

October 1, 2015

Members of the Hastings Zoning Board of Appeals
Village of Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, NY 10706

Re: Proposed Decks
457 Warburton Avenue

To the Members of the Zoning Board of Appeals:
As the Architect representing 457 Warburton LLC, for the development of the property located at 457 Warburton Avenue, I am submitting the following drawings, describing new decks to be built at an existing three-family residence.

S-1 Site Plan
A-1 Floor Plans, North, West and South Elevations
A-2 Section through the Site
A-3 View Preservation Photos
A-4 View Preservation Photos
A-5 View Preservation Photos
A-6 View Preservation Photos
Survey

I am requesting that the Zoning Board of Appeals grant the following variances from the Hastings Zoning Code:

1. Variance from Section 295-72 1E (1b) – Rear Yard Setback

We are requesting a variance for a rear yard 22.25 ft. setback which is less than the 30 ft. required.

2. Variance from Section 295-72 1E (1c) – Side Yard Setback

We are requesting a variance for an existing side yard setback of 1.5 ft., which is less than the 14.7 ft. required. The non-conformity of 1.5 ft. will be continued at the new decks

3. Variance from Section 295-72 1E. (3) - Lot Coverage for MR-0 Zone

We are requesting a variance for a 55% lot coverage, which is above the max. 50% allowed

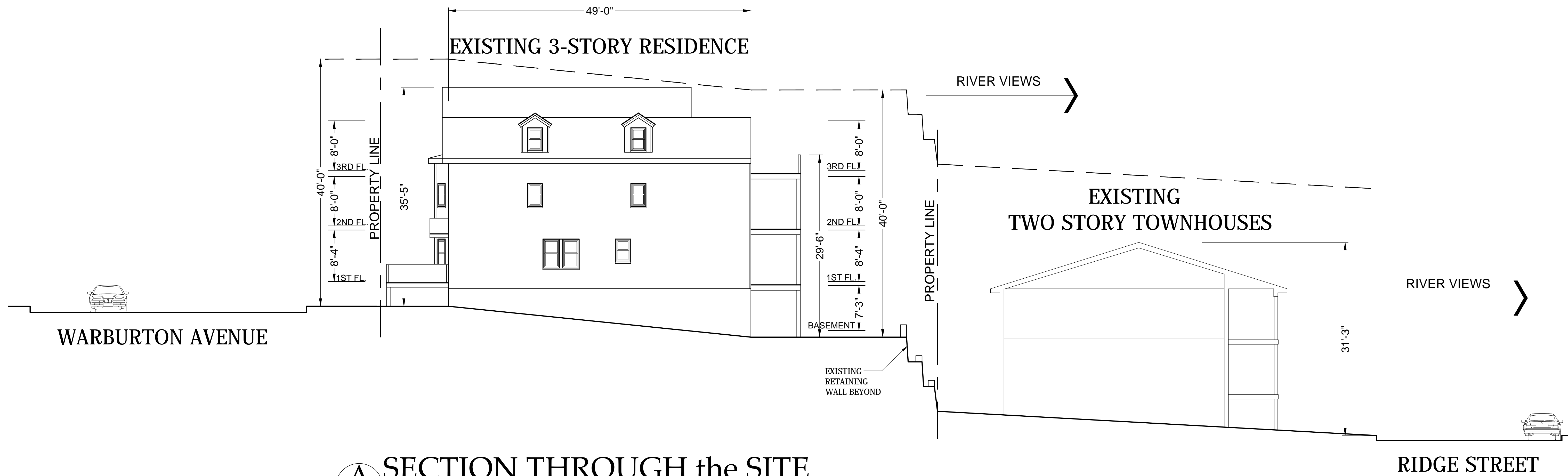
I appreciate your understanding of our request for these variances, and look forward to presenting the drawings at the October 15, 2015 Zoning Board of Appeals meeting. Thank you for your time and effort for review of our proposal.

Sincerely,



Christina Griffin AIA LEED AP CPH

cc: 457 Warburton LLC

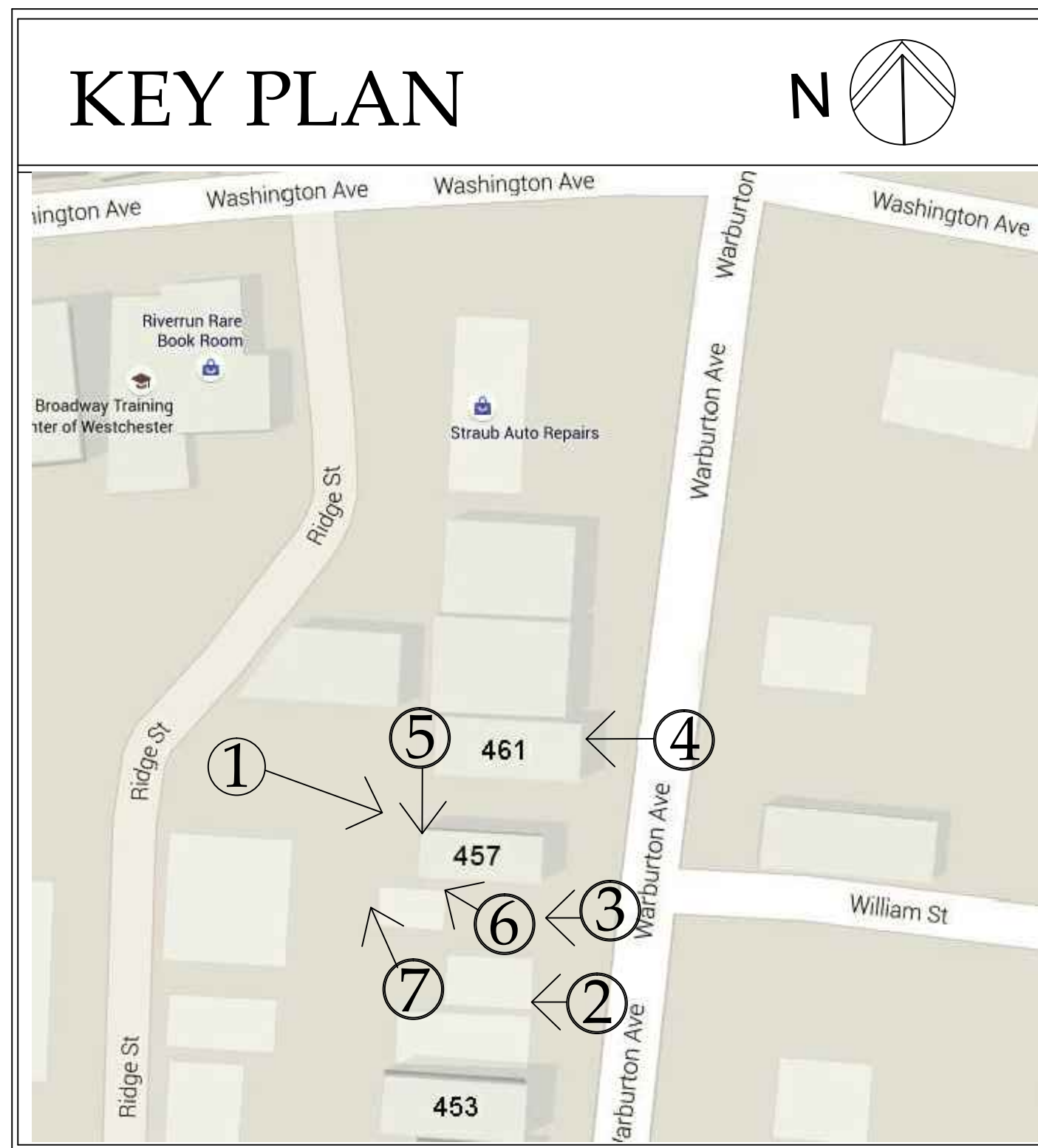


A SECTION THROUGH the SITE
 A-2 SCALE: 1/8" = 1'-0"

NEW DECKS AT MULTI-FAMILY RESIDENCE
457 WARBURTON AVEUE
 HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC
 10 Spring Street
 Hastings-on-Hudson, New York 10706
 914.478.0799 tel 914.478.0806 fax
 www.christinagriffinarchitect.com

Drawing Title VIEW PRESERVATION SECTION THROUGH THE SITE	Date:	9-17-15
	BUILDING PERMIT SUBMISSION	9-17-15
	ZONING BOARD SUBMISSION	9-17-15
	PLANNING BOARD SUBMISSION	9-17-15
Scale:	AS SHOWN	



VIEWS OF EXISTING HOUSE at 457 WARBURTON AVENUE
SCALE: N.T.S.



