

July 1, 2015

Chairman and Members of the Hastings Planning Board
Village of Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, NY 10706

Re: Townhouses on 32-34 Washington Avenue
Revised Documents for review by the Planning Board

Dear Chairman and Members of the Planning Board:

As the Architect for the proposed townhouses at 32-34 Washington Avenue, I am submitting the following revised documents for review at the July 16, 2015 Planning Board meeting:

- Summary of Response to Comments by the Planning Board, dated 5-21-15 & 7-1-15
- Environmental Assessment Form, dated 7-1-15
- Traffic Study by JMC Site Development Consultants, dated 7-1-15
- Letter from Stephen Lopez, Landscape Architect regarding trees, dated 7-1-15
- S-1 Site Plan, dated 6-30-15
- S-3 Coverage and Density Map, dated 6-30-15
- S-4 Density Study of Neighboring Properties, dated 6-30-15
- A-11 View Preservation Photos, dated 6-30-15
- C-1 Layout & Building Coverage Plan, dated 6-30-15
- C-2 Grading & Utilities Plan, dated 6-30-15
- C-3 Sediment & Erosion Control Plan, dated 6-30-15

In addition, please find attached an electronic version of full set of documents, including the revised documents listed above, and the latest version of all other documents previously submitted.

I look forward to presenting the revised documents to the Planning Board meeting on July 16th.

Thank you again for your time and consideration in your review of our proposal.

Sincerely,



Christina Griffin AIA LEED AP CPHC

cc: CCI Properties

Summary of Response to Planning Board Comments 5-21-15

1. Survey, site plan, and layout plans updated and corrected.
2. Footprint of New Building reduced from 4,813 to 4,762 SF
3. Reduced length of building by 2 ft.
4. Height of Building reduced from 34.6 ft. to 32.6 ft
5. Central garage entry and steps added to improve pedestrian access to garage
6. Waste areas shown, central location for pick-up added
7. Dormers are reduced in size to reduce bulk
8. Front setback changed from 15.75 to 19.33 ft. to provide more space between building and trees, corner porch reduced in size
9. Driveway at two-family house enlarged, turn-around moved to rear of house
10. Details of Driveway showing site lines, distance from traffic lights, etc., provided
11. Garage layout changed to show parking spaces and turn around to meet zoning code
12. View analysis prepared based on photos taken from inside 15 William Street & 42 Washington Street (properties most affected)
13. Usage of back yards - to be kept open without fences
14. Civil engineering details, such as drainage details, do not coordinate with the plans - reviewed and confirmed by JMC, tree protection details added
15. Comparison of size of units with other townhouses in the area:

32-34 Washington	1,570 - 1,996 SF
Ridge Street	1,680 - 2,400 SF
400 Warburton	2,100 SF
River Town House	2,100 SF
Warburton Avenue Townhouses	+/-3,500 SF

16. Method for collecting data for density studies - example of information obtained from property card presented at 5-21-15 Planning Board Meeting

Summary of Response to Planning Board Comments 7-1-15

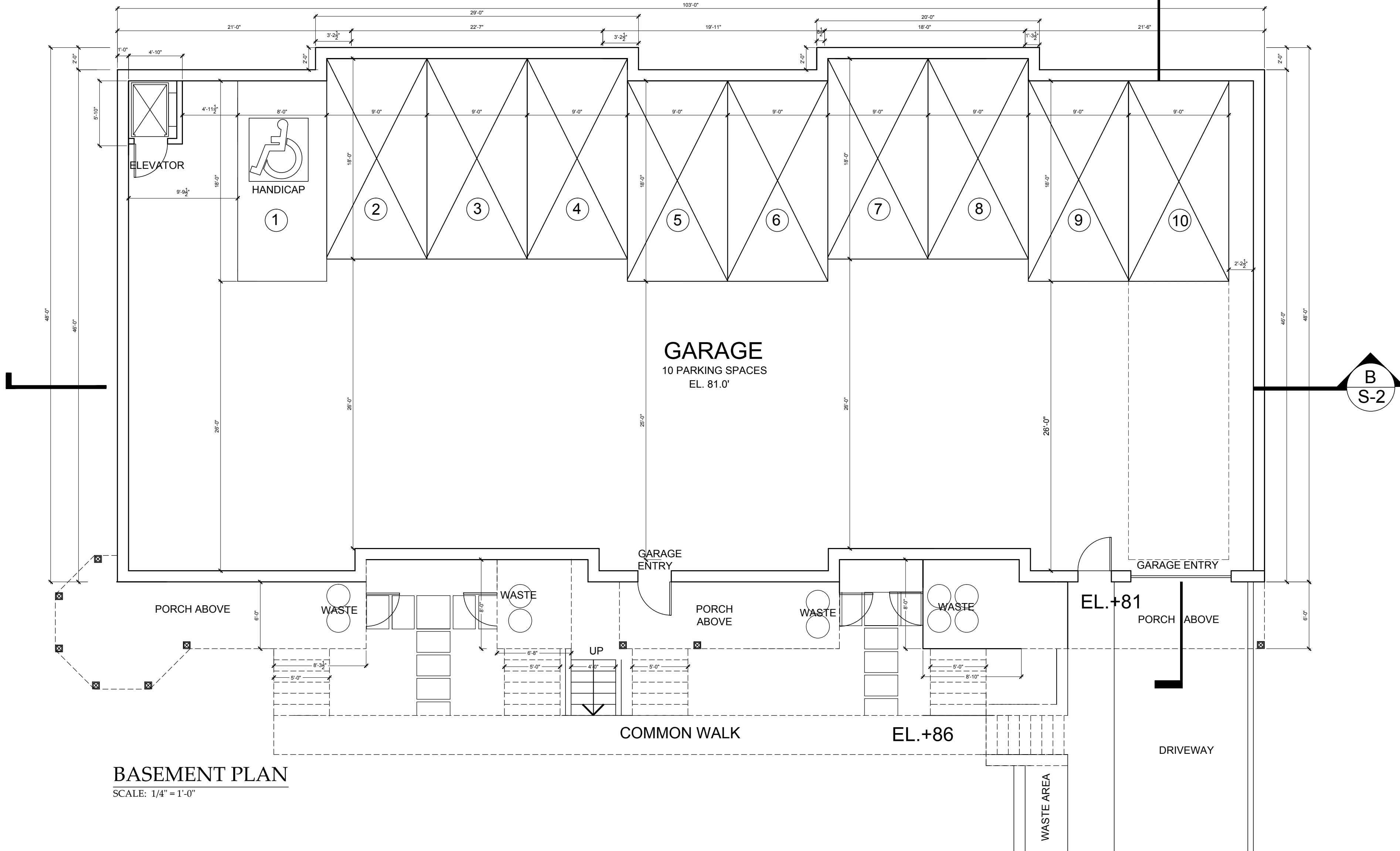
1. Poles and string were mounted on site to show top of ridge of proposed townhouses
2. EAF Statement by JMC Site Development Consultants, dated 7-1-15, corrected Traffic Study by JMC Site Development Consultants, dated 7-1-15, provided
3. Letter from landscape architect, Stephen Lopez, dated 7-1-15, about impact on trees by construction provided. Note that the recommended safe distance of 15 feet from the trees to the building has been provided, see Site Plan drawing S-1, dated 6-30-15
4. Central exterior stair to provide pedestrian access from Warburton Avenue has been added back to the plans, see drawings S-1, C-1, C-2, C-3, dated 6-30-15. As a result, the development coverage changed from 39% to 40%, see revised zoning data, drawing S-1, and revised density studies, drawings S-3 and S-4, dated 6-30-15.
5. Changes were made to clarify (same data, better graphics) the Density Study of Neighboring Properties, drawing A-4, dated 6-30-15. Note that the proposed development has 3,752 SF lot area per unit, which is the highest ratio of lot area to unit (lowest density) when compared to the lot area per unit of groups of properties with similar lot areas. Also note that

the proposed lot area per unit is 2.5 times greater than the minimum 1,500 SF lot area per unit required in the MR 1.5 zone.

6. Additional view analysis, drawing A-11, dated 6-30-15, provided to show views from second floor of 15 William Street, as requested by neighbor

FLOOR AREA CALCULATIONS

	1ST FLOOR	2ND FLOOR	TOTAL 1ST & 2ND
UNIT 1	1,001.4 SF	995 SF	1,996.4 SF
UNIT 2	988.7 SF	997.8 SF	1,986.5 SF
UNIT 3	997.0 SF	990.6 SF	1,987.6 SF
UNIT 4	779.4 SF	788.5 SF	1,567.9 SF
UNIT 5	995.4 SF	995.4 SF	1,990.8 SF
TOTAL FLOOR AREA	4,761.9 SF	4,767.3 SF	9,529.2 SF
TOTAL BUILDING FLOOR AREA = 9,529 SF			
BUILDING FOOTPRINT (NOT INC. PORCHES) = 4,762 SF			



BASEMENT PLAN
SCALE: 1/4" = 1'-0"

TOWNHOUSES at
32-34 WASHINGTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706

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Date: PLANNING BOARD PRE-SUBMISSION 2-1-15
 PLANNING BOARD SUBMISSION 3-18-15
 PLANNING BOARD SUBMISSION 4-15-15
 PLANNING BOARD SUBMISSION 5-07-15
 PLANNING BOARD SUBMISSION 5-21-15

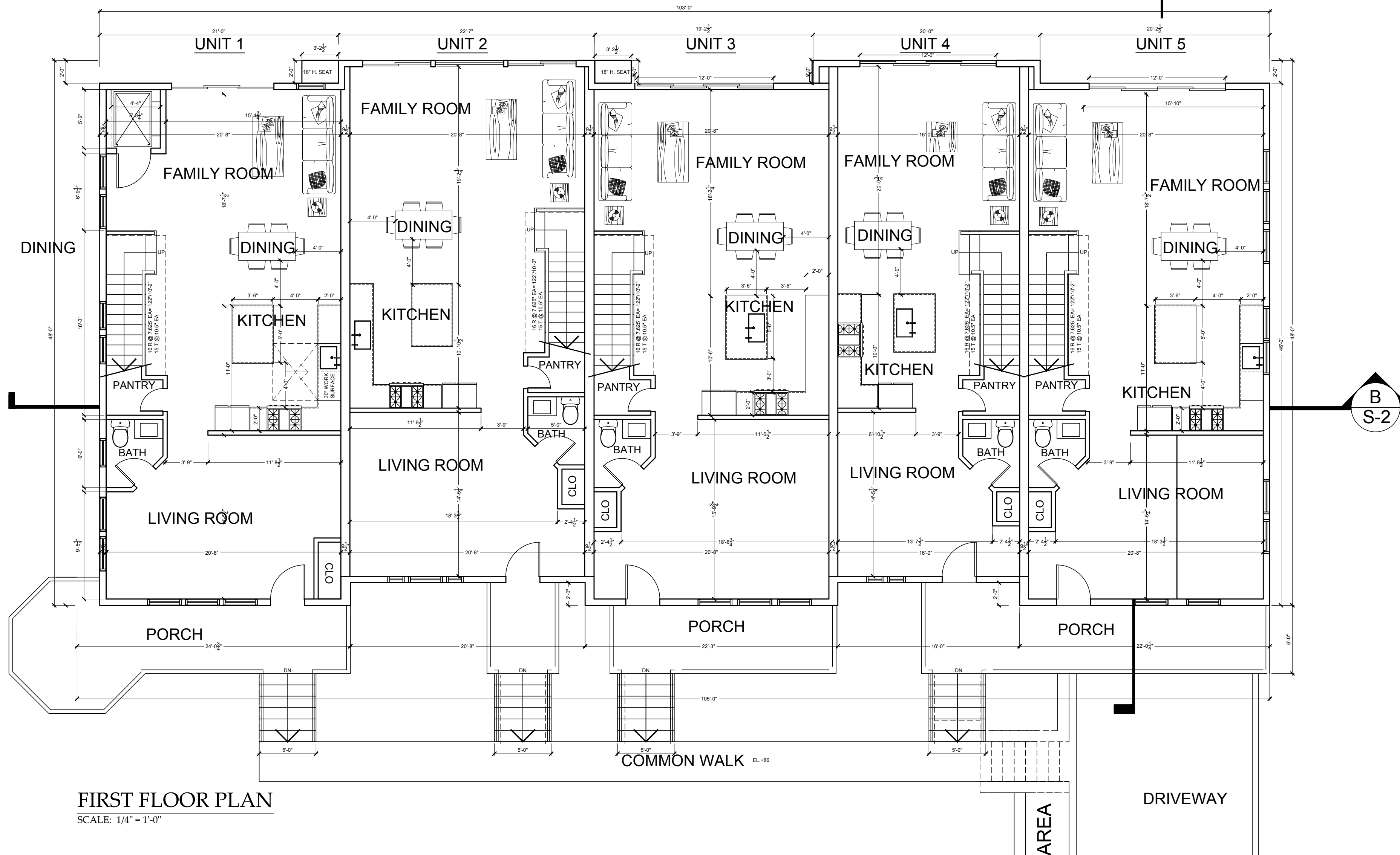
Drawing Title: BASEMENT PLAN
 Scale: AS SHOWN

A-1

FLOOR AREA CALCULATIONS

	1ST FLOOR	2ND FLOOR	TOTAL 1ST & 2ND
UNIT 1	1,001.4 SF	995 SF	1,996.4 SF
UNIT 2	988.7 SF	997.8 SF	1,986.5 SF
UNIT 3	997.0 SF	990.6 SF	1,987.6 SF
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FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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DATE: _____
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 PLANNING BOARD SUBMISSION: 4-15-15
 PLANNING BOARD SUBMISSION: 4-27-15
 PLANNING BOARD SUBMISSION: 5-07-15
 PLANNING BOARD SUBMISSION: 5-21-15

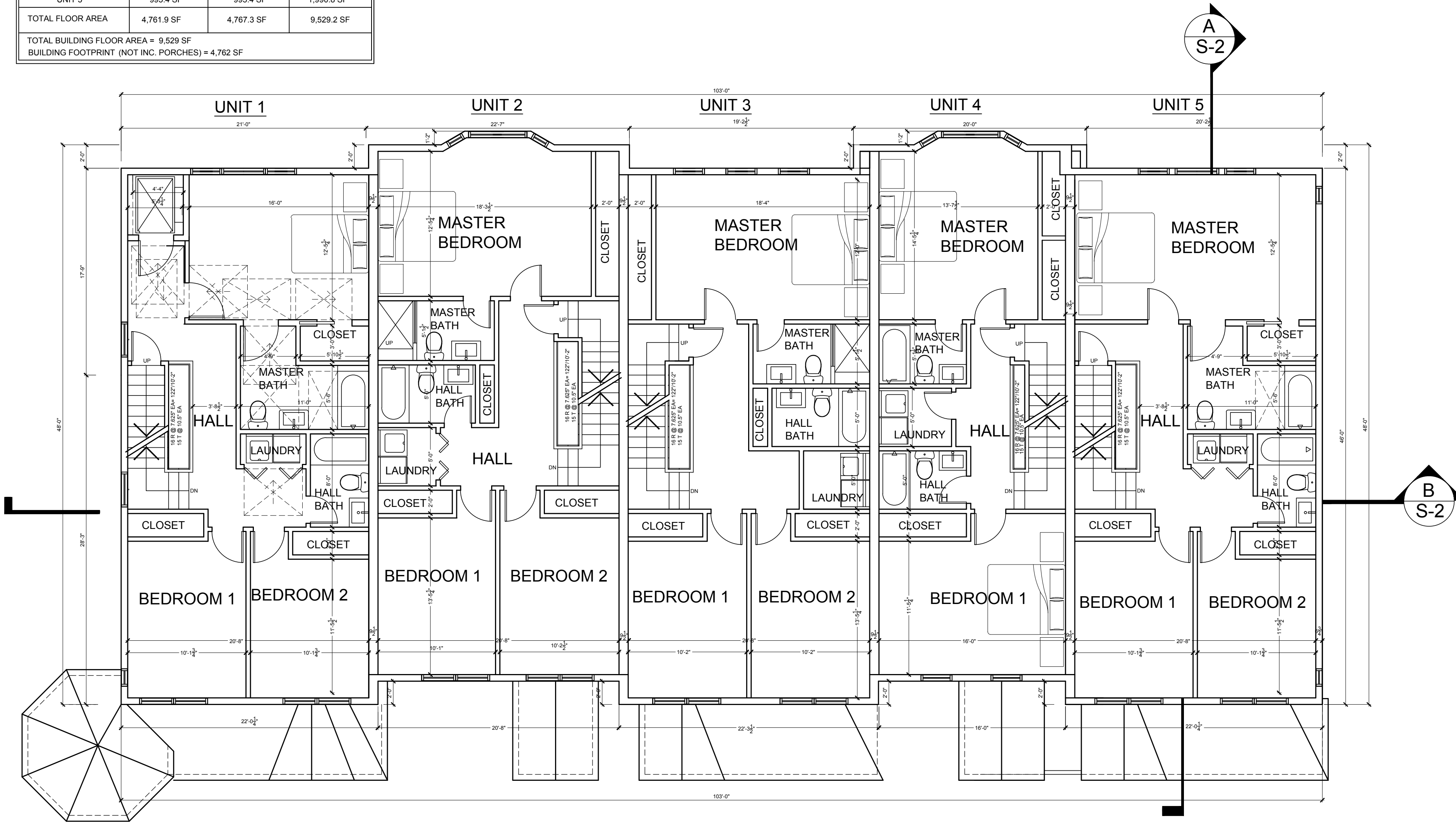
Drawing Title: FIRST FLOOR PLAN
 Scale: AS SHOWN

A-2

FLOOR AREA CALCULATIONS

	1ST FLOOR	2ND FLOOR	TOTAL 1ST & 2ND
UNIT 1	1,001.4 SF	995 SF	1,996.4 SF
UNIT 2	988.7 SF	997.8 SF	1,986.5 SF
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SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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 HASTINGS-ON-HUDSON, NY 10706

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 PLANNING BOARD SUBMISSION 5-27-15
 PLANNING BOARD SUBMISSION 5-27-15

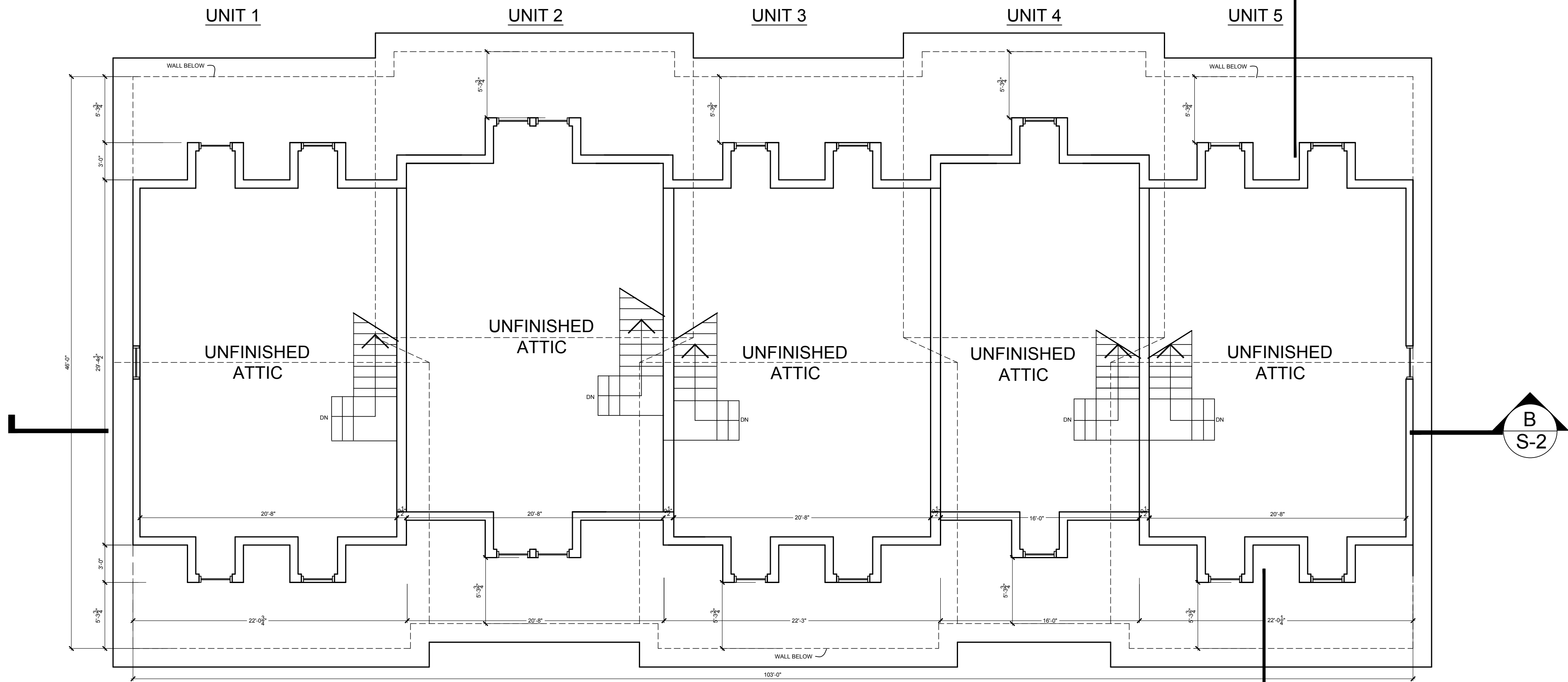
Drawing Title: SECOND FLOOR PLAN
 Scale: AS SHOWN

A-3

FLOOR AREA CALCULATIONS

	1ST FLOOR	2ND FLOOR	TOTAL 1ST & 2ND
UNIT 1	1,001.4 SF	995 SF	1,996.4 SF
UNIT 2	988.7 SF	997.8 SF	1,986.5 SF
UNIT 3	997.0 SF	990.6 SF	1,987.6 SF
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ATTIC PLAN
 SCALE: 1/4" = 1'-0"

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 PLANNING BOARD SUBMISSION 5-07-15
 PLANNING BOARD SUBMISSION 5-21-15

Drawing Title
 ATTIC PLAN
 Scale
 AS SHOWN



WEST ELEVATION
SCALE: 1/4" = 1'-0"

