

**AFFIDAVIT OF APPLICANT**

I: **Jim Metzger** being duly sworn, depose and says: That s/he does business as: **Jim Metzger Architect** with offices at: **427 Warburton Avenue #2** and that s/he is:

- The owner of the premises described herein.
- The \_\_\_\_\_ of the New York Corporation \_\_\_\_\_ with offices at: \_\_\_\_\_ duly authorized by resolution of the Board of Directors, and that said Corporation is duly authorized by the Owner to make this application.
- A General Partner of \_\_\_\_\_ with offices at \_\_\_\_\_ and that said Partnership is duly authorized by Owner to make this application.
- The Lessee of the premises, duly authorized by the owner to make this application.
- The Architect or Engineer duly authorized by the owner to make this application.
- The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Hastings-on-Hudson Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 21<sup>st</sup> day of Aug of 2015

Mary Ellen Ballantine  
Notary Public/ Comm. of Deeds



Jim Metzger  
Applicant's Signature

**OWNER'S AUTHORIZATION**

I: **CURTIS, MICHAEL J & DENATALE, NANCY** as the owner of the subject premises and have authorized the applicant named above to submit this application on my behalf.

Sworn to before me this 21<sup>st</sup> day of Aug 15

\* Property owner's email 328 WARBURTON@gmail.com

Mary Ellen Ballantine  
Notary Public/ Comm. of Deeds



[Signature]  
Owner's Signature

\* Property owner's email address is required and will be used only to send updates about this permit application.

VILLAGE OF HASTINGS-ON-HUDSON  
Application for the Planning Board Review/Action  
for Site Plan, Subdivision  
Steep Slopes and/or View Preservation



STATE OF NEW YORK  
COUNTY OF WESTCHESTER ss.:

The undersigned applicant states that he/she has read all applicable code sections of the Village of Hastings-on-Hudson and is herewith submitting this application complete with all such documentation and information as is necessary and required under the code and is hereby requesting the aforementioned action/approval/s by the Planning board of the Village of Hastings-on-Hudson.

Sworn to before me this 21<sup>st</sup> day  
of August, 2015

Mary Ellen Ballantine  
Notary Public



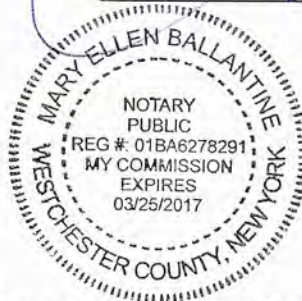
[Signature]  
Signature of the Applicant

STATE OF NEW YORK  
COUNTY OF WESTCHESTER

Name : NANCY DENATALE, being duly sworn, deposes and says that he/she resides at 328 WARBURTON AVENUE HASTINGS ON HUDSON in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 96 Block 4 and Lot 4.100 of the tax map, and that he/she hereby authorized JIM METZGER to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

Sworn to before me this 21<sup>st</sup> day  
of August, 2015

Mary Ellen Ballantine  
Notary Public



[Signature]  
Signature of the Owner

~~Submit eleven (11) sets of this application with all necessary documents, plans, surveys, photographs, applicable checklists and any other data that you deem critical to make your case before the Planning Board.~~

# CURTIS DE NATALE RESIDENCE

" SITE WORK / CELLAR ADDITION "

328 WARBURTON AVE.

HASTINGS-ON-HUDSON, NY 10706

PREPARED BY:

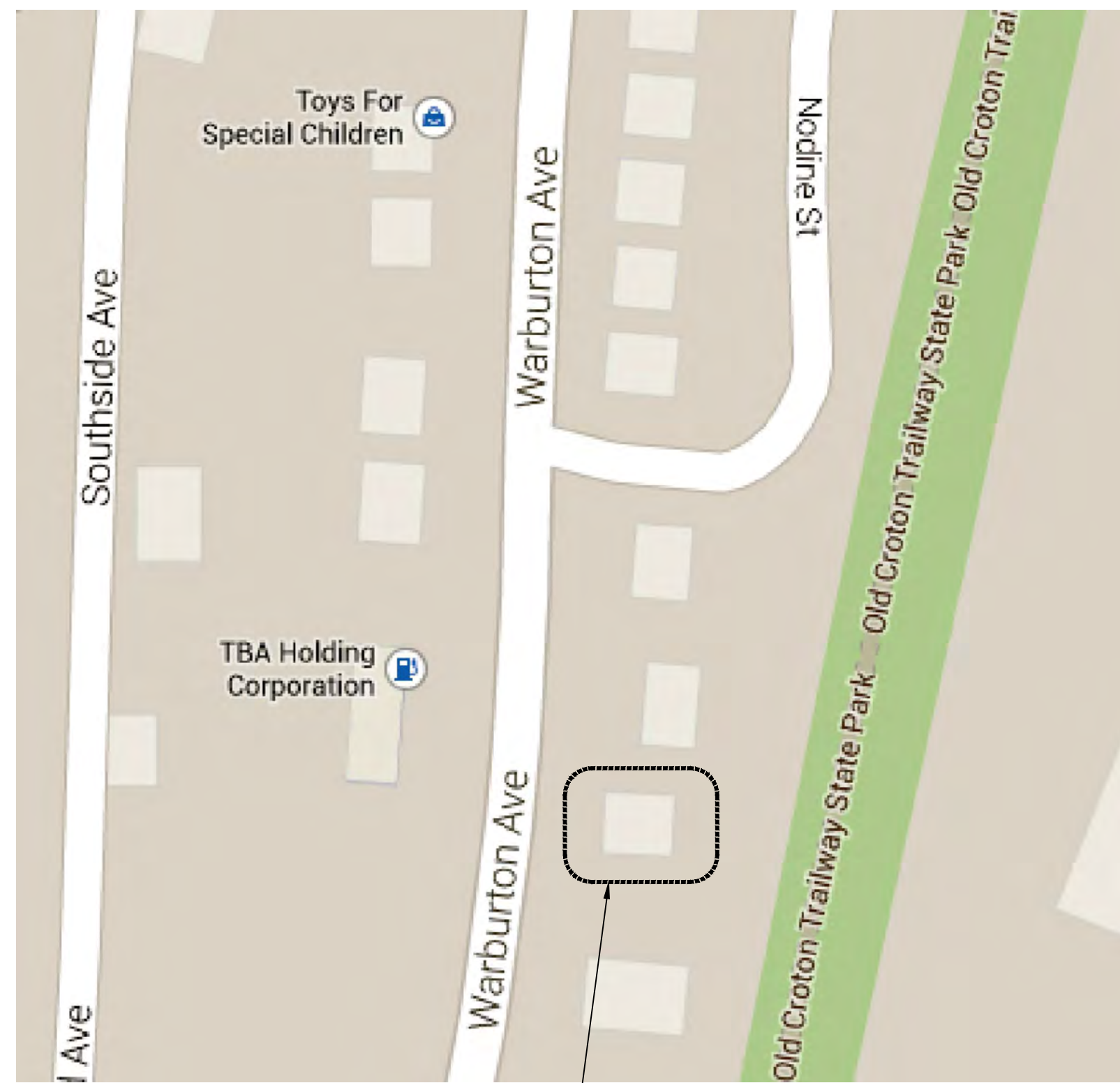


36 Grist Mill Lane  
Pleasant Valley, NY 12569  
845.635.1444  
(845) 605-5001

⊗  
P.O. Box 1116  
Millbrook, NY 12545  
845.677.6768  
www.connollyengineering.com

PROJECT:

CURTIS DE NATALE RESIDENCE  
" SITE WORK / CELLAR ADDITION "



SITE PLAN

AREA OF WORK



SITE MAP

SITE



SHEET NO.	DRAWING NAME	12/2/14	2/10/15	5/12/15	
T001.00	TITLE SHEET	•	•	•	
N001.00	GENERAL NOTES	•	•	•	
S201.00	CONSTRUCTION PLAN	•	•	•	
S202.00	CONSTRUCTION PLAN	•	•	•	
S301.00	SECTIONS		•	•	
S302.00	SECTIONS		•	•	
S401.00	DETAILS		•	•	

SHEET INDEX

DESCRIPTION	DATE
ISSUED FOR REVIEW	5-12-15

DRAWN BY:  
CHECKED BY: DTC

SHEET TITLE:

TITLE SHEET

SHEET NO.:

**T001.00**  
SHEET 1 OF 7

**SYMBOL & ABBREVIATIONS**

SYMBOL	ABBREVIATION	DESCRIPTION
—	ADDL	ADDITIONAL
—	ARCH	ARCHITECT
—	BFE	BOTTOM OF FOOTING/FNDN. ELEVATION
—	BOTT	BOTTOM
—	CJ	CONTRACTION (CONTROL) JOINT
—	CONT	CONTINUOUS
—	CONST	CONSTRUCTION JOINT
—	D	DEEP/DEPTH
—	DWG.	DRAWING
—	EF	EACH FACE
—	ELEV	ELEVATION
—	EQ	EQUAL
—	EXIST	EXISTING
—	FG	FINISH GRADE
—	FIN FL	FINISH FLOOR
—	FND	FOUNDATION
—	H	HIGH/HEIGHT
—	IF	INSIDE FACE
—	IFP	INSIDE FOOTING PROJECTION
—	L	LENGTH/LONG
—	LMF	LIGHT (GAGE) METAL FRAMING
—	LVL	LAMINATED VENEER LUMBER
—	MAX	MAXIMUM
—	MIN	MINIMUM
—	MO	MASONRY OPENING
—	OC	ON CENTER
—	OF	OUTSIDE FACE
—	OFP	OUTSIDE FOOTING PROJECTION
—	REFN	REINFORCING
—	SM	SIMILAR
—	T	THICKNESS/THICK
—	TOS	TOP OF STRUCTURAL STEEL ELEVATION
—	TPE	TOP OF PIER ELEVATION
—	TOS	TOP OF STRUCTURAL SLAB ELEVATION
—	TSIE	TOP OF SHELF ELEVATION
—	TOW	TOP OF WALL ELEVATION
—	TYP	TYPICAL
—	UN	UNLESS OTHERWISE NOTED
—	VP	VAPOR BARRIER
—	W	WIDTH/WIDE
—	WWF	WELDED WIRE FABRIC
■	—	EARTH
■	—	BRICK
■	—	CONCRETE
■	—	CMU
■	—	GRAVEL
■	—	RIGID INSULATION
■	—	WOOD

**GENERAL NOTES**

- THE FOLLOWING REQUIREMENTS ALONG WITH THE DRAWINGS AND PROJECT SPECIFICATIONS SHALL BE COORDINATED AND SHALL APPLY TO THIS STRUCTURE AND OTHER REQUIRED ASSOCIATED WORK.
- ALL WORK, TESTING, MATERIALS, ETC. SHALL BE IN ACCORDANCE WITH THE LATEST BUILDING CODE AND WITH THE REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- IF ANY FIELD CONDITIONS PRECLUDE COMPLIANCE WITH THE DRAWINGS AND/OR CONDITIONS SPECIFIED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH ANY WORK THAT WOULD BE AFFECTED UNTIL FORMALLY DIRECTED BY THE ENGINEER ON HOW TO PROCEED.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO THE FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.
- ALL SHOP DRAWINGS FOR STEEL REINFORCING BARS, STRUCTURAL STEEL, LIGHT STEEL FRAMING MEMBERS, AND STEEL DECK INDICATING THE FABRICATOR MANUFACTURER, FINISH, LAYOUT, AND ALL ACCESSORIES MUST BE SUBMITTED TO AND BE CHECKED BY THE CONTRACTOR AND BEAR THE CHECKERS INITIALS BEFORE SUBMISSION TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. SEE SPECIFICATIONS FOR SHOP DRAWING SUBMITTAL REQUIREMENTS.
- INCORRECTLY FABRICATED, DAMAGED OR OTHERWISE MISALIGNED OR NON-CONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO REMEDIAL OR CORRECTIVE ACTION.
- THE STRUCTURAL DRAWINGS SHALL BE COORDINATED WITH THE ARCHITECTURAL, M/E/P DRAWINGS (INCLUDING ALL CONTRACT SHOP DRAWINGS) AND EQUIPMENT MANUFACTURERS TO ENSURE THAT OPENINGS, ANCHORS, INSERTS, SLEEVES, ATTACHMENTS, ETC. ARE PROVIDED AS REQUIRED. SOME OF THE DETAILS OF THE WORK ARE SHOWN ON THESE DRAWINGS AND SHOULD BE CAREFULLY REVIEWED BY THE CONTRACTOR TO FULLY COMPREHEND THE FULL SCOPE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND COORDINATING ALL DIMENSIONS WITH THE ARCHITECTURAL AND M/E/P DRAWINGS. IN CASE OF CONFLICT, THE CONTRACTOR SHALL IMMEDIATELY REQUEST A CLARIFICATION FROM THE ARCHITECT / ENGINEER.
- THE CONTRACTOR SHALL MAKE NO DEVIATION FROM THE DESIGN DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT / ENGINEER.
- IN CASE OF CONFLICT BETWEEN NOTES, DETAILS AND SPECIFICATIONS, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
- THIS STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER CONSTRUCTION OF THE STRUCTURE HAS BEEN COMPLETED. THE STABILITY OF THE STRUCTURE PRIOR TO COMPLETION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LACK OF COMMENT BY THE ARCHITECT / ENGINEER IS NOT TO BE INTERPRETED AS APPROVAL OF THOSE ASPECTS OF WORK.
- LOADS APPLIED TO THE STRUCTURE DURING CONSTRUCTION SHALL NOT EXCEED THE SAFE LOAD-CARRYING CAPACITY OF THE STRUCTURE AS INDICATED BY THE SCHEDULED LIVE LOADINGS SHOWN ON THE DRAWINGS.

**FOUNDATION AND EXCAVATION:**

- THE FOUNDATION DESIGN IS A 2000 PSF BEARING CAPACITY. THE CONTRACTOR SHALL CONFIRM.
- ALL WATER AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE BOTTOM OF THE EXCAVATION BEFORE COMPACTING SUBGRADE AND PLACING CONCRETE OR GRANULAR FILL. GROUND WATER SHALL BE KEPT A MINIMUM OF 2' BELOW NEW FOUNDATIONS / FOOTINGS UNTIL CONCRETE IS CURED.
- FOUNDATION WALLS AND FOOTINGS SHALL BEAR ON COMPACTED GRAVEL CUSHION PAD PLACED ON UNDISTURBED OR PROPERLY COMPACTED NATIVE SOIL LON.
- THE CAST-IN-PLACE SLAB-ON-GRADE SHALL BE PLACED ON A 6 MIL POLYETHYLENE VAPOR BARRIER OVER 6" MINIMUM OF COMPACTED GRANULAR FILL LON ON THE DRAWINGS.
- COMPACTED GRANULAR FILL SHALL CONSIST OF BROKEN OR CRUSHED STONE, OR BANK OR CRUSHED GRAVEL AND SHALL CONSIST OF SOUND, TOUGH DURABLE PARTICLES FREE FROM SOFT, THIN, ELONGATED OR LAMINATED PIECES AND FREE OF MUD, DIRT, VEGETATIVE OR OTHER DELETERIOUS SUBSTANCES GRADED AS FOLLOWS:  
  

SQUARE MESH SIZE:	PERCENT PASSING BY WEIGHT:
PASS #1	100
PASS #40	10-70
PASS #200	0-11
- THE COMPACTION EFFORT, WHERE REQUIRED, SHALL BE PLACED IN MAXIMUM 8" LIFTS BEFORE COMPACTION. EACH LIFT SHALL BE COMPACTED WITH APPROPRIATE EQUIPMENT TO A MINIMUM OF 95% OF ITS MAXIMUM DENSITY AT OR NEAR OPTIMUM MOISTURE. NO LIFTS SHALL BE PLACED WHEN WEATHER CONDITIONS ARE SUCH THAT THE MOISTURE CONTENT OF THE MATERIAL CANNOT BE PROPERLY CONTROLLED. IN PLACING OR COMPACTING MATERIAL, DO NOT DAMAGE NOR DISPLACE CONCRETE WORK ALREADY IN PLACE BY CONTACT WITH COMPACTION MACHINERY.
- ALL SOIL SURROUNDING AND UNDER NEW AND EXISTING FOUNDATIONS SHALL REMAIN UNDISTURBED THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LIMITING POURS TO MINIMIZE SHRINKAGE CRACKING. WALL CONTRACTION AND/OR CONSTRUCTION JOINTS SHALL BE SPACED AT A MAXIMUM DISTANCE OF 40'-0". SLAB CONTRACTION AND/OR CONSTRUCTION JOINTS SHALL BE SPACED AT A MAXIMUM DISTANCE OF 15'-0". THE LOCATION AND CONFIGURATION OF JOINTS EXPOSED TO VIEW SHALL BE COORDINATED WITH THE ARCHITECT.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF ALL SLOTS, PIPE, SLEEVES, OPENINGS, ANCHOR BOLTS, ETC. AS REQUIRED FOR THE BUILDING STRUCTURE AND FOR THE WORK OF OTHER TRADES BEFORE SETTING FORMS. COORDINATE ALL REQUIREMENTS WITH THE ARCHITECTURAL AND M/E/P DRAWINGS.
- VERTICAL CONSTRUCTION JOINTS IN WALLS SHALL BE USED ONLY WHEN UNAVOIDABLE AND SHALL BE LOCATED A MINIMUM 6'-0" FROM ANY SUPPORTING PIER OR BUTTRESS, EXCEPT WHERE SPECIFICALLY SHOWN ON THE DRAWINGS. NO HORIZONTAL CONSTRUCTION JOINTS OTHER THAN THOSE SHOWN ON THE DRAWINGS WILL BE ALLOWED.
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY MEASURES TO SAFEGUARD THE STRUCTURAL INTEGRITY OF ADJACENT STRUCTURES DURING EXCAVATION AND CONSTRUCTION OF NEW FOUNDATIONS.
- ALL EXISTING CONDITIONS DEPICTED ON THE DRAWINGS ARE BASED ON INFORMATION PROVIDED BY OTHERS. ANY UNUSUAL CONDITIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.
- AT NO TIME SHALL BULLDOZERS, TRUCKS OR OTHER HEAVY CONSTRUCTION EQUIPMENT BE PERMITTED CLOSER THAN 8'-0" TO ANY FOUNDATION WALL.
- ALL EXCAVATIONS SHALL CONFORM TO THE BUILDING CODE OF THE STATE OF NEW YORK AND TO ALL OSHA REQUIREMENTS REGARDING THE BRACING, SHEETING, SHORING, ETC.
- ALL EXISTING FOUNDATIONS WERE DESIGNED AND CONSTRUCTED BY OTHERS.

**CONCRETE:**

- ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ACI BUILDING CODE (ACI 318), THE ACI DETAILING MANUAL (ACI 315), AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301).
- ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE ACI DETAILING MANUAL SP-66 (LATEST REVISION)
- MINIMUM COMPRESSIVE STRENGTH (f<sub>c</sub>)**  

FOUNDATIONS	4000 PSI
SLAB-ON-GRADE	4000 PSI
WALLS	4000 PSI
SLAB ON STEEL DECK	5000 PSI
- THE FOLLOWING MINIMUM CONCRETE COVER TO REINFORCEMENT SHALL BE PROVIDED:  

FOOTINGS	3"
SLABS AND WALLS (EXPOSED TO EARTH, LIQUID OR WEATHER)	2"
CHIEFS, BEAMS OR COLUMNS (NOT EXPOSED TO EARTH, LIQUID OR WEATHER)	1 1/2"
SLABS ON GRADE	2" (FROM TOP)
SLABS AND WALLS (NOT EXPOSED TO EARTH, LIQUID OR WEATHER)	1 1/2"
- CONCRETE SLUMP SHALL BE MEASURED IN ACCORDANCE WITH ASTM C143 AND RANGE BETWEEN 1" TO 3".
- ALL NON-SHRINK GROUT SHALL BE OF NON-SHRINKAGE TYPE WITH A MINIMUM COMPRESSIVE STRENGTH OF 7,500 PSI AT 28 DAYS.
- NO WELDING OF REINFORCING WILL BE PERMITTED.
- ALL CONCRETE FORMWORK SHALL REMAIN IN PLACE FOR A MINIMUM 7 DAYS AND CONFORM TO ACI HOT AND COLD WEATHER CONCRETING REQUIREMENTS AS NECESSARY.
- ALL REINFORCING BARS SHALL BE SECURELY HELD IN PLACE WHILE POURING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STRUTS SHALL BE FURNISHED BY THE CONTRACTOR TO PROVIDE PROPER SUPPORT FOR ALL BARS.
- ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH STEEL CONFORMING TO ASTM DESIGNATION OF 65 GRADE OR WELDED WIRE FABRIC (WWF) AND SHALL COMPLY WITH ASTM A185.
- LAP ALL BARS MINIMUM 48 DIAMETERS UNLESS OTHERWISE NOTED ON DRAWINGS. LAP ALL WWF A MINIMUM OF 12 INCHES (UNLESS OTHERWISE NOTED).
- ALL MECHANICAL COUPLERS SHALL DEVELOP 125 % OF REBAR IN TENSION OR COMPRESSION AND COMPLY WITH ACI 318.
- THE NEW CONCRETE SLABS SHALL BE PROTECTED FROM LOSS OF SURFACE MOISTURE FOR NOT LESS THAN 7 DAYS BY USING A CURING COMPOUND CONFORMING TO ASTM C309 OR BY WET BURLAP OR A PLASTIC MEMBRANE. CURING SHALL BE IN ACCORDANCE WITH ACI SPECIFICATIONS.
- DOVELS FROM FOUNDATIONS OR SLABS TO WALLS SHALL MATCH WALL REINFORCING, UNLESS OTHERWISE NOTED. DOVELS SHALL BE PLACED BEFORE CONCRETE IS POURED. THEY SHALL NOT BE PUSHED INTO THE CONCRETE.
- PROVIDE 1/2" CHAMFER AT ALL EXPOSED CORNERS OF BEAMS, WALL, ETC.

**CONCRETE FINISHES:**

THE EXPOSED CONCRETE AFTER COMPLETION OF WORK WILL BE THE PERMANENT FINISH. THE OWNER / ARCHITECT HAVE REQUESTED A SMOOTH "AS-CAST" FINISH. THE ARCHITECT, OWNER, AND CONTRACTOR SHALL COORDINATE FOR FINISH.

THE CONTRACTOR SHALL PROVIDE A MOCK-UP FOR APPROVAL FROM THE ARCHITECT / OWNER PRIOR TO POUR TO OBTAIN A RESULT ACCEPTABLE. THE FIELD MOCKUPS SHALL USE THE SAME PROCEDURES, EQUIPMENT, AND MATERIALS THAT WILL BE USED FOR PRODUCTION OF CAST-IN-PLACE ARCHITECTURAL CONCRETE. FIELD MOCKUPS SHALL BE USED AS A SAMPLE OF ACCEPTABLE QUALITY OF FINISHED PRODUCT.

IN ADDITION, THE CONTRACTOR SHALL PROVIDE A SIMULATED REPAIR AREA TO DETERMINE AN ACCEPTABLE REPAIR PROCEDURE. REPAIR PROCEDURE SHALL BE SUITABLE TO PROVIDE AN ACCEPTABLE COLOR AND TEXTURE MATCH. MAINTAIN AND PROTECT MOCKUPS UNTIL FINAL ACCEPTANCE OF ARCHITECTURAL CONCRETE.

**CONCRETE MASONRY:**

- ALL MASONRY DESIGN AND PLACEMENT SHALL COMPLY WITH THE LATEST EDITION OF THE ACI BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-08), ACI 530.1-08 AND ASCE BUILDING CODE REQUIREMENTS AND SPECIFICATION FOR MASONRY STRUCTURES (ASCE 5-08, ASCE 6-08)
- ALL MASONRY WALLS SHALL BE REINFORCED PER SPECIFICATION REQUIREMENTS AND AS SHOWN ON STRUCTURAL AND ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS WITH ALL OTHER TRADES.
- HOLLOW LOAD-BEARING MASONRY UNITS SHALL CONFORM TO ASTM C-90 WITH A MINIMUM COMPRESSIVE STRENGTH (f<sub>m</sub>) OF 1500 PSI AT 28 DAYS (UNLESS NOTED OTHERWISE).
- ALL MASONRY REINFORCEMENT SHALL CONFORM TO THE FOLLOWING:  
  

REINFORCEMENT STEEL:	ASTM A 615 - GRADE 60
JOINT REINFORCEMENT:	ASTM A 951
LADDER CONFIGURATION	
SIDE RODS AND CROSS RODS	W 17 (9 GAUGE) 0.148 IN DIAMETER
CROSS RODS SPACED AT 16" ON CENTER	
CORROSION PROTECTION:	
INTERIOR:	MILL GALVANIZED, ASTM A641
EXTERIOR OR HIGH HUMIDITY CONDITIONS:	HOT DIPPED GALVANIZED AFTER FABRICATION.
ZINC COATED	ASTM A153 (1.50 OZ PER SQ)
- ALL MASONRY ANCHORS SHALL CONFORM TO THE FOLLOWING:  
  

PLATE AND BENT BAR ANCHORS	ASTM A 36
SHEET METAL ANCHORS AND TIES	ASTM A 366
WIRE TIES AND ANCHORS	ASTM A 82
ANCHOR BOLTS	ASTM F1554 36KSI
- CORROSION PROTECTION:  

INTERIOR:	
SHEET METAL ANCHORS OR TIES	ASTM A 653 CLASS G60
EXTERIOR OR HIGH HUMIDITY CONDITIONS	
WIRE TIES OR ANCHORS	ASTM A 153
SHEET METAL ANCHORS OR TIES	ASTM A 153 CLASS B
STAINLESS STEEL	
PLATE AND BENT BAR ANCHORS	ASTM A 666
SHEET METAL ANCHORS AND TIES	ASTM A 667
WIRE TIES AND ANCHORS	ASTM A 580
- FILL ALL BOND BEAMS AND REINFORCED CELLS SOLIDLY WITH GROUT CONFORMING TO ASTM C476 AND SHALL OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 PSI.
- MORTAR SHALL BE MADE WITH PORTLAND CEMENT / LIME AND SHALL CONFORM TO ASTM C-270, TYPE S MORTAR BED PROVIDED SHALL BE "COMPLETE".
- UNLESS OTHERWISE INDICATED, ALL UNITS SHALL BE LAID IN RUNNING BOND. BOND CORNERS AND INTERSECTIONS OF LOAD-BEARING WALLS.
- PROVIDE VERTICAL REINFORCING AS INDICATED. PROVIDE BARS AT ALL WALL CORNERS, INTERSECTIONS AND OPENING EDGES. MASONRY WALLS SHALL BE CONSTRUCTED USING "LOW LIFT" TECHNIQUES.
- PROVIDE DOWELS FROM ALL FOUNDATIONS AND SLABS TO MATCH VERTICAL REINFORCING SIZE AND SPACING. THESE DOWELS SHALL HAVE A MINIMUM LAP LENGTH EQUAL TO 48 BAR DIAMETERS AND BE SET BEFORE CONCRETE IS PLACED TO PREVENT PUSHING THEM INTO THE CONCRETE AFTER IT IS PLACED. PROVIDE MATCHING SIZED ANCHOR RODS OR DOWELS UP INTO CMU WHERE MASONRY WALLS REST ON STRUCTURAL STEEL AND PROVIDE SOFT JOINTS PLUS MATCHING ANCHOR RODS OR DOWELS IN SLEEVES TO ALLOW FOR VERTICAL MOVEMENT WHERE MASONRY ABUTS STRUCTURAL STEEL FROM BELOW.
- PROVIDE BOND BEAM LINTELS AND BRICK SHELF ANGLES ABOVE ALL WALL OPENINGS PER DETAILS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF DOOR AND WINDOW OPENING.
- PROVIDE CMU CONTROL JOINTS AS INDICATED ON ARCHITECTURAL DRAWINGS WITH ADDITIONAL JOINTS SUCH THAT THE SPACING BETWEEN JOINTS DOES NOT EXCEED A SPACING OF ONE THIRD THE SMALLER DIMENSION OF THE WALL, WHERE BEAMS OR LINTELS BEAR AT CMU CONTROL JOINTS, OFFSET AND LAP THE VERTICAL REINFORCING AS REQUIRED.
- THE MASONRY CONTRACTOR SHALL PROVIDE ALL REQUIRED TEMPORARY WALL BRACING DURING CONSTRUCTION. SEE MISCELLANEOUS NOTES.
- INTERIOR NON-LOAD BEARING MASONRY WALLS SHALL HAVE THE FOLLOWING MINIMUM REINFORCEMENT  
  

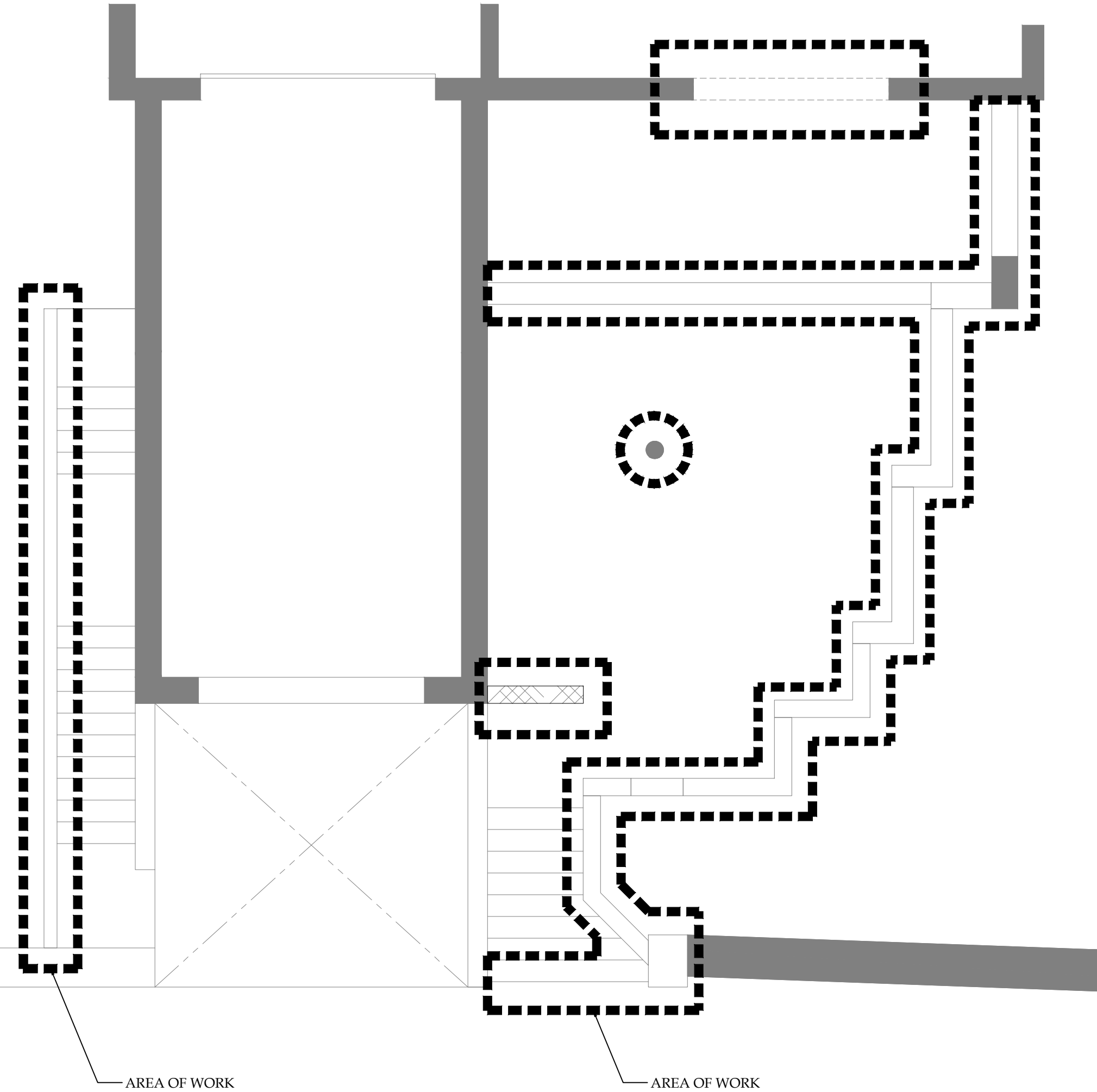
HORIZONTAL -	W17 JOINT REINFORCEMENT @ 16" OC
VERTICAL -	ONE (1) NO. 4 BAR @ 10" OC (IN ADDITION TO #9 IN THIS SECTION)

**EXISTING CONSTRUCTION:**

- PRIOR TO PROCEEDING WITH ANY WORK WITHIN THE EXISTING STRUCTURE, THE CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACING, SHORING AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND PROTECT PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.
- THE CONTRACTOR SHALL FIELD VERIFY DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW WORK WITH THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER.
- WELDING TO AND WITHIN AN EXISTING FACILITY PRESENTS POTENTIAL HAZARDS. TO PREVENT FIRE HAZARDS, PROTECT EXISTING COMBUSTIBLES PRIOR TO WELDING. TO PREVENT STRUCTURAL LOUFEACTION, WELD IN SMALL INCREMENTS AND ALL WELDS TO HARDEN BEFORE CONTINUING TO NEXT INCREMENT.
- EXISTING INFORMATION SHOWN ON THE DRAWINGS ARE SHOWN FOR REFERENCE ONLY AND ARE BASED ON EXISTING DRAWINGS AND INFORMATION PROVIDED FOR OUR USE. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND ERECTION OF ALL SHORING NECESSARY TO SAFEGUARD THE EXISTING STRUCTURE. ANY SHORING SHOWN ON THE DRAWINGS IS ONLY A SCHEMATIC REPRESENTATION OF THAT REQUIRED. THE CONTRACTOR SHALL SUBMIT DETAILED DESIGNS FOR SHORING, BRACING AND PROTECTION OF THE EXISTING CONSTRUCTION. ALL SUBMITTED SHORING DESIGNS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE AND SHALL BE SUBMITTED FOR EXAMINATION TO THE ENGINEER.

**STEEL DECK:**

- STEEL DECK SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE CURRENT SPECIFICATION OF THE STEEL DECK INSTITUTE.
- ALL STEEL DECK SHALL BE MANUFACTURED BY UNITED STEEL DECK, INC., OR APPROVED EQUAL. REFER TO THE DRAWINGS FOR TYPE, GAGE AND DEPTH OF DECKING AS WELL AS TOTAL SLAB THICKNESS.
- PROVIDE HEAVIER GAUGE STEEL DECK THAN THAT SPECIFIED IF REQUIRED FOR HEAVIER CONSTRUCTION LOADING.
- THE STEEL DECK SHALL BE SUPPLIED IN MINIMUM LENGTHS AS REQUIRED TO PROVIDE A "3-SPAN" CONDITION. PROVIDE ALL CLOSURES, ROOF SUMPS, POUR STOIPS AND ALL OTHER ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, STEEL FLOOR AND ROOF DECK SHALL BE WELDED TO SUPPORTING STEEL WITH 5/8"Ø PUDDLE WELDS AT 12" O.C. INTERMEDIATE SIDE CONNECTIONS SHALL BE MADE WITH #10 SELF-TAPPING SCREWS AT A MIDS-PAN OR 3'-0" O.C., WHICH EVER IS SMALLER. THE DECK MANUFACTURER'S RECOMMENDATION FOR FASTENING SHALL GOVERN IF MORE STRINGENT AND APPROVED BY THE ENGINEER.
- STEEL DECK SHALL BE PROTECTED BEFORE AND AFTER ERECTION AND ALL DEBRIS SHALL BE CLEANED FROM ITS SURFACE WHERE CONCRETE WILL BE POURED OR ROOFING/INSULATION IS TO BE PLACED.
- SHOP DRAWINGS INDICATING THE GAUGE, SIZE, TYPE AND LENGTH AND SHOWING THE LAYOUT OF EACH PIECE OF DECKING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. SHOP DRAWINGS SHALL CLEARLY SHOW ALL FASTENING/WELDING DETAILS TO SUPPORTING STRUCTURAL MEMBERS, SIDE LAP CONNECTION DETAILS, SUPPLEMENTARY SUPPORT/REINFORCEMENT STEEL AND THE LOCATION OF ALL REQUIRED DECK OPENINGS/PENETRATIONS AS REQUIRED.
- COORDINATE DECKING WITH ARCHITECTURAL DRAWINGS AND REQUIREMENTS.



**1 KEY PLAN**

SCALE: 1/4" = 1' - 0"

PREPARED BY:



36 Grist Mill Lane  
Pleasant Valley, NY 12569  
845.635.1444  
(845) 605-5001



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PROJECT:

**CURTIS DE NATALE RESIDENCE**  
" SITE WORK / CELLAR ADDITION "

DESCRIPTION	DATE
ISSUED FOR REVIEW	5-12-15

DRAWN BY:  
CHECKED BY: DTC

SHEET TITLE:

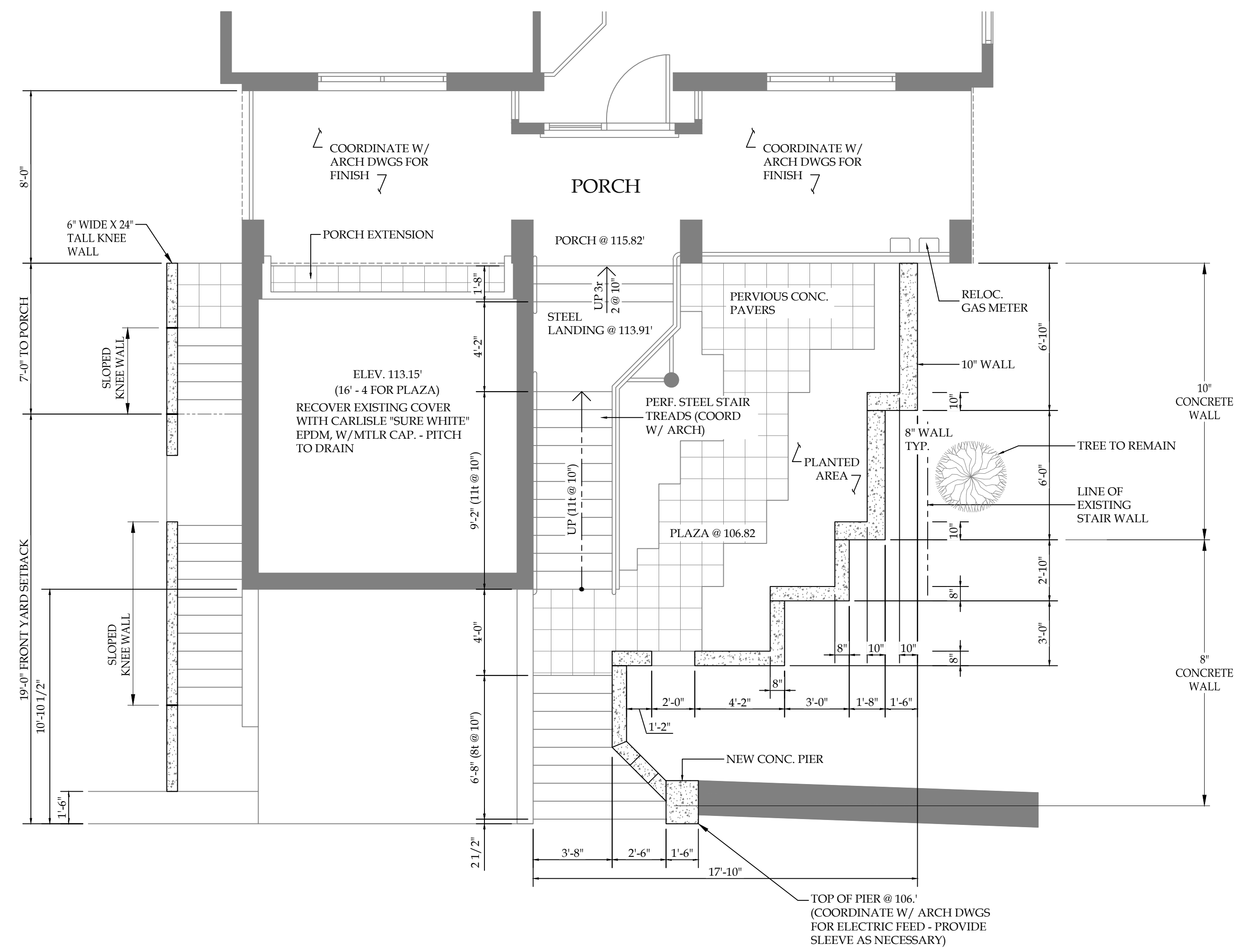
**GENERAL NOTES**

SHEET NO:  
**N001.00**  
SHEET 2 OF 7



PROJECT:

**CURTIS DE NATALE RESIDENCE**  
 " SITE WORK / CELLAR ADDITION "



**1 1ST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

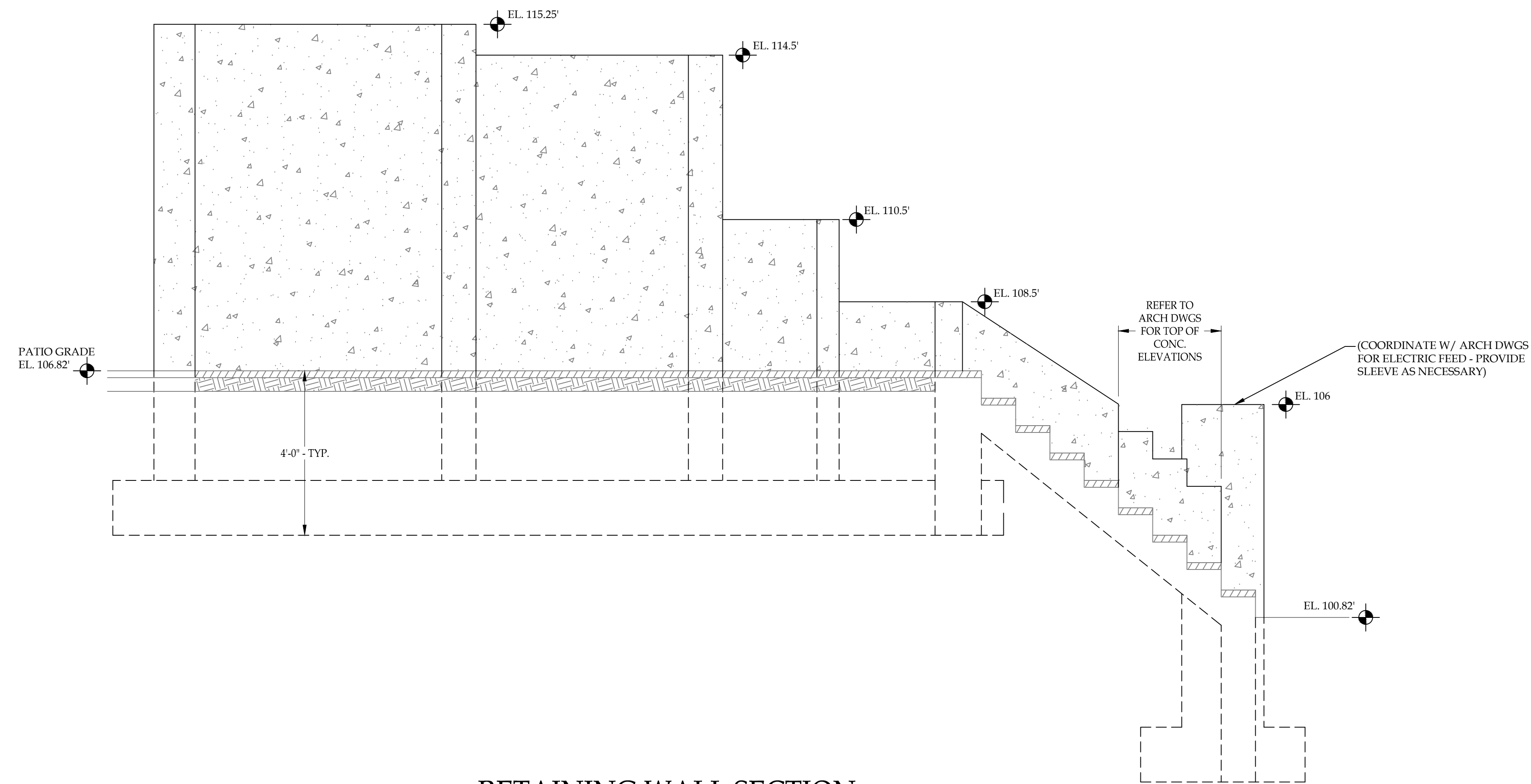
DESCRIPTION	DATE
ISSUED FOR REVIEW	5-12-15

DRAWN BY:  
 CHECKED BY: DTC

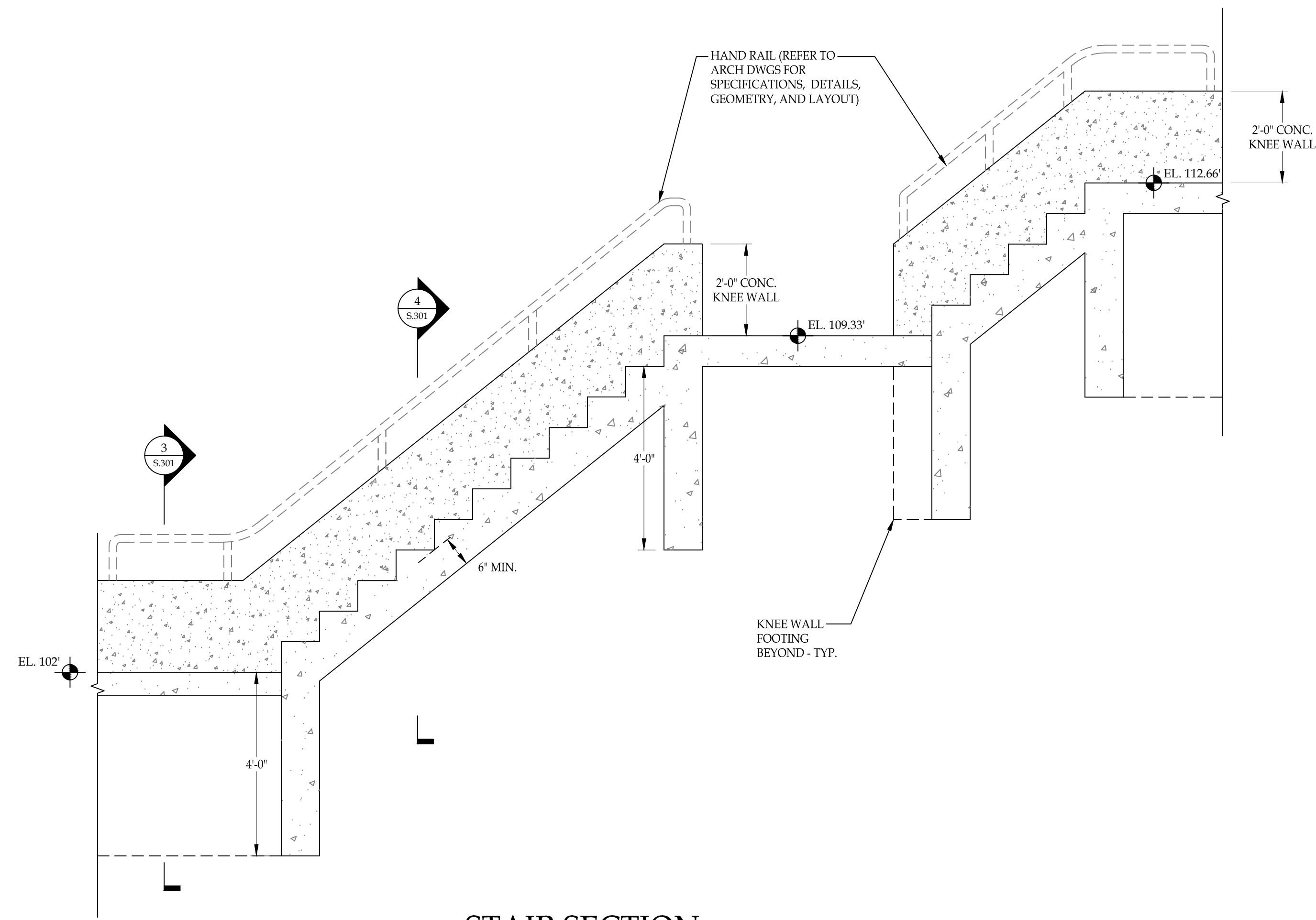
SHEET TITLE:  
**CONSTRUCTION PLAN**

SHEET NO:  
**S202.00**  
 SHEET 4 OF 7

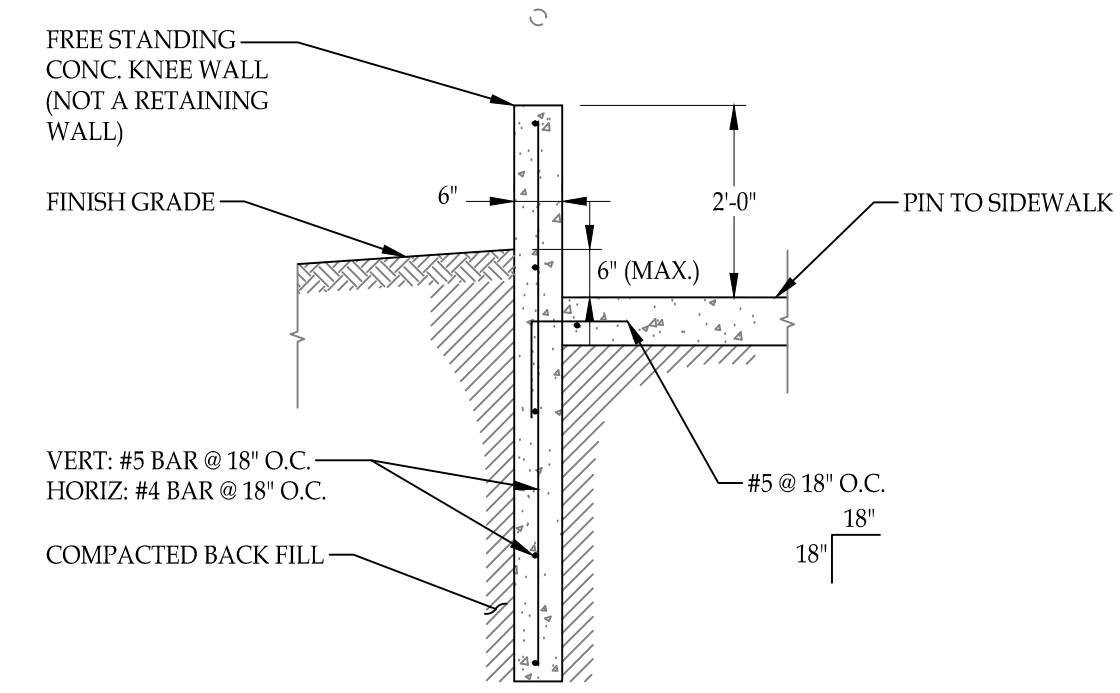
PROJECT:  
**CURTIS DE NATALE RESIDENCE**  
 " SITE WORK / CELLAR ADDITION "



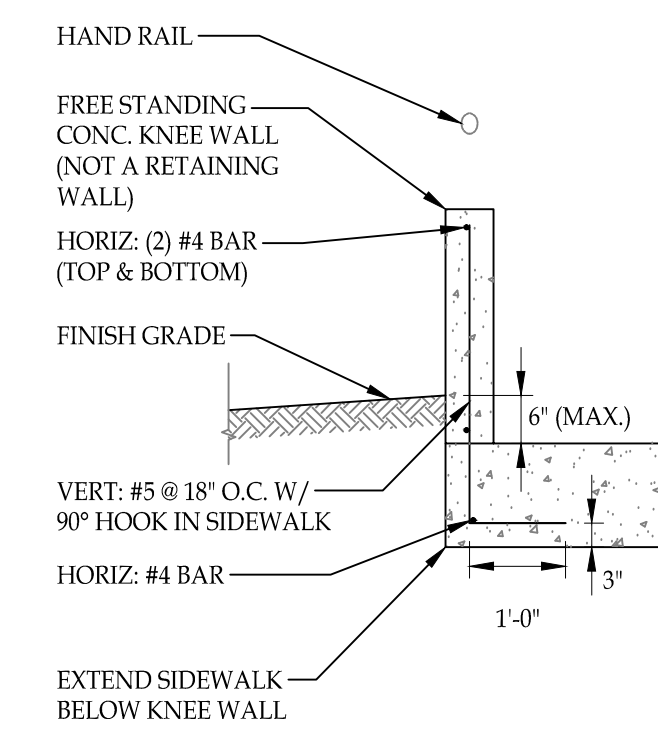
**1** RETAINING WALL SECTION  
 SCALE: 1/2" = 1'-0"



**2** STAIR SECTION  
 SCALE: 1/2" = 1'-0"



**3** KNEE WALL SECTION  
 SCALE: 1/2" = 1'-0"



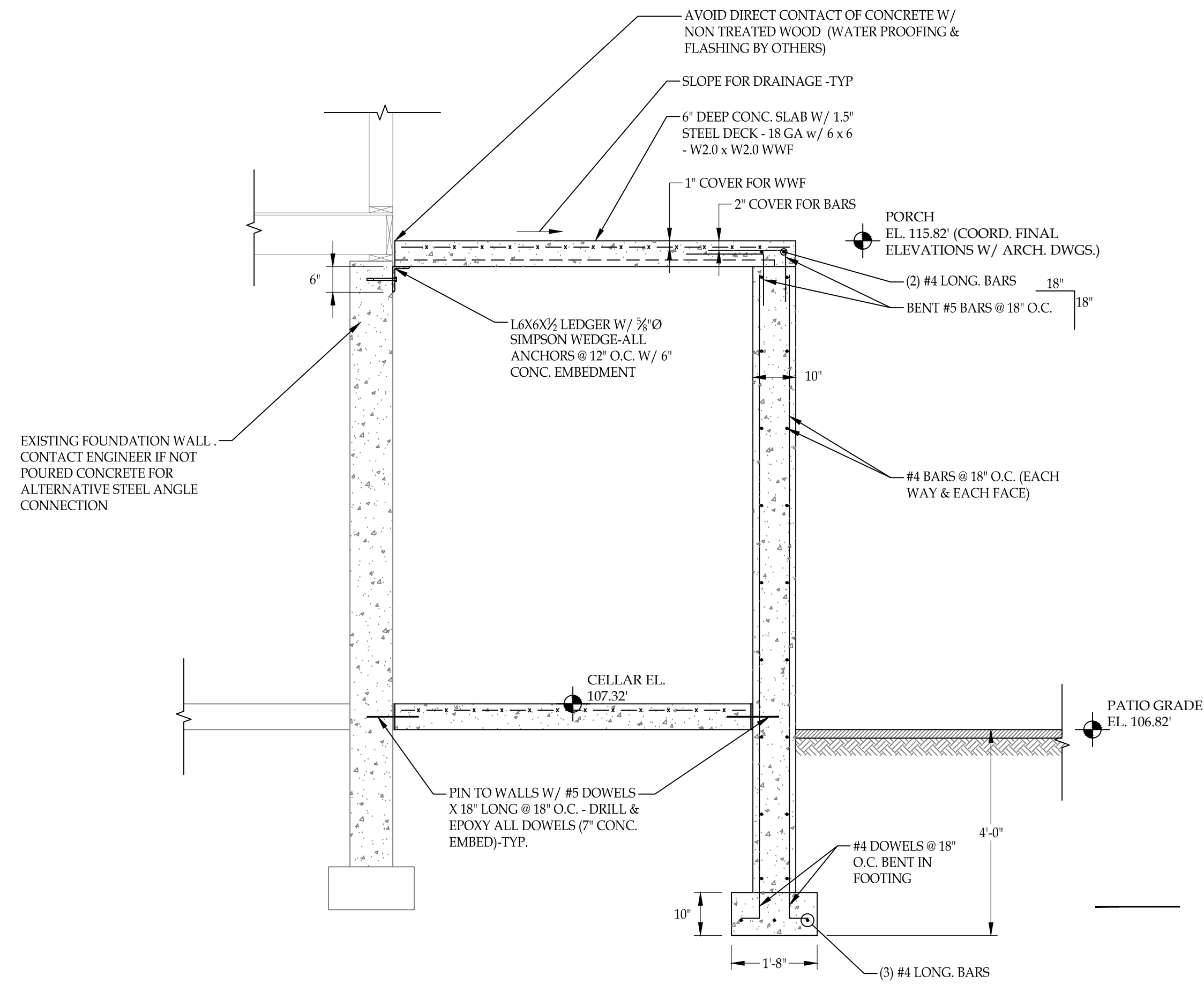
**4** KNEE WALL SECTION  
 SCALE: 1/2" = 1'-0"

DESCRIPTION	DATE
ISSUED FOR REVIEW	5-12-15

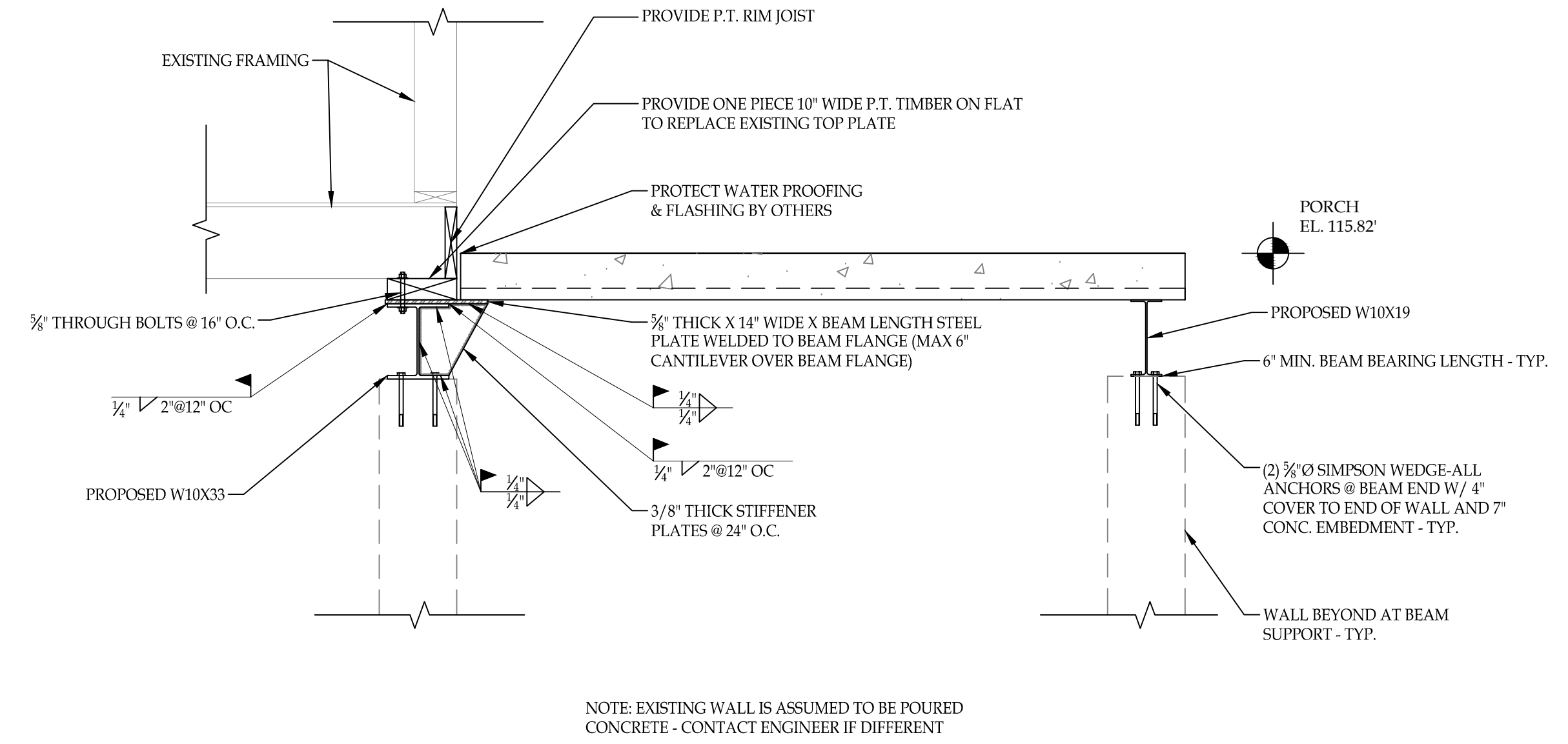
DRAWN BY:  
 CHECKED BY: DTC

SHEET TITLE:  
**SECTIONS**

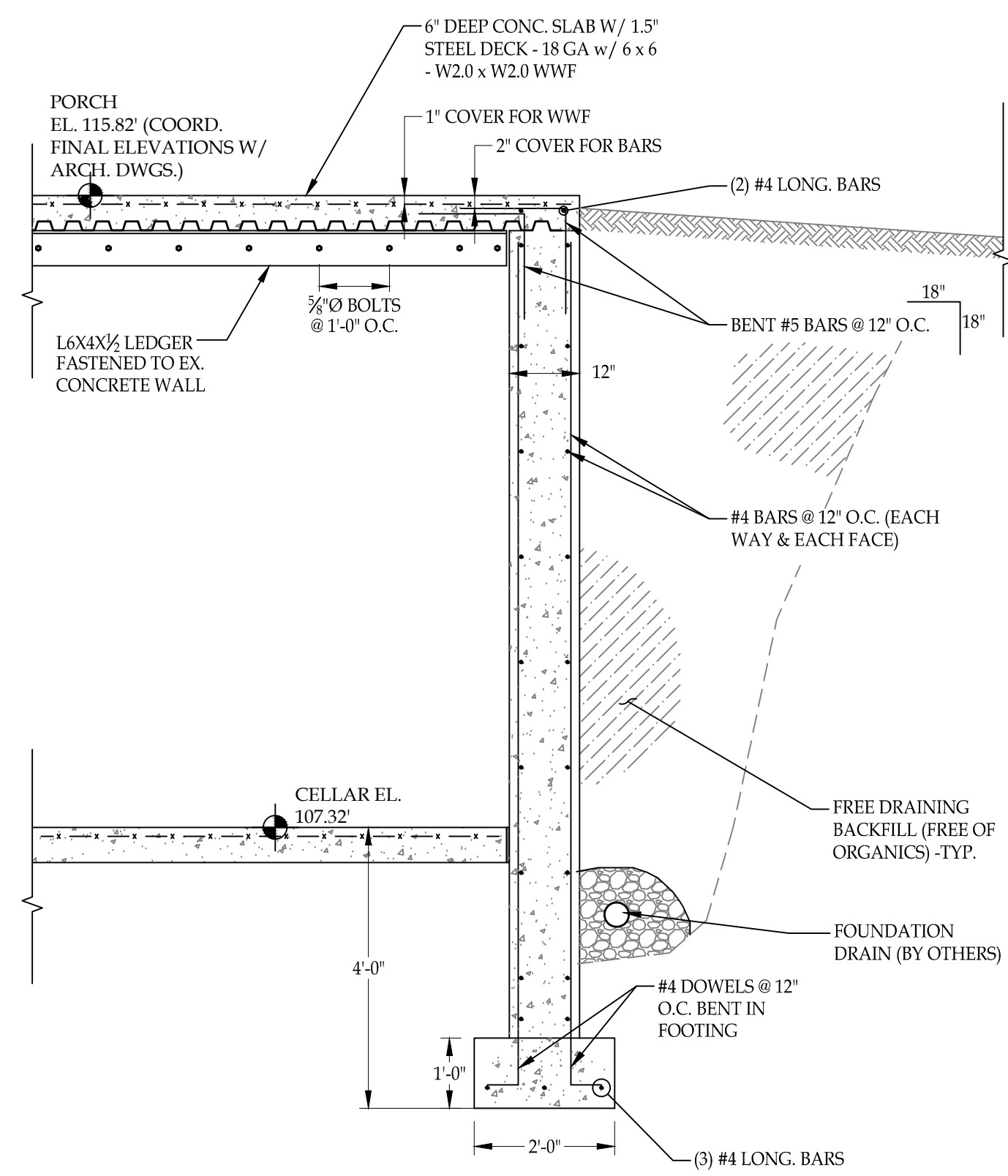
SHEET NO:  
**S301.00**  
 SHEET 5 OF 7



1 BASEMENT WALL SECTION  
SCALE: 1/2" = 1'-0"



2 PARTIAL BASEMENT WALL SECTION @ BEAMS  
SCALE: 3/4" = 1'-0"



3 BASEMENT WALL SECTION  
SCALE: 1/2" = 1'-0"

PROJECT:

CURTIS DE NATALE RESIDENCE  
 " SITE WORK / CELLAR ADDITION "

DESCRIPTION	DATE
ISSUED FOR REVIEW	5-12-15

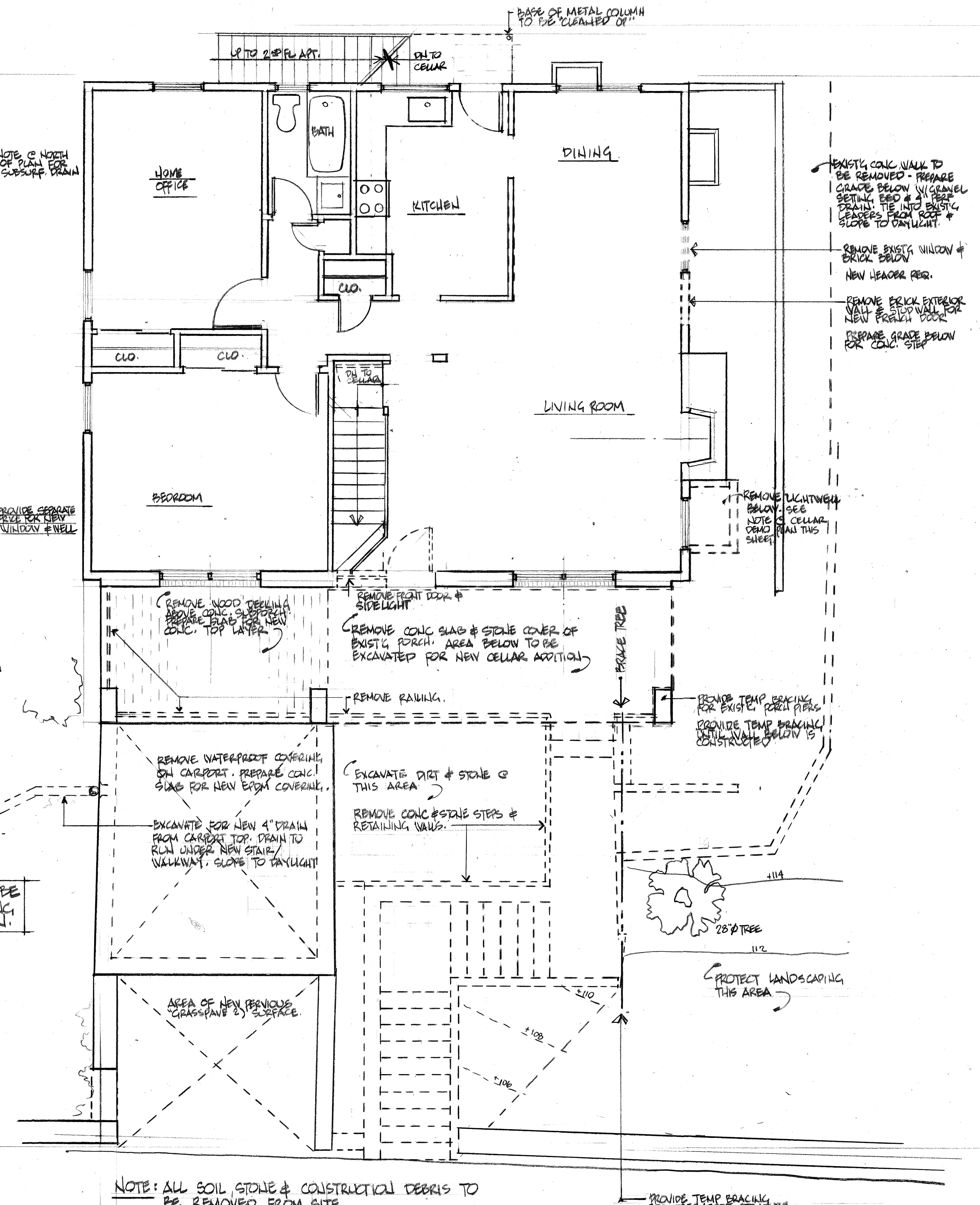
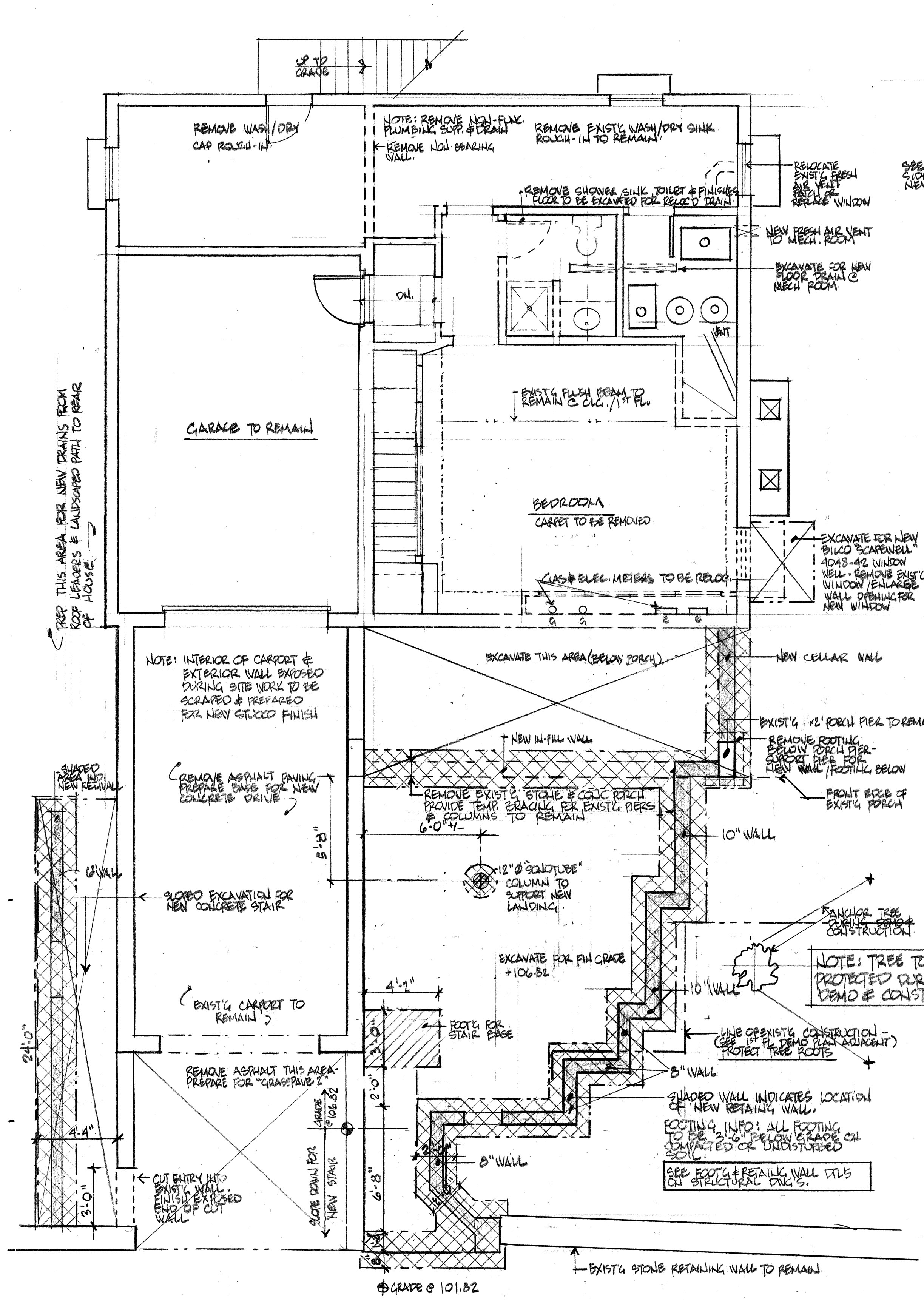
DRAWN BY:  
 CHECKED BY: DTC

SHEET TITLE:  
 SECTIONS

SHEET NO:  
**S302.00**  
 SHEET 6 OF 7







CELLAR DEMOLITION & FOOTING PLAN

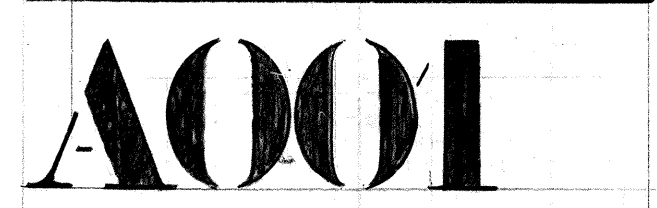
NOTE: PROVIDE EROSION CONTROL & SILT BARRIERS DURING CONSTRUCTION

1ST FLOOR DEMOLITION PLAN

NOTE: ALL SOIL, STONE & CONSTRUCTION DEBRIS TO BE REMOVED FROM SITE

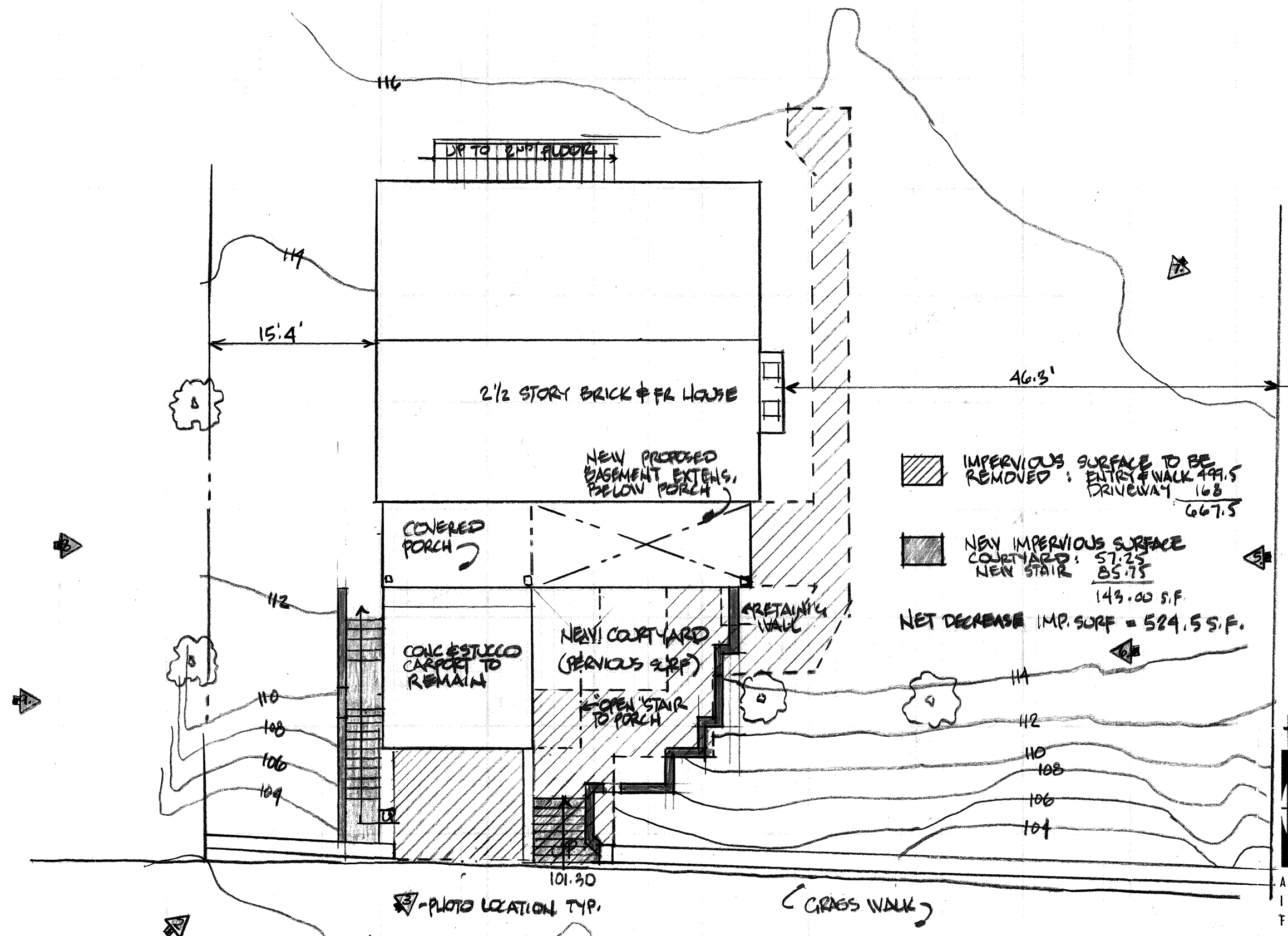
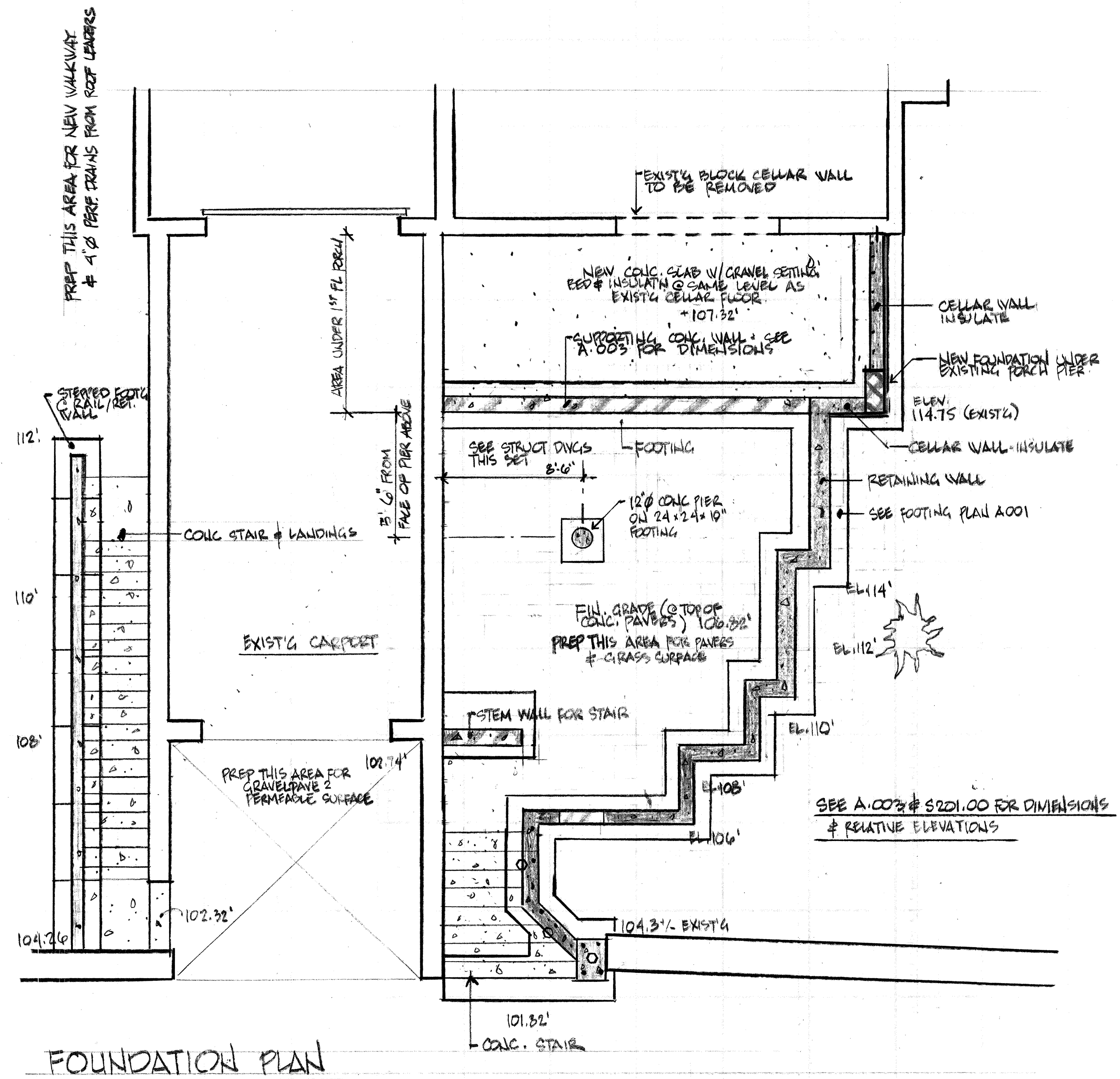
**JIM METZGER ARCHITECT**  
 427 Warburton Avenue #2  
 Hastings-on-Hudson, NY 10706  
 Tel/Fax 914-478-0298  
 Cell 917-747-5110  
 jim.metzger@verizon.net

8/20/15 ISSUE FOR P.B. STEEP SLOPES  
 CURTIS DENATALE RESID.  
 328 WARBURTON AVENUE  
 HASTINGS ON HUDSON, NY 10706  
 BLOCK 0604 LOT 3 ZONE 7.5  
 (2) FAMILY  
 NO CHANGE TO OCCUPANCY OR USE  
 STEEP SLOPE & VIEW PRESERVATION  
 ADDITION & ALTERATION

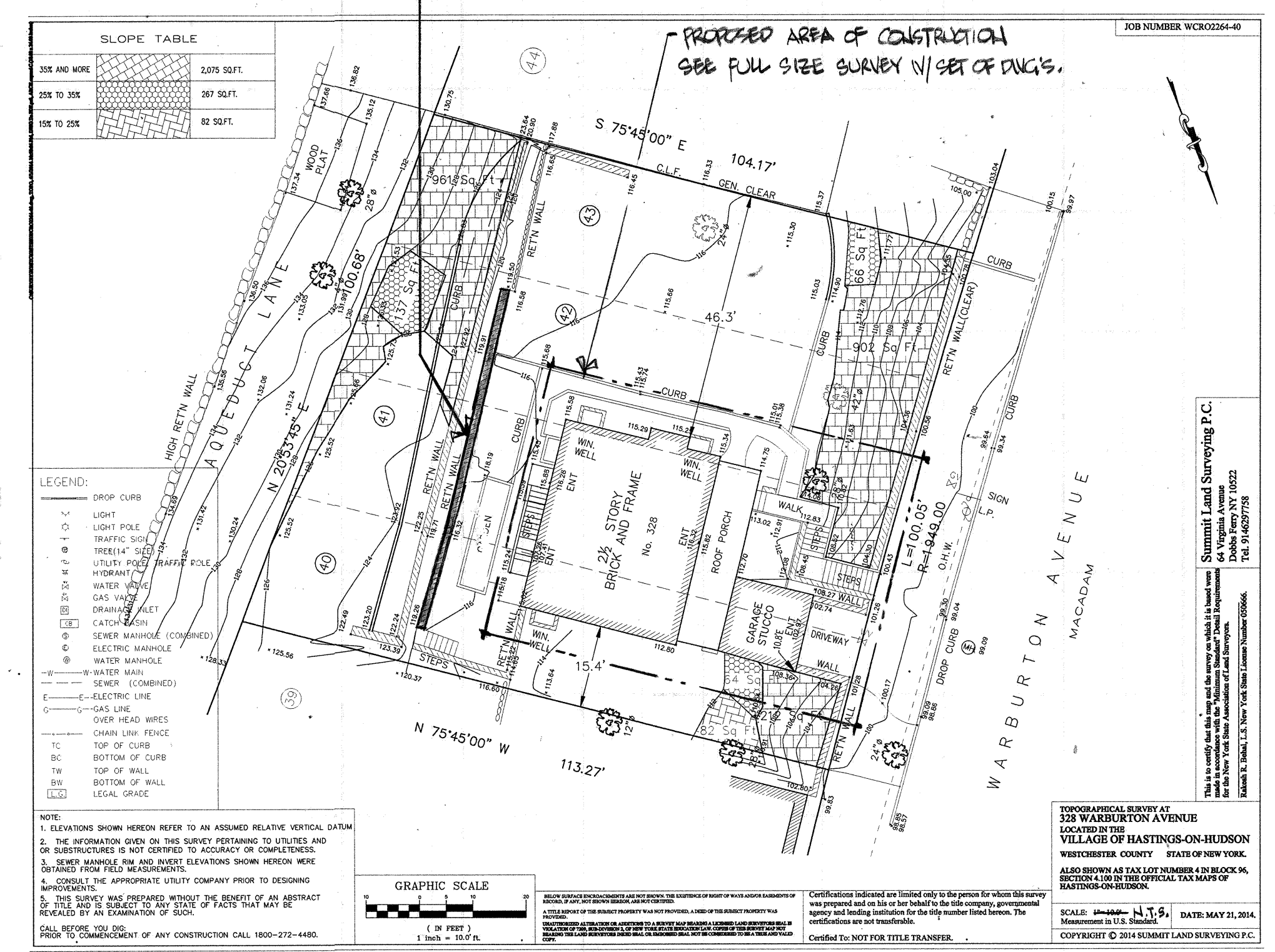


DEMOLITION & FOOTING PLAN

SCALE 1/4" = 1'-0"  
 DATE AUG 20 2015



NOTE: THIS RETAINING WALL TO BE REMOVED & RESULT - INVESTIGATE WALL TO WEST FOR FOOTING / ELEVATION CONDITIONS PRIOR TO DEMOLITION



**JIM METZGER ARCHITECT**

427 Warburton Avenue #2  
Hastings-on-Hudson, NY 10706  
Tel/Fax: 914-478-0298  
Cell: 917-747-5110  
jim.metzger@verizon.net

ARCHITECTURE  
INTERIORS  
FURNITURE

8/20/15 ISSUE FOR P.O. STEEP SLOPES

**CURTIS DENATALE RESID**

325 WARBURTON AVENUE  
HASTINGS ON HUDSON NY 10706

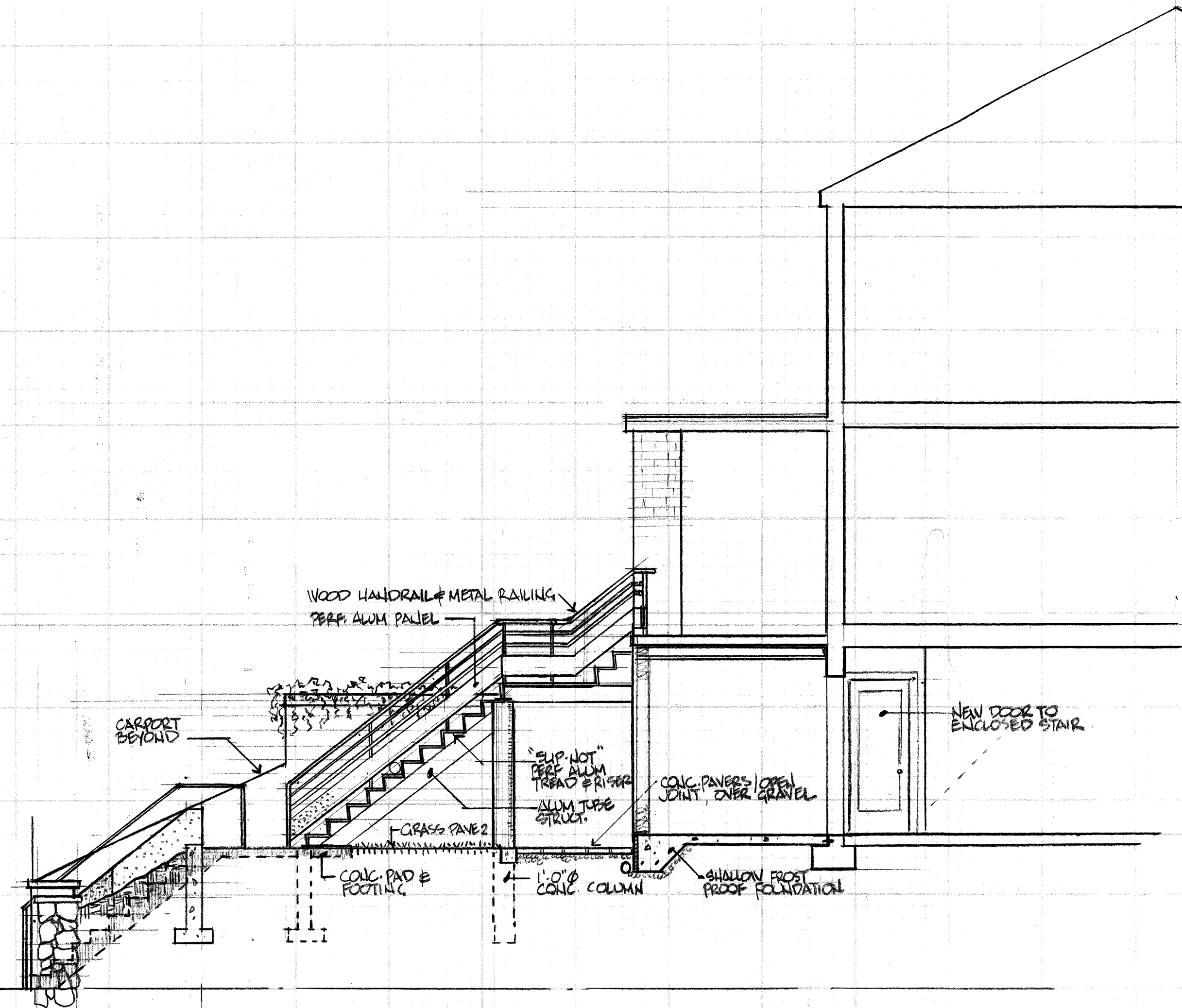
Block 604 Lot 8 Zone T-5  
2 FAMILY  
NO CHANGE TO USE / OCCUPANCY  
OR VIEW CONSTRUCTION - STEEP  
SLOPES AFFECTED  
ADDITION & ALTERATION

**A002**

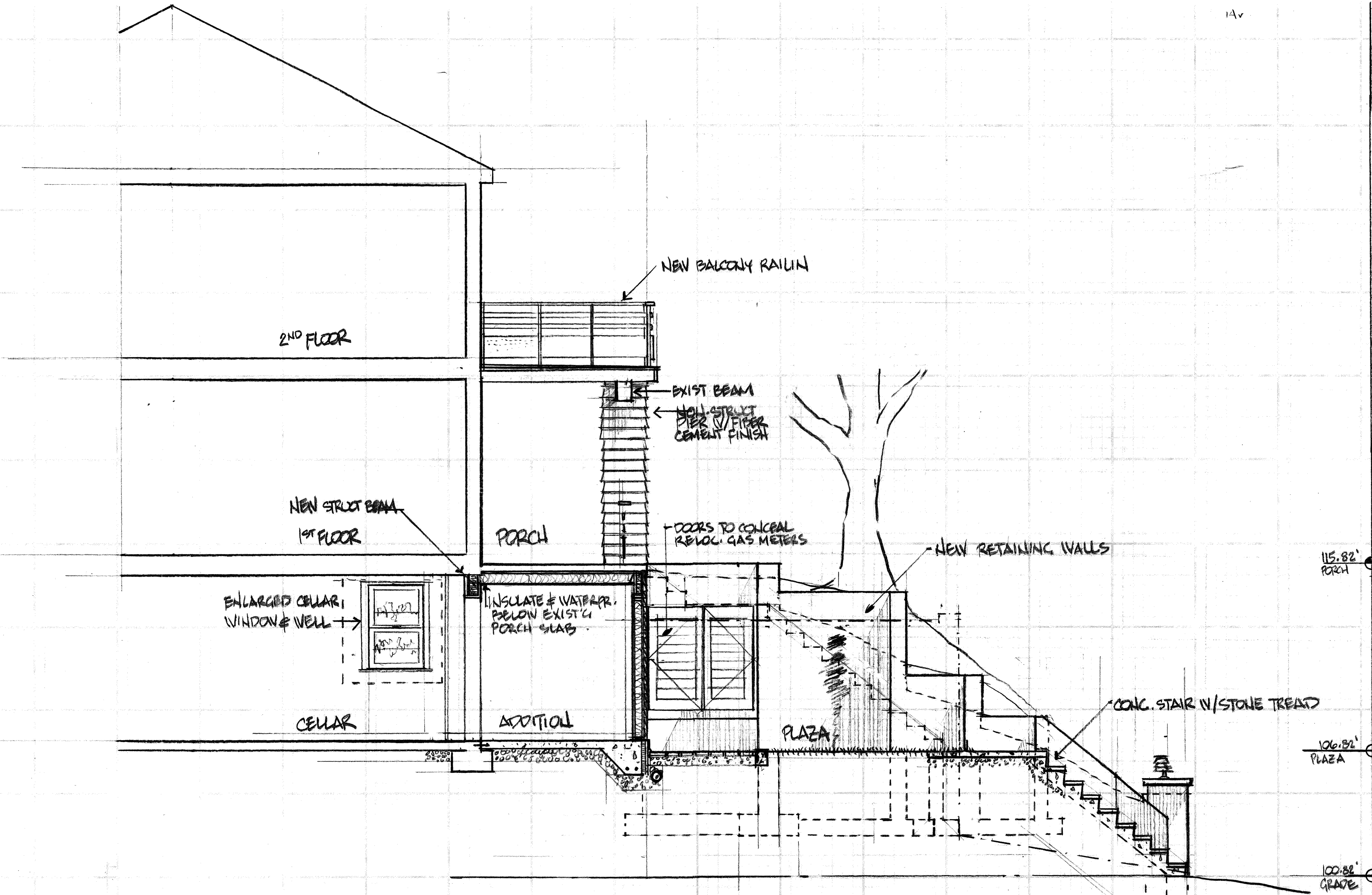
**FOUNDATION PLAN & SITE DRAINAGE / PHOTO PLAN**

SCALE: 1/4" = 10' OR AS NOTED  
DATE: AUG. 10, 2015





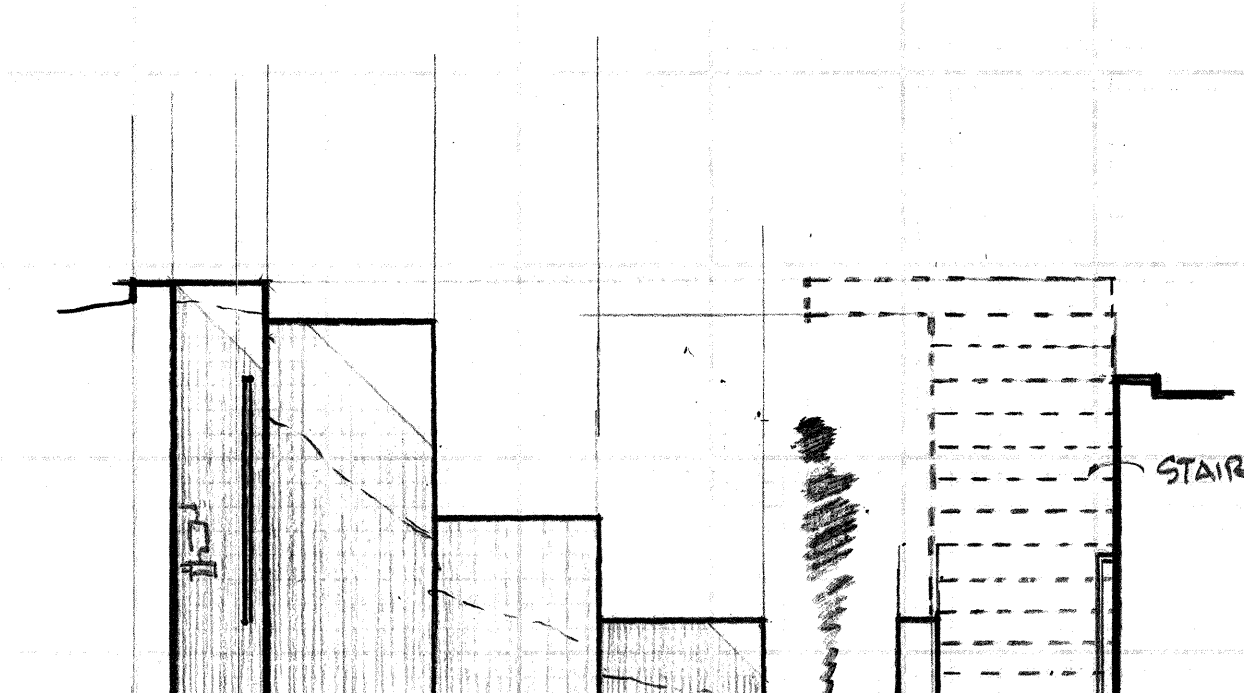
PLAZA SECTION LOOKING NORTH



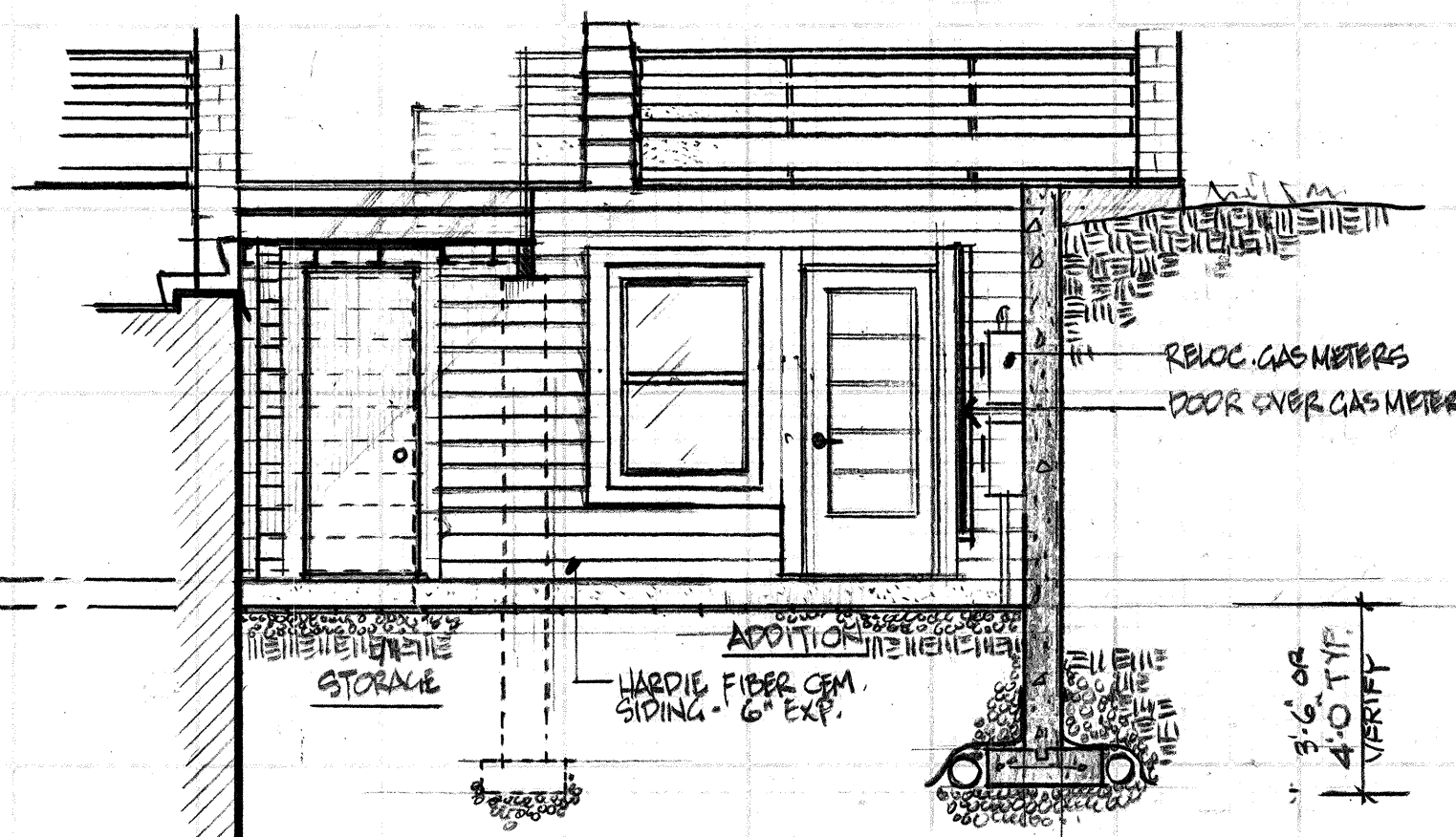
PLAZA SECTION LOOKING SOUTH



SOUTH ELEVATION



PLAZA ELEVATION LOOKING WEST



PLAZA ELEVATION OF PROPOSED ADDN ELEVATION

**JIM METZGER**  
ARCHITECT  
ARCHITECTURE  
INTERIORS  
FURNITURE  
427 Warburton Avenue #2  
Hastings-on-Hudson, NY 10706  
Tel/Fax 914-478-0298  
Cell 917-747-5110  
jim.metzger@verizon.net

3.20.15 ISSUE FOR P.B. STEEP SLOPES  
CURTIS DENATALE RESID  
325 VAREBORAL AVENUE  
HASTINGS ON HUDSON, N.Y. 10706  
BLOCK 0604 LOT B ZONE T-5  
(2) FAMILY  
NO CHANGE TO OCCUPANCY OR USE  
STEEP SLOPES & VIEW PRESERVATION  
ADDITION & ALTERATION

**A004**

ELEVATIONS &  
BUILDING SECTIONS

SCALE: 1/4"=1'-0"  
DATE: AUG 20 2015

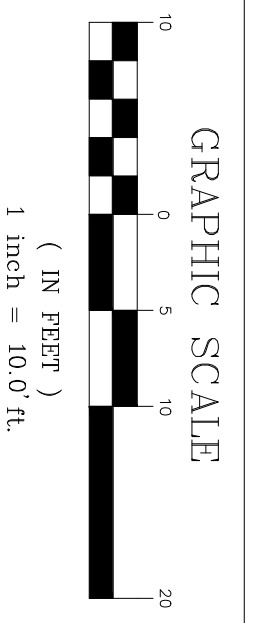
SLOPE TABLE	
35% AND MORE	2,075 SQ.FT.
25% TO 35%	267 SQ.FT.
15% TO 25%	82 SQ.FT.

- LEGEND:**
- DROP CURB
  - ☉ LIGHT
  - ☉ TRAFFIC SIGN
  - ☉ TREE (14" SIZE)
  - ☉ UTILITY POLE
  - ☉ HYDRANT
  - ☉ WATER VALVE
  - ☉ GAS VALVE
  - ☉ DRAINAGE INLET
  - ☉ CATCH BASIN
  - ☉ SEWER MANHOLE (COMBINED)
  - ☉ ELECTRIC MANHOLE
  - ☉ WATER MANHOLE
  - W-WATER MAIN
  - S-SSEWER (COMBINED)
  - E-ELECTRIC LINE
  - G-GAS LINE
  - OVER HEAD WIRES
  - CHAIN LINK FENCE
  - TC TOP OF CURB
  - BC BOTTOM OF CURB
  - TW TOP OF WALL
  - BW BOTTOM OF WALL
  - LG LEGAL GRADE

**NOTE:**

- ELEVATIONS SHOWN HEREON REFER TO AN ASSUMED RELATIVE VERTICAL DATUM
- THE INFORMATION GIVEN ON THIS SURVEY PERTAINING TO UTILITIES AND OR SUBSTRUCTURES IS NOT CERTIFIED TO ACCURACY OR COMPLETENESS.
- SEWER MANHOLE RIM AND INVERT ELEVATIONS SHOWN HEREON WERE OBTAINED FROM FIELD MEASUREMENTS.
- CONSULT THE APPROPRIATE UTILITY COMPANY PRIOR TO DESIGNING IMPROVEMENTS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.

CALL BEFORE YOU DIG:  
PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION CALL 1800-272-4480.



BELOW SURFACE RECORDS ARE NOT SHOWN, THE EXISTENCE OF RIGHT OF WAY'S AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN HEREON, ARE NOT CERTIFIED.

A TITLE REPORT OF THE SUBJECT PROPERTY WAS NOT PROVIDED, A DEED OF THE SUBJECT PROPERTY WAS PROVIDED.

UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAY BE A VIOLATION OF THE PROFESSIONAL SEAL OF A LICENSED LAND SURVEYOR. BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL NOT BE CONSIDERED TO BE A TRUE AND VALID COPY.

Certifications indicated are limited only to the person for whom this survey was prepared and on his or her behalf to the title company, governmental agency and lending institution for the title number listed hereon. The certifications are not transferable.

Certified To: NOT FOR TITLE TRANSFER.

**TOPOGRAPHICAL SURVEY AT**  
**328 WARBURTON AVENUE**  
 LOCATED IN THE  
**VILLAGE OF HASTINGS-ON-HUDSON**  
 WESTCHESTER COUNTY STATE OF NEW YORK.

ALSO SHOWN AS TAX LOT NUMBER 4 IN BLOCK 96, SECTION 4 100 IN THE OFFICIAL TAX MAPS OF HASTINGS-ON-HUDSON.

SCALE: 1" = 10.0'  
 Measurement in U.S. Standard

DATE: MAY 21, 2014.

COPYRIGHT © 2014 SUMMIT LAND SURVEYING P.C.

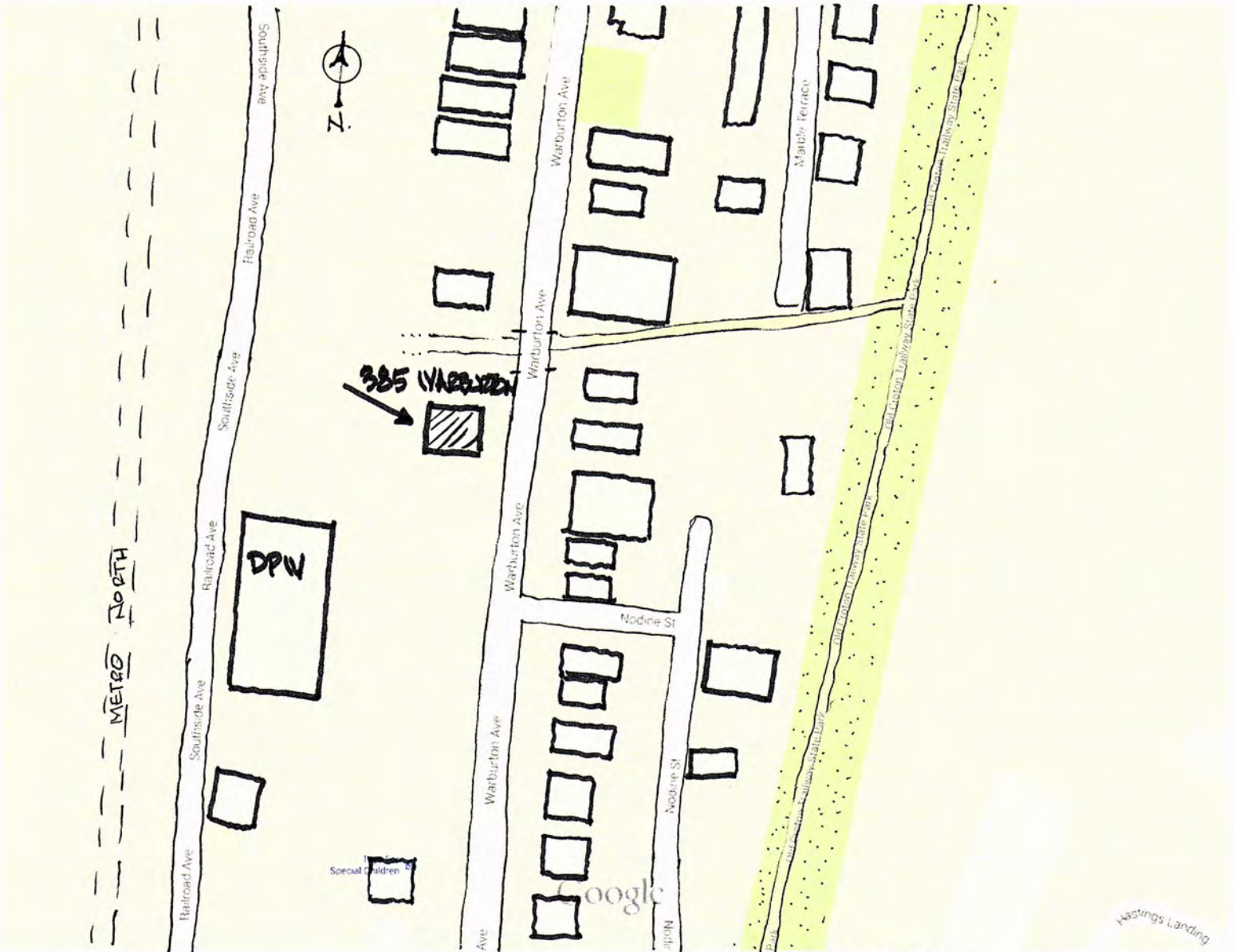
This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for the New York State Association of Land Surveyors.

Rakesh R. Behal, L.S. New York State License Number 050666.

**Summit Land Surveying P.C.**  
 64 Virginia Avenue  
 Dobbs Ferry NY 10522  
 Tel. 9146297758



Google Google Maps



Map data ©2015 Google 50 ft

**Appendix C**  
**State Environmental Quality Review**  
**SHORT ENVIRONMENTAL ASSESSMENT FORM**  
**For UNLISTED ACTIONS Only**

**PART I - PROJECT INFORMATION (To be completed by Applicant or Project Sponsor)**

1. APPLICANT/SPONSOR	2. PROJECT NAME
3. PROJECT LOCATION: Municipality _____ County _____	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map)	
5. PROPOSED ACTION IS: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY:	
7. AMOUNT OF LAND AFFECTED: Initially _____ acres      Ultimately _____ acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input type="checkbox"/> Yes <input type="checkbox"/> No      If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other Describe: _____	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input type="checkbox"/> No      If Yes, list agency(s) name and permit/approvals:	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input type="checkbox"/> No      If Yes, list agency(s) name and permit/approvals:	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: _____ Date: _____ Signature: _____	

**If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment**



**PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)**

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF. <input type="checkbox"/> Yes <input type="checkbox"/> No	
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency. <input type="checkbox"/> Yes <input type="checkbox"/> No	
C. COULD ACTION RESULT IN <b>ANY</b> ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)	
C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:	
C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:	
C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:	
C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:	
C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:	
C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:	
C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:	
D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, explain briefly:	
E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, explain briefly:	

**PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)**

**INSTRUCTIONS:** For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D of Part II was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

<input type="checkbox"/> Check this box if you have identified one or more potentially large or significant adverse impacts which <b>MAY</b> occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action <b>WILL NOT</b> result in any significant adverse environmental impacts <b>AND</b> provide, on attachments as necessary, the reasons supporting this determination.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (If different from responsible officer)



1 / 12 328 Warburton



2 / 12 328 Warburton



3 / 12 328 Warburton



4 / 12 328 Warburton



5 / 12 328 Warburton



6 / 12 328 Warburton



7 / 12 328 Warburton



8 / 12 328 Warburton



9 / 12 328 Warburton



10 / 12 328 Warburton



11 / 12 328 Warburton



12 / 12 328 Warburton



Jim Metzger Architect  
427 Warburton Avenue #2  
Hastings-on-Hudson, NY 10706  
Telephone: 914-478-0298  
Mobile: 917-747-5110

August 20, 2015

Re: 328 Warburton Avenue, Hastings on Hudson, 10706  
Curtis DeNatale Residence  
Walk out basement, front courtyard with retaining walls.

Steep Slopes Statement:

To The Building Department and Planning Board of Hastings on Hudson

We are replacing deteriorating front stone and concrete steps and creating a walkout basement at 328 Warburton Avenue. The basement will open out onto a courtyard that will be created in the front yard. The courtyard will be an intermediate landing from the lower and upper stair to the front porch. The basement expansion itself will be below the current front porch.

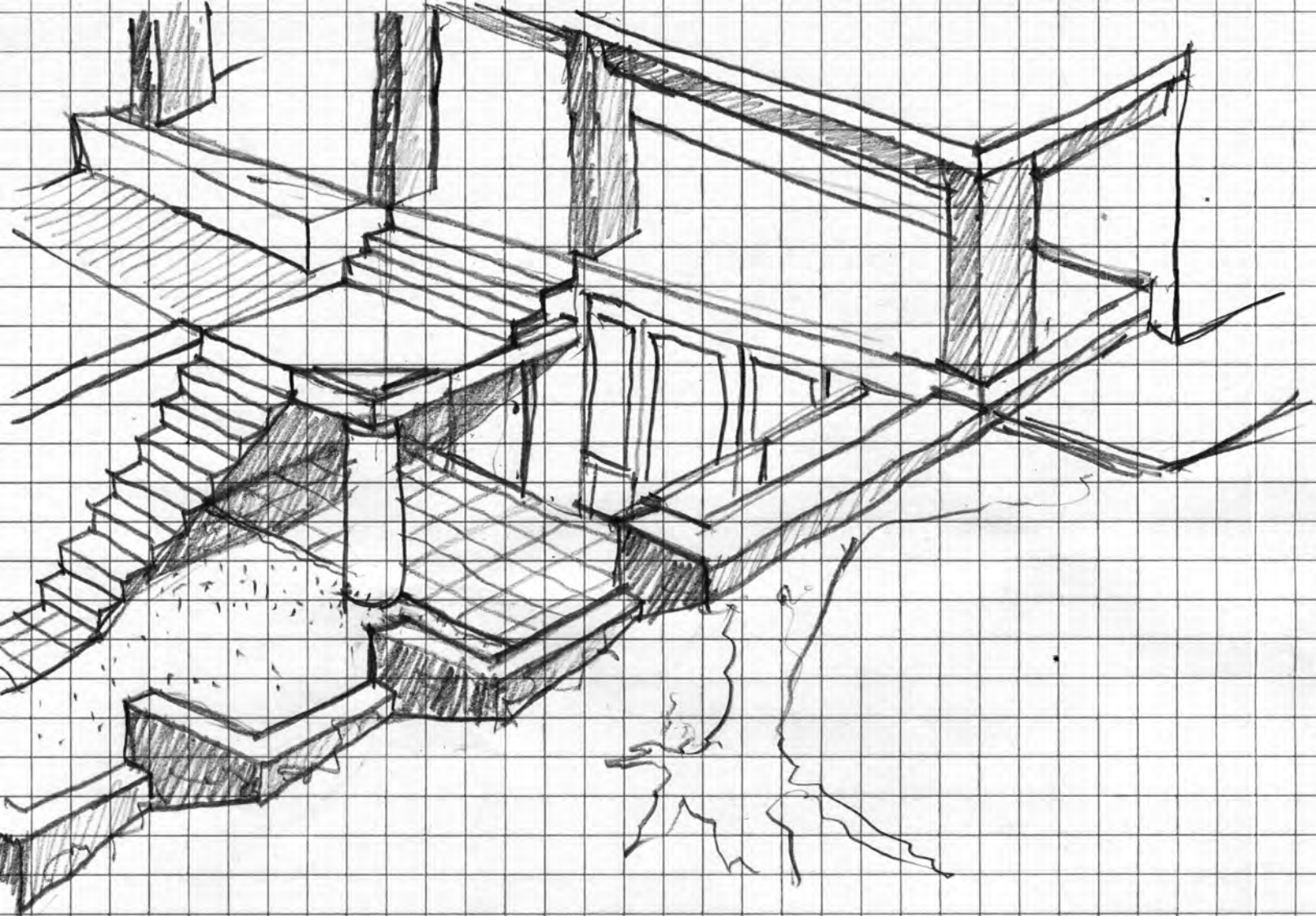
We are not proposing any new construction within required front or side yard setbacks except for the fully landscaped pervious courtyard and (2) sets of stairs to the residence. The second set of stairs is proposed for the north side of the carport to allow private access along side the house to the backyard up to the rental apartment on the second floor.

We will be reducing the current amount of impervious surface (stairs and walls) through the use of more landscaping, pervious pavers and grass in the courtyard and removing an existing asphalt driveway and replacing it with "Gravelpave" or "Grasspave". We will be reducing the amount of storm water runoff from the site by reducing sloped surfaces (paved and landscaped) and increasing the amount of flat pervious surface.

The work will be confined to excavating and constructing concrete retaining walls below the current slope contour. We will not affect any slopes or drainage on neighboring properties. We believe there will be no View Preservation impact.

Very truly yours,  
JIM METZGER ARCHITECT

Jim Metzger R.A.



The image shows a Google Map interface with a red boundary highlighting a parcel. A popup window displays the following data:

SPANNA, RICHARD & PATRICIA	
FID	1578
AREA	9040.268
PERIMETER	390.158
PARCEL_	21908
PARCEL_ID	22048
BLOCK	0096
LOT	003
SUBLOT	
PID	0041000096003
VOLUME	004
SHEET	100
ACCT_NUM	4088640
VOL	4
SUBDIVISI	
SUBD_LOT_	
GIS_ACCOUN	H277698
OID_	1569
GIS_ACCT_N	4088640
GIS_ACCO_1	H277698
GIS_PID	41000096003
PAS_ACREAG	0
PAS_NAME1	SPANNA, RICHARD & PATRICIA
PAS_NAME2	
PAS_ADDRES	
PAS_ADDR_1	
PAS_STREET	332 WARBURTON AVE
PAS_CITY	HASTINGS-ON-HUDSON
PAS_STATE	NY
PAS_ZIP	10706
PAS_ZIPPLU	
PAS_LEGALA	332
PAS_LEGA_1	WARBURTON AVENUE
PAS_PROP_C	210
PAS_SCHOOL	552604
PAS_SBL_ON	10 05 0604 5

The map background shows a street grid with 'Railroad Ave' and 'Southside Ave' on the left, and 'Warburton Ave' and 'Hastings Landing' on the right. A red 'PR' label is visible at the top, and a red 'R-7.5' label is near the popup. A 'Layers ...' button is in the top right corner.

**description:**

**JOLEI REALTY LTD**

FID	1595
AREA	10550.732
PERIMETER	413.761
PARCEL_	21948
PARCEL_ID	22093
BLOCK	0096
LOT	004
SUBLOT	
PID	0041000096004
VOLUME	004
SHEET	100
ACCT_NUM	4088650
VOL	4
SUBDIVISI	
SUBD_LOT_	
GIS_ACCOUN	H277708
OID_	1586
GIS_ACCT_N	4088650
GIS_ACCO_1	H277708
GIS_PID	41000096004
PAS_ACREAG	0
PAS_NAME1	JOLEI REALTY LTD
PAS_NAME2	
PAS_ADDRES	
PAS_ADDR_1	
PAS_STREET	80 PINECREST PARKWAY
PAS_CITY	HASTINGS-ON-HUDSON
PAS_STATE	NY
PAS_ZIP	10706
PAS_ZIPPLU	
PAS_LEGALA	328
PAS_LEGA_1	WARBURTON AVENUE
PAS_PROP_C	220
PAS_SCHOO	550004

PR



**ZACHAR KENNETH**

FID	1624
AREA	7553.338
PERIMETER	352.102
PARCEL_	22000
PARCEL_ID	22147
BLOCK	0096
LOT	005
SUBLOT	
PID	0041000096005
VOLUME	004
SHEET	100
ACCT_NUM	4088660
VOL	4
SUBDIVIISI	
SUBD_LOT_	
GIS_ACCOUN	H277718
OID_	1615
GIS_ACCT_N	4088660
GIS_ACCO_1	H277718
GIS_PID	41000096005
PAS_ACREAG	0
PAS_NAME1	ZACHAR KENNETH
PAS_NAME2	
PAS_ADDRES	
PAS_ADDR_1	
PAS_STREET	324 WARBURTON AVE
PAS_CITY	HASTINGS-ON-HUDSON
PAS_STATE	NY
PAS_ZIP	10706
PAS_ZIPPLU	
PAS_LEGALA	324
PAS_LEGA_1	WARBURTON AVENUE
PAS_PROP_C	210
PAS_SCHOOL	552604

PR



**VILLAGE OF HASTINGS-ON-HUDSON**  
 Application for the Planning Board Review/Action  
 for Site Plan, Subdivision  
Steep Slopes, View Preservation, Special Use Permit Advisory



Case number: ..... Date of application: .....

Planning Board action requested for:       Site Plan (§295-104)       Subdivision (Article XIII)  
 (Check all that apply)  Special Use Permit (Article X)       Steep Slopes (§295-147)       View Preservation (§295-82)

Property owner: MICHAEL CURTIS & NANCY DE NATALE  
 Property address: 328 WARBURTON AVE HASTINGS ON HUDSON NY 10706  
 Name all streets on which the property is located: WARBURTON AVENUE  
 Sheet: 4-100-96-4 Block: 0604 Lot/Parcel: 8 Zoning District: R 7.5

Applicant: JIM METZGER  
 Standing of applicant if not owner: ARCHITECT  
 Address: 427 WARBURTON AVE HASTINGS ON HUDSON NY 10706  
 Daytime phone number: 914-478-0298 Fax number: SAME  
 E-mail address: jim.metzger@verizon.net

Total Area of subject Land/property: 10,800 S.F. / 0.24 ACRES.  
 Is the subject Property in View Preservation District? .....  yes  No  
 Does Property currently contain or will contain Steep Slopes? .....  yes  No  
 Is the subject property within 500 ft. of any other jurisdiction? .....  yes  No  
 Will the project affect (remove or Injure) any designated trees? .....  yes  No

Please provide brief description of proposed work:

HOUSE SITS ONE STORY ABOVE STREET GRADE. EXCAVATE FRONT YARD -  
REMOVING DETERIORATING STONE STEPS - TO CREATE COURTYARD & WALK-OUT  
BASEMENT ADDITION UNDER FRONT PORCH. CASCADING RETAINING WALLS  
FROM HOUSE TO FRONT WALK. REDUCE IMPERVIOUS SURFACE - COURTYARD  
AND FRONT DRIVEWAY (EXISTING ASPHALT NOW) TO BE PERVIOUS SURFACE.  
\* NO CHANGE TO VIEW - ALL WORK TO BE WITHIN EXISTING SLOPE OF  
FRONT YARD.

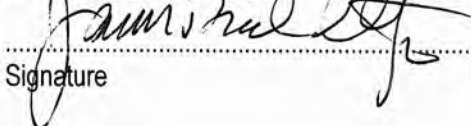


VILLAGE OF HASTINGS-ON-HUDSON  
Step Slopes Application Checklist



Code Section	Code Section Provisions	Indicate how the provisions are addressed*
§ 249-7(1)	A detailed site plan of the property showing, at a scale of not less than 10 feet equals one inch, the applicant's entire property, the adjacent properties, and existing streets and showing the following information: (a) The location of all existing and proposed structures and paved surfaces on the applicant's property and any existing septic systems and wells on such property; (b) The location of the proposed area of disturbance on the applicant's property and its relation to neighboring properties' structures, roads, watercourses and wetlands; (c) The location on the applicant's property of all existing watercourses, wetlands, marshes, wooded areas, rock outcrops, single trees with a diameter of eight inches or more measured three feet above the base of the trunk, and all other significant existing land features; and (d) The existing grades on the applicant's property with contour lines at two-foot intervals and proposed grades within the area of the proposed construction or alteration.	SURVEY ..... SURVEY ..... A-002 ..... SURVEY ..... SURVEY .....
§ 249-7(2)	A landscaping plan for the applicant's property, indicating proposed paved areas, storm drainage facilities, retaining walls and ground cover, as well as the location of trees and ornamental shrubs.	ARCH SET / STRUCT. SET
§ 249-7(3)	Architectural plans, elevations, sections of the structures and related improvements.	ARCH SET
§ 249-7(4)	A statement prepared by a licensed architect, registered landscape architect or engineer describing: (a) The methods to be used in overcoming foundation and other structural problems created by slope conditions, in preserving the natural watershed and in preventing soil erosion; (b) The methods to be used to eliminate or mitigate water runoff on all adjacent properties and any other property that will be naturally affected by increased water runoff; and (c) The methods used to minimize the impact of changes in topography on adjacent and nearby properties through landscaping, retaining walls and terracing of gardens	LETTER ..... N/A NO EFFECT ..... NA NO EFFECT .....
§ 249-7(5)	A plan submitted under the seal of a licensed professional engineer showing and certifying the following: (a) All existing and proposed natural and artificial drainage courses and other features for the control of drainage, erosion and water. (b) The calculated volume of water runoff from the slope(s) and from the lot in question, as unimproved. (c) The calculated volume of water runoff from the slope(s) and from the lot in question, as improved. (d) The existence, location and capacity of all natural and artificial drainage courses and facilities within 500 feet of the lot which are or will be used to carry or contain the water runoff from the slope(s) and the lot.	..... ..... ARCH SET - REDUCING PERVIOUS SURFACE ON SITE ..... .....
§ 249-7(6)	A statement made under the seal of a licensed professional engineer certifying that: (a) The proposed activity will disturb the steep slope area to the minimum extent possible; and (b) The proposed mitigation measure will prevent, to the maximum extent practical, the adverse effect of any disturbance of the steep slope area on the environment and any neighboring properties.	LETTER ..... N.A. NO EFFECT .....
§ 249-7(7)	Proof that all adjacent property owners have been notified of the steep slope application and of the Planning Board meeting at which it will be considered. Notice shall be provided in accordance with § 295-143C, except that only adjacent property owners need be notified.	BLDG. DEPT LETTER
§ 249-7(8)	The Planning Board may, at its discretion, waive any of the requirements of Subsection A except Subsection A(7). <b>Indicate if any waivers are being requested</b>	.....

\*Indicate by notes such as, "see Note/Detail on Dwg # \_\_\_", "See PE certification/note in the attached letter", or "NA", etc. where "NA" stands for "Not applicable".


 Signature

8.20.15 Date

JIM METZGER Name

ARCHITECT Title

VILLAGE OF HASTINGS-ON-HUDSON  
 Site Plan Approval Application Requirements Checklist



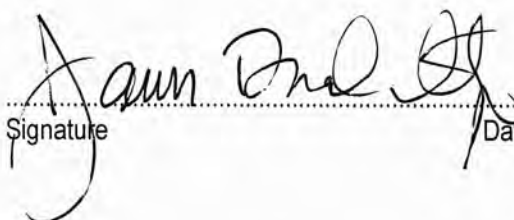
Code section	Code Section Provisions	Indicate how the applicable provisions are addressed*
§ 295-106.A	The application for site plan approval on official Village forms signed by the fee owner of the property, which application shall include, among other things: (1) The names of all record owners of all adjacent properties and the sheet, lot, block and section number of those properties and the property to be developed. (2) A list of any deviations from the requirements of this chapter. (3) A completed New York State Environmental Quality Review Act assessment form.	IN PACKET FROM WESTCH. COUNTY GIS  SHORT FORM
§ 295-106.B	Any covenants or deed restrictions that are intended to cover all or any part of the property to be developed.	N/A.
§ 295-106.C	A planting plan prepared by an architect or landscape architect certified by the State of New York.	SEE ARCH SET.
§ 295-106.D	A vicinity map, at a scale of not less than 200 feet to the inch, showing buildings on contiguous lots.	GOOGLE EARTH MAP
§ 295-106.E	A detailed site plan showing, at a scale of not less than 20 feet to the inch on sheets not to exceed 30 inches by 40 inches, the applicant's entire property and adjacent properties and existing streets and indicating: 1. The title of the development, if any; the date the plan was prepared; the North point; the scale; and the name and address of the record owner, the engineer, the architect, the land planner, the surveyor and the person who prepared the site plan. 2. The location of all existing and proposed lot lines, easements, reservations and areas dedicated to public uses. 3. All existing municipal school district, zoning district and special district boundaries 4. The location of yards required by this chapter and indicating whether and by how much such yards are greater or less than the actual proposed yards. 5. The location and dimensions of all existing and proposed buildings and structures, including, without limitation, the height of all buildings and structures and the width of all courts. 6. The existing and proposed use of all land and the existing and proposed use and exterior design of all existing and proposed buildings and structures, including, without limitation, the proposed grades, facades and other architectural features, and the location and attachment of mechanical equipment and other appurtenances to the exterior or at the roof. 7. The existing and proposed division of all existing and proposed buildings and structures into units of separate occupancy. 8. The location of all existing watercourses, marshes, wooded areas, rock outcrops, single trees with a diameter of eight inches or more measured three feet above the base of the trunk, and all other significant existing land features. 9. The location, layout and surfacing of all existing and proposed driveways, paving and off-street parking and loading areas, including individual parking spaces. 10. The location, size and type of all landscaping, screening and buffer areas.	SURVEY  NO CHANGE.  NO CHANGE  NO CHANGE  SURVEY.  SEE ARCH SET.  N/A.  SEE SURVEY  SEE SURVEY & ARCH SET.  SEE ARCH SET.

VILLAGE OF HASTINGS-ON-HUDSON  
 Site Plan Approval Application Requirements Checklist



§ 295-106.E (Cont'd)	11. The location of all existing and proposed outdoor storage areas, including snow storage in parking areas. 12. The location of all proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway, the location and width of all sidewalks and the location and size of utility lines. 13. The location of all existing and proposed water mains, valves, hydrants, culverts, drains and sewer lines, or alternate means of water supply and sewer disposal and treatments, with pipe sizes, grades, direction of flow and location of connection to public utilities. 14. The location, height and design of all existing and proposed fences and retaining walls. 15. The location, direction, power, design and time of all existing and proposed exterior lighting. 16. The location, design and size of all existing and proposed signs. 17. The location of all other existing and proposed site improvements. 18. Existing soils and existing and proposed topography of the site, including existing and proposed contours, with intervals of five feet or less, referred to a datum satisfactory to the Planning Board. Where the variations in the proposed elevation above or below the average level of the street in front of the property exceed 10 feet, the application shall be accompanied by a map, certified by a licensed surveyor, showing the contours at two-foot intervals. 19. All other pertinent information	N/A. NO CHANGE NO CHANGE SEE ARCH & STRUCT PLANS N/A. N/A N/A SEE ARCH PLAN
§ 295-106.F	A fee in the amount set by the Board of Trustees pursuant to § 295-152 of this chapter. The application shall not be considered as complete or officially submitted until all of the information, documents and fees required by this section have been received, in proper form, by the Building Inspector.	
§ 295-106.G	Any other information or documents required by the Planning Board for a review of the site plan	
§ 295-106.H	A stormwater pollution prevention plan (SWPPP), if required by Chapter 250 of the Code of the Village of Hastings-on-Hudson.	SEE "WATER NOTES" A.002

\*Indicate by notes such as, "see Note/Detail on Dwg #\_\_\_", "See PE certification/note in the attached letter", or "NA", etc. where "NA" stands for "Not applicable".


 Signature
 8.20.15
 Date
 JIM METZGER
 Name
 ARCHITECT
 Title