STREET VIEW on WARBURTON AVENUE
SCALE: N.T.S.



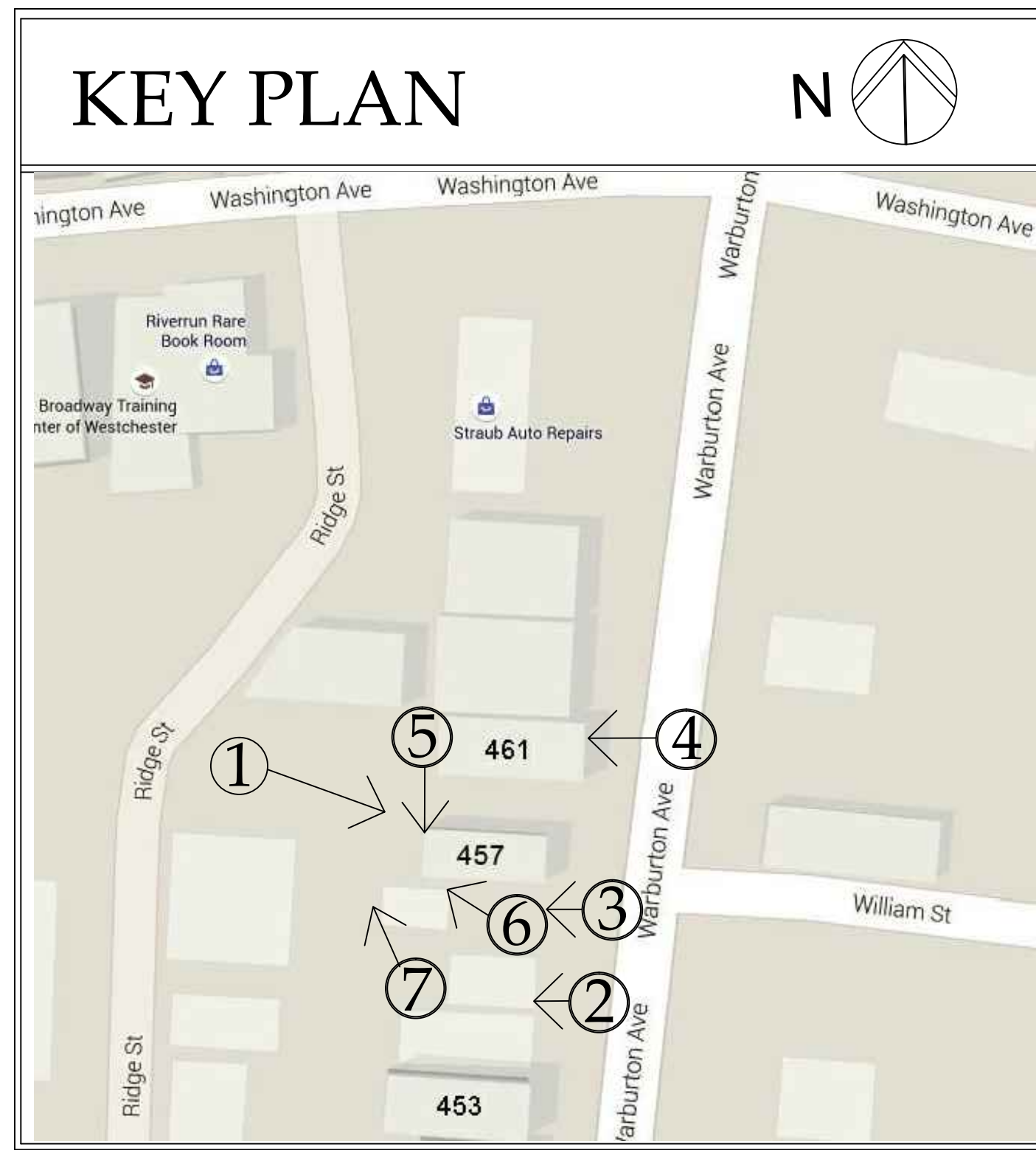
- ① FROM RIDGE STREET
- ② 453 WARBURTON AVENUE
- ③ GARAGE at 453 WARBURTON AVENUE
- ④ 461 WARBURTON AVENUE

NEIGHBORING PROPERTIES
SCALE: N.T.S.

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Date: _____
 Drawing Title: VIEW PRESERVATION STUDY 1 on WILLIAM STREET
 Scale: AS SHOWN
 Date: _____
 PLANNING BOARD PRE-SUBMISSION 7-13-15
 CONSTRUCTION DRAWINGS 7-23-15
 BUILDING PERMIT & WAIVER SUBMISSION 8-05-15
 BUILDING PERMIT SUBMISSION 9-17-15
 ZONING BOARD SUBMISSION 9-17-15
 PLANNING BOARD SUBMISSION 9-17-15



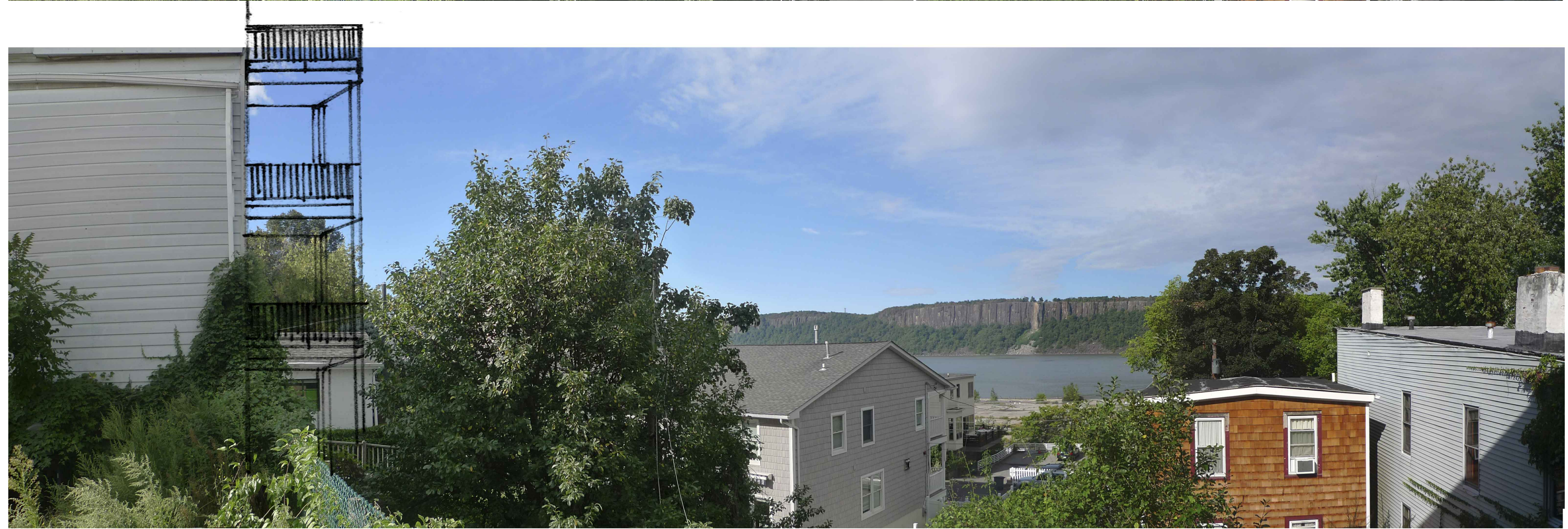
BEFORE
VIEW from
NEIGHBORING PROPERTY
on WARBURTON AVENUE

5



AFTER
VIEW from
NEIGHBORING PROPERTY
on WARBURTON AVENUE

5

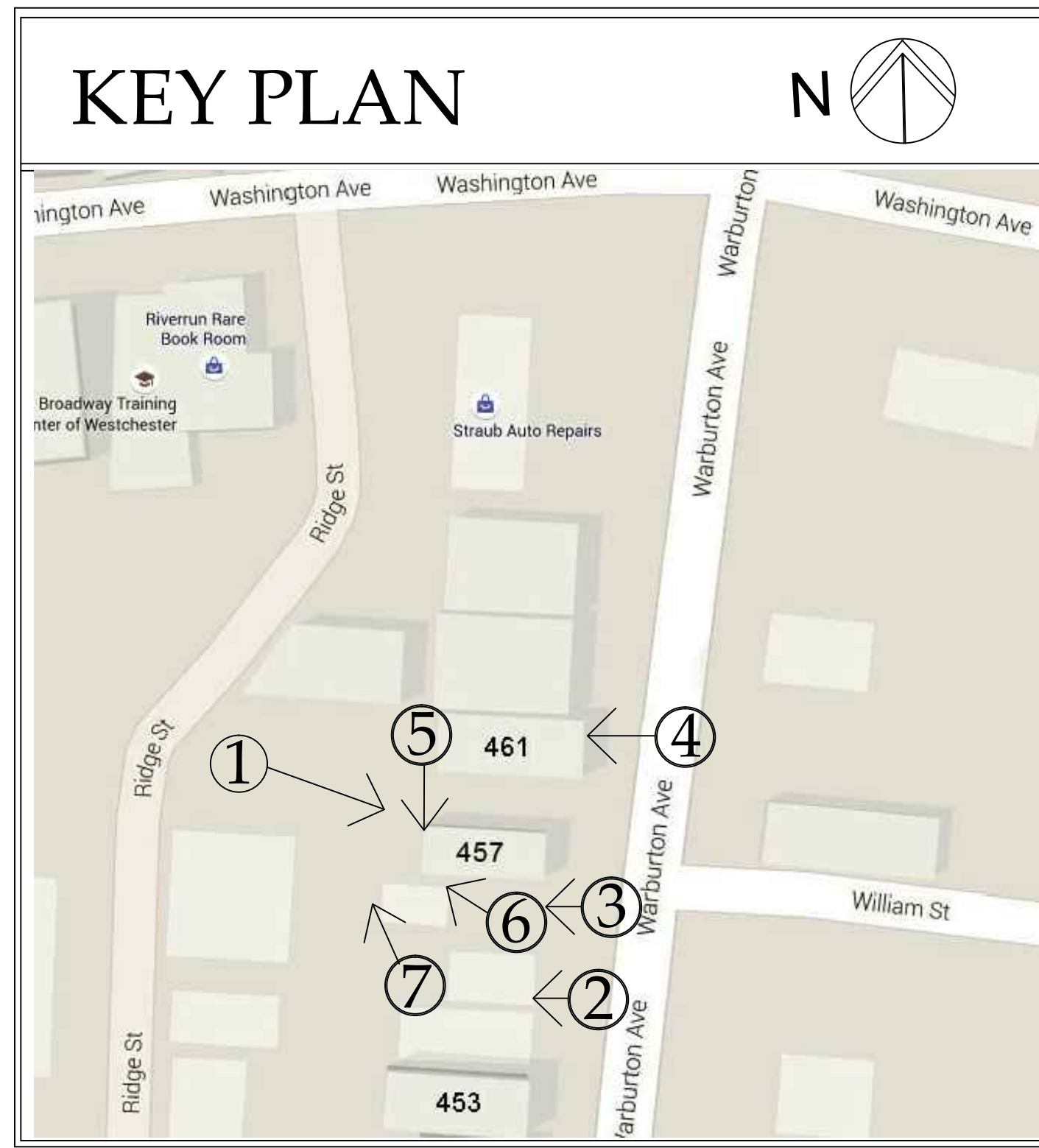


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Date	Description
7-13-15	PLANNING BOARD SUBMISSION
7-23-15	CONSTRUCTION DRAWINGS
8-05-15	BUILDING PERMIT & WAIVER SUBMISSION
9-17-15	BUILDING PERMIT SUBMISSION
9-17-15	ZONING BOARD SUBMISSION
9-17-15	PLANNING BOARD SUBMISSION

Drawing Title: VIEW PRESERVATION STUDY 1 on WILLIAM STREET
Scale: AS SHOWN



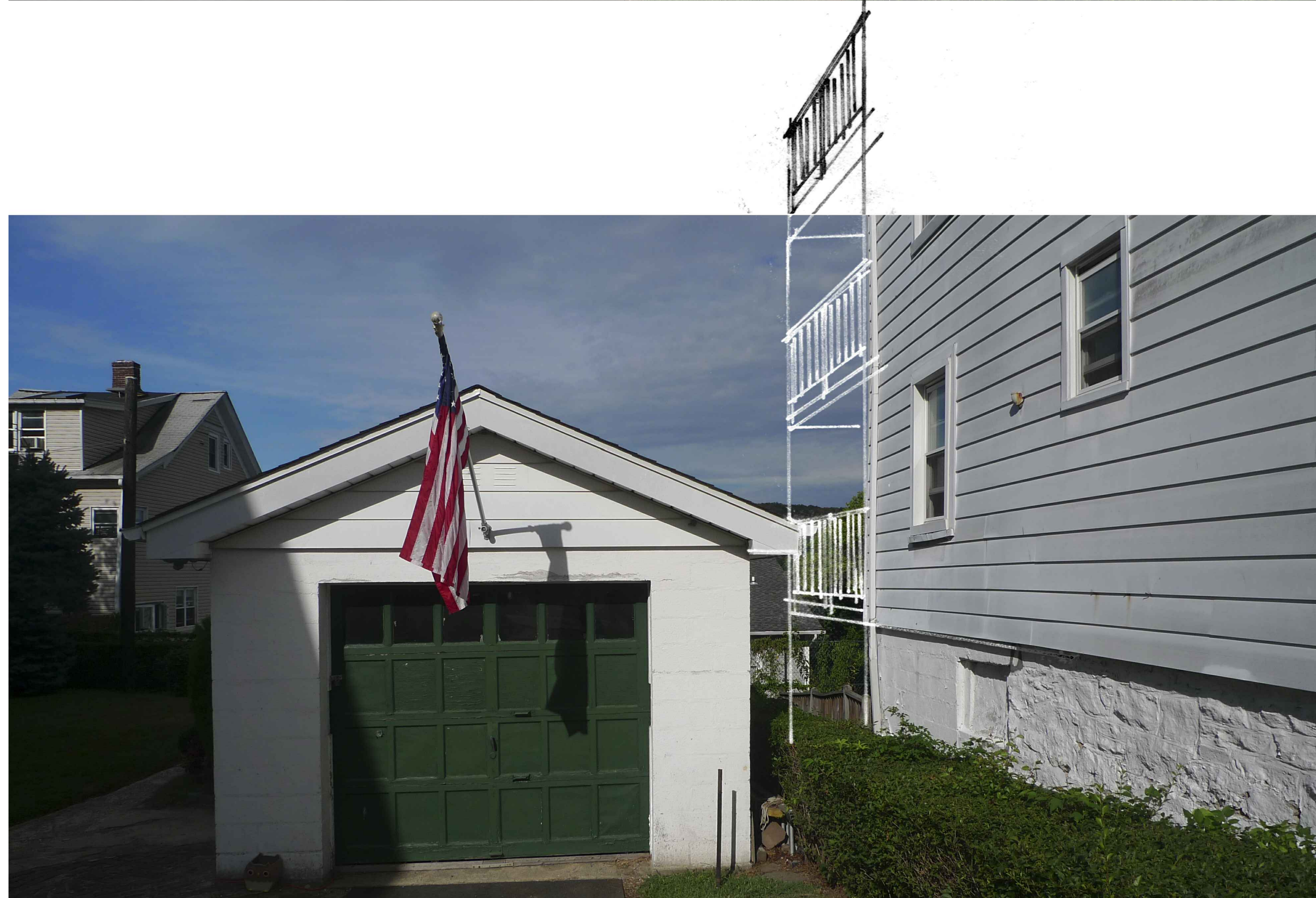
BEFORE
VIEW from
NEIGHBORING PROPERTY
on WARBURTON AVENUE

6



AFTER
VIEW from
NEIGHBORING PROPERTY
on WARBURTON AVENUE

6



NEW DECKS AT
457 WARBURTON AVENUE
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9-17-15	ZONING BOARD SUBMISSION
9-17-15	PLANNING BOARD SUBMISSION

Drawing Title: VIEW PRESERVATION STUDY 1 on WILLIAM STREET
Scale: AS SHOWN

A-5



BEFORE
VIEW from
NEIGHBORING PROPERTY
on WARBURTON AVENUE

7



AFTER
VIEW from
NEIGHBORING PROPERTY
on WARBURTON AVENUE

7

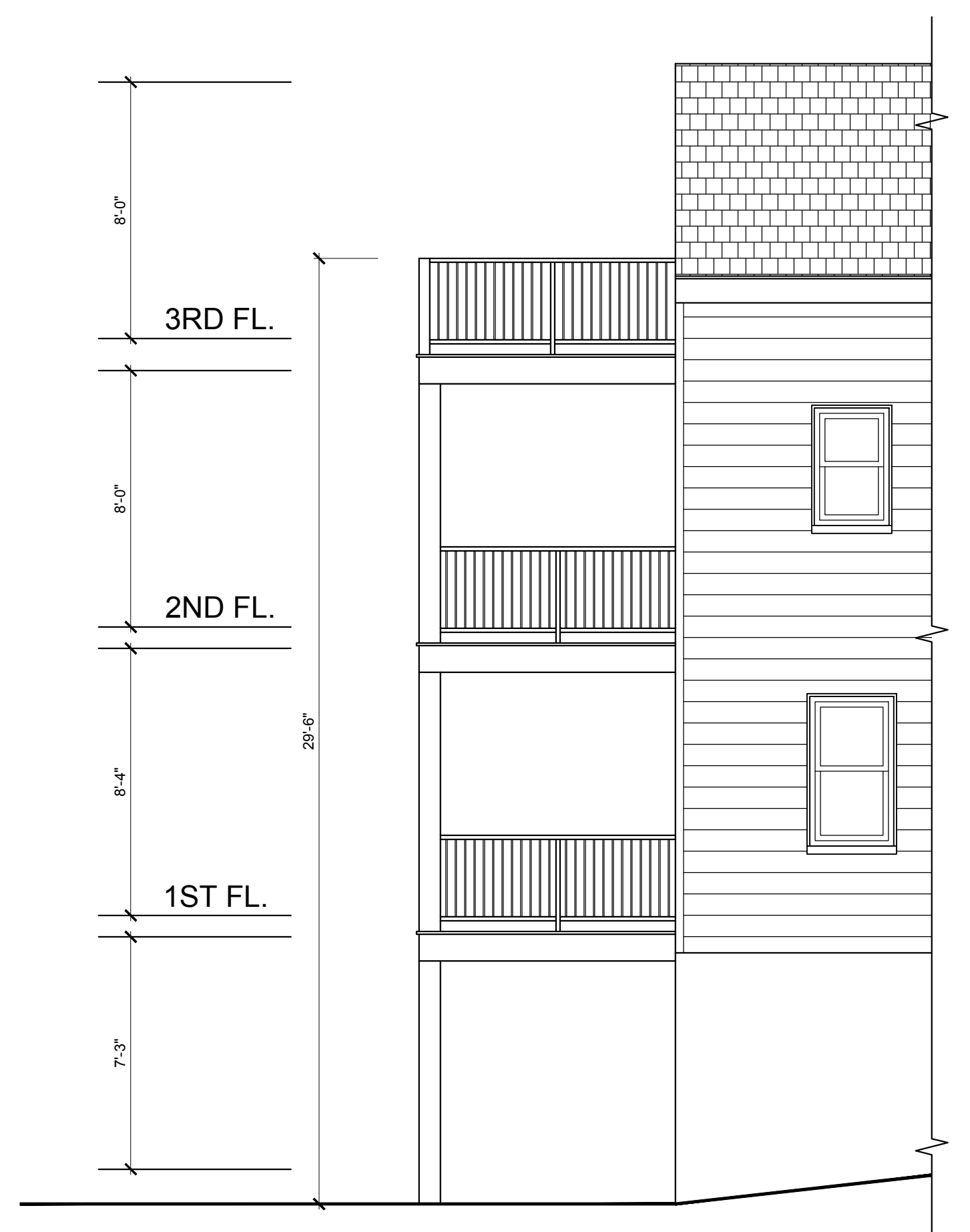
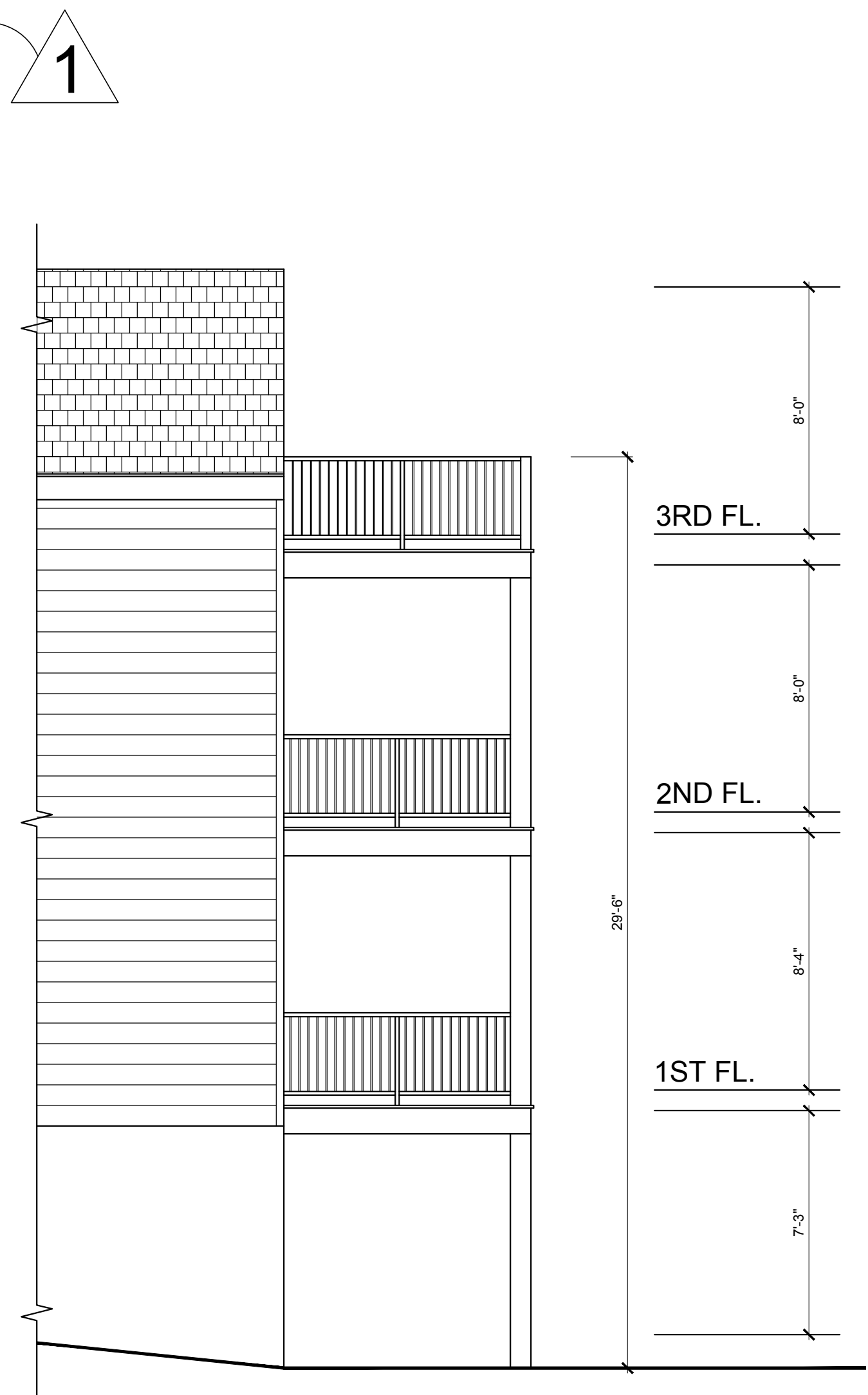
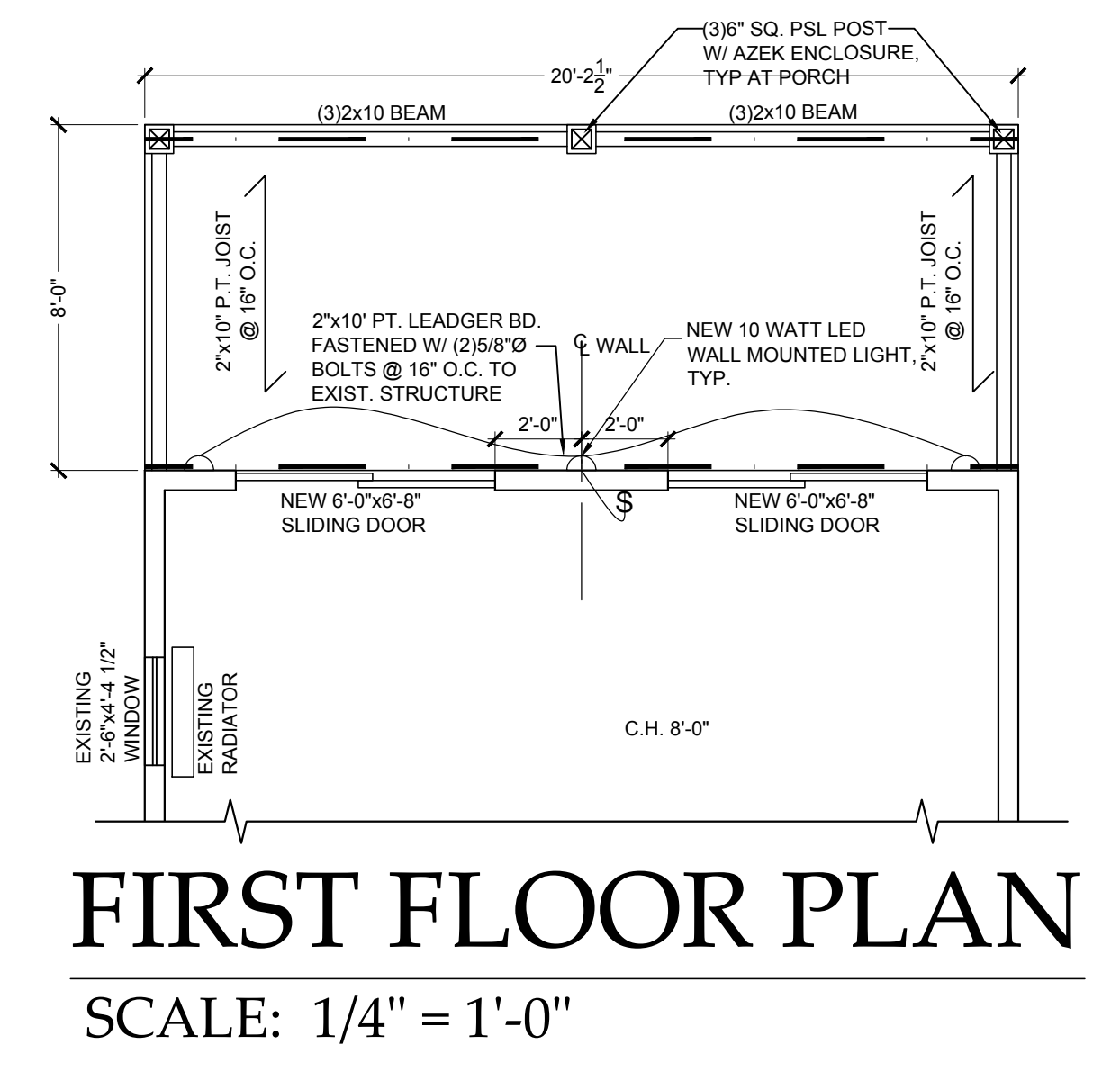
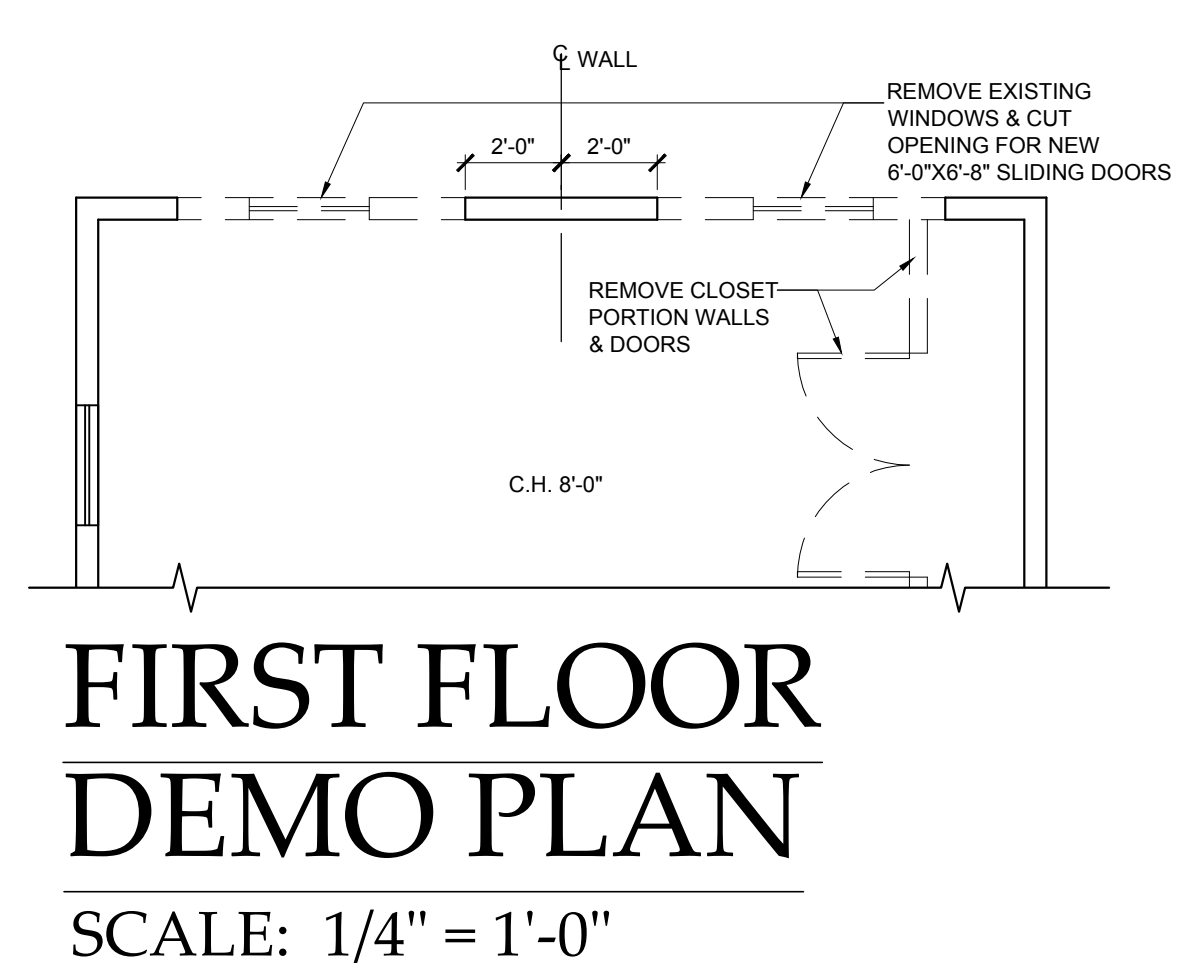
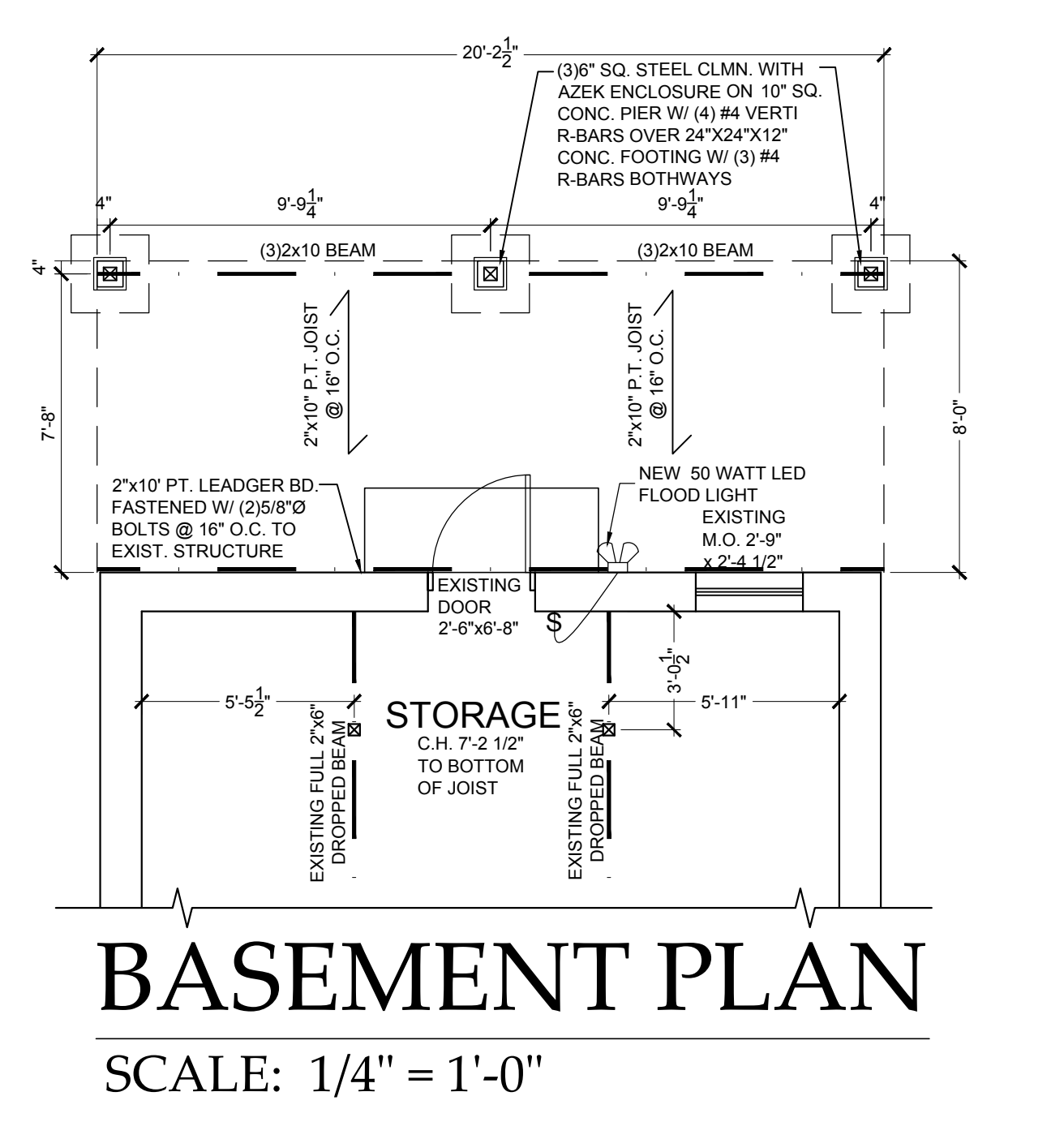
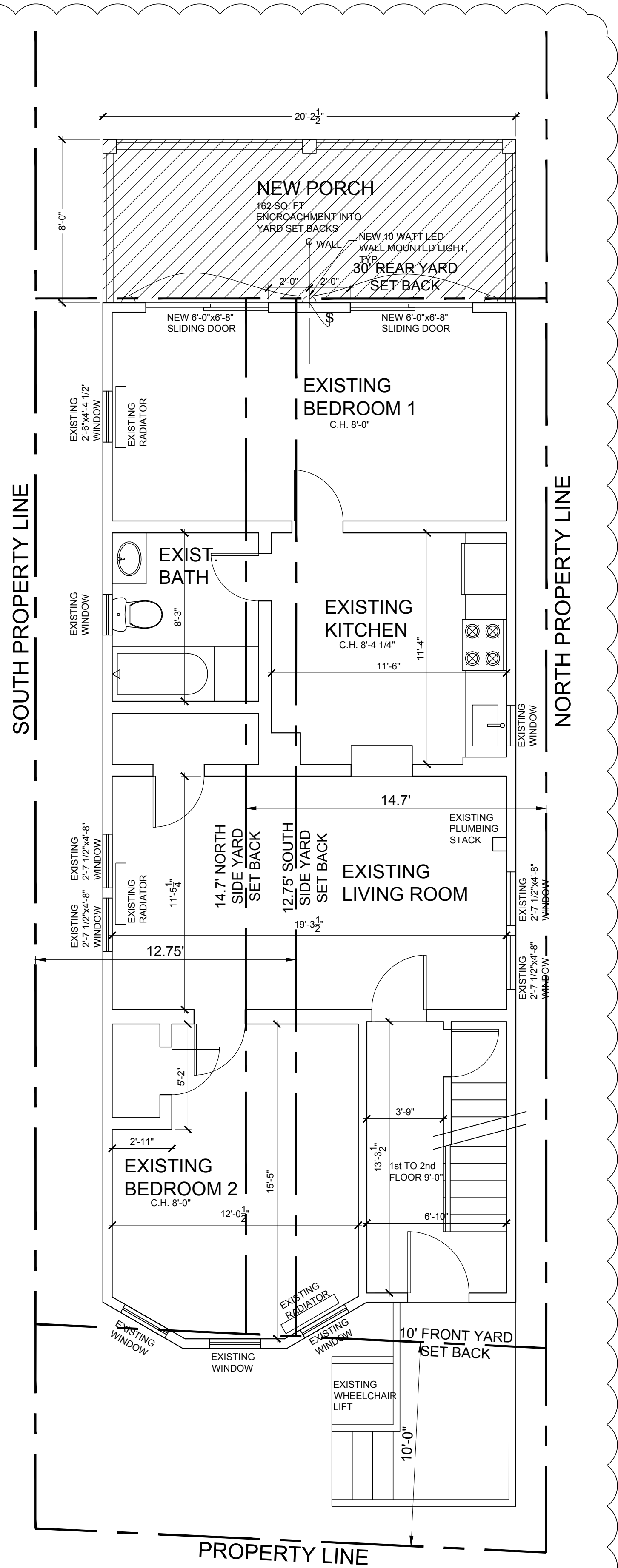
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Drawing Title: VIEW PRESERVATION STUDY 1 on WILLIAM STREET
Scale: AS SHOWN

A-6



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DATE: 9-15-15
DESIGN DRAWINGS: 9-15-15
BUILDING PERMIT SUBMISSION: 9-17-15
ZONING BOARD SUBMISSION: 9-17-15
PLANNING BOARD SUBMISSION: 9-17-15
AMENDED PLANNING & ZONING BOARD SUBMISSION: 10-1-15

Drawing Title: BASEMENT PLAN
Scale: AS SHOWN

A-1

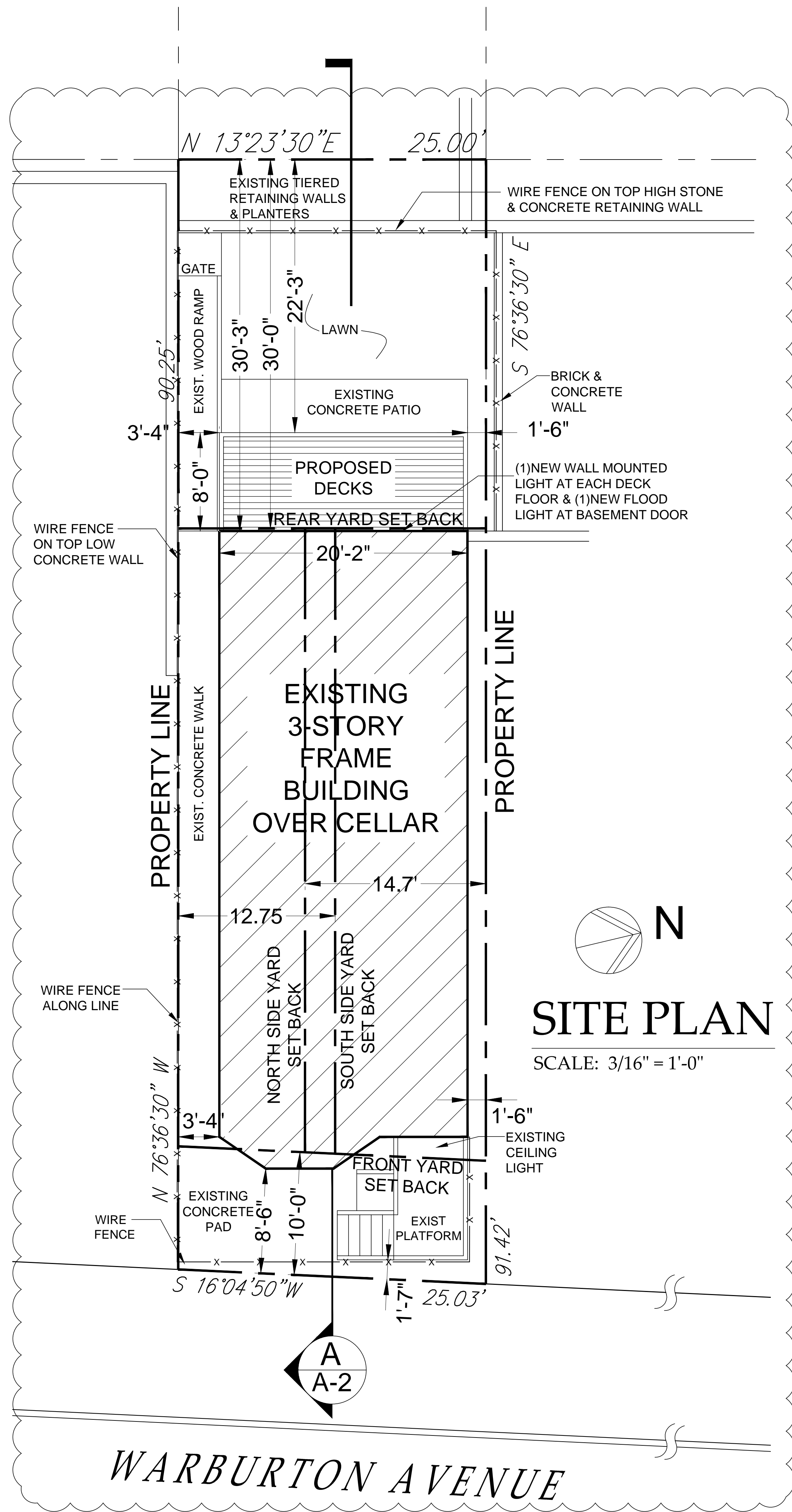
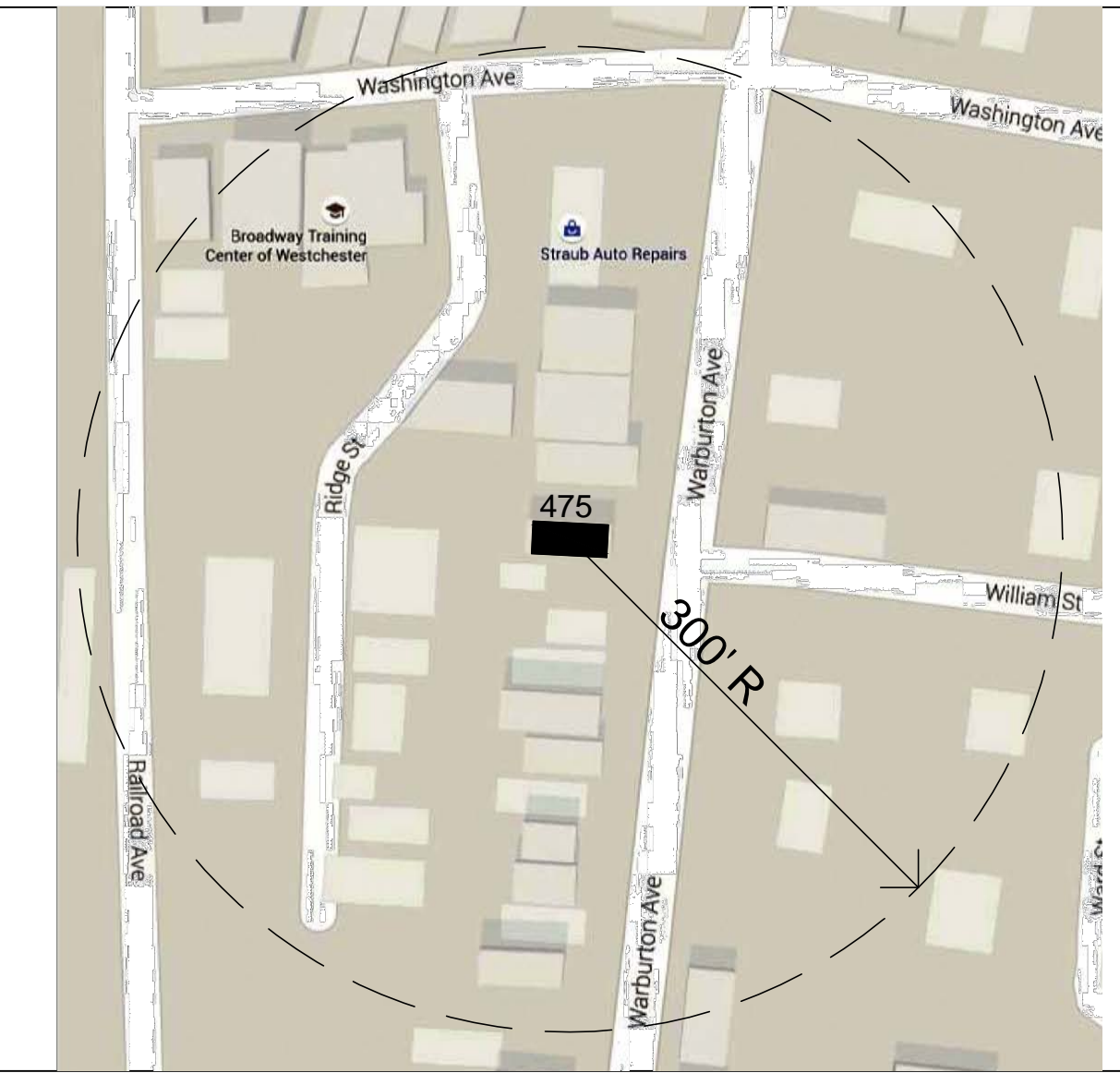


TABLE of ZONING DATA

ZONING DISTRICT: MR-O			
	REQUIRED	EXISTING	PROPOSED
LOT AREA 5,000 SF FOR FIRST (2) UNITS + 1,500 SF FOR EACH ADD'L UNIT	6,500 SF	2,271 SF	2,271 SF
MAXIMUM BUILDINGS & STRUCTURES COVERAGE	50% (1,135 SF)	47.9% (1,087 SF)	55% (1,247 SF) VARIANCE REQUIRED
MINIMUM LOT WIDTH FRONTAGE	50	25.03 FT	25.03 FT
MAXIMUM BUILDING HEIGHT	3-STORY / 40 FT	3-STORY / 35.5 FT	3-STORY / 35.5 FT
FRONT YARD SETBACK	10 FT	1.6 FT TO PLATFORM / 8.5 FT TO HOUSE	1.6 FT TO PLATFORM / 8.5 FT TO HOUSE *
REAR YARD SETBACK	30 FT	30.25 FT	30.25 FT TO BUILDING / 22.25 FT TO DECKS VARIANCE REQUIRED
NORTH SIDE	12' OR 1/2 THE HEIGHT OF THE NEAREST BLDG WALL WHICHEVER IS GREATER 14.7 FT (1/2 THE HEIGHT OF THE GRADE TO TOP OF NEW PORCH RAIL)	1.5 FT	1.5 FT*
SOUTH SIDE	12' OR 1/2 THE HEIGHT OF THE NEAREST BLDG WALL WHICHEVER IS GREATER 12.75 FT (1/2 THE AVERAGE GRADE TO TOP OF NEAREST BLDG WALL)	3.3 FT	3.3 FT*

* EXISTING NON-CONFORMING SETBACK

LOCATION MAP



SCHEDULE of LIGHT FIXTURES

SYMBOL	TYPE/DESIGN	DIRECTION	POWER	TIMER
	WALL MOUNT	MULTI-DIRECTIONAL	10 WATT LED	NO
	FLOOD LIGHT	MULTI-DIRECTIONAL	50 WATT LED	NO

LIST of DRAWINGS

S-1	SITE PLAN, ZONING COMPLIANCE, GENERAL NOTES, ZONING DATA, CLIMATIC & GEOGRAPHIC CRITERIA, LIST OF DRAWINGS, DATES
A-1	TYPICAL FLOOR PLAN, BASEMENT, FIRST FLOOR DEMO PLAN, FIRST FLOOR PLAN, NORTH, WEST & SOUTH ELEVATIONS
A-2	SECTION THROUGH SITE
A-3	VIEW PRESERVATION
A-4	VIEW PRESERVATION
A-5	VIEW PRESERVATION
A-6	VIEW PRESERVATION

DATES

DESIGN DRAWINGS	9-15-15
BUILDING PERMIT SUBMISSION	9-17-15
ZONING BOARD SUBMISSION	9-17-15
PLANNING BOARD SUBMISSION	9-17-15
AMENDED PLANNING & ZONING BOARD SUBMISSION	9-25-15

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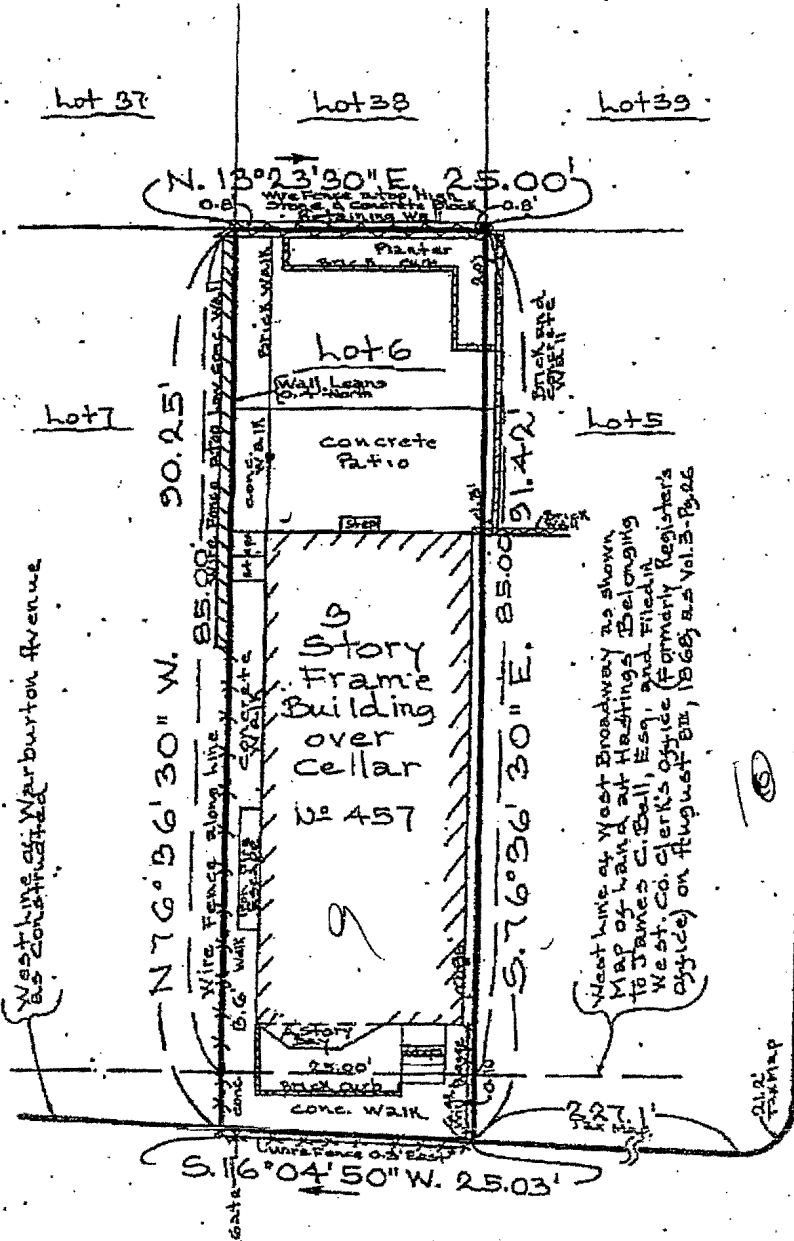
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 AMENDED PLANNING & ZONING BOARD SUBMISSION: 9-25-15
 Drawing Title: SITE PLAN SECTION
 Scale: AS SHOWN

S-1



Note: lot #8 shown thus they appear on File Map Vol 10 Page 26 Map of hand at Hastings belonging to James C. Bell, Esq.



SURVEY OF No. 457 Warburton Avenue AS SHOWN ON THE OFFICIAL CITY TAX MAP AS Tax Lot 11-BLOCK 618 SECTION 10 SITUATED IN VILLAGE OF HASTINGS-CORHUDSON, WEST CO., N.Y. FILED IN THE COUNTY CLERK'S OFFICE

GUARANTEED TO EDWARD G. Mihalczko, Precise/Care Plot/Track Corp, Commercially Licensed Surveyor, 24 Berkshire Rd., Yonkers, N.Y. 10710-1214. Licensed in the State of New York No. 91638-ENY

EDWARD G. Mihalczko, N.Y.S. Lic. # 98181 24 BERKSHIRE RD., YONKERS, N.Y. 10710-1214

All certifications hereon are valid for the map and copies thereof only if said map or copies bear the initials of the Surveyor.

Washington Avenue

Survey has been based on existing session of adjoining owners, previous maps in vicinity by subscriber and by his. Owing to lack of a recent date of map referred to hereon and monuments locality, different opinions as to the position lines by surveyors by be expected up to

CONTRACTOR OR CERTIFICATES ARE NOT TRANSMITTED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR. CONSTRUCTION OF THIS DOCUMENT IN ANY WAY SHALL BE THE SOLE RESPONSIBILITY OF THE PARTY CONCERNED AT THE TIME.

Warburton Avenue

3 LOTS = 75' x

457 Warburton Avenue.
 MR-0 ZONE SHT. 7 / B/LK 618 / LOT 11 (9, 10, maybe 11 + 2 other lots)