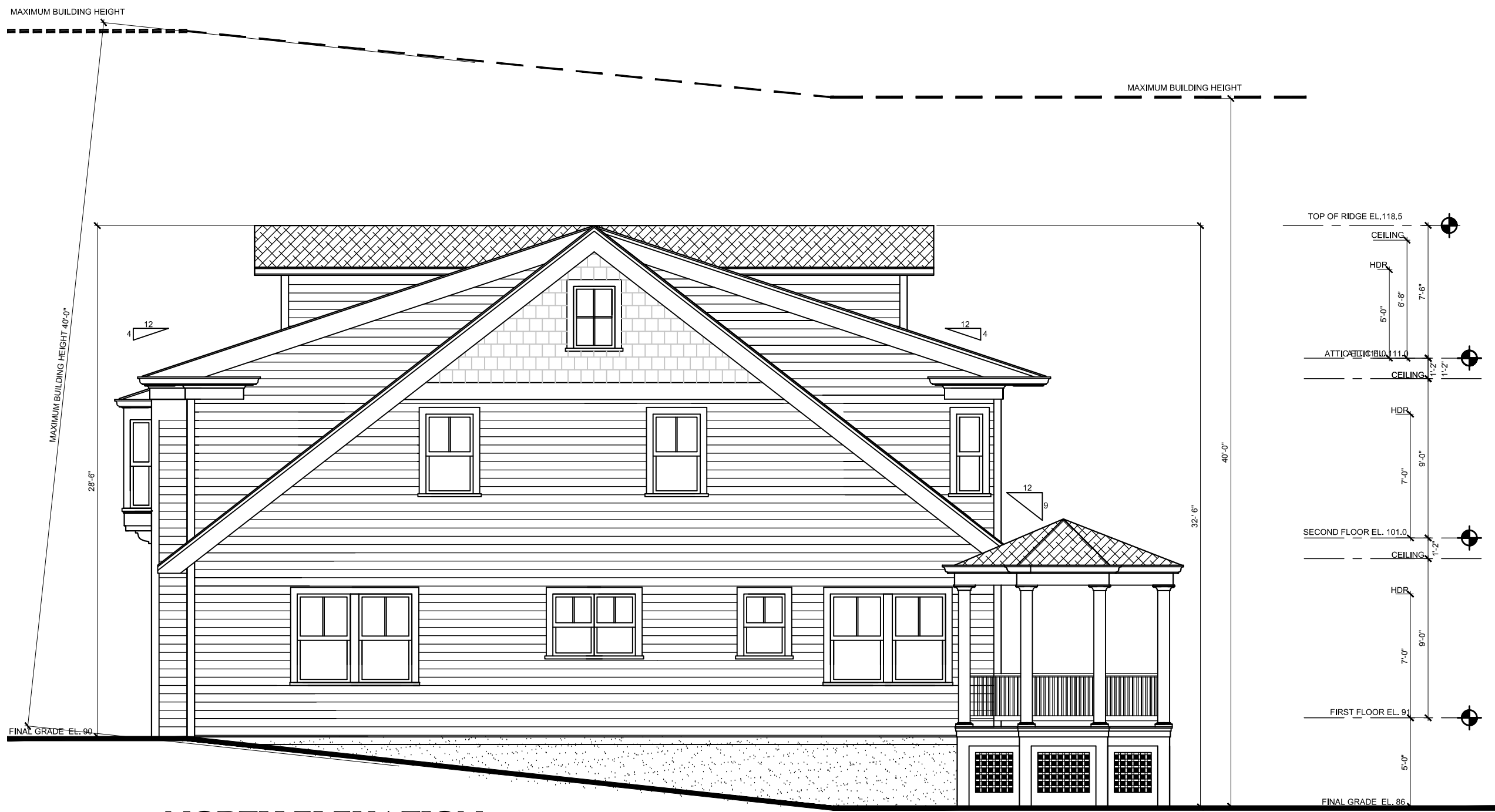
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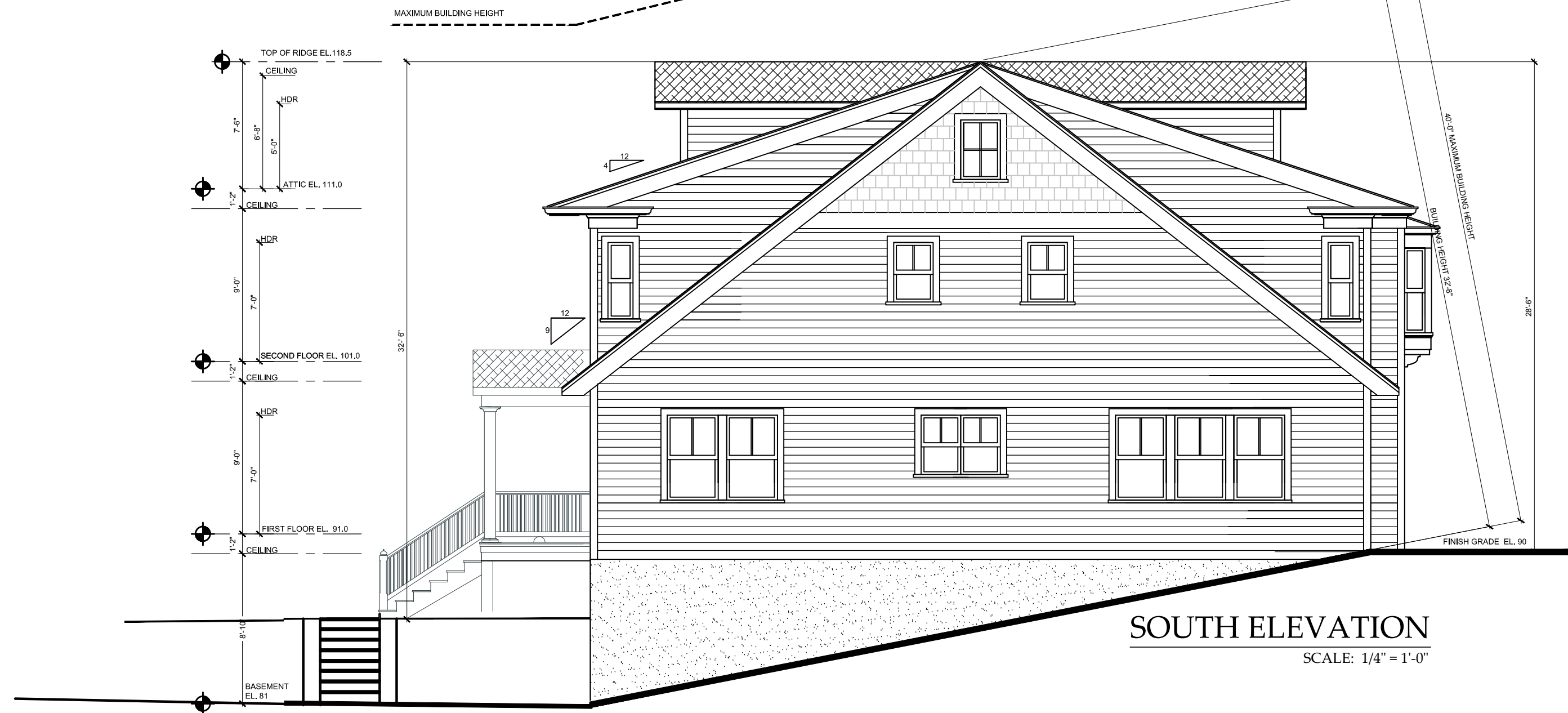
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PLANNING BOARD SUBMISSION 3-19-15
PLANNING BOARD SUBMISSION 4-15-15
ZONING BOARD SUBMISSION 4-21-15
PLANNING BOARD SUBMISSION 5-1-15
PLANNING BOARD SUBMISSION 5-21-15

Drawing Title: WEST ELEVATION
Scale: AS SHOWN

A-5



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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PLANNING BOARD SUBMISSION	4-15-15
PLANNING BOARD SUBMISSION	5-27-15
PLANNING BOARD SUBMISSION	5-27-15

Drawing Title:
NORTH & SOUTH
ELEVATIONS
Scale:
AS SHOWN

A-6



EAST ELEVATION
SCALE: 1/4" = 1'-0"

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	PLANNING BOARD SUBMISSION	4-15-15
	ZONING BOARD SUBMISSION	4-27-15
	PLANNING BOARD SUBMISSION	5-21-15

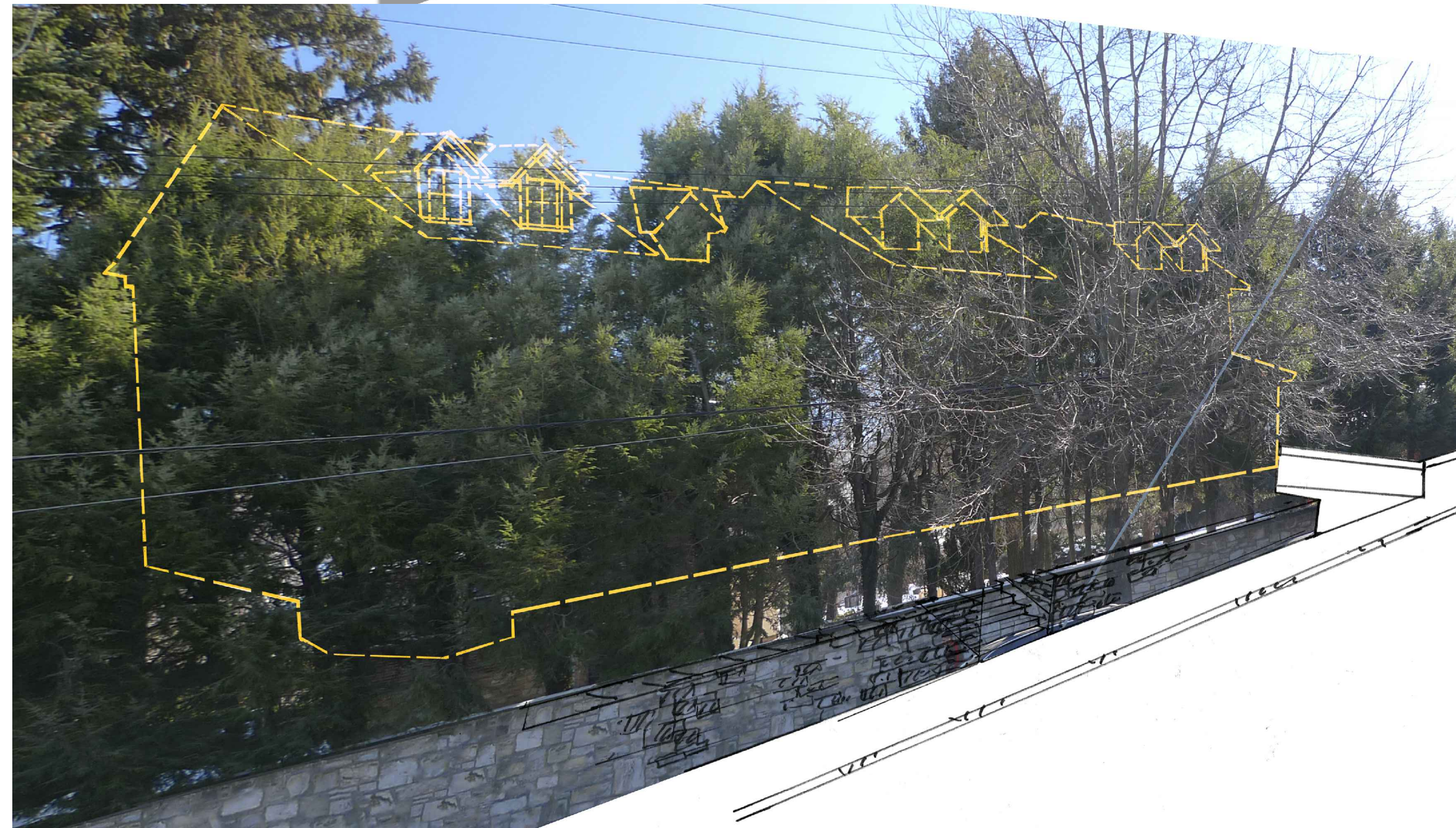
Drawing Title
EAST ELEVATION
Scale
AS SHOWN

A-7

VIEWS of SITE



PERSPECTIVE VIEW from
WARBURTON AVENUE
SHOWN WITHOUT
EXISTING TREES



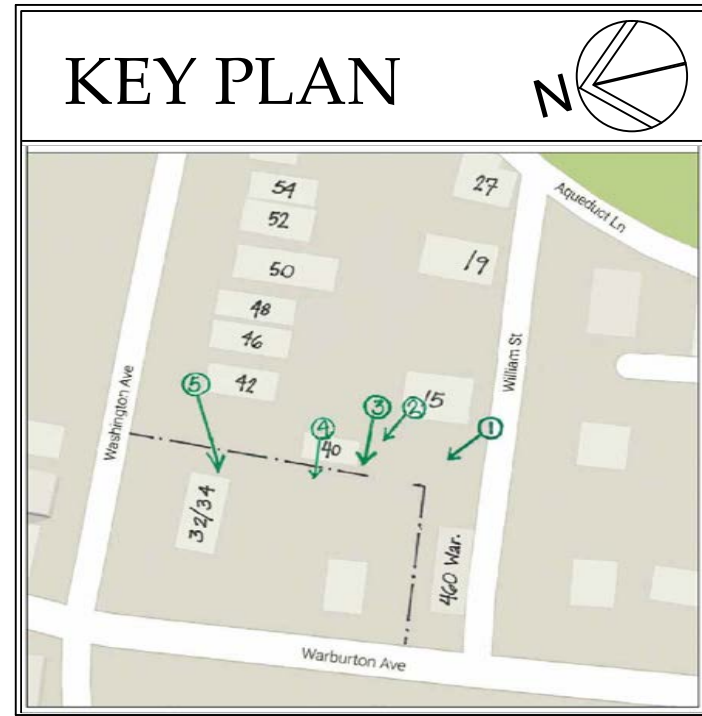
PERSPECTIVE VIEW from
WARBURTON AVENUE
SHOWN WITH
EXISTING TREES

TOWNHOUSES at
32-34 WASHINGTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706

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DATE
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 PLANNING BOARD SUBMISSION 4-15-15
 PLANNING BOARD SUBMISSION 4-27-15
 PLANNING BOARD SUBMISSION 6-30-15

Drawing Title
 PERSPECTIVE VIEW
 WARBURTON AVE
 Scale:
 AS SHOWN



BEFORE
VIEW from
NEIGHBORING PROPERTY
on WILLIAM STREET

1



AFTER
VIEW from
NEIGHBORING PROPERTY
on WILLIAM STREET

1



TOWNHOUSES at
32-34 WASHINGTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC

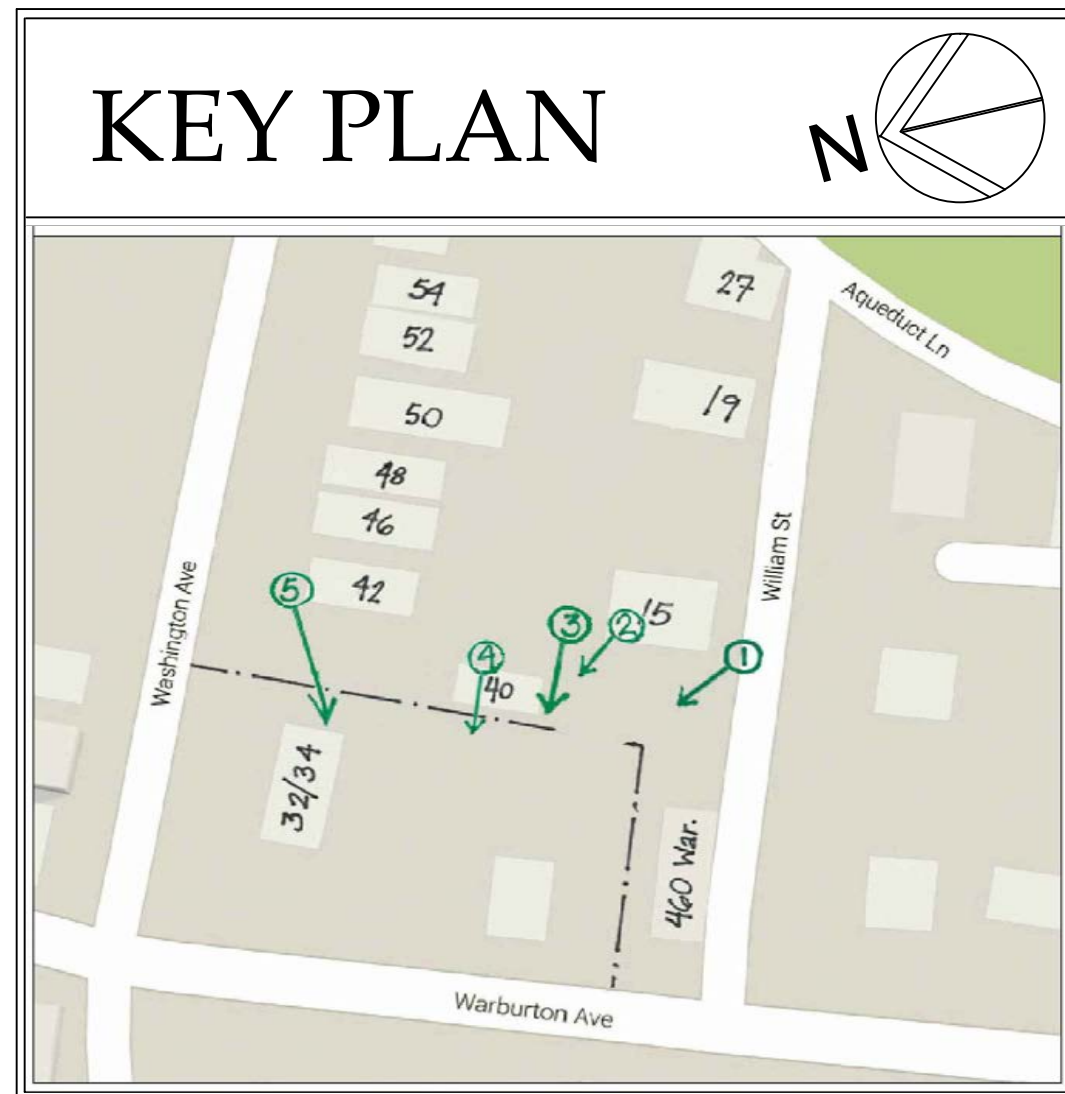
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DATE
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ZONING BOARD SUBMISSION 4-28-15
PLANNING BOARD SUBMISSION 6-30-15

Drawing Title
VIEWS from
WILLIAM STREET

SCALE
AS SHOWN

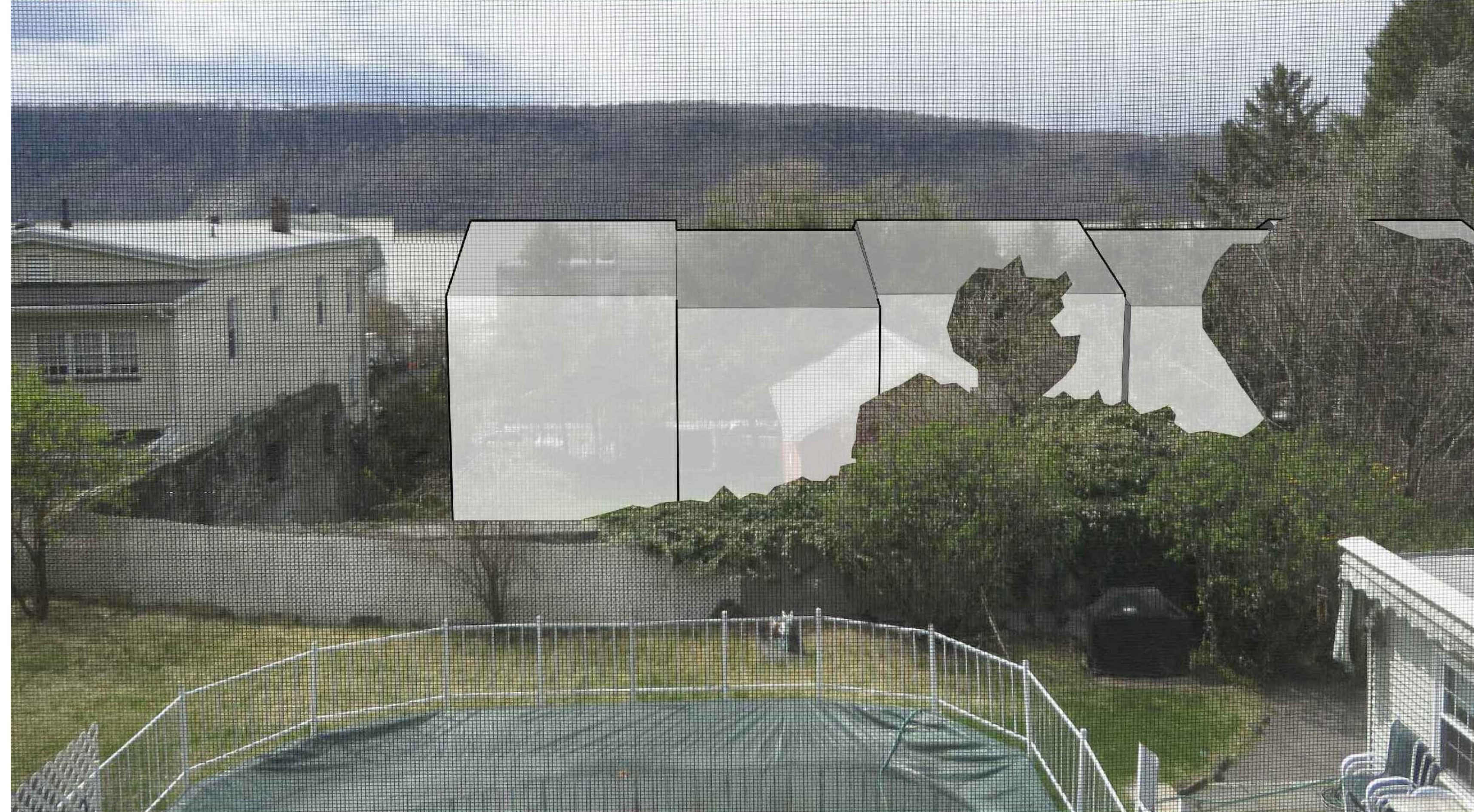
A-9



BEFORE VIEW 2
 from FIRST FLOOR
 at 15 WILLIAM STREET



AFTER VIEW from 2
 the FIRST FLOOR
 at 15 WILLIAM STREET

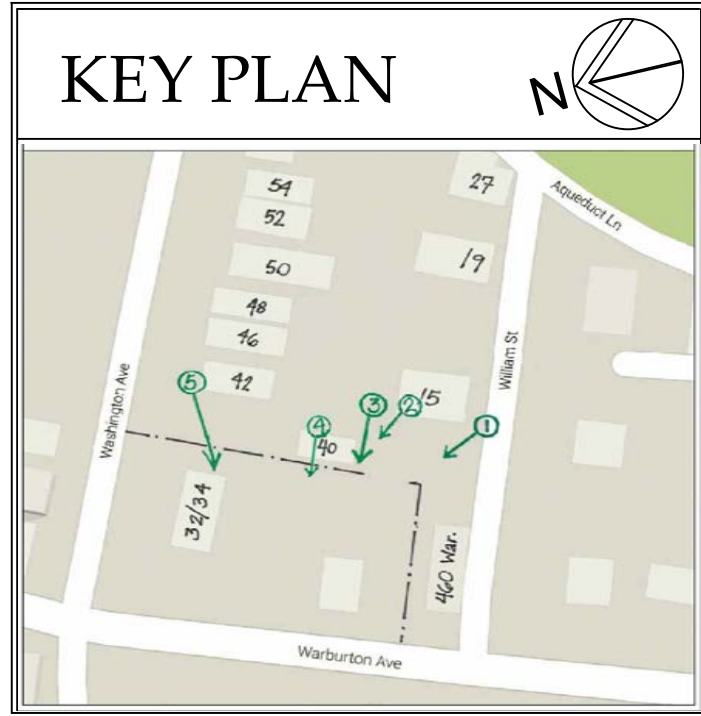


TOWNHOUSES at
32-34 WASHINGTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706

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DATE
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 ZONING BOARD SUBMISSION 4-28-15
 PLANNING BOARD SUBMISSION 6-30-15

Drawing Title
 VIEWS from
 15 WILLIAM STREET
 Scale:
 AS SHOWN



BEFORE VIEW (2A)
from SECOND FLOOR
at 15 WILLIAM STREET



AFTER VIEW (2A)
from SECOND FLOOR
at 15 WILLIAM STREET



TOWNHOUSES at
32-34 WASHINGTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706

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DATE
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 ZONING BOARD SUBMISSION 4-28-15
 PLANNING BOARD SUBMISSION 6-30-15

DRAWING TITLE
 VIEWS FROM
 15 WILLIAM STREET

SCALE
 AS SHOWN

A-11



BEFORE VIEW from ③
NEIGHBORING PROPERTY
on WILLIAM STREET



AFTERVIEW from ③
NEIGHBORING PROPERTY
on WILLIAM STREET



TOWNHOUSES at
32-34 WASHINGTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706

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	PLANNING BOARD SUBMISSION	3-19-15
	ZONING BOARD SUBMISSION	4-23-15
	PLANNING BOARD SUBMISSION	6-30-15

Drawing Title
 VIEWS from
 WILLIAM STREET
 Scale
 AS SHOWN



BEFORE VIEW from ④
NEIGHBORING PROPERTY
on WASHINGTON AVENUE



AFTERSHOW from ④
NEIGHBORING PROPERTY
on WASHINGTON AVENUE



TOWNHOUSES at
32-34 WASHINGTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

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ZONING BOARD SUBMISSION 4-28-15
PLANNING BOARD SUBMISSION 6-30-15

Drawing Title
VIEWS from
WILLIAM'S STREET

Scale:
AS SHOWN



BEFORE VIEW from ⑤
NEIGHBORING PROPERTY
on WASHINGTON AVENUE



AFTERVIEW from ⑤
NEIGHBORING PROPERTY
on WASHINGTON AVENUE

TOWNHOUSES at
32-34 WASHINGTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706

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 PLANNING BOARD SUBMISSION 6-30-15

Drawing Title
 VIEWS from
 WILLIAMS STREET

Scale:
 AS SHOWN

VIEWS of SITE



TOWNHOUSES at
32-34 WASHINGTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706

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 PLANNING BOARD SUBMISSION 5-07-15
 PLANNING BOARD SUBMISSION 6-30-15

Drawing Title
 VIEWS of SITE
 SCALE
 AS SHOWN



IEWS of NEIGHBORHOOD

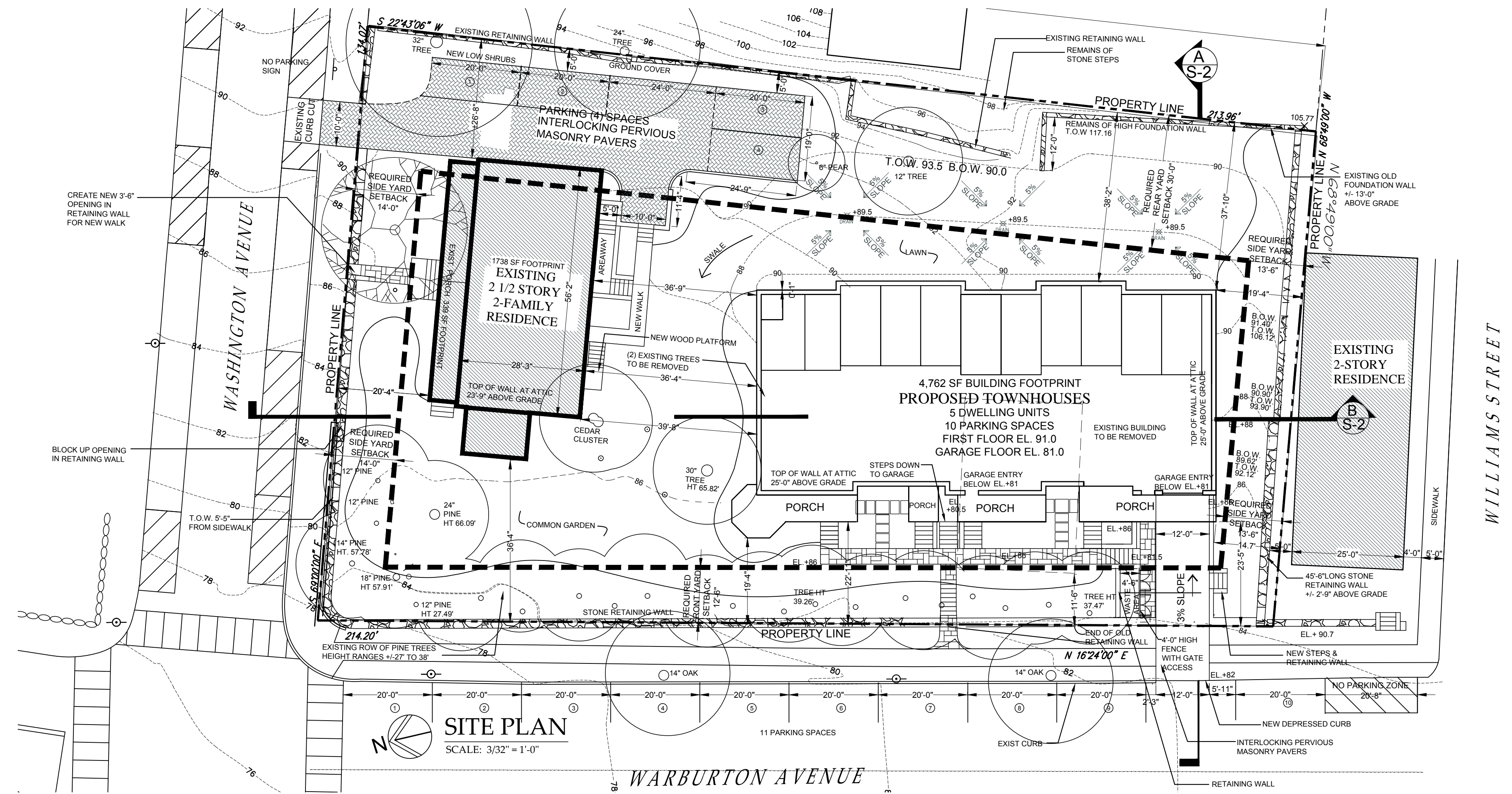
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 PLANNING BOARD SUBMISSION 4-20-15
 PLANNING BOARD SUBMISSION 6-30-15

DRAWING TITLE
 VIEWS of SITE
 SCALE
 AS SHOWN

COVERAGE CALCULATIONS		TABLE OF ZONING DATA		ZONING DISTRICT: MR 1.5		TAX DESIGNATION: SECTION 4.75, BLOCK 53, LOT 11	
LOT AREA	26,126 SF / 0.60 AC	LOT AREA	1,500 SF / .034 AC	REQUIRED	EXISTING	PROPOSED	ZONING NOTES 1. PER ZONING CODE (295-71A), OPEN SPACE IS CALCULATED 200 SQUARE FEET FOR EACH BEDROOM. (4 THREE BEDROOM UNITS AND 1 TWO BEDROOM UNIT IN PROPOSED BUILDING. 14 BEDROOMS X 200 = 2800) 2. PER ZONING CODE (295-72E), FRONT AND SIDE YARD IS AT LEAST 12 FEET OR 1/2 OF THE HEIGHT OF THE BUILDING WALL NEAREST THE SIDE LOT LINE, WHICHEVER IS GREATER, PLUS 1 FOOT FOR EACH 10 FEET LENGTH IN EXCESS OF 50 FEET. 3. A BUILDING WALL HEIGHT OF 25 FEET WAS USED TO CALCULATE THE FRONT AND SIDE YARD SETBACK. BASED ON INTERPRETATION PROVIDED BY HASTINGS BUILDING DEPARTMENT, BUILDING WALL HEIGHT IS FROM GRADE TO TOP OF ATTIC FLOOR.
WALLS	686 SF (2.6%)	NUMBER OF DWELLING UNITS	TO BE DETERMINED	2	7		
SIDEWALKS & STEPS	896 SF (3.4%)	MINIMUM LOT AREA PER DWELLING UNIT (DENSITY)	1,500 SF PER UNIT	13,063 SF PER UNIT	3,732 SF PER UNIT		
EXTERIOR PARKING	741 SF (2.8%)	MAXIMUM DEVELOPMENT COVERAGE	15% / 1,491 SF	12% / 3,018 SF	40% / 10,430 SF VARIANCE REQUIRED		
DRIVEWAY (OVER 960 SF)	673 SF (2.6%)	TOTAL BUILDING COVERAGE (BLDG. & PORCHES ONLY)	-	-	28.5% / 7,434 SF		
BUILDING (NOT INCL. PORCHES)	6,500 SF (25%) (1,738 SF EXIST. + 4,762 SF NEW)	OPEN SPACE	2,800 SF	20,800 SF	14,783 SF		
PORCHES	934 SF (3.6%) (339 SF EXIST. + 595 SF NEW)	MINIMUM LOT WIDTH FRONTAGE	25	134	134		
TOTAL DEVELOPMENT COVERAGE	10,430 SF (40%)	MAXIMUM BUILDING HEIGHT	3 STORIES / 40 FT	2 1/2 STORIES / 34.75 FT	2 1/2 STORIES / 32.6 FT AT NEW BUILDING		
TOTAL BUILDING COVERAGE (BUILDING AND PORCHES ONLY)	7,434 SF (28.5%)	MAXIMUM DRIVEWAY SLOPE	3%	-	3%		
		MAXIMUM CURB CUT	24.0 FT	10.0 FT	22.0 FT		
		FRONT YARD SETBACK	12.5 FT	36.33 FT	19.33 SF		
		REAR YARD SETBACK	30.0 FT	26.66 FT	26.66 FT at OLD HOUSE, 37.83 FT at NEW BUILDING		
		SIDE ONE	13.5 FT	159.00 FT	14.70 FT		
		SIDE TWO	14.0 FT	20.33 FT	20.33 FT		
		TOTAL OF TWO SIDES	27.5 FT	179.33 FT	35.03 FT		
		FRONT PARKING SETBACK	10 FT	-	-		
		REAR PARKING SETBACK	5 FT	+/- 2 FT	5 FT		
		SIDE PARKING SETBACK	5 FT	0 FT	0 FT		
		PARKING SUMMARY - TOTAL SPACES PROVIDED	4 SPACES	+/- 2 SPACES	14 SPACES		

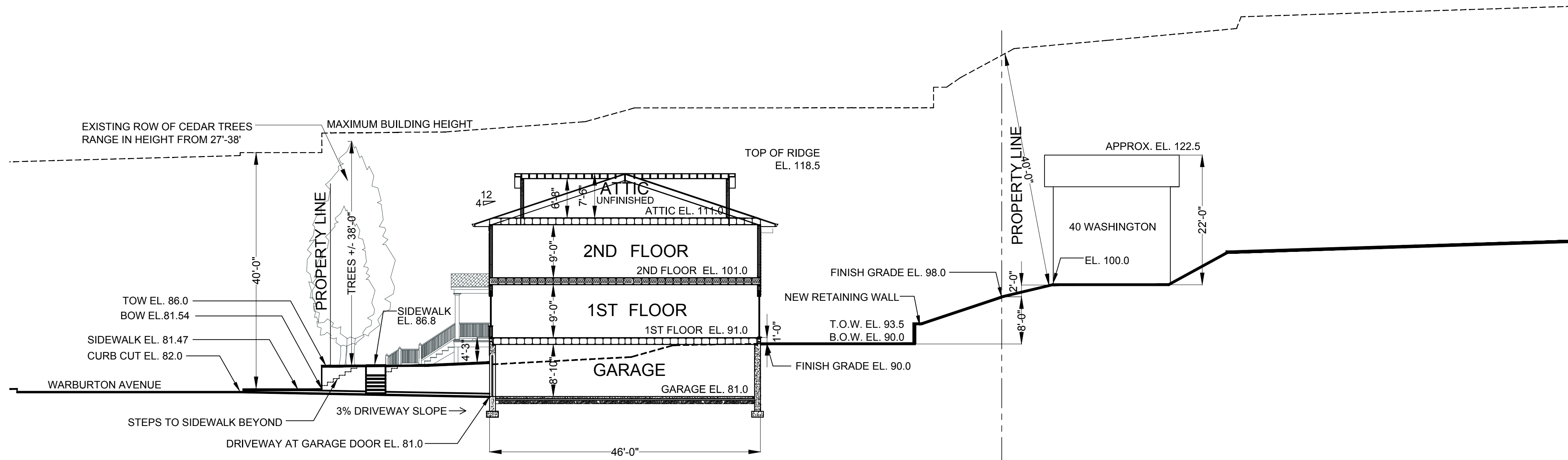


TOWNHOUSES at
32-34 WASHINGTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706

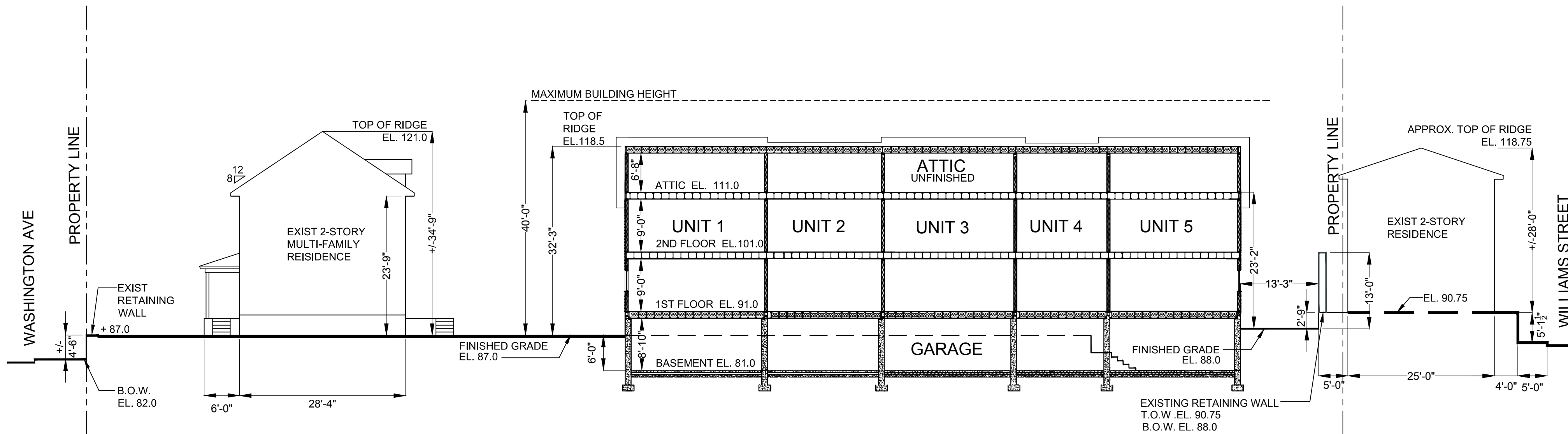
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DATE: PLANNING BOARD PRE-SUBMISSION 2-1-15
 PLANNING BOARD SUBMISSION 3-19-15
 PLANNING BOARD SUBMISSION 4-15-15
 ZONING BOARD SUBMISSION 4-28-15
 PLANNING BOARD SUBMISSION 5-30-15
 PLANNING BOARD SUBMISSION 6-30-15

S-1



A SECTION through SITE
 S-2 SCALE: 1/8" = 1'-0"



B SECTION through SITE
 S-2 SCALE: 1/8" = 1'-0"

TOWNHOUSES at
32-34 WASHINGTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706

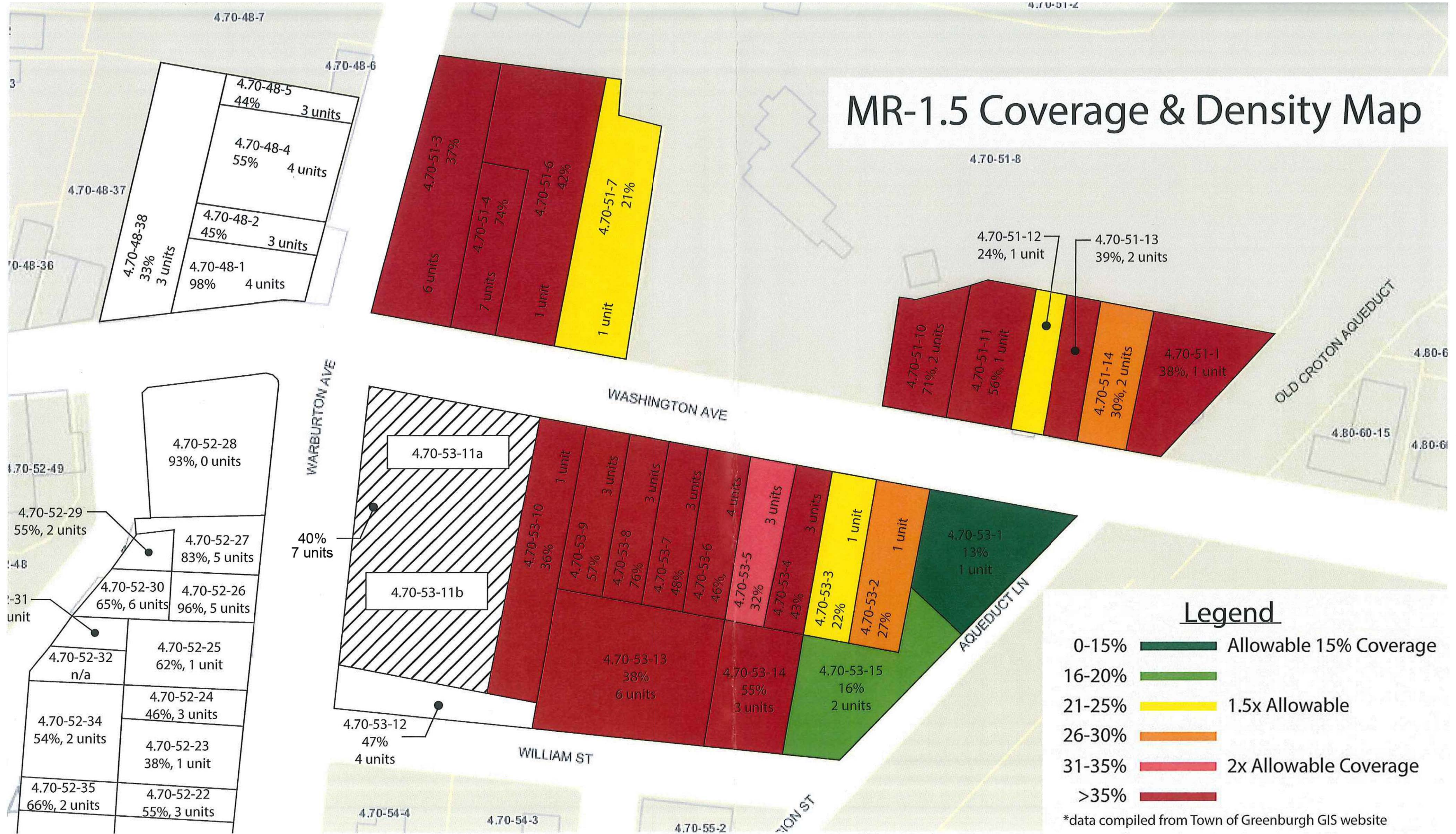
CHRISTINA GRIFFIN ARCHITECT PC
 10 Spring Street
 Hastings-on-Hudson, New York, 10706
 914.478.0799 tel 914.478.0806 fax
 www.christinagriffinarchitect.com

PLANNING BOARD PRE-SUBMISSION 2-1-15
 PLANNING BOARD SUBMISSION 3-19-15
 PLANNING BOARD SUBMISSION 4-16-15
 PLANNING BOARD SUBMISSION 4-23-15
 PLANNING BOARD SUBMISSION 5-07-15

Scale: AS SHOWN

S-2

MR-1.5 Coverage & Density Map



Legend

- 0-15% Allowable 15% Coverage
- 16-20%
- 21-25% 1.5x Allowable
- 26-30%
- 31-35% 2x Allowable Coverage
- >35%

*data compiled from Town of Greenburgh GIS website

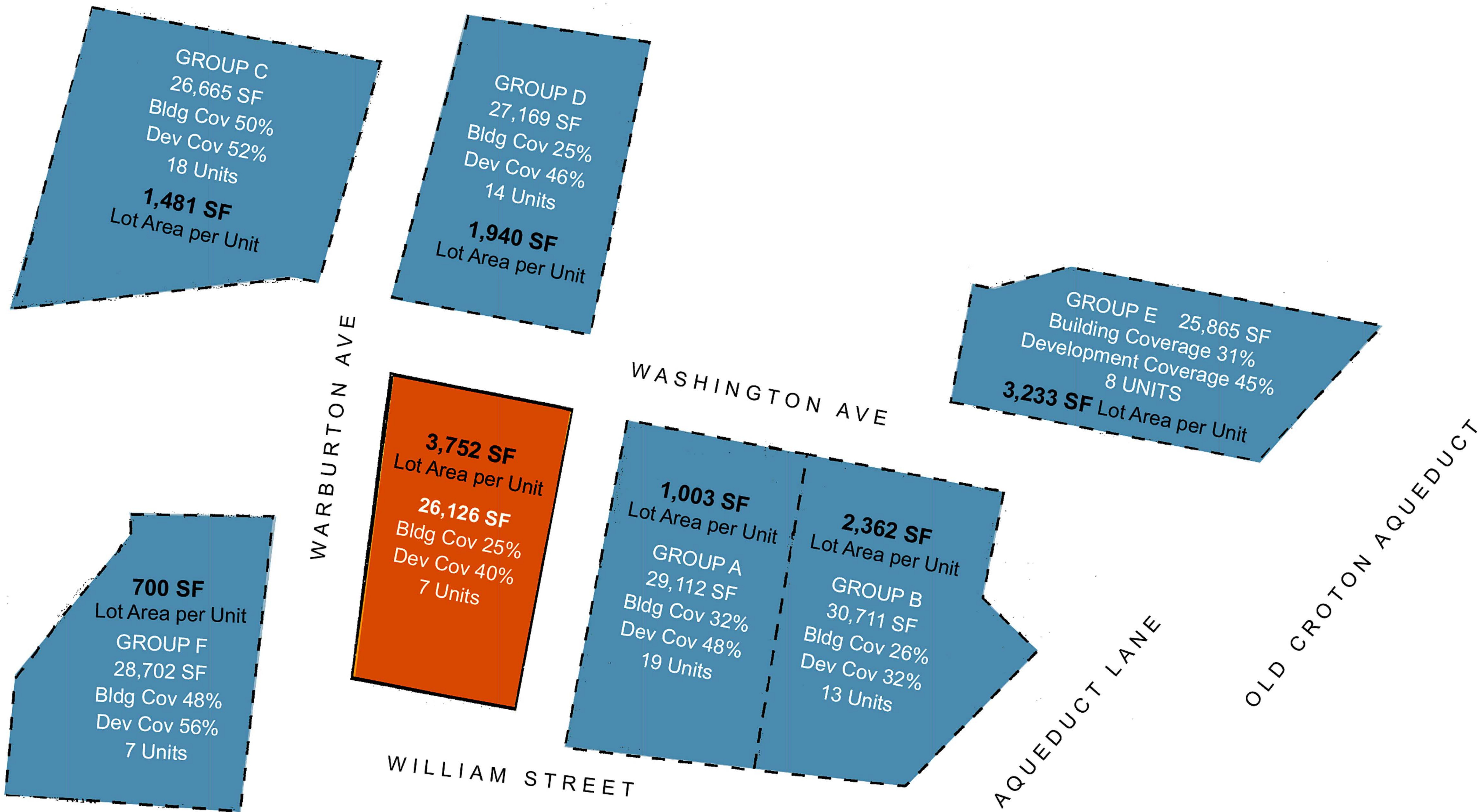
AVERAGE DEVELOPMENT COVERAGE OF 24 PROPERTIES ON WASHINGTON AVENUE & WILLIAM STREET, EXCLUDING CROPSY ESTATE IS 41%

TOWNHOUSES at
32-34 WASHINGTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706

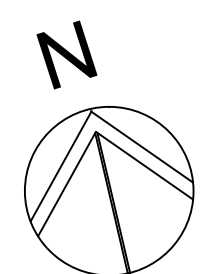
CHRISTINA GRIFFIN ARCHITECT
 10 Spring Street
 Hastings-on-Hudson, New York 10706
 914.478.0799 tel 914.478.0806 fax
 www.christinagriffinarchitect.com

PLANNING BOARD PRE-SUBMISSION 2-1-15
 PLANNING BOARD SUBMISSION 3-19-15
 PLANNING BOARD SUBMISSION 4-15-15
 ZONING BOARD SUBMISSION 4-22-15
 PLANNING BOARD SUBMISSION 5-15-15
 PLANNING BOARD SUBMISSION 6-30-15

Drawing Title: COVERAGE & DENSITY MAP
 Scale: AS SHOWN



MINIMUM LOT AREA PER UNIT
REQUIRED IN M-1.5 ZONE IS 1,500 SF



DENSITY STUDY of NEIGHBORING PROPERTIES Grouped into Blocks of Similar Lot Areas
Showing Lot Area per Unit, Building Coverage & Development Coverage

SCALE: N.T.S.

TOWNHOUSES at
32-34 WASHINGTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

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Date	PLANNING BOARD PRE-SUBMISSION	2-1-15
	PLANNING BOARD SUBMISSION	3-16-15
	PLANNING BOARD SUBMISSION	4-15-15
	ZONING BOARD SUBMISSION	4-23-15
	ZONING BOARD SUBMISSION	6-30-15

Owner's Title
DENSITY STUDY
Scale:
AS SHOWN

TOWNHOUSES at 32-34 WASHINGTON AVENUE

HASTINGS-ON-HUDSON, N Y 10706

CHRISTINA GRIFFIN ARCHITECT

10 Spring Street, Hastings-on-Hudson, NY 10706



OWNER	ARCHITECT	CIVIL ENGINEER	LIST OF DRAWINGS	DATES
<p>CCI Properties Andrew Cortese, President 52 Cedar Street Dobbs Ferry, NY 10522 914.447.3965 andrew@corteseconstruction.com</p>	<p>Christina Griffin Architect, PC Christina Griffin AIA LEED AP CPHC 10 Spring Street Hastings-on-Hudson, NY 10706 914.478.0799 cg@cgastudio.com</p>	<p>JMC John Meyer Consulting, PC 120 Bedford Road Armonk, NY, 10504 914.273.5225</p>	<p>TITLE SHEET RENDERING OF PROPOSED BUILDING S-1 SITE PLAN S-2 SECTIONS THROUGH SITE S-3 SITE DENSITY COVERAGE MAP S-4 DENSITY STUDY C-1 LAYOUT & BUILDING COVERAGE PLAN C-2 GRADING & UTILITIES PLAN C-3 SEDIMENT & EROSION CONTROL PLAN C-4 CONSTRUCTION DETAILS C-5 CONSTRUCTION DETAILS C-6 CONSTRUCTION DETAILS L-1 LANDSCAPING PLAN A-1 BASEMENT PLAN A-2 FIRST FLOOR PLAN A-3 SECOND FLOOR PLAN A-4 ATTIC PLAN A-5 WEST ELEVATION A-6 NORTH & SOUTH ELEVATIONS A-7 EAST ELEVATION</p>	<p>PRELIMINARY PLANNING BOARD SUBMISSION 2-19-15 PLANNING BOARD SUBMISSION 3-19-15 PLANNING BOARD SUBMISSION 4-15-15 PLANNING BOARD SUBMISSION 5-7-15 PLANNING BOARD SUBMISSION 6-30-15</p>

Stephen Lopez
Town Planner & Landscape Architect

RLA, New York

AICP, Member

July 1, 2015

Mr. Andrew Cortese
CCI Properties, LLC
52 Cedar Street
Dobbs Ferry, NY 10522

RE: 32-34 Washington Avenue
Hastings, NY

Dear Mr. Cortese,

This letter report has been prepared based on a field visit with you to the above referenced property, to examine an existing hedgerow of Hemlock (*Tsuga canadensis*) trees along the frontage of 34-32 Warburton Avenue. The planting appears to be about 20 years old.

The original spacing of the trees has left the more mature stand very crowded. Several trees that have broken trunks or poor crowns should be removed. Most of the others should be selectively pruned to remove dead branches. This will have a positive effect on the remaining trees allowing more space for them to grow. New construction should maintain at a minimum a 15 foot limit of disturbance from the trees.

In addition to the above the trees should be fertilized by a tree care company and treated for Woolly Adelgid, an insect that attacks Hemlocks and is present on these plants. This treatment should be repeated by the tree care company on a regular schedule that they will recommend.

Please call or email with and questions or comments.

Sincerely



Stephen Lopez

REMOVE 6 FEET OF EXISTING WALL ON EITHER SIDE OF THE DRIVEWAY TO PROVIDE GREATER VISIBILITY OF PEDESTRIANS IN SIDEWALK

MEET EXISTING SIDEWALK

PROPOSED CURB RAMP

MEET EXISTING SIDEWALK

PROPOSED FLAGSTONE WALKWAY

MEET EXISTING SIDEWALK

PROPOSED FLAGSTONE WALKWAY

CONCRETE SIDEWALK

CONCRETE SIDEWALK

CONCRETE SIDEWALK

CONCRETE SIDEWALK

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CONCRETE SIDEWALK

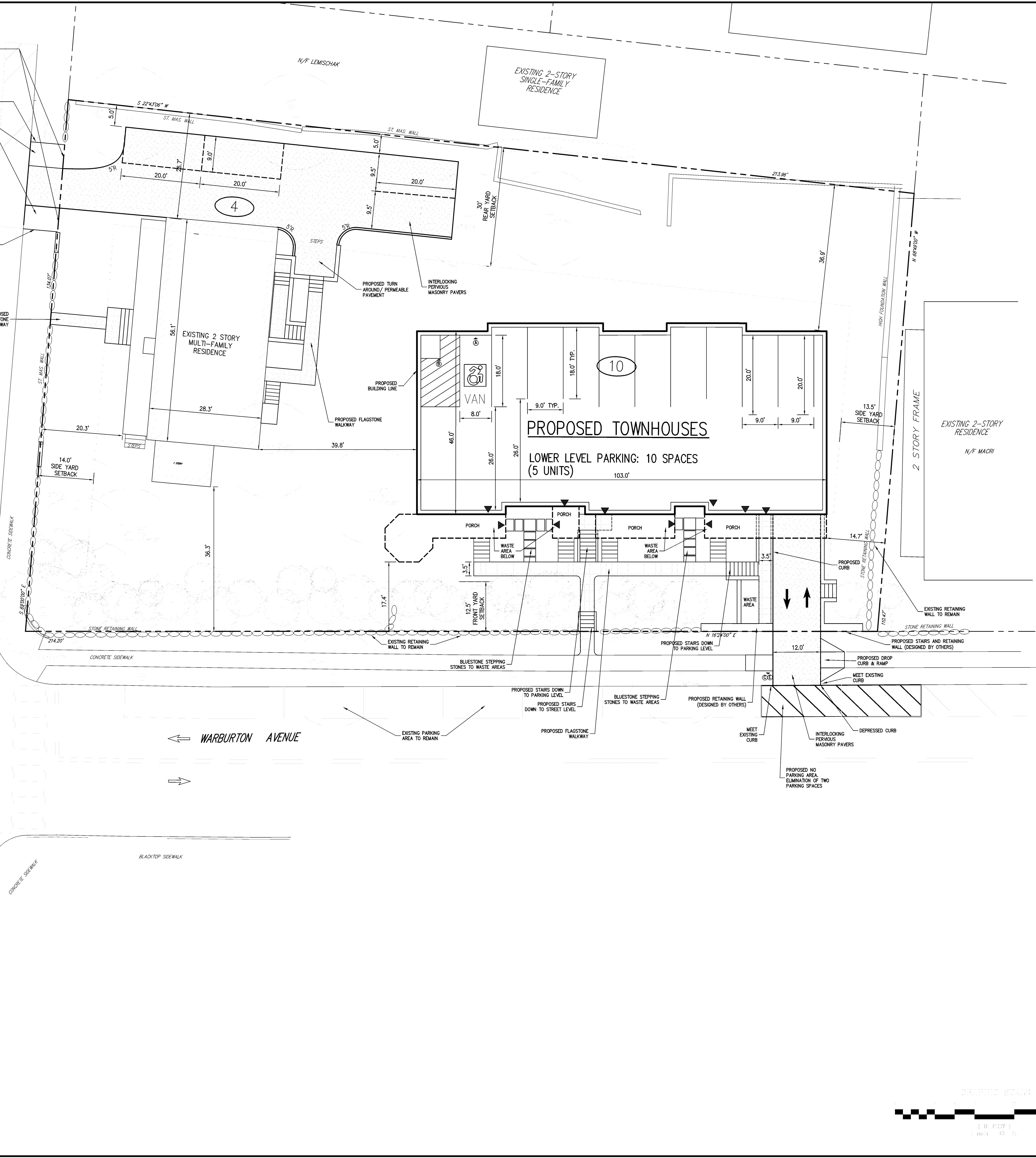
CONCRETE SIDEWALK

CONCRETE SIDEWALK

CONCRETE SIDEWALK

CONCRETE SIDEWALK

CONCRETE SIDEWALK



LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPOSED PROPERTY LINE
- SETBACK LINE
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
- PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
- PROPOSED FLAGSTONE WALK
- PROPOSED PERMEABLE PAVERS
- PROPOSED DROP CURB AND RAMP
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- TRAFFIC SIGN LOCATION & DESIGNATION

NOTES:
 1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY", PREPARED BY WARD CARPENTER ENGINEERS, INC. DATED APRIL 23, 2015.

SIGN TABLE

DESCRIPTION	SIZE	DESCRIPTION	INSTALLATION	INSTALLATION	INSTALLATION
NUMBER			TYPE	HEIGHT	REMARKS
A	12"x18"	GREEN & BLUE ON WHITE	WALL MOUNTED	7'-0"	R7-8 X
B	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYR1-2 X
C	24"x30"	BLACK ON WHITE	STEEL CHANNEL	BELOW STOP SIGN (SEE REPORT)	NYR3-20 X
D	24"x24"	BLACK ON RED AND WHITE	STEEL CHANNEL	7'-0"	R3-2 X
E	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1 X

DATE

04/02/2015 EH
 05/07/2015 EH
 05/21/2015 EH
 06/30/2015 PD

REVISION

1. GENERAL REVISIONS
 2. GENERAL REVISIONS
 3. GENERAL REVISIONS
 4. GENERAL REVISIONS

CC I PROPERTIES, LLC
 52 CEDAR STREET
 DOBBS FERRY, NY 10522

CHRISTINA GRIFFIN ARCHITECT, PC
 10 SPRING STREET
 HASTINGS-ON-HUDSON, NY 10706

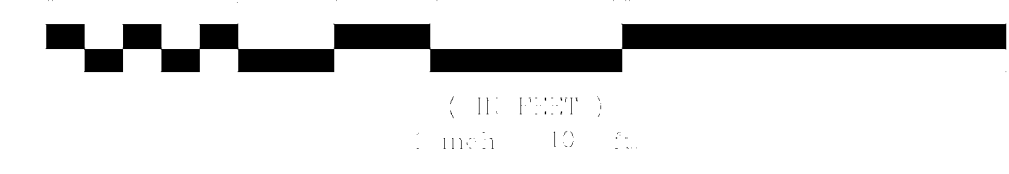
120 Bedford Road
 Armonk, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.johnmeyersconsulting.com

JMC
 JOHN MEYER CONSULTING PC

LAYOUT PLAN
 WASHINGTON AVENUE RESIDENCES
 32-34 WASHINGTON AVENUE
 HASTING-ON-HUDSON, NY

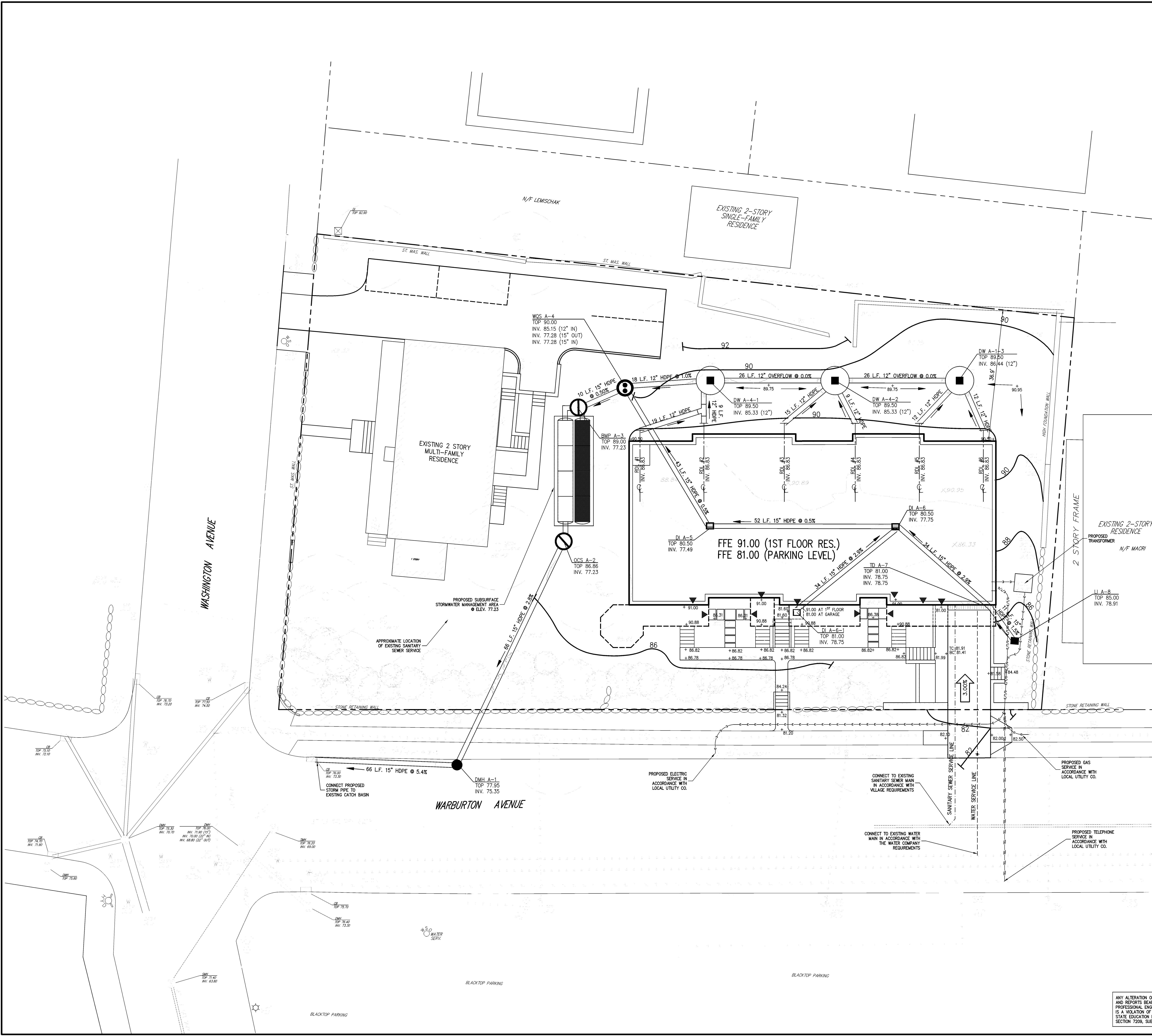
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NOT FOR CONSTRUCTION

ED APPROVED RR
 SCALE: 1" = 10'
 DATE: 03/19/2015
 PROJECT NO: 13180
 SHEET NO: 13180-01
 DRAWING NO: C-1



LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	PROPOSED PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING FENCE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE D STORM INLET
	PROPOSED TYPE U DRAIN INLET
	PROPOSED CLEANOUT
	15" HDPE
	6" PVC
	2" WATER
	PROPOSED GAS LINE
	PROPOSED ELECTRIC/TELEPHONE/CABLE
	PROPOSED WATER VALVE
	PROPOSED GAS VALVE
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	TRENCH DRAIN
	CDS WATER QUALITY STRUCTURE
	OUTLET CONTROL STRUCTURE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY", PREPARED BY WARD CARPENTER ENGINEERS, INC. DATED APRIL 23, 2015.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 52, WITH PUSH ON JOINTS IN ACCORDANCE WITH ANWA C-150, C-151, C-104 AND C-111.
 - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - SEE DRAWINGS PREPARED BY CHRISTINA GRIFFIN ARCHITECT, P.C. FOR PROJECT LAYOUT AND LANDSCAPING.

DATE	REVISION
04/02/2015	EH
05/07/2015	EH
05/21/2015	EH
06/30/2015	PD

1. GENERAL REVISIONS
 2. GENERAL REVISIONS
 3. GENERAL REVISIONS
 4. GENERAL REVISIONS

CCI PROPERTIES, LLC
 52 CEDAR STREET
 DOBBS FERRY, NY 10522

CHRISTINA GRIFFIN ARCHITECT, PC
 10 SPRING STREET
 HASTINGS-ON-HUDSON, NY 10706

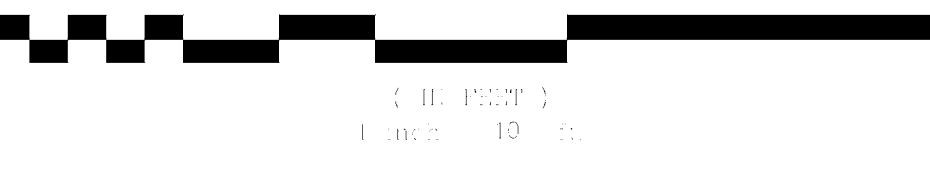
JMC
 JOHN MEYER CONSULTING PC
 120 Bedford Road
 Armonk, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.johnmeyerconsulting.com

GRADING & UTILITIES PLAN
 WASHINGTON AVENUE RESIDENCES
 32-34 WASHINGTON AVENUE
 HASTINGS-ON-HUDSON, NY

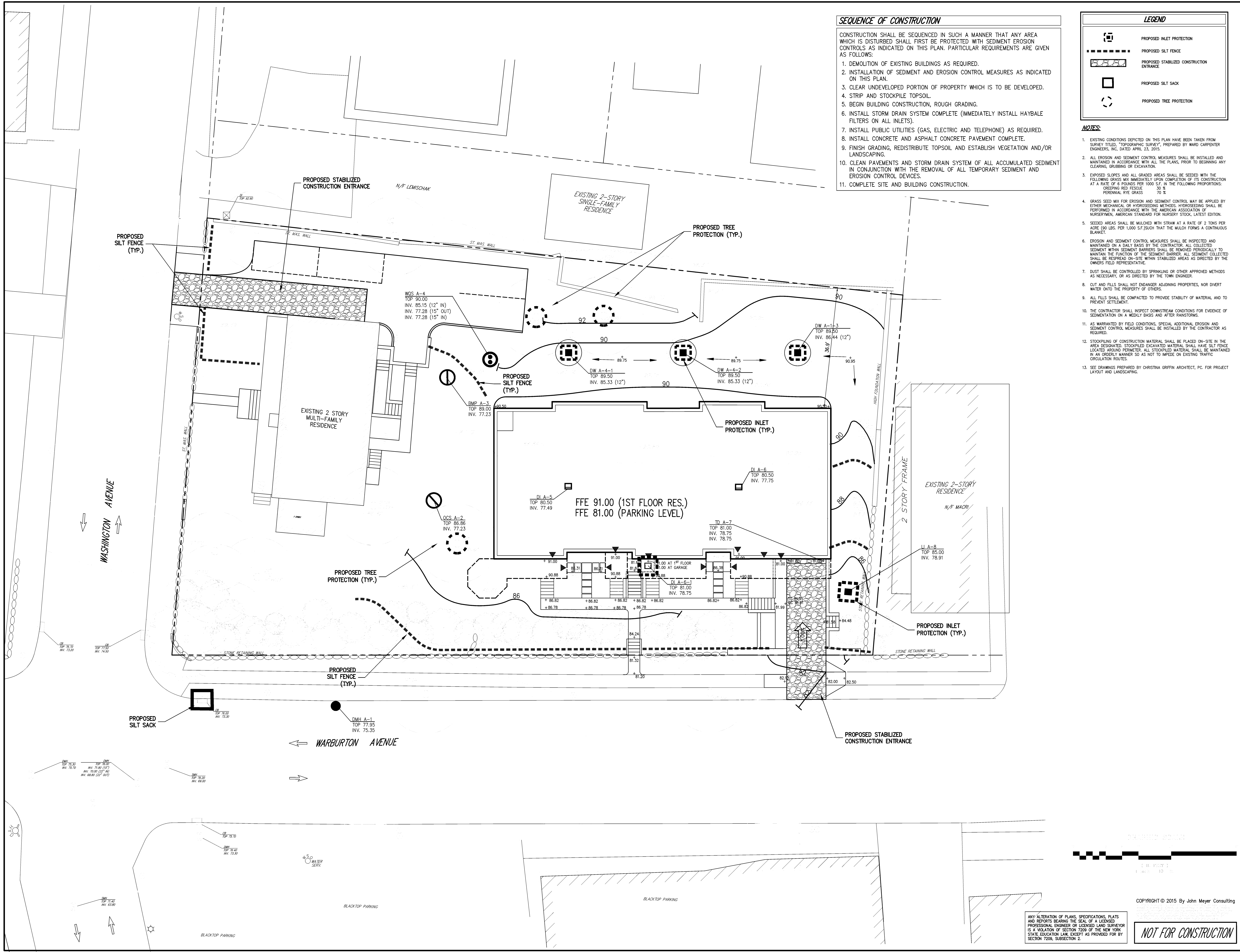
ED APPROVED RR
 SCALE: 1" = 10'
 DATE: 03/19/2015
 PROJECT NO: 13180
 SHEET: GRD & UTIL
 DRAWING NO: C-2

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NOT FOR CONSTRUCTION



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 13180



SEQUENCE OF CONSTRUCTION

- CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT EROSION CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:
1. DEMOLITION OF EXISTING BUILDINGS AS REQUIRED.
 2. INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
 3. CLEAR UNDEVELOPED PORTION OF PROPERTY WHICH IS TO BE DEVELOPED.
 4. STRIP AND STOCKPILE TOPSOIL.
 5. BEGIN BUILDING CONSTRUCTION, ROUGH GRADING.
 6. INSTALL STORM DRAIN SYSTEM COMPLETE (IMMEDIATELY INSTALL HAYBALE FILTERS ON ALL INLETS).
 7. INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
 8. INSTALL CONCRETE AND ASPHALT CONCRETE PAVEMENT COMPLETE.
 9. FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
 10. CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
 11. COMPLETE SITE AND BUILDING CONSTRUCTION.

LEGEND

- PROPOSED INLET PROTECTION
- PROPOSED SILT FENCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED SILT SACK
- PROPOSED TREE PROTECTION

- NOTES**
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY", PREPARED BY WARD CARPENTER ENGINEERS, INC. DATED APRIL 23, 2015.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS, PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION.
 3. EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 6 POUNDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS:
 CREEPING RED FESCUE 30 %
 PERENNIAL RYE GRASS 70 %
 4. GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 5. SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
 6. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIER. ALL SEDIMENT COLLECTED SHALL BE REAPPLIED ON-SITE WITH STABILIZED AREAS AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
 7. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE TOWN ENGINEER.
 8. CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
 9. ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
 10. THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
 11. AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
 12. STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED. STOCKPILED EXCAVATED MATERIAL SHALL HAVE SILT FENCE LOCATED AROUND PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDE ON EXISTING TRAFFIC CIRCULATION ROUTES.
 13. SEE DRAWINGS PREPARED BY CHRISTINA GRIFFIN ARCHITECT, PC. FOR PROJECT LAYOUT AND LANDSCAPING.

DATE	REVISION
04/02/2015 EH	GENERAL REVISIONS
05/07/2015 EH	GENERAL REVISIONS
06/30/2015 PD	GENERAL REVISIONS

CCI PROPERTIES, LLC
 52 CEDAR STREET
 DOBBS FERRY, NY 10522

CHRISTINA GRIFFIN ARCHITECT, PC
 10 SPRING STREET
 HASTINGS-ON-HUDSON, NY 10706

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 JOHN MEYER CONSULTING PC

SEDIMENT & EROSION CONTROL PLAN
 WASHINGTON AVENUE RESIDENCES
 32-34 WASHINGTON AVENUE
 HASTINGS-ON-HUDSON, NY

SCALE: 1" = 10'

DATE: 03/19/2015

PROJECT NO: 13180

DRAWN BY: SAE

CHECKED BY: SAE

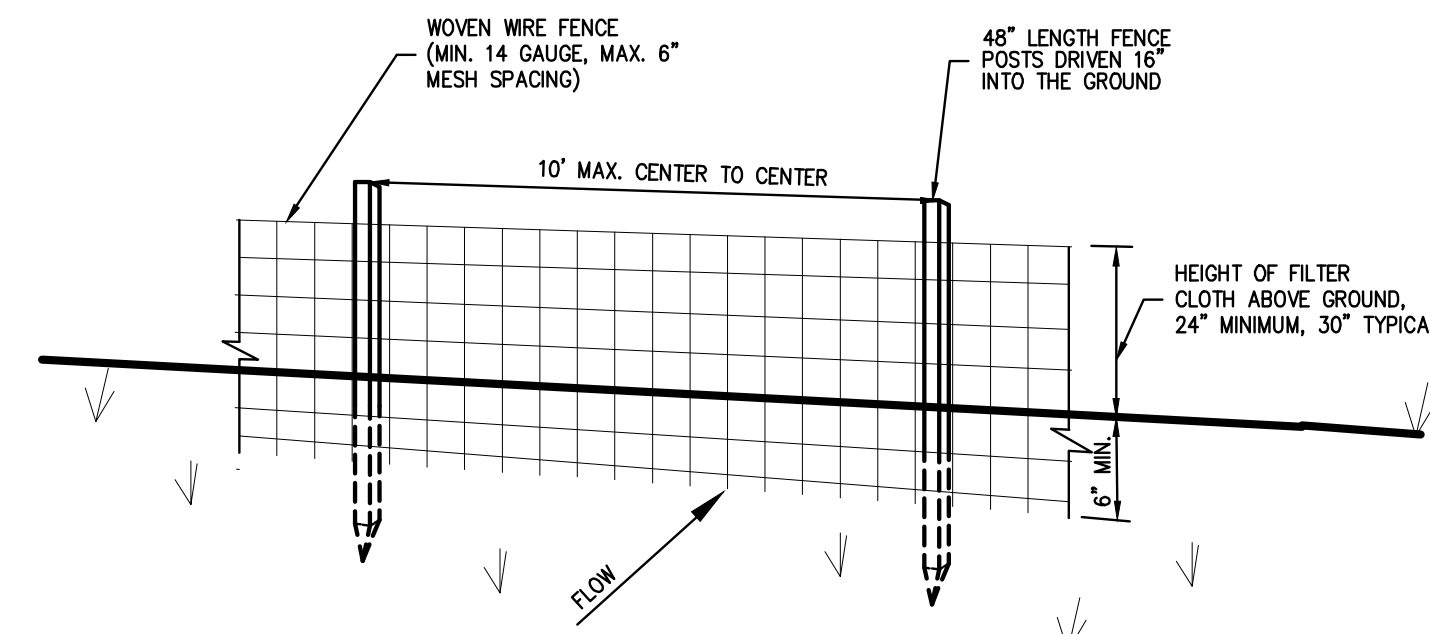
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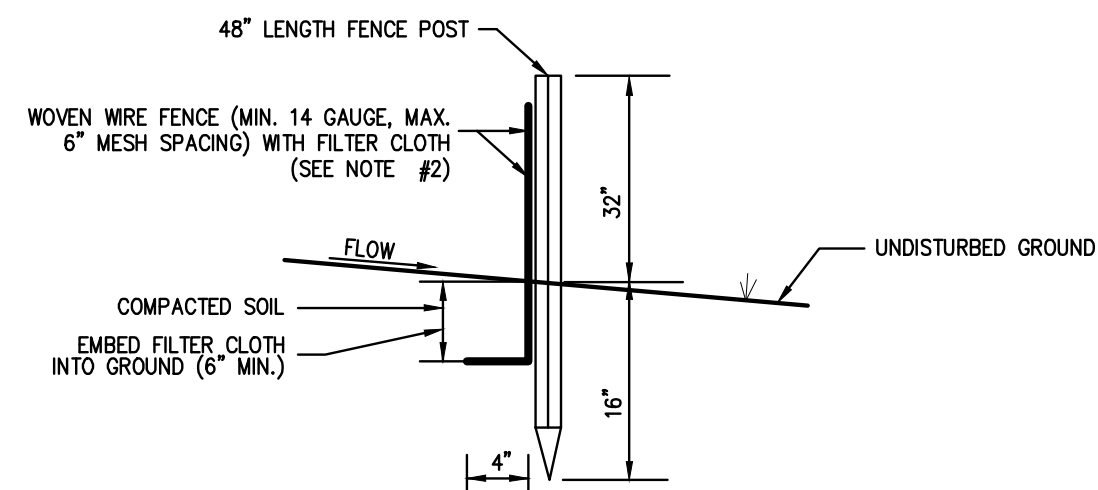
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NOT FOR CONSTRUCTION

C-3



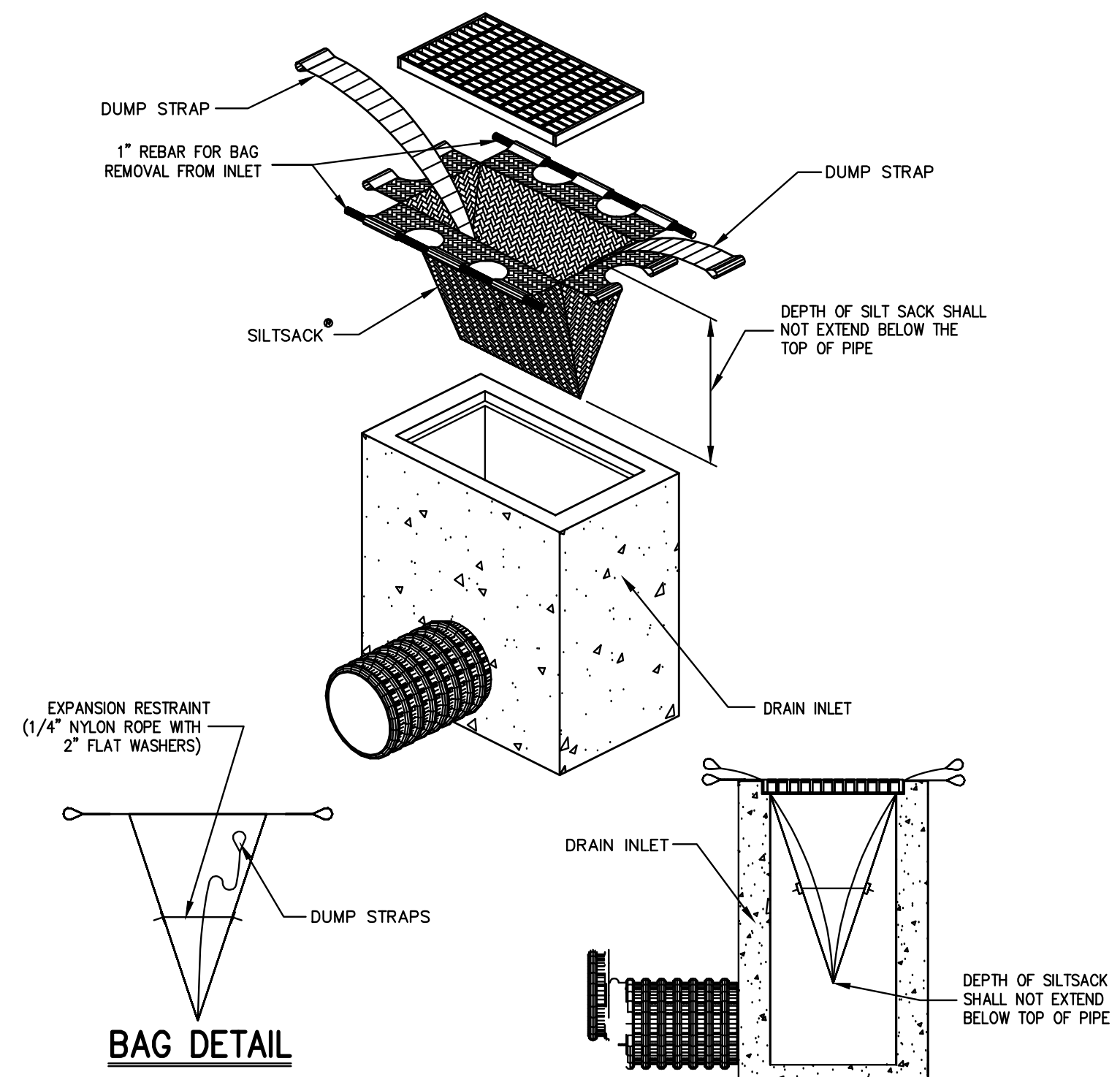
PERSPECTIVE VIEW



SECTION

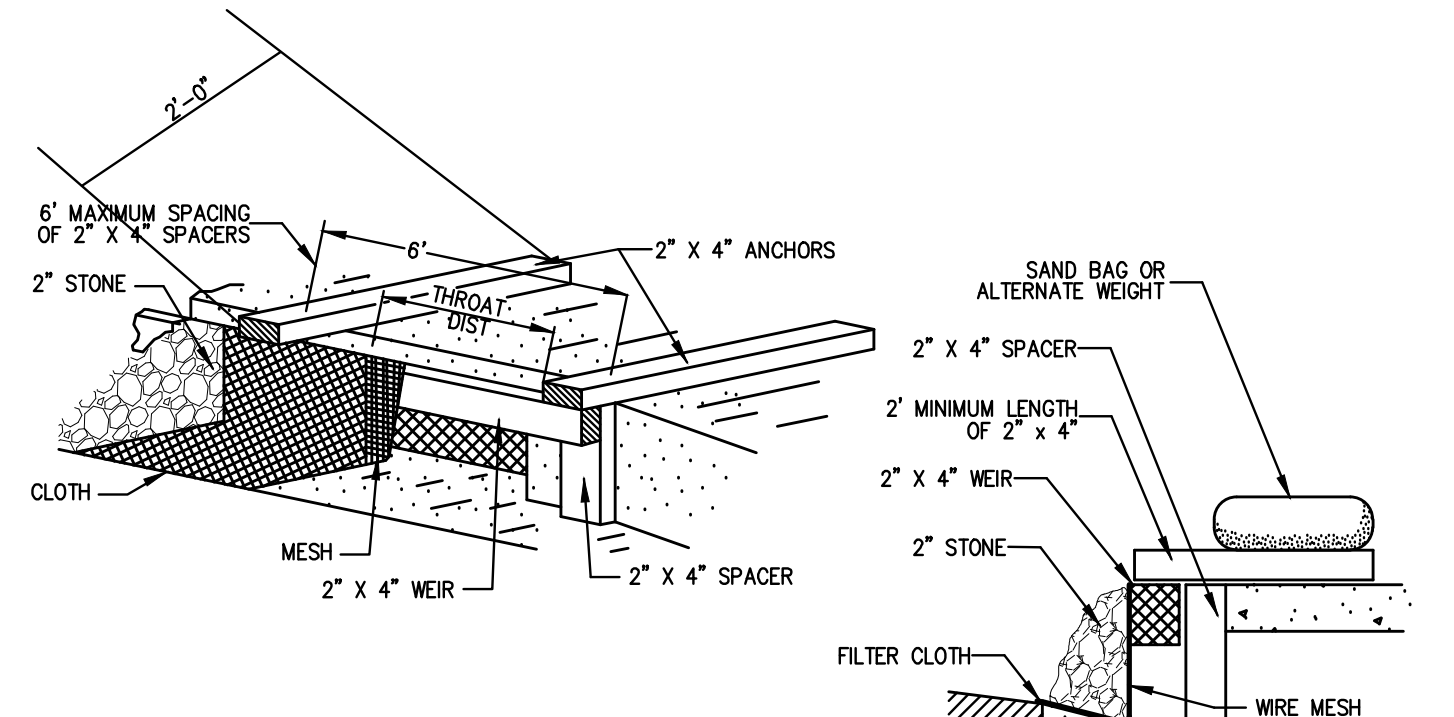
NOTES:

1. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
2. FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

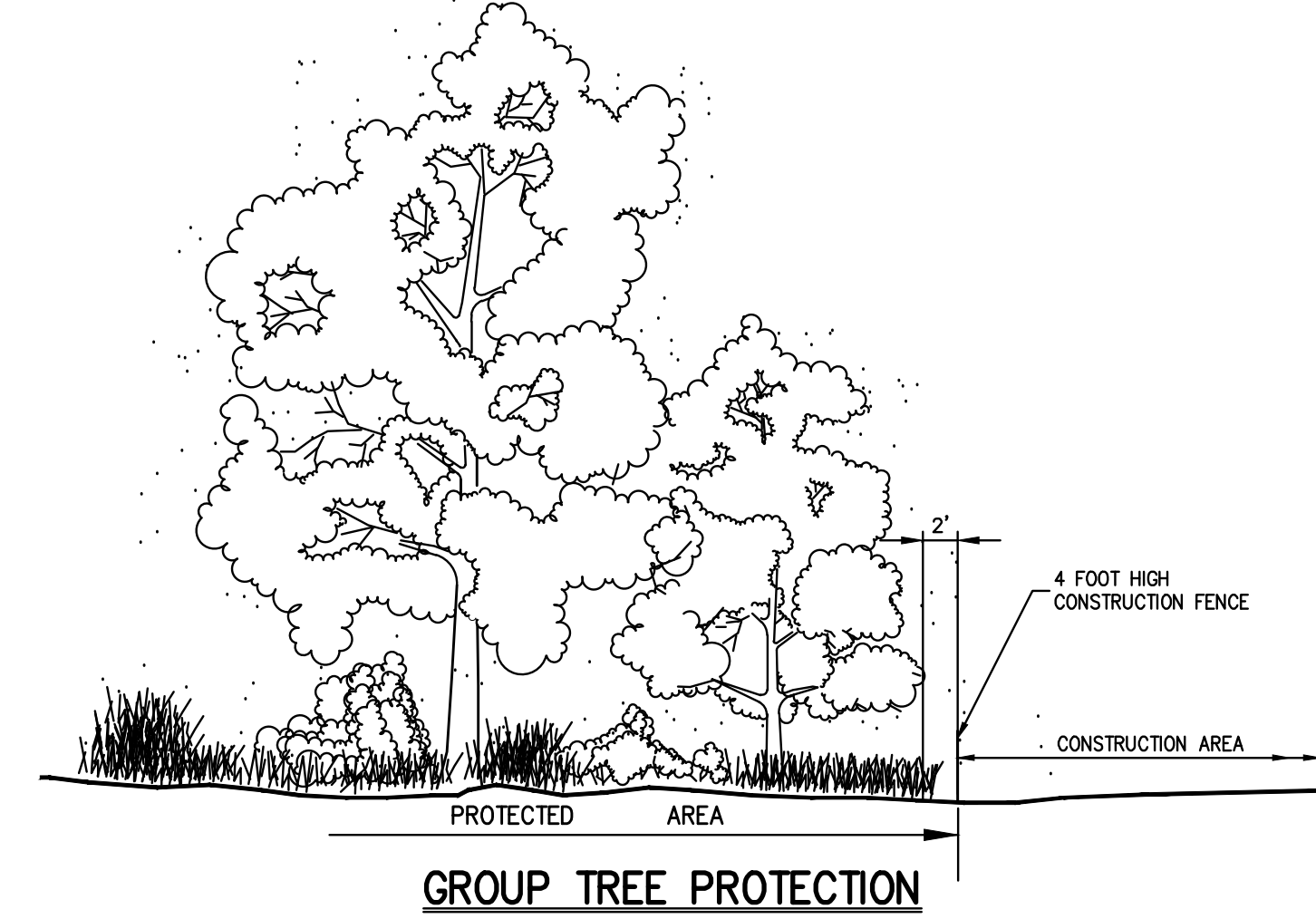


HI-FLOW SILT SACK AS MANUFACTURED BY ACF ENVIRONMENTAL OR APPROVED EQUAL®
(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

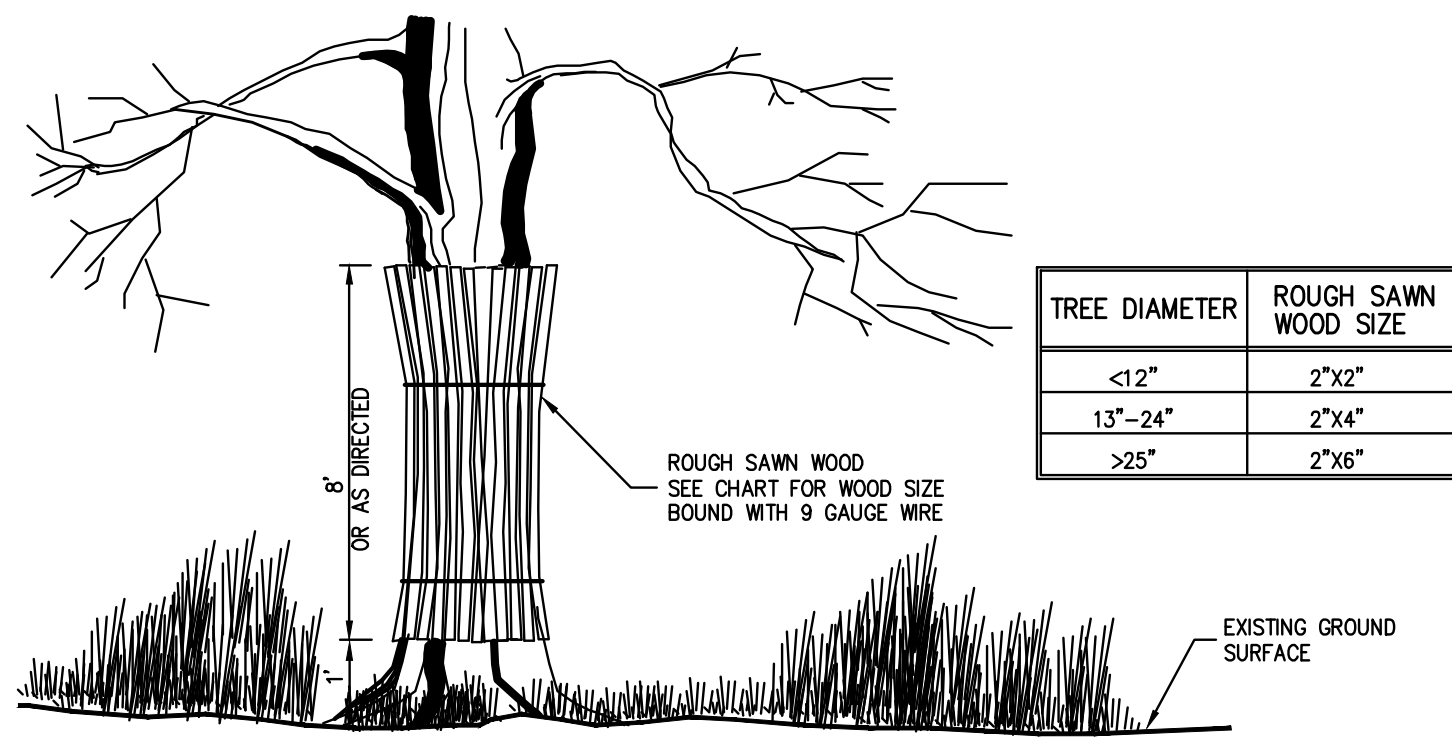
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	264 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4633	45 LBS
LIV RESISTANCE	ASTM D-4255	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1



- NOTES:
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
 2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2\"/>



GROUP TREE PROTECTION



INDIVIDUAL TREE PROTECTION (ARMOR TYPE)

SILT FENCE

1

SILT SACK

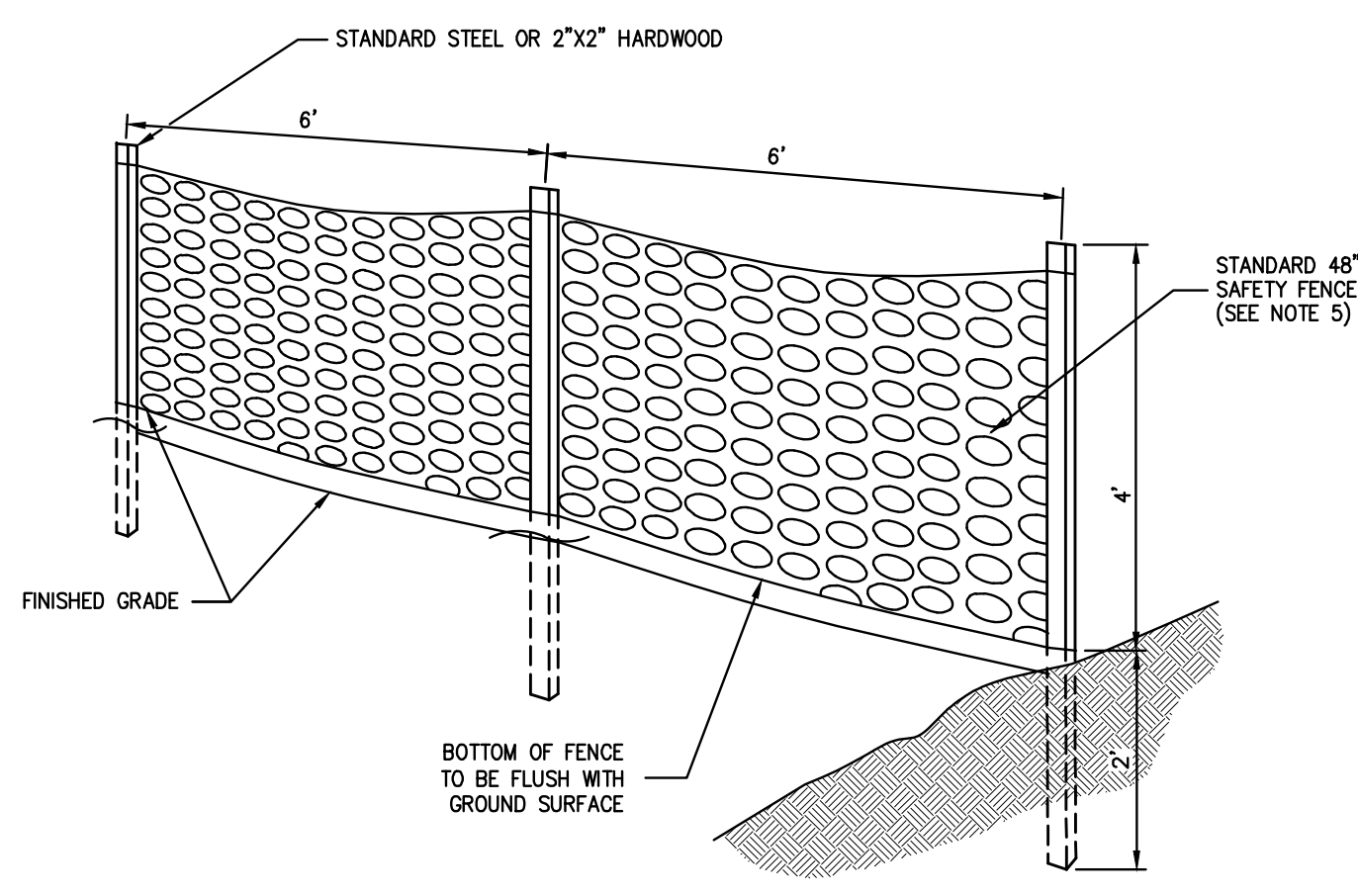
2

CURB DROP INLET PROTECTION STRUCTURE

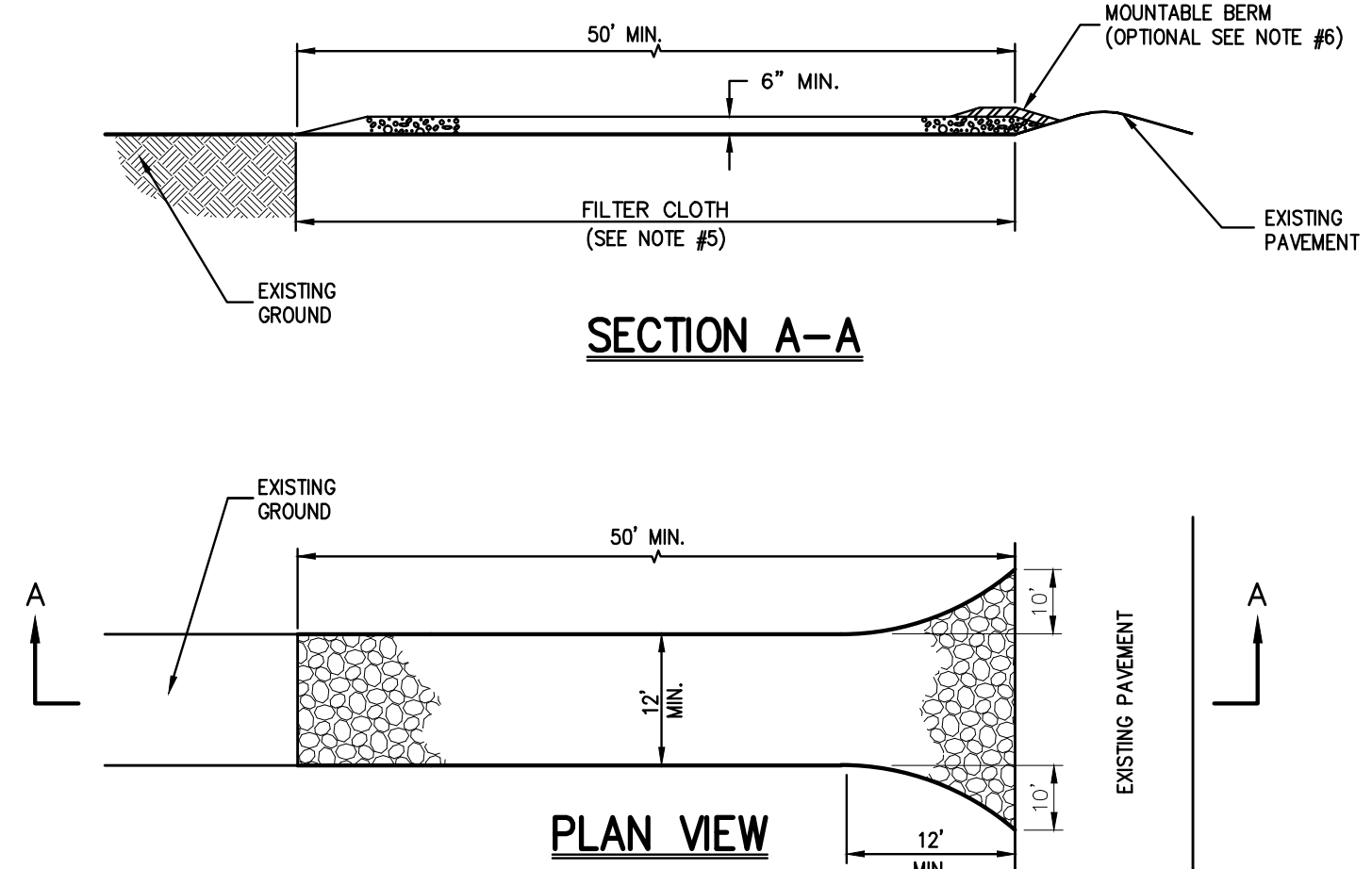
3

TREE PROTECTION

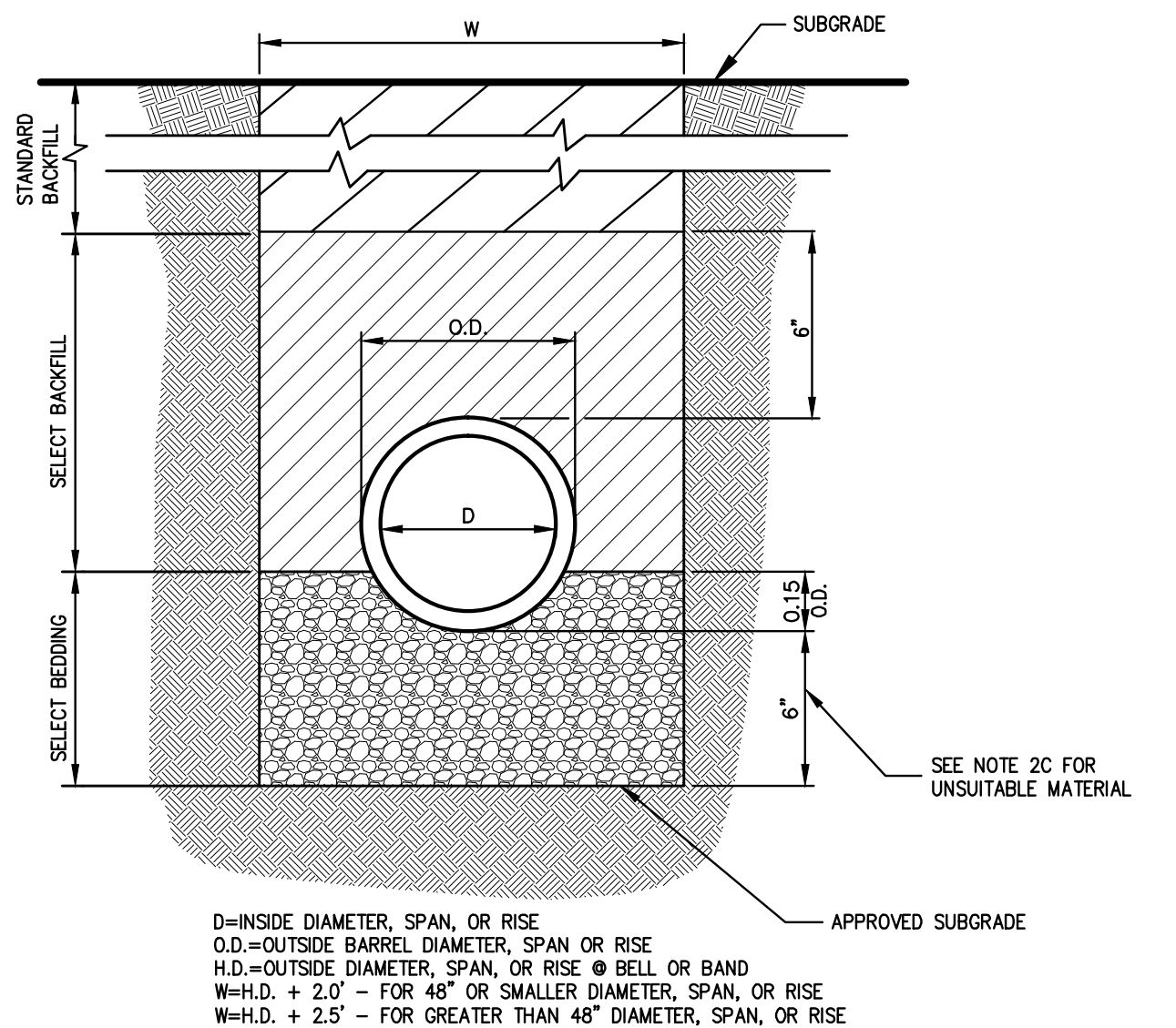
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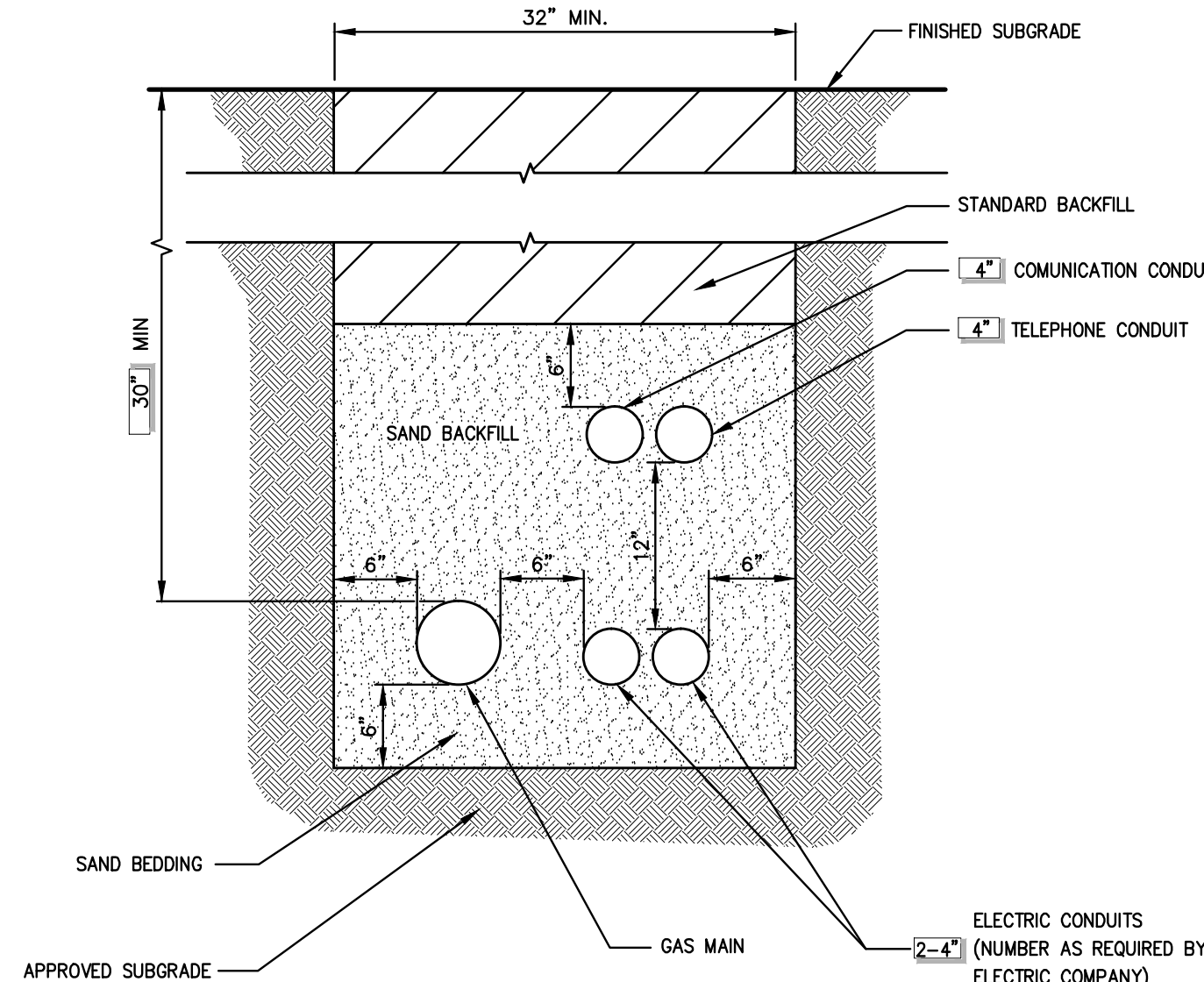
- NOTES:
1. SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
 2. DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
 3. FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
 4. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
 5. PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ADP ENTERPRISES, INC. OR APPROVED EQUAL.
 6. REMOVE CONSTRUCTION FENCE AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.



- NOTES:
1. STONE SIZE - USE 1\"/>



- NOTES:
1. FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE: A. EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH. B. 1/4\"/>



- NOTES:
1. UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 2. BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN FIVE (5) MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

CONSTRUCTION FENCE

5

STABILIZED CONSTRUCTION ENTRANCE

6

TYPE II TRENCH

7

UTILITY TRENCH DETAIL

8

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1	5/7/2015		

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10 SPRING STREET
HASTINGS-ON-HUDSON, NY 10706

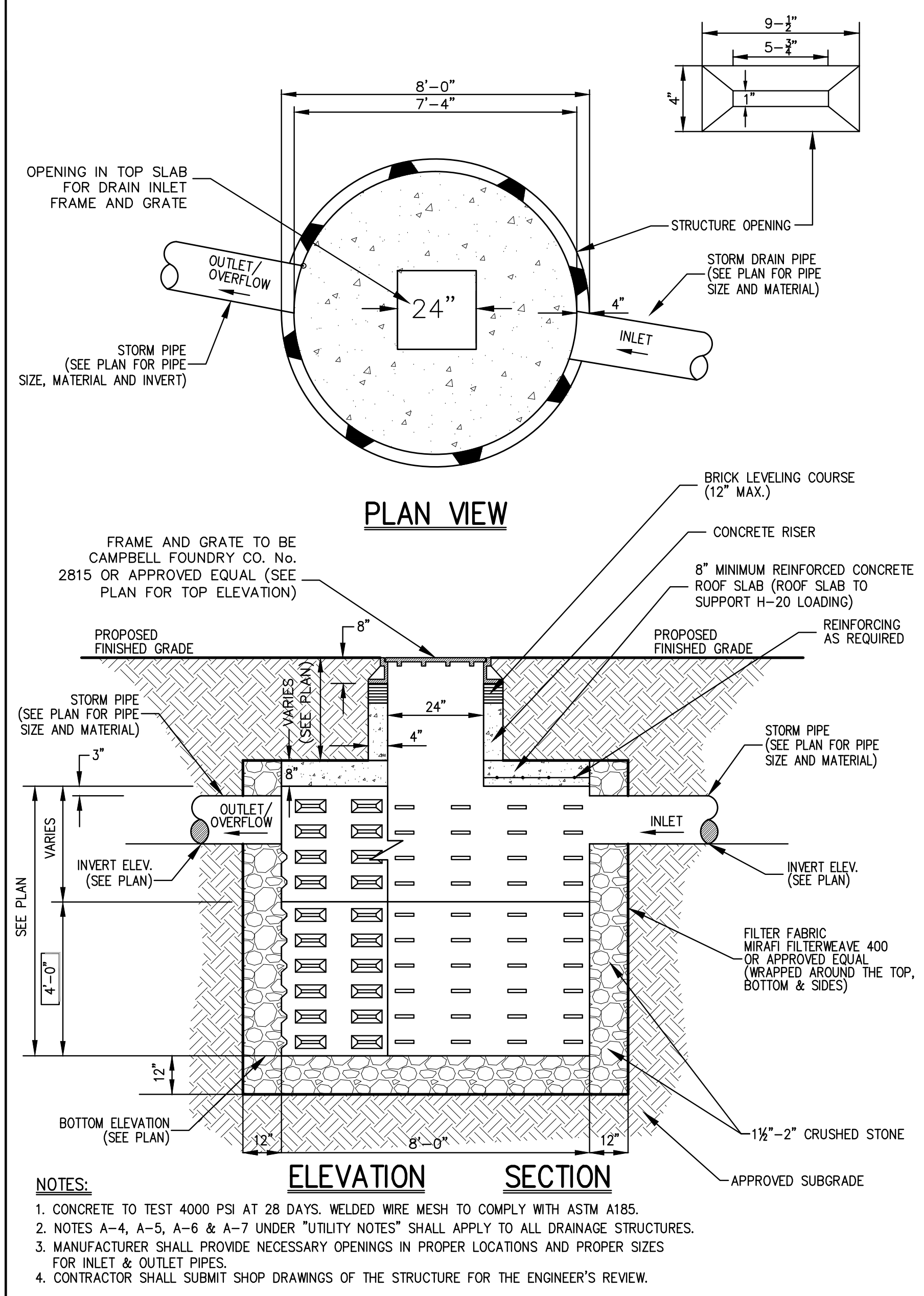
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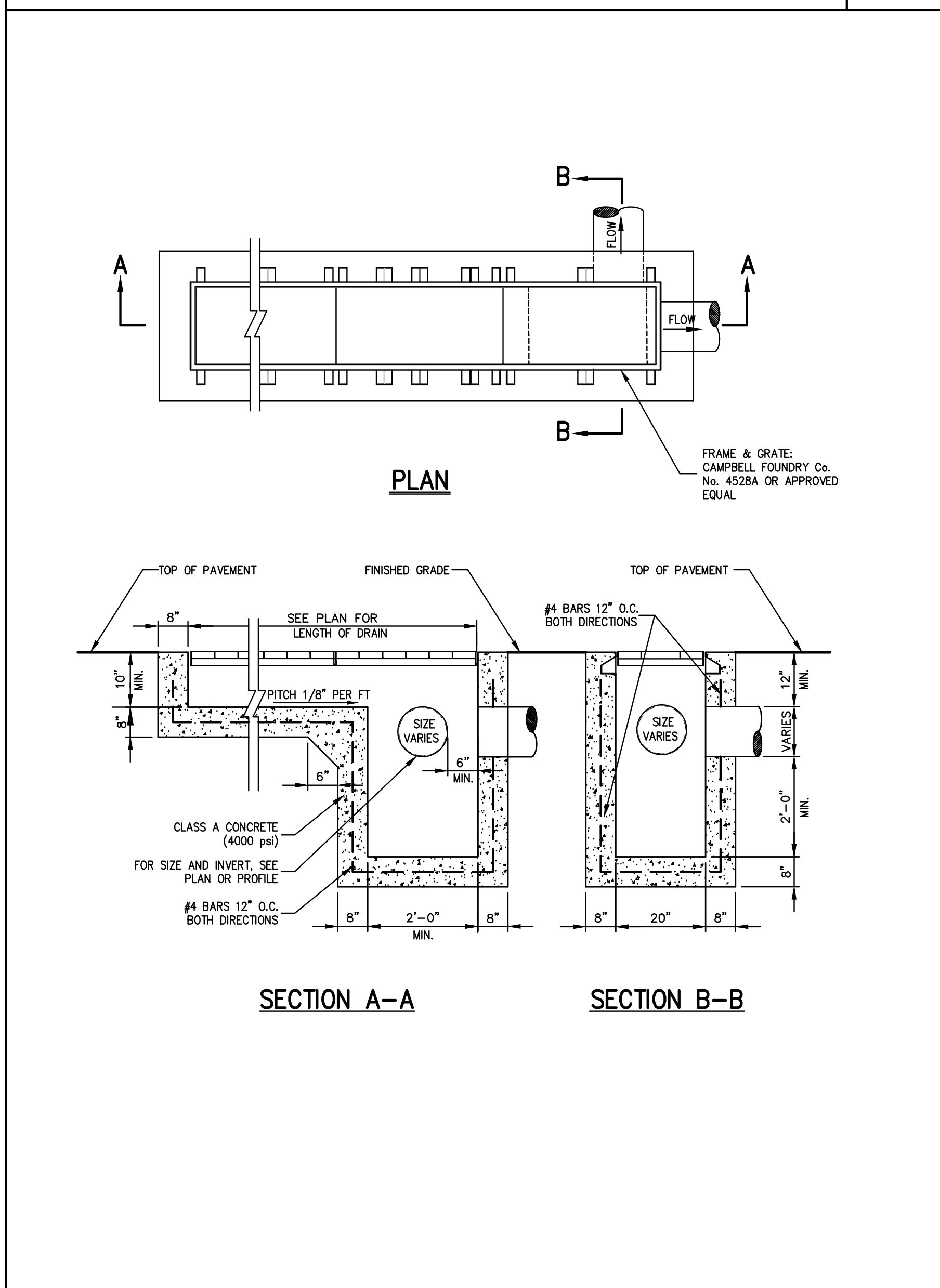
CONSTRUCTION DETAILS
WASHINGTON AVENUE RESIDENCES
32-34 WASHINGTON AVENUE
HASTINGS-ON-HUDSON, NY

DATE	ED	APPROVED	RR
DATE:	NTS		
DATE:	03/19/2015		
PROJ. NO:	13180		
3RD-REVISIONS	SP-7-1ub		
DRAWING NO:			

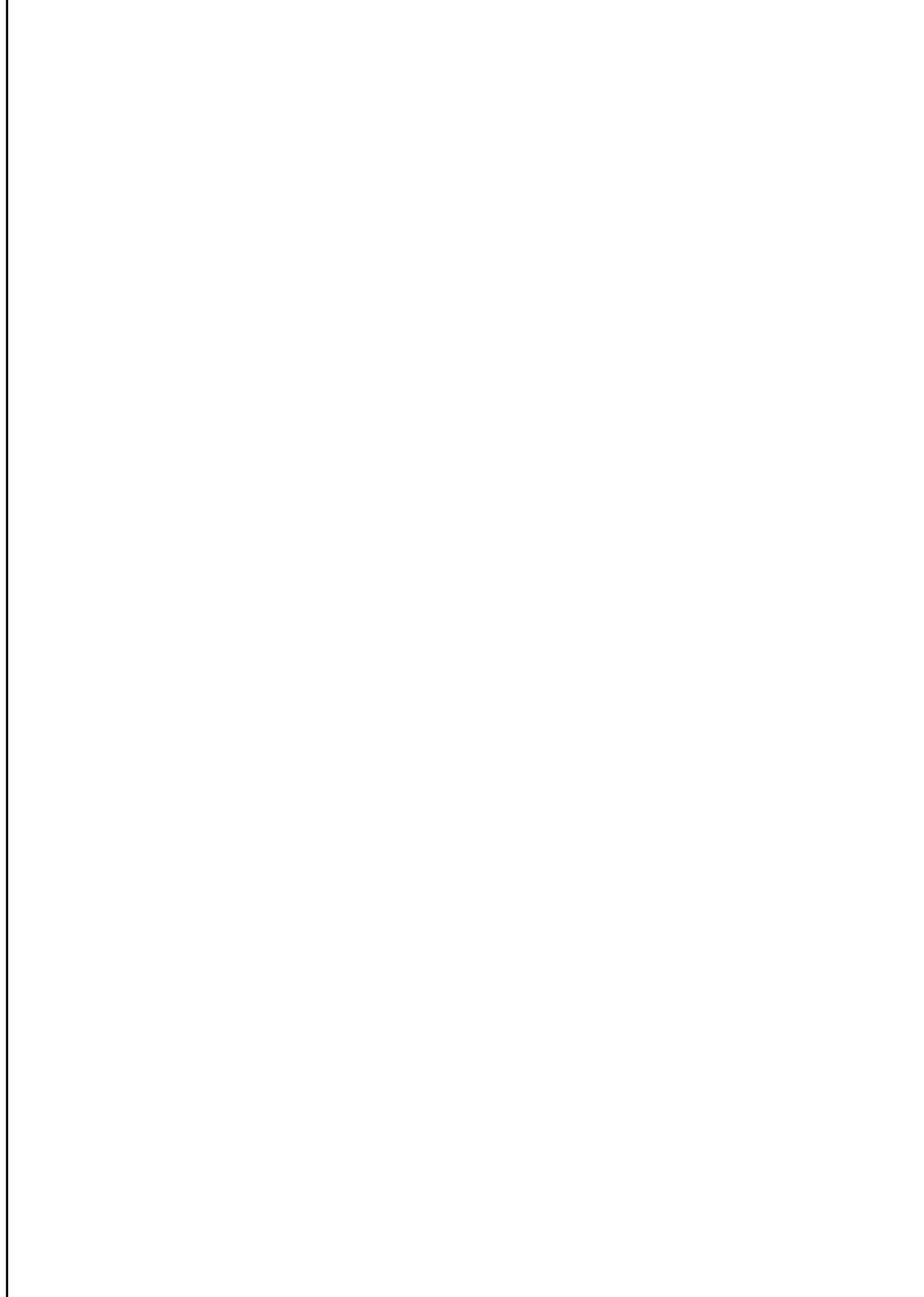
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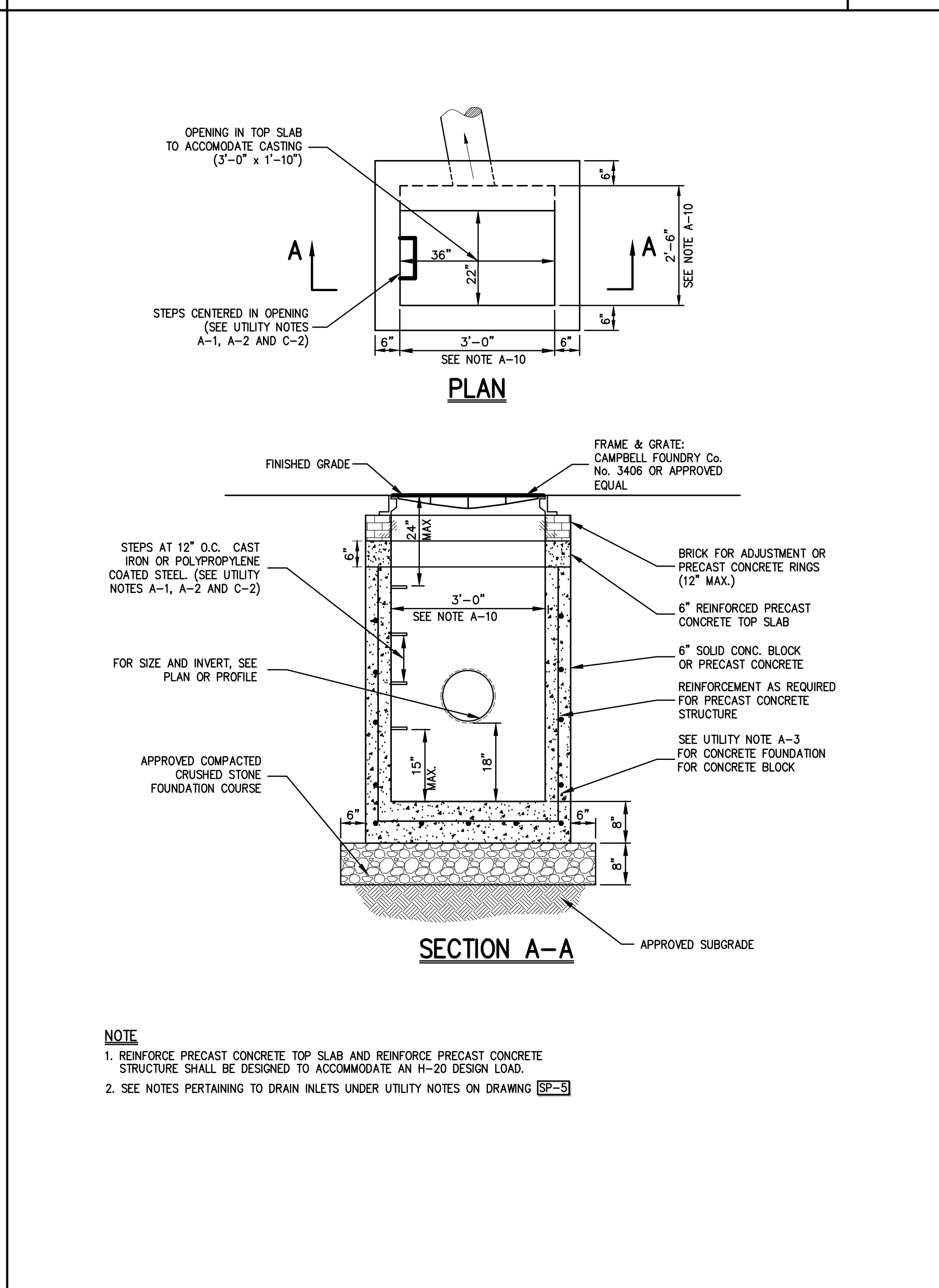
8 FOOT DIAMETER DRY WELL 10



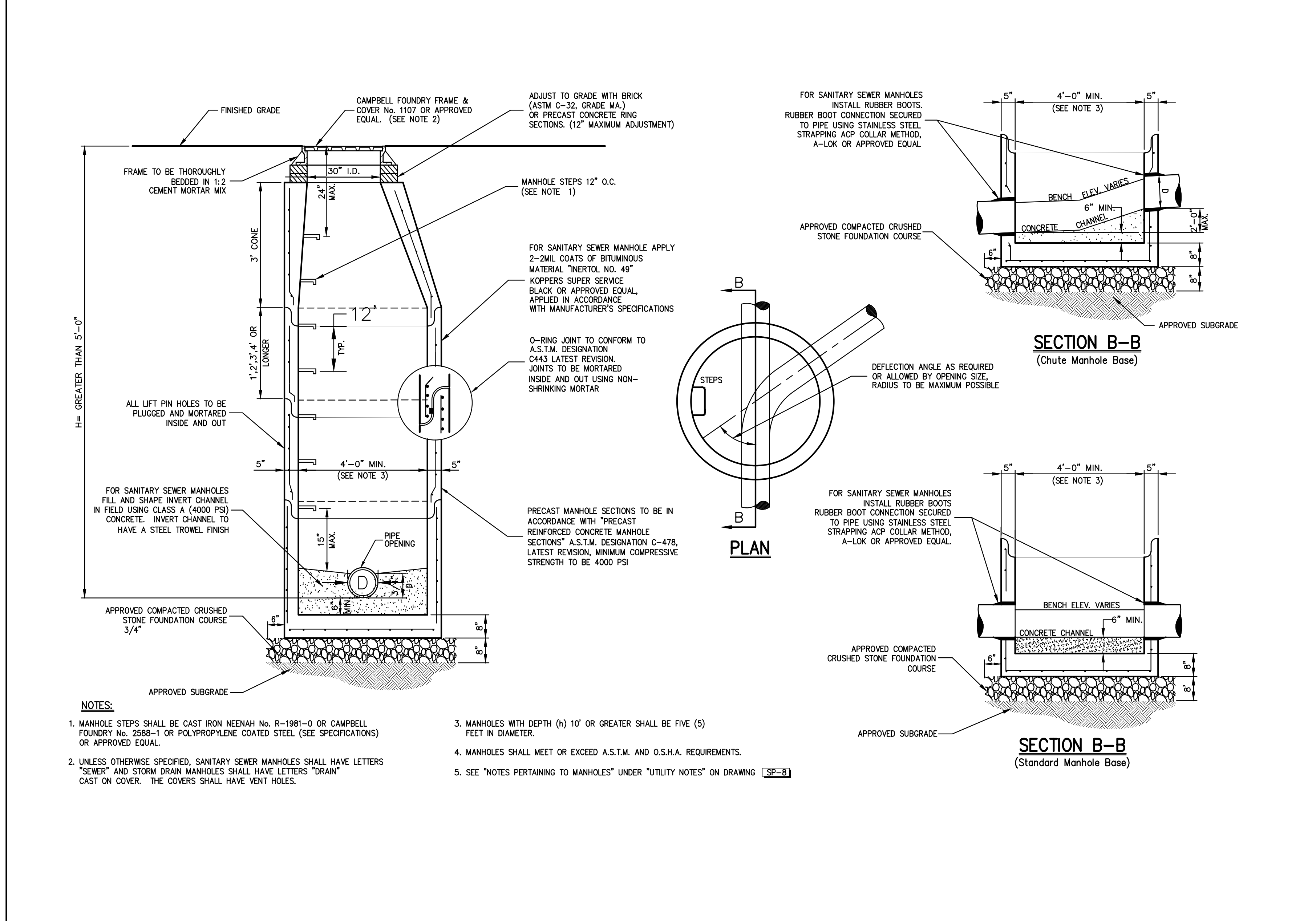
TRENCH DRAIN (END OUTLET) 12



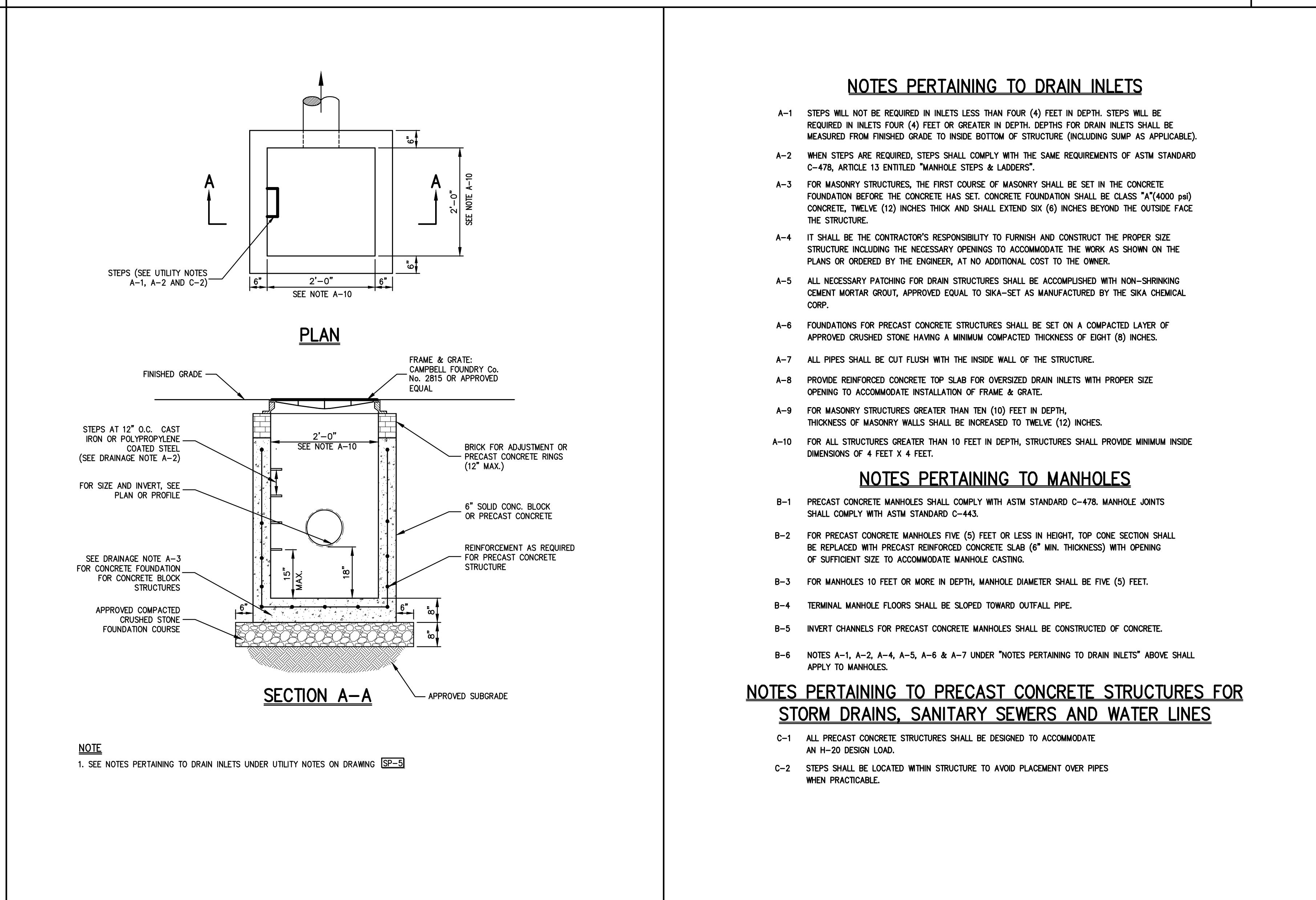
DRAIN INLET (TYPE DI) 13



LAWN INLET 14



MANHOLE (TYPE B) 11



UTILITY NOTES 15

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BY	EH

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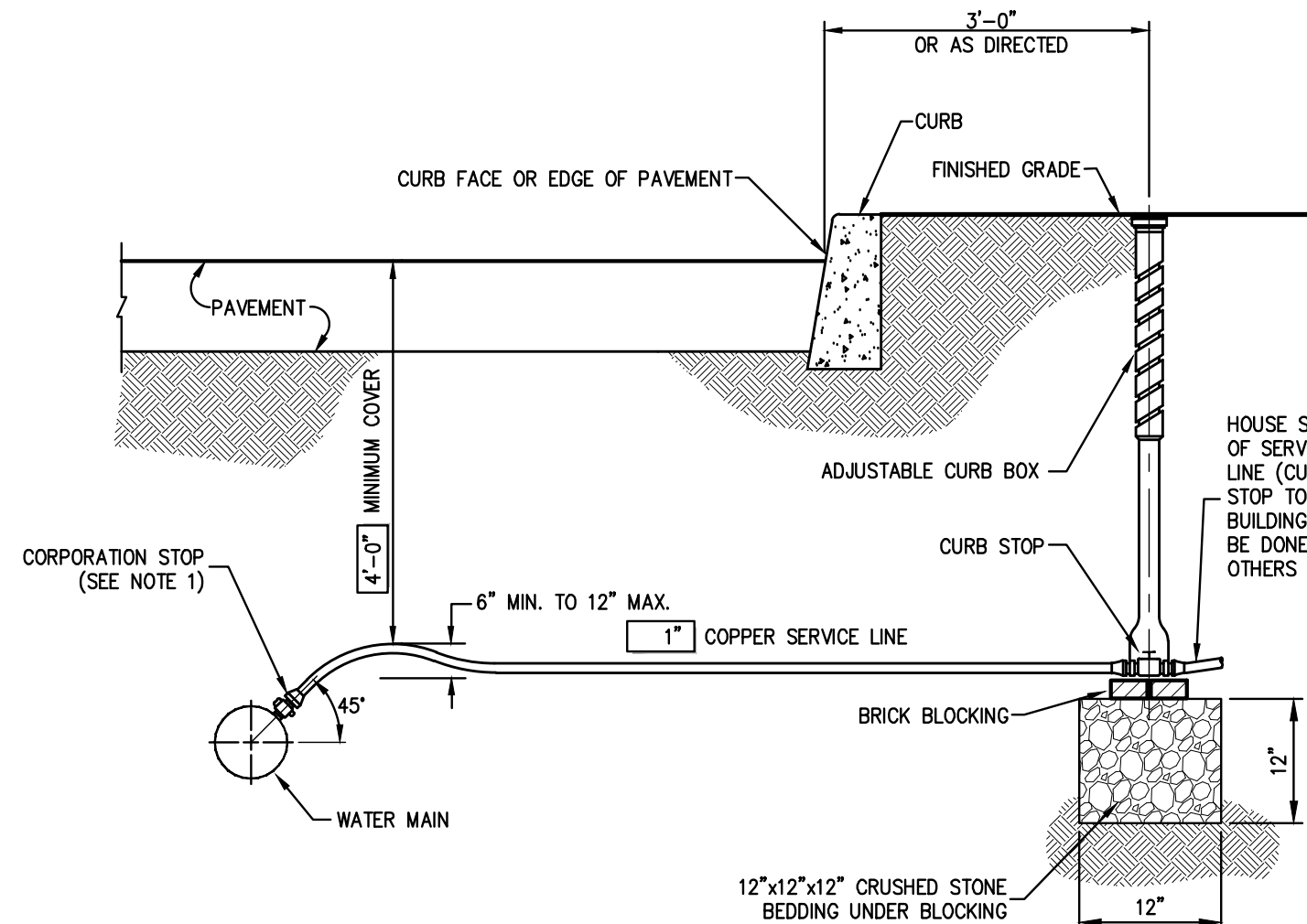
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CONSTRUCTION DETAILS
WASHINGTON AVENUE RESIDENCES
32-34 WASHINGTON AVENUE
HAUSTINGS-ON-HUDSON, NY

DATE	03/19/2015
SCALE	NTS
PROJECT NO.	13180
DESIGNED BY	SP-6.tbl
DRAWING NO.	

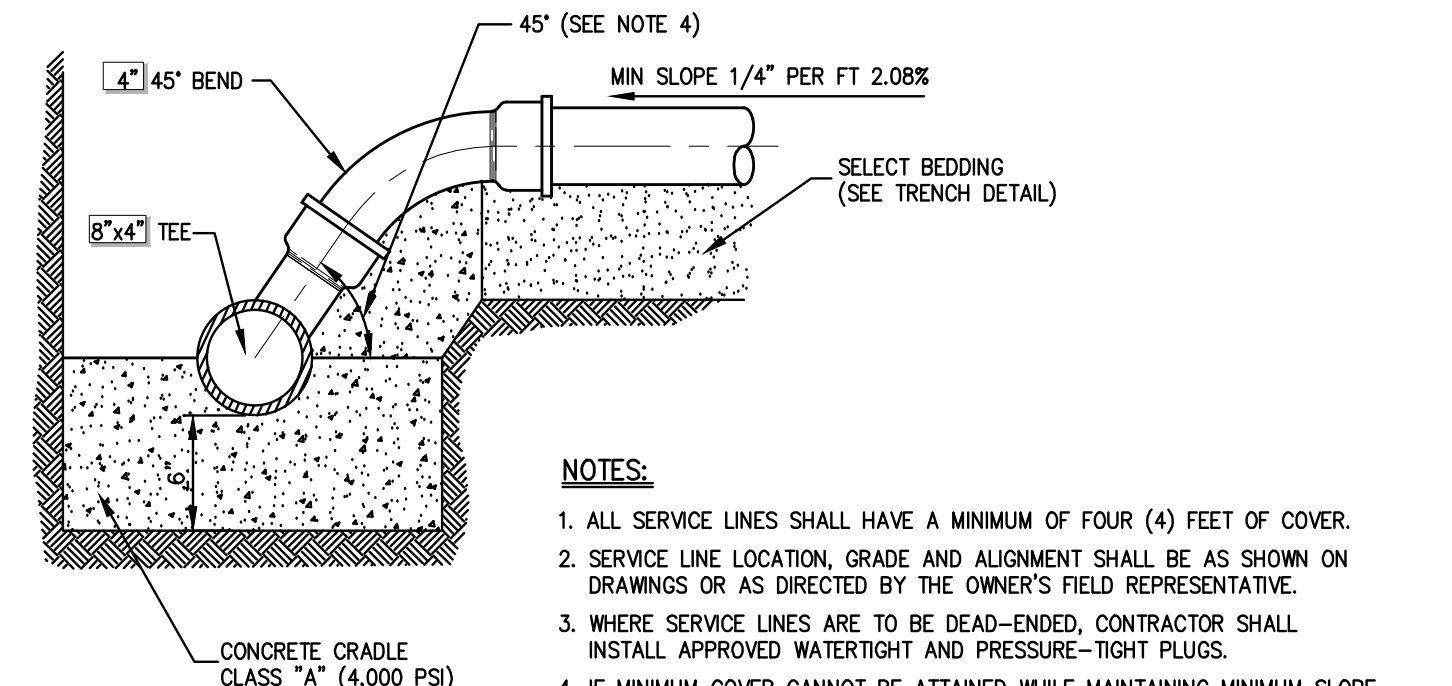
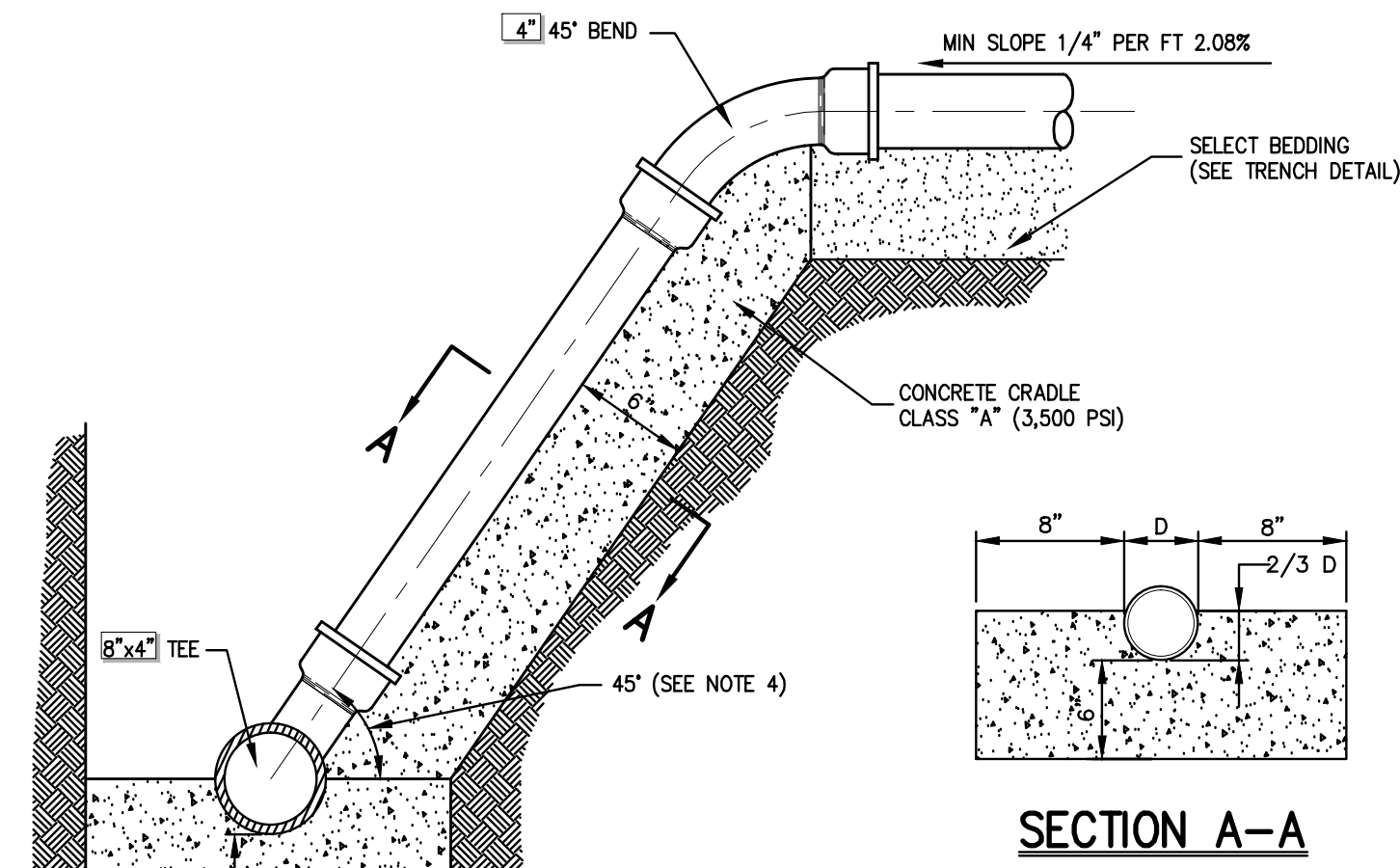
C-5



SERVICE LINE REQUIREMENTS

SIZE	SERVICE LINE (MATERIALS)	CORPORATION STOP	CURB STOP	CURB BOX	ENLARGED BASE
3/4"	COPPER, TYPE K	H-15008	H-15214	H-10308	Not Applicable
1"	COPPER, TYPE K	H-15008	H-15214	H-10308	Not Applicable
1-1/2"	COPPER, TYPE K	H-15013	H-15214	H-10310	Not Applicable
2"	COPPER, TYPE K	H-15013	H-15214	H-10310	H-10349

- NOTES:**
1. INSTALLATION OF 1-1/2" AND 2" CORPORATION STOPS SHALL BE MADE IN THE UPPER PIPE QUADRANT, BUT MAY BE MADE AT ANGLES LESS THAN 45° IF APPROVED BY THE OWNER'S FIELD REPRESENTATIVE.
 2. SERVICE LINE SHALL HAVE NO JOINTS BETWEEN THE WATER MAIN AND CURB STOP.
 3. CORPORATION STOP, CURB STOP, CURB BOX AND ENLARGED BASE FOR CURB BOX SHALL BE MUELLER COMPANY OR APPROVED EQUAL. CATALOG NUMBERS SHOWN REFER TO MUELLER COMPANY.



- NOTES:**
1. ALL SERVICE LINES SHALL HAVE A MINIMUM OF FOUR (4) FEET OF COVER.
 2. SERVICE LINE LOCATION, GRADE AND ALIGNMENT SHALL BE AS SHOWN ON DRAWINGS OR AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
 3. WHERE SERVICE LINES ARE TO BE DEAD-ENDED, CONTRACTOR SHALL INSTALL APPROVED WATER-TIGHT AND PRESSURE-TIGHT PLUGS.
 4. IF MINIMUM COVER CANNOT BE ATTAINED WHILE MAINTAINING MINIMUM SLOPE, THE ANGLE OF CONNECTION MAY BE REDUCED TO 22.5°, IF APPROVED BY THE OWNER'S FIELD REPRESENTATIVE AND GOVERNING BODY WITH APPROVED SIGNATURE.
 5. SANITARY SEWER SERVICE LINE INCLUDING FITTINGS SHALL BE PVC, SDR 35.

WATER SERVICE CONNECTION
(2" OR LESS)

16

SANITARY SEWER SERVICE CONNECTION

17

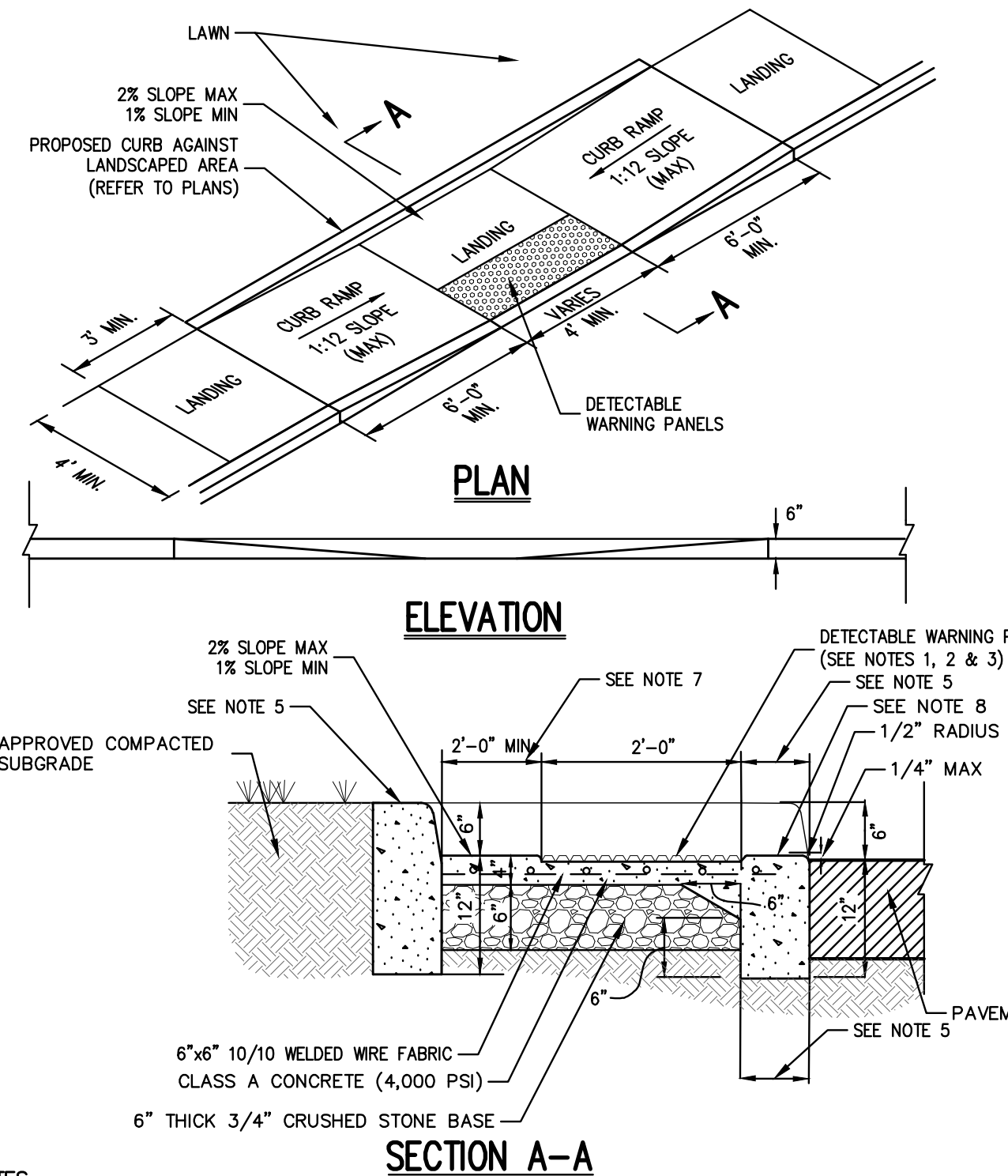
CAST-IN-PLACE CONCRETE CURB

18

CONCRETE SIDEWALK

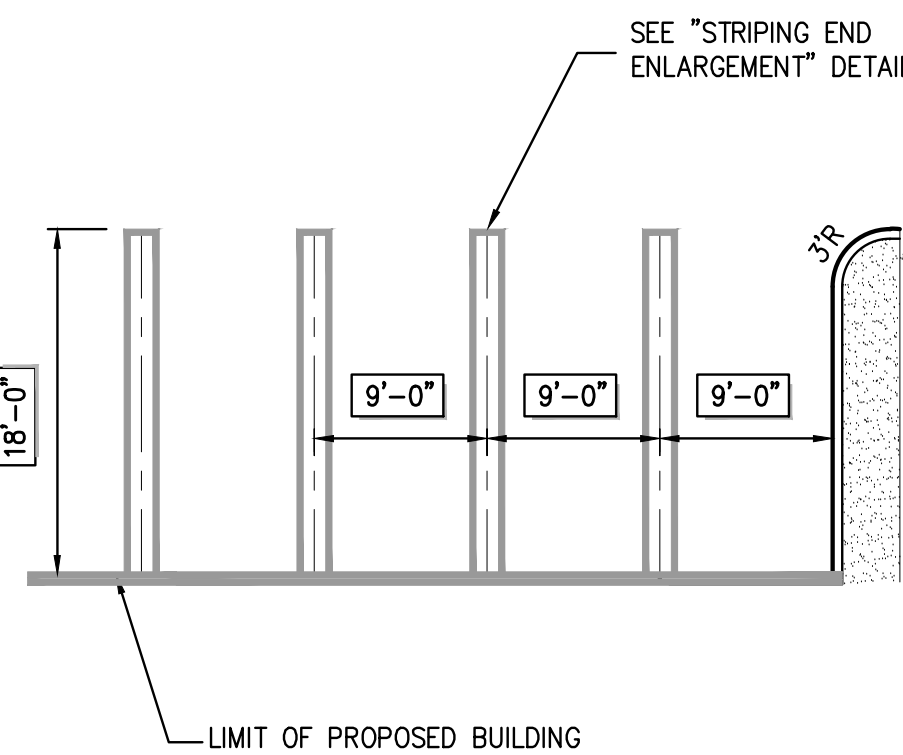
19

XX



SECTION A-A

- NOTES:**
1. RAMP SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRIANGULAR DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
 2. DETECTABLE WARNING PANELS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.26.2, FEDERAL REGISTER, VOLUME 36, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), LATEST EDITION.
 3. 24" WIDTH OF PANELS TO BE INSTALLED DIRECTLY BEHIND CURB AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES; SEE PLANS FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.
 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. WHEN LANDING OF RAMP ADJACENT TO A DOORWAY THEN THE MINIMUM DOORWAY MANEUVERING AREA SHALL BE AT LEAST THE WIDTH OF THE DOORWAY AND SHALL HAVE A MINIMUM DEPTH OF:
 - MANUAL SWING DOORS = 60" MIN.
 - FULL POWERED AUTOMATIC SLIDING DOORS = 48" MIN.
 8. CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.



- NOTES:**
1. COLOR OF PAINT SHALL BE [WHITE].
 2. OUTSIDE RADIUS MAY VARY DEPENDING ON SHAPE OF ISLAND. RADIUS SHALL BE AS SHOWN ON LAYOUT PLAN.

NOTE: SLOPES IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2%.

HANDICAP PARKING
(DOUBLE STRIPING - CURBLINE ALIGNMENT - W/O SIDEWALK)
(NEW YORK)

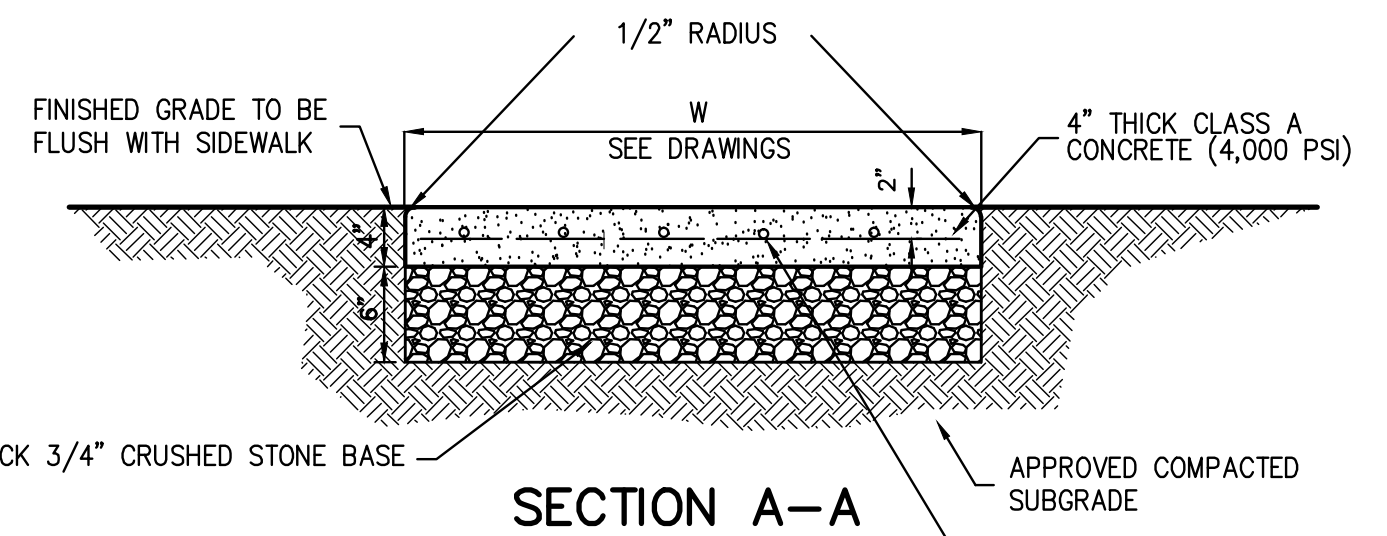
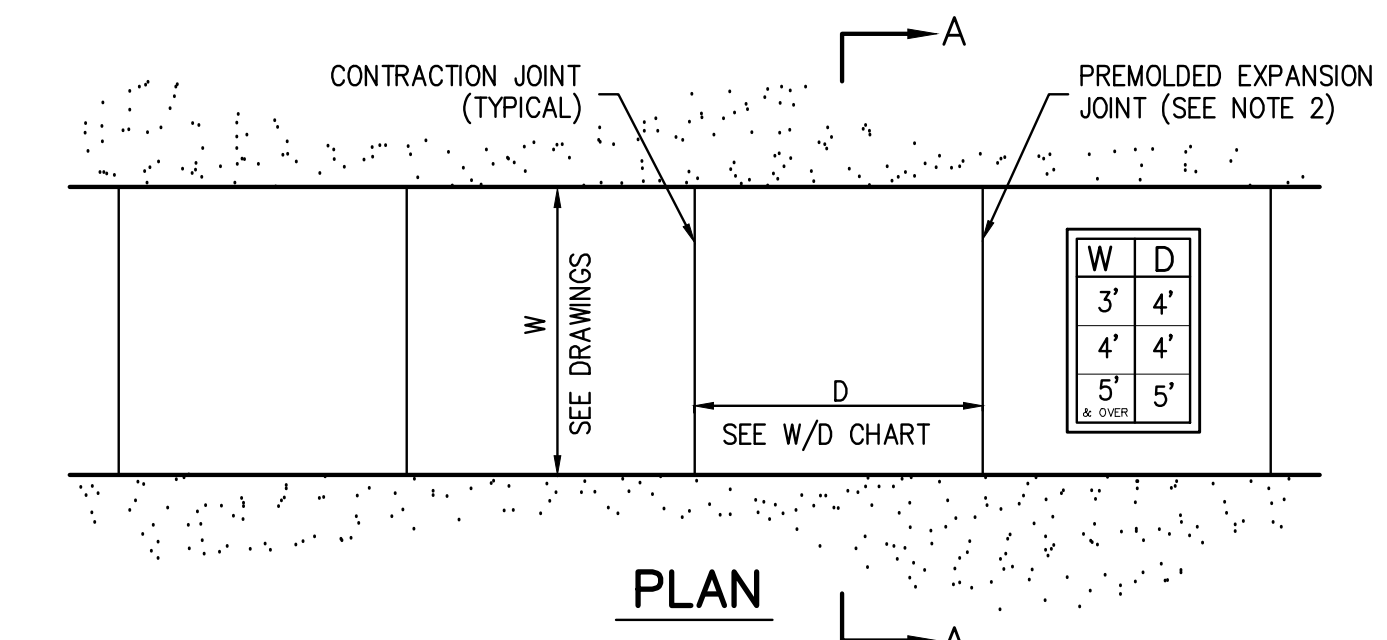
22

DROP CURB & RAMP (TYPE B)
WITH DETECTABLE WARNING

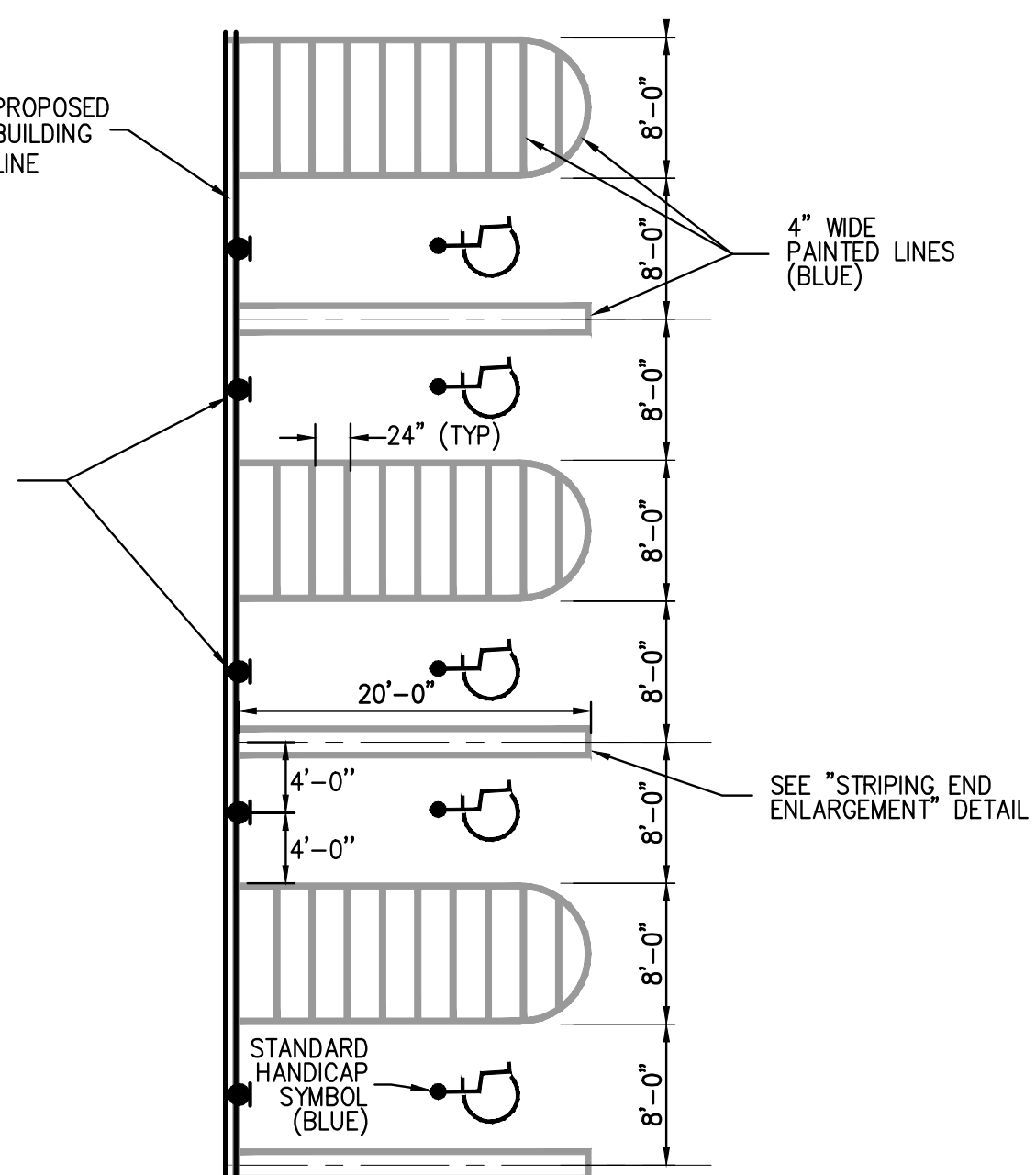
20

90° PARKING
(DOUBLE STRIPING - CURBED END)

21



- NOTES:**
1. SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
 2. PROVIDE 1/2" PREFORMED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
 3. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
 4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.



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BY	EH
DATE	5/7/2015
REVISION	
NO.	1
GENERAL REVISIONS	

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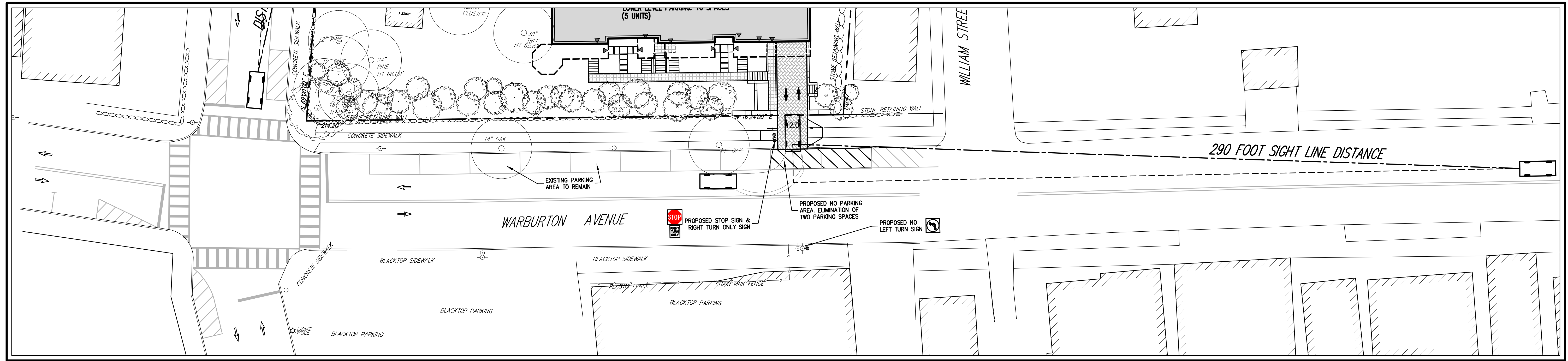
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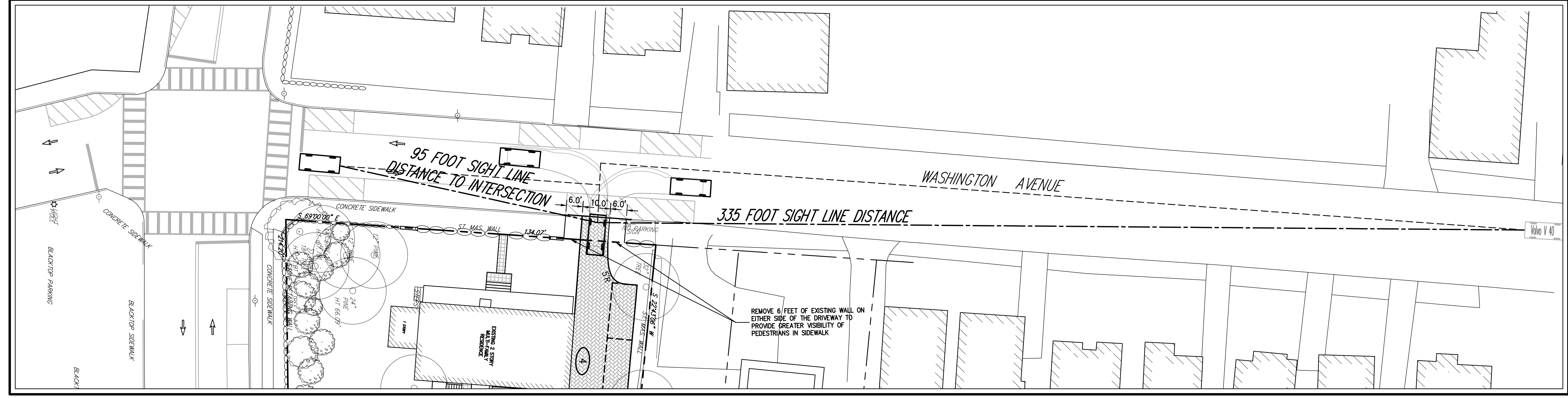
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CONSTRUCTION DETAILS
WASHINGTON AVENUE RESIDENCES
32-34 WASHINGTON AVENUE
HASTINGS-ON-HUDSON, NY

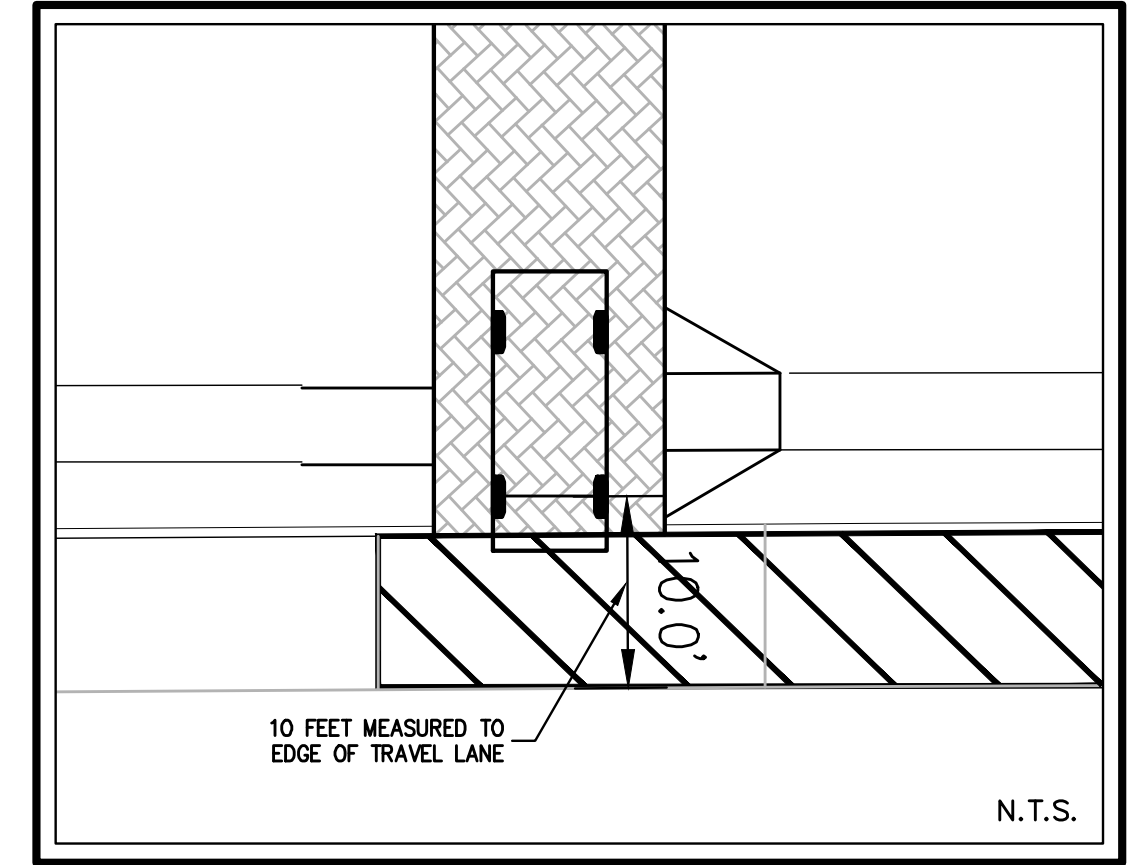
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SCALE	NTS		
DATE	03/19/2015		
PROJ. NO.	13180		
3RD-DRAWING	SP-9.tbl		
DRAWING NO.	C-6		



 SIGHT LINE DISTANCE FROM PROPOSED DRIVEWAY ONTO WARBURTON AVENUE



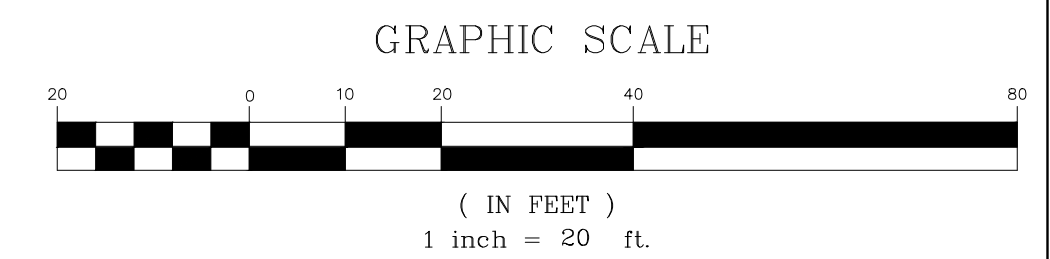
 SIGHT LINE DISTANCE FROM EXISTING DRIVEWAY ONTO WASHINGTON AVENUE



EXISTING VEHICLE
DECISION LOCATION

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	PROPOSED PROPERTY LINE
	SETBACK LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
	PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
	PROPOSED FLAGSTONE WALK
	PROPOSED PERMEABLE PAVERS
	PROPOSED DROP CURB AND RAMP
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	TRAFFIC SIGN LOCATION & DESIGNATION

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY", PREPARED BY WARD CARPENTER ENGINEERS, INC., DATED APRIL 23, 2015.
 - EXISTING CONDITIONS OFF SITE DEPICTED ON THIS PLAN HAVE BEEN OBTAINED FROM WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEMS AND SHOULD BE CONSIDERED APPROXIMATE AND USED FOR PLANNING PURPOSES ONLY.
 - FOR SITE STRUCTURE DETAILS, SEE DRAWINGS C-1 THROUGH C-6.



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

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SIGHT LINE
DISTANCE PLAN

WASHINGTON AVENUE RESIDENCES
32-34 WASHINGTON AVENUE
HASTINGS-ON-HUDSON, NY

DATE	BY	APPROVED	RR
5/21/2015			

PROJECT NO: 13180

DATE: 5/21/2015

SCALE: 1" = 20'

DRAWING NO: C-7

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: Townhouses at 32-34 Washington Avenue		
Project Location (describe, and attach a general location map): 32-34 Washington Avenue		
Brief Description of Proposed Action (include purpose or need): Site Plan approval for the renovation of an existing 2 1/2 story, 2 family apartment building with a new area for 4 parking spaces and a reconstructed curb cut onto Washington Avenue in the northern portion of the property and Site Plan approval for the construction of a new 4,813 sf. 5 unit Townhouse building with 3 floors (partially buried lower level for parking), 10 parking spaces, new utility services and a new curb cut onto Warburton Avenue.		
Name of Applicant/Sponsor: CCI Properties, LLC (Mr. Andrew Cortese)		Telephone: (914) 447-3965 E-Mail: andrew@corteseconstruction.com
Address: 52 Cedar Street		
City/PO: Dobbs Ferry	State: NY	Zip Code: 10522
Project Contact (if not same as sponsor; give name and title/role): -same as sponsor-		Telephone: E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): -same as sponsor-		Telephone: E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board; Site Plan Approval	July 2, 2015
c. City Council, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ZBA; variance for max. development coverage	July 2, 2015
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Architectural Review Board; ARB review & View Preservation Building Dept.; Building Permit	July 2, 2015
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	WCDPW; curb cut, utility trenching, sewer service connection	July 2, 2015
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC	July 2, 2015
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes,		
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No

If Yes, what is the zoning classification(s) including any applicable overlay district?
Multi-Family Residence District (MR-1.5). View Preservation Overlay District

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Hastings-on-Hudson

b. What police or other public protection forces serve the project site?
Hastings-on-Hudson Police Department

c. Which fire protection and emergency medical services serve the project site?
Hastings-on-Hudson, Hastings EMS

d. What parks serve the project site?
Old Croton Trailways State Park, Draper Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?
Residential

b. a. Total acreage of the site of the proposed action? 0.60 acres
b. Total acreage to be physically disturbed? 0.40 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.60 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: 8 months

- ii. If Yes:
- Total number of phases anticipated _____
 - Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 - Anticipated completion date of final phase _____ month _____ year
 - Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	5 3-bedroom units

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____
 ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
 iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? to construct a new multi-family building
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): approx. 1,300 cy
 • Over what duration of time? approx. 4 months
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.
material excavated is needed to provide the projects parking garage beneath the building at the garage level. Portion of the excavated area includes the existing garage to be demolished. Excavated material is located in an area that contains fills from previous developments. No unsuitable, or contaminated material is expected.
 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____
 v. What is the total area to be dredged or excavated? approx. 0.1 acres
 vi. What is the maximum area to be worked at any one time? approx. 0.1 acres
 vii. What would be the maximum depth of excavation or dredging? approx. 10 feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: Within all areas of disturbance, topsoil will be striped and stockpiled for reuse in all newly disturbed areas. Excess material not needed to meet proposed grades will be disposed of off-site in accordance with all applicable laws and rules.

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: 750 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: United Water New Rochelle-West
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? (Service line only, not an extension of a supply main) Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: 750 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater; anticipated usage volume is 750 gpd

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: Yonkers Wastewater Treatment Facility
- Name of district: North Yonkers Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
 Heavy equipment, occasional delivery vehicles

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
 power generators

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)
 N/A

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:
The project proposes a new residential driveway curb cut onto Warburton Ave., a Westchester County Roadway. This driveway will eliminate one existing parking space along Warburton.
Also, the project proposes to modify an existing driveway curb cut on Washington Ave. Both curb cuts occur where there is only one lane in each direction in Washington & Warburton Avenues.

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7:30 am to 8:00 pm</u> • Saturday: <u>7:30 am to 8:00 pm</u> • Sunday: <u>no work anticipated on Sundays</u> • Holidays: <u>no work anticipated on Holidays</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>Residential Development</u> • Saturday: _____ • Sunday: _____ • Holidays: _____
---	--

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Porch lights & building light above garage door

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products (185 gallons in above ground storage or any amount in underground storage)? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? (Project is a Residential Development) Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: TBD tons per _____ (unit of time)
 • Operation : 0.56 tons per month (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: TBD

 • Operation: Recycling pick-up service in Village available and is taken to a recycling/garbage transfer station.

iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: TBD

 • Operation: Garbage pick-up service in Village available and is taken to a recycling/garbage transfer station.

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:
None to be generated.

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:
 Along Warburton Ave.; tavern, multi-family residences, one family residences, auto body repair shop. Along Washington Ave.; multi-family residences, one family residences, small shops and Jasper Cropsey House.

b. Land uses and coverytypes on the project site.

Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.07	0.22	+0.15
• Forested	0	0	
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.53	0.38	-0.15
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	N/A
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	N/A
• Wetlands (freshwater or tidal)	0	0	N/A
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
Hastings Youth Advocate Program, Hastings Busy Bees Junior Club, Hastings-on-Hudson Public Library

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): 360022, V00728, 360015
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
360022: Harbor at Hastings, River St. Hastings-on-Hudson, State Superfund Program, still a threat to environment
V00728: CE-Hastings Gas Works, 8-12 Washington Ave., Hastