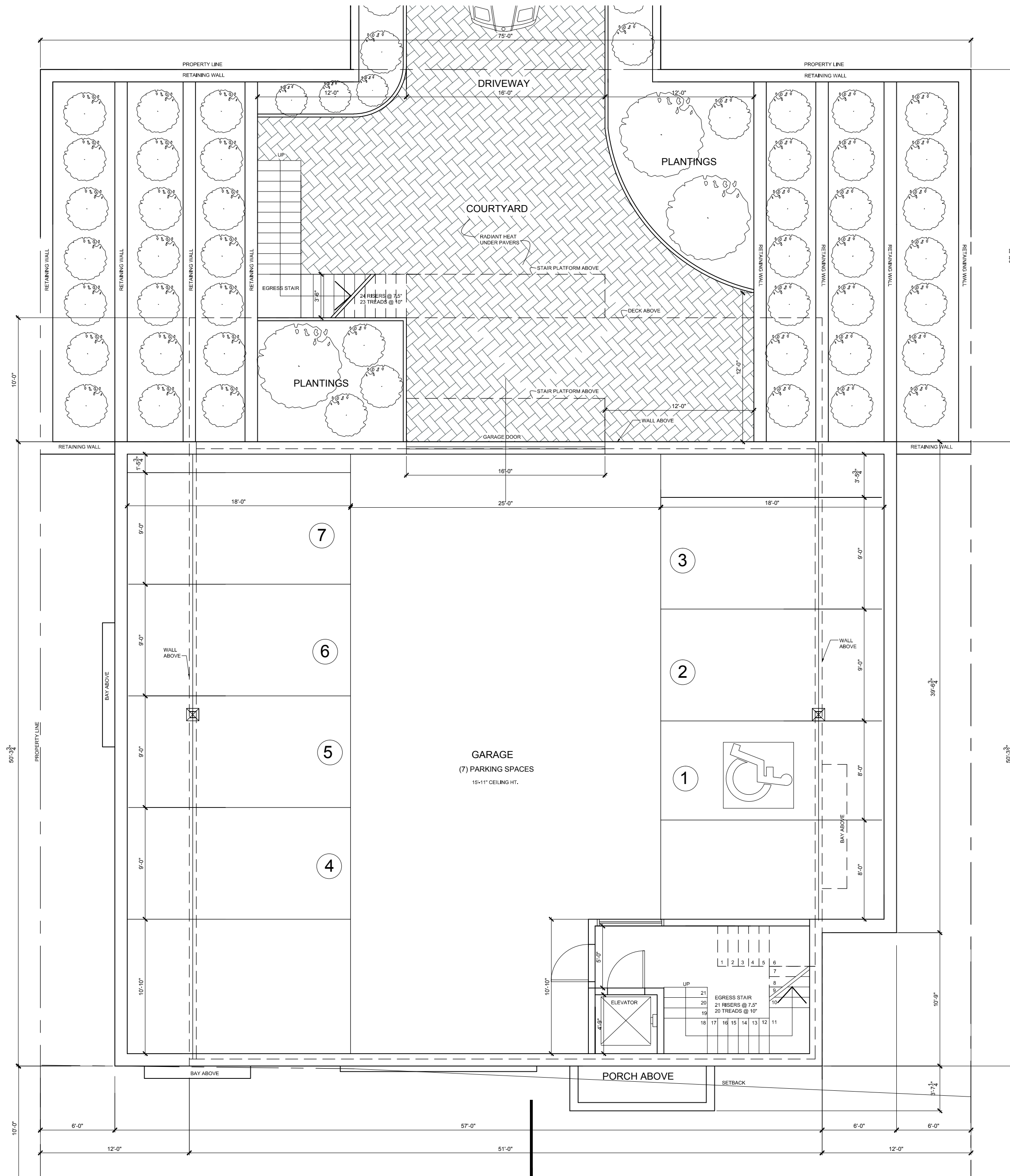
SCHEME A
GARAGE PLAN
 SCALE: 1/4" = 1'-0"

MULTI-FAMILY RESIDENCE at
457 & 461 WARBURTON AVE.
 HASTINGS-ON-HUDSON, NY 10706

Drawing Title: **GARAGE PLAN - SCHEME A**
 PRELIM. DESIGN DRAWINGS: 6-10-15
 PRELIM. DESIGN DRAWINGS: 6-15
 PRELIM. DESIGN DRAWINGS: 6-30
 PRELIM. PLANNING BOARD SUBMISSION: 7-1-15
 Scale: AS SHOWN

CHRISTINA GRIFFIN ARCHITECT PC
 10 Spring Street
 Hastings-on-Hudson, New York, 10706
 914.478.0799 tel 914.478.0806 fax
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A-1a



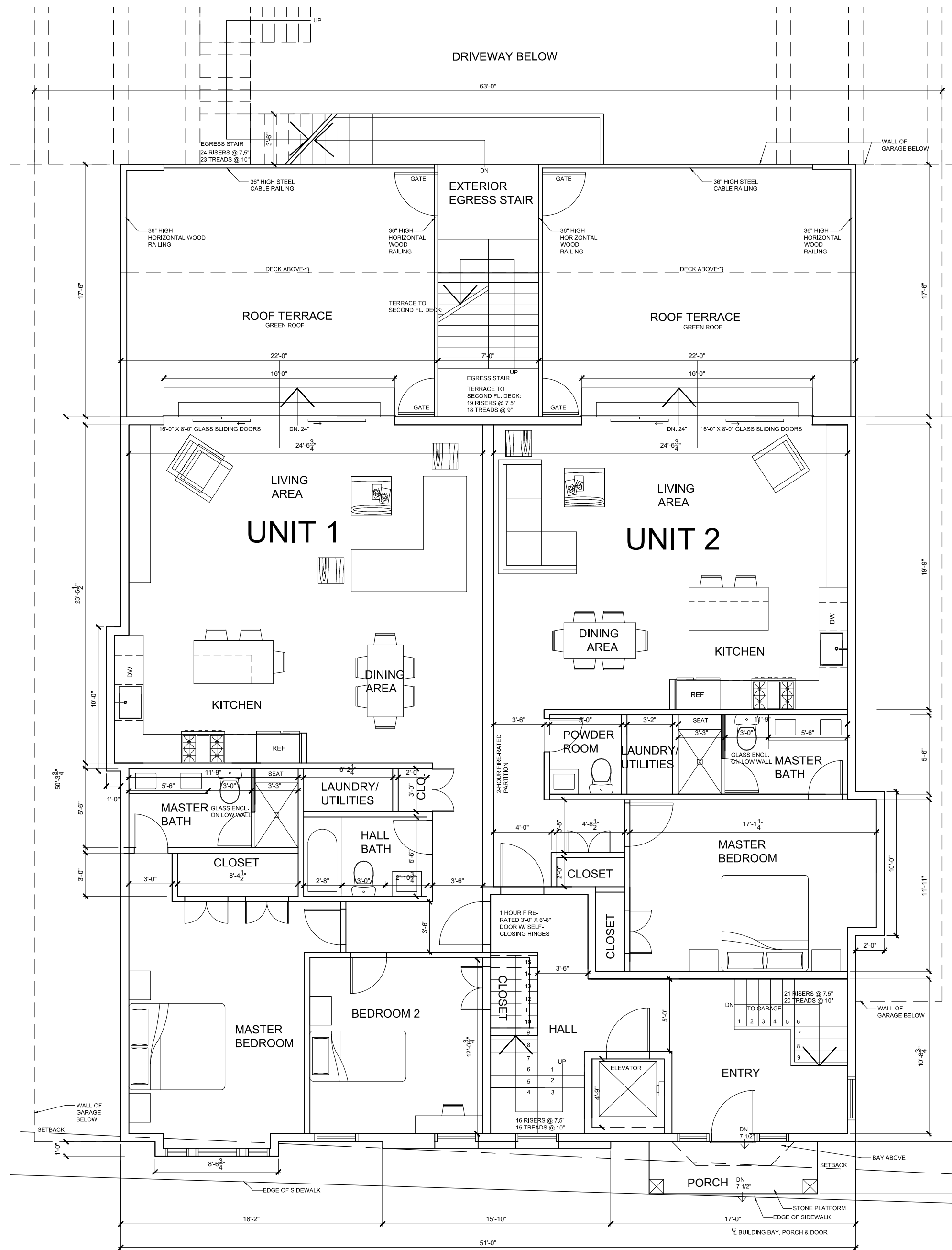
SCHEME B
GARAGE PLAN
 SCALE: 1/4" = 1'-0"

MULTI-FAMILY RESIDENCE at
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Drawing Title: **GARAGE PLAN - SCHEME B**
 PRELIM. DESIGN DRAWINGS 6-10-15
 PRELIM. DESIGN DRAWINGS 6-16-15
 PRELIM. DESIGN DRAWINGS 6-16-15
 PRELIM. PLANNING BOARD SUBMISSION 7-1-15
 Scale: AS SHOWN

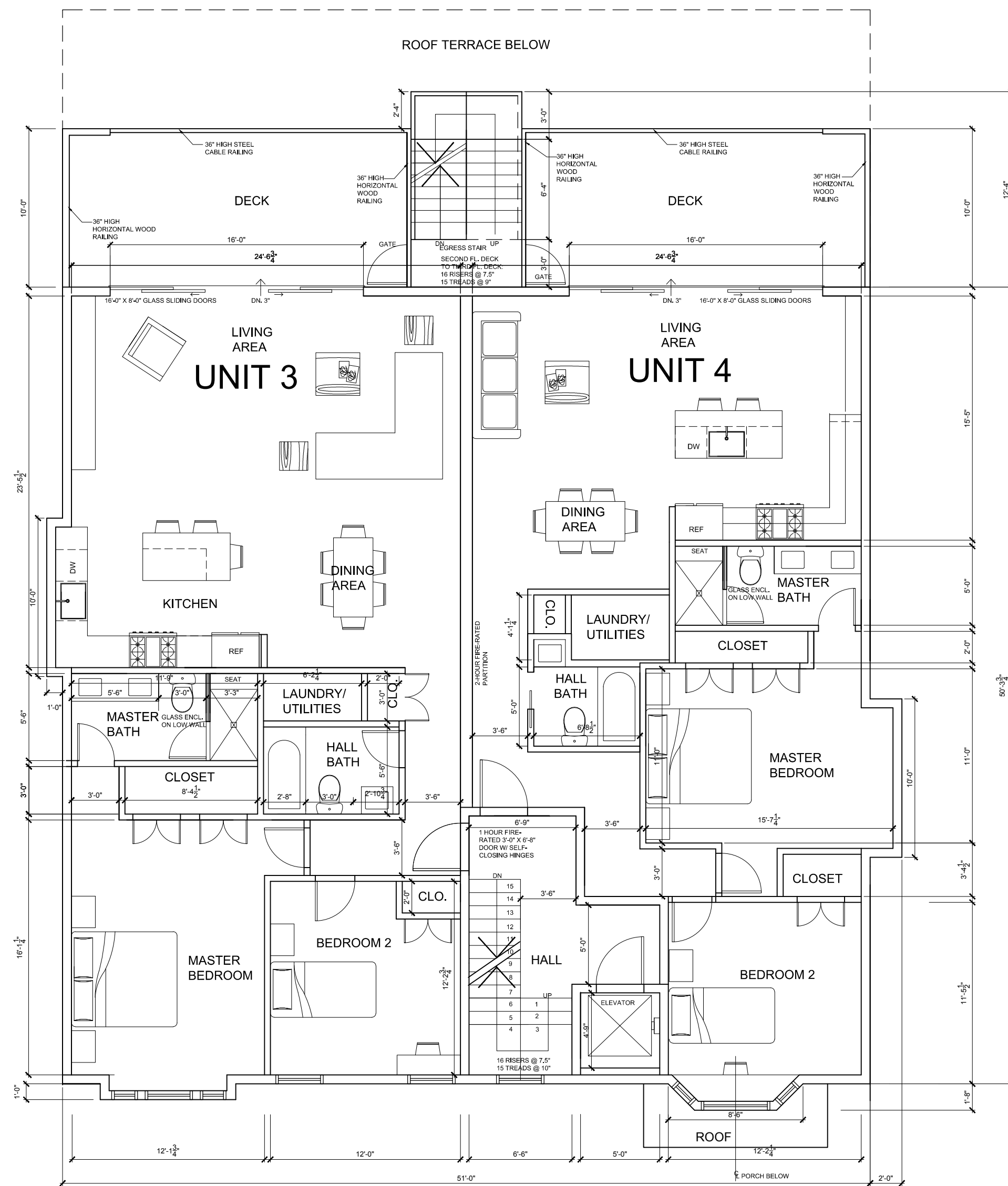
A-1b

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FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

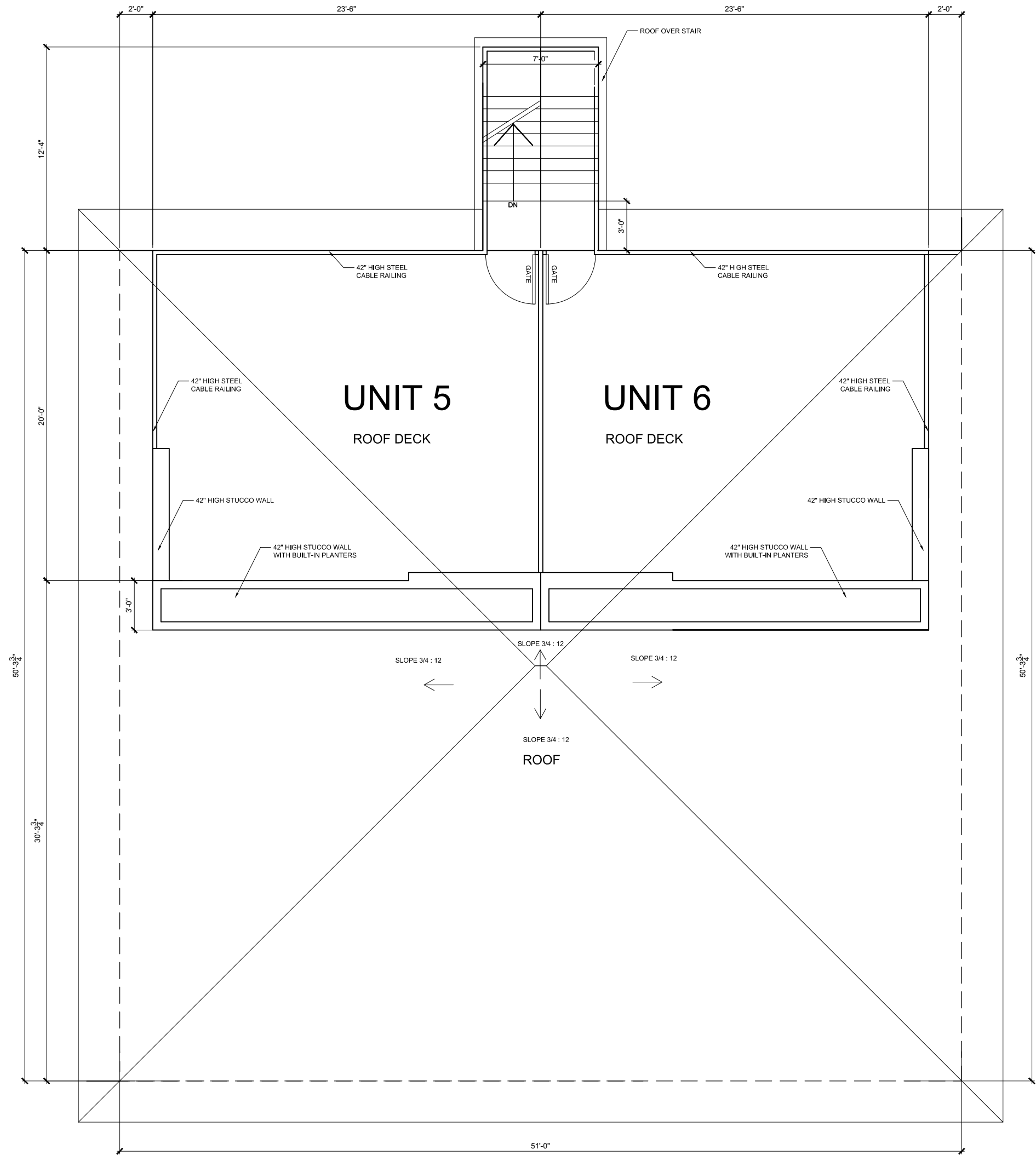
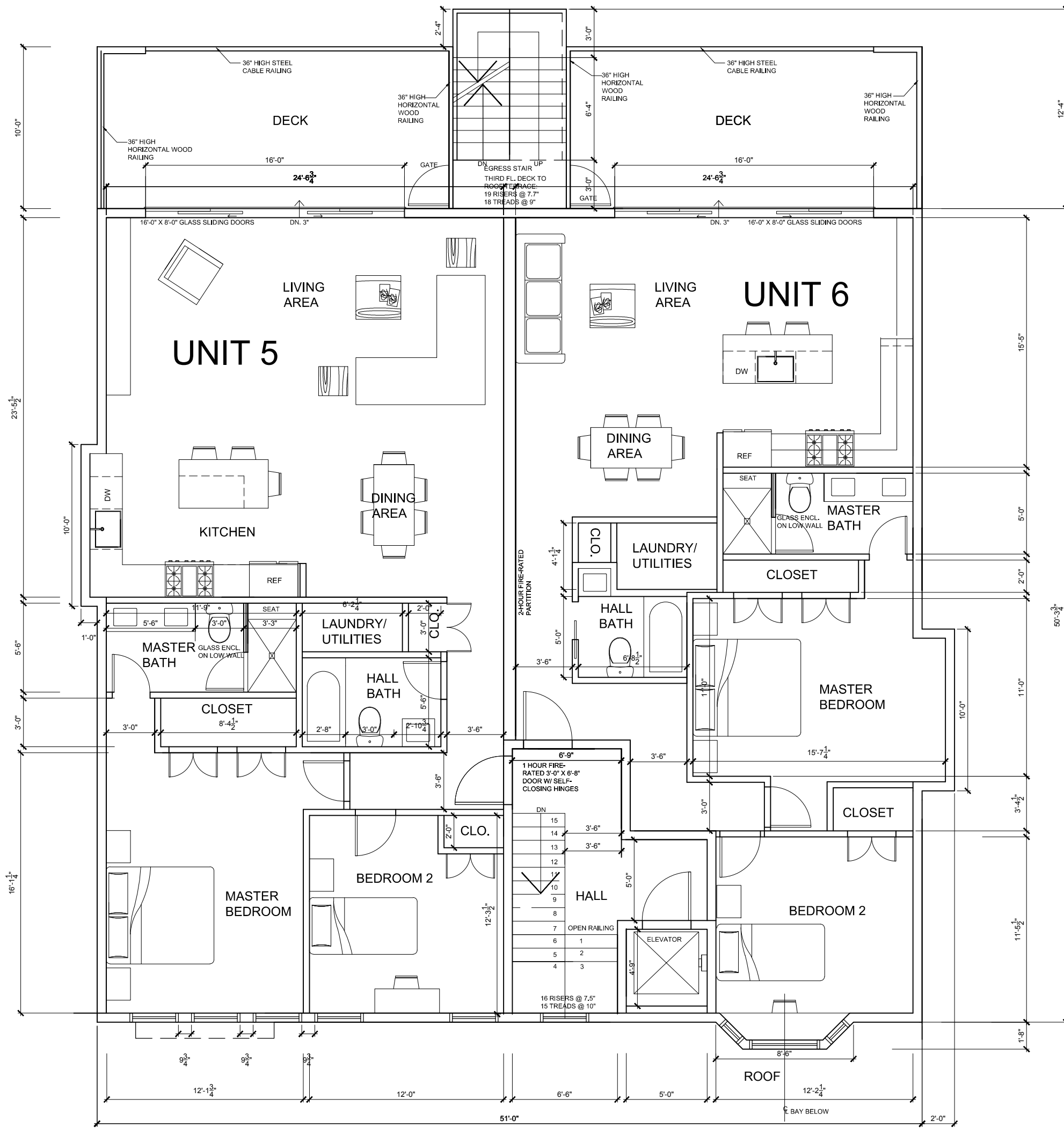
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PRELIM. DESIGN DRAWINGS 6-10-15
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PRELIM. PLANNING BOARD SUBMISSION 7-1-15

Drawing Title: FIRST FLOOR PLAN
Scale: AS SHOWN

A-2



MULTI-FAMILY RESIDENCE at
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 PRELIM. DESIGN DRAWINGS 6-30-15
 PRELIM. PLANNING BOARD SUBMISSION 7-1-15

Drawing Title
 SECOND FLOOR PLAN
 Scale:
 AS SHOWN

A-3



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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 PRELIM. DESIGN DRAWINGS 6-30-15
 PRELIM. PLANNING BOARD SUBMISSION 7-1-15

Drawing Title
 THIRD FLOOR PLAN
 Scale:
 AS SHOWN

A-4



REAR ELEVATION

SCALE: 1/4" = 1'-0"

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PRELIM. DESIGN DRAWINGS 6-10-15
 CONSTRUCTION DRAWINGS 6-10-15
 PRELIM. DESIGN DRAWINGS 6-10-15
 PRELIM. PLANNING BOARD SUBMISSION 7-1-15

Drawing Title
 REAR ELEVATION

Scale:
 AS SHOWN

A-5

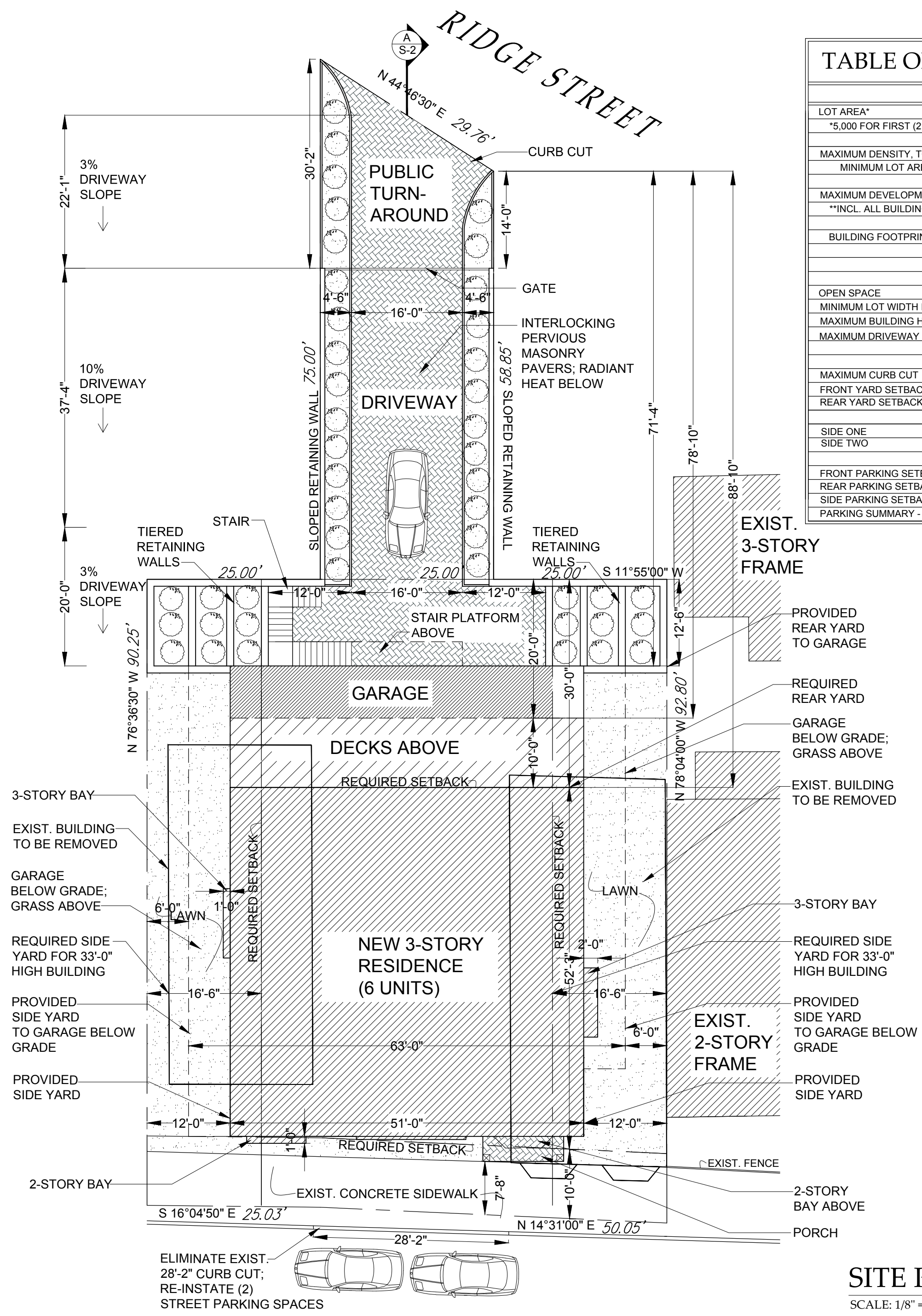


TABLE OF ZONING DATA		ZONING DISTRICT: MR-O	
	REQUIRED	EXISTING	PROPOSED
LOT AREA*	11,000 SF	4,583 SF / 2260 SF / 1,673 SF	8,516.13 SF
*5,000 FOR FIRST (2) UNITS + 1,500 FOR EACH ADD'L UNIT		#461 / #457 / #36	VARIANCE REQUIRED
MAXIMUM DENSITY, TOTAL OF DWELLING UNIT	TO BE DETERMINED	+ 3 = 4 + 1 COMMERCIAL	6
MINIMUM LOT AREA/ DWELLING UNIT DENSITY	500 SF/UNIT	VERIFY	2-BEDROOM: 1,210 SF & 1,625 SF / UNIT / 1-BEDROOM 909 SF UNIT
MAXIMUM DEVELOPMENT COVERAGE**	50%		67% [SEE COVERAGE CALCULATIONS BELOW]
**INCL. ALL BUILDINGS AND STRUCTURES			VARIANCE REQUIRED
BUILDING FOOTPRINT	EXIST. #461: BLD. (1,251) + STEPS/PATIO (463) = ±37%		BUILDING (NOT INCL. DECK, PORCH GARAGE) 2,612 SF / 31%
	EXIST. #457: BLD. (1,115) + PATIO (255) = ±61%		BUILDING (INCL. DECK, & PORCH) 3,164 SF / 37%
			BUILDING (INCL. DECK, PORCH & GARAGE) 4,272 SF / 50%
OPEN SPACE	VERIFY	VERIFY	2,745 SF GREEN SPACE [INCL. PLANTED AREA OVER GARAGE BELOW GRADE]
MINIMUM LOT WIDTH FRONTAGE	50	50 FT / 25 FT / 25 FT	75 FT
MAXIMUM BUILDING HEIGHT	3-STORY / 40 FT	#461 2-STORY / #457 3-STORY	3-STORY / 33 FT [40 FT AT ROOF OVER EGRESS STAIR]
MAXIMUM DRIVEWAY SLOPE	MAX. 8% (UP TO 12% AT DISCRETION OF PLANNING BD.) & MAX. 3% W/ 30 FT OF FRONT PROPERTY LINE OR 50 FT OF CENTER OF STREET]		3% AT FIRST 30 FT / 10% / 3% AT GARAGE ENTRY
MAXIMUM CURB CUT	24 FT	VERIFY	24 FT
FRONT YARD SETBACK	10 FT	10 FT	10 FT TO BUILDING / 7.6 FT TO PORCH
REAR YARD SETBACK	30 FT	VERIFY	30 FT BLDG., 20 FT DECKS / 12.5 FT GARAGE
			VARIANCE REQUIRED
SIDE ONE	16.5 FT FOR 33 FT HIGH BLDG	#461 ±0 FT / #457 ±1 FT	12 FT TO BUILDING / 6 FT TO GARAGE
SIDE TWO	16.5 FT FOR 33 FT HIGH BLDG	#461 ±26 FT / #457 ±4 FT	12 FT TO BUILDING / 6 FT TO GARAGE
			VARIANCE REQUIRED
FRONT PARKING SETBACK	10 FT	VERIFY	NOT APPLICABLE
REAR PARKING SETBACK	5 FT	VERIFY	12.6 FT TO GARAGE
SIDE PARKING SETBACK	5 FT	VERIFY	6 FT TO GARAGE
PARKING SUMMARY - TOTAL SPACES PROVIDED	11	VERIFY	11 SPACES

COVERAGE CALCULATIONS	
LOT AREA	8,516 SF / 0.20 AC
WALLS	246 SF
STEPS & SIDEWALK	82 SF + 591 SF PUBLIC SIDEWALK = 673 SF
EXTERIOR PARKING	NONE
DRIVEWAY (OVER 960 SF)	536 SF (1,496 SF TOTAL DRIVEWAY)
BUILDING (NOT INCL. DECKS, PORCH, GARAGE)	2,612 SF / 31%
BUILDING, DECKS, PORCH	3,164 SF / 37% (2,612 SF + 510 SF + 42 SF)
BUILDING (INCL. DECKS, PORCH, GARAGE)	4,272 SF / 50%
TOTAL DEVELOPMENT COVERAGE (ALL BLDG., STRUCTURES, DRIVEWAY, IMPERVIOUS SURFACES)	246 WALLS + 673 STEPS/SIDEWALK + 536 DRIVEWAY = 1,455 SF (17% COVERAGE)

FLOOR AREA	
UNIT 1	1210 SF
UNIT 2	909 SF
UNIT 3	1210 SF
UNIT 4	1065 SF
UNIT 5	1210 SF
UNIT 6	1065 SF
TOTAL	6,669 SF

SITE PLAN
SCALE: 1/8" = 1'-0"

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S-1

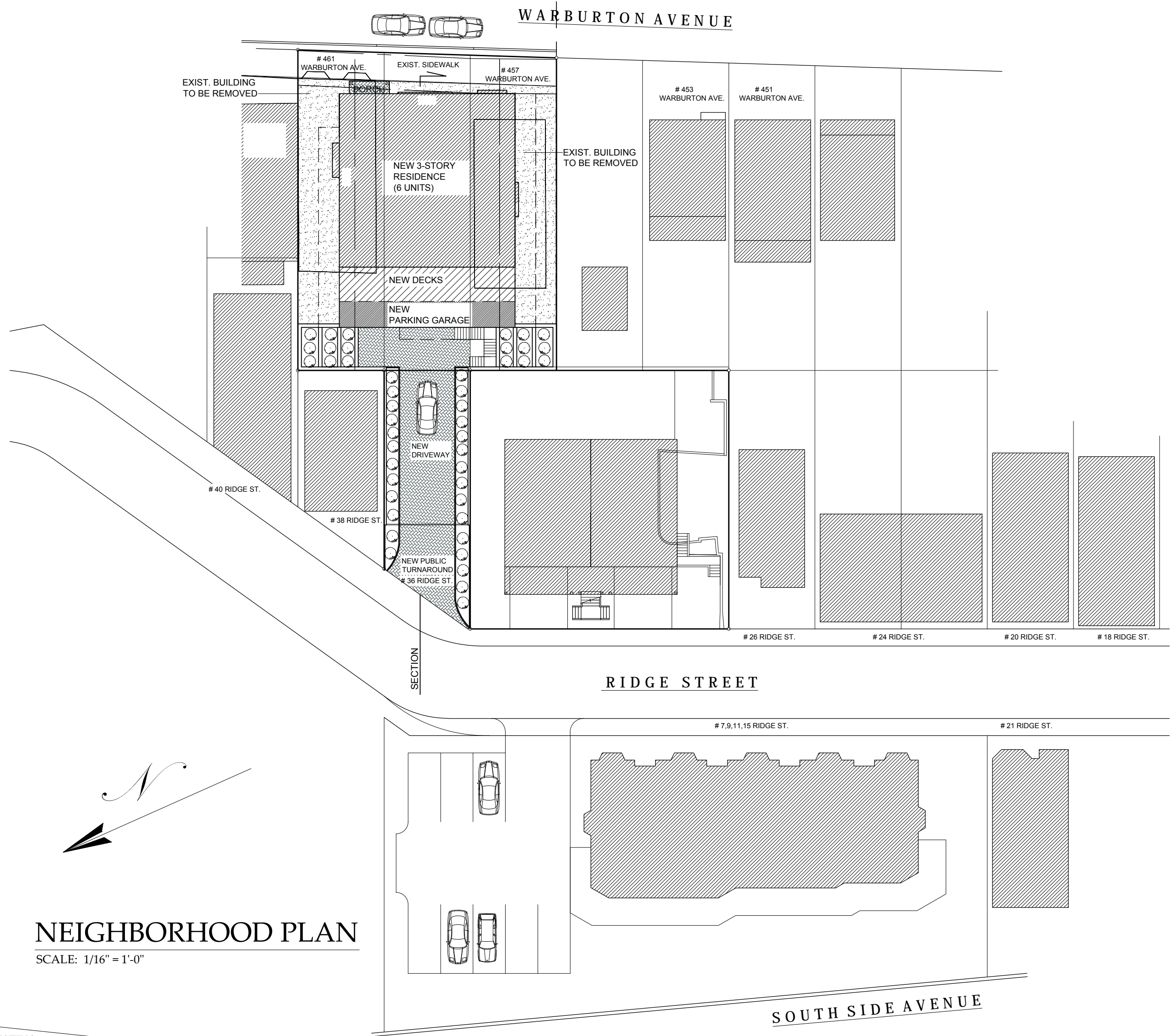
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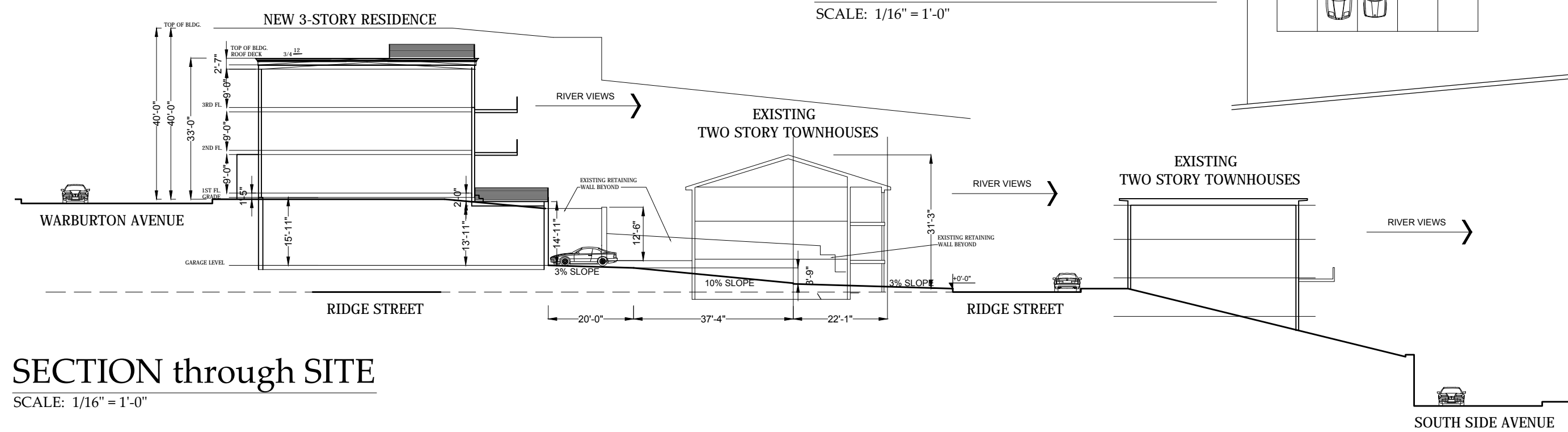
DATE	DESCRIPTION
6-10-15	PRELIM. DESIGN DRAWINGS
6-30-15	PRELIM. DESIGN DRAWINGS
7-1-15	PRELIM. PLANNING BOARD SUBMISSION

Drawing Title: **SITE PLAN**
Scale: **AS SHOWN**

S-2



NEIGHBORHOOD PLAN
SCALE: 1/16" = 1'-0"



SECTION through SITE
SCALE: 1/16" = 1'-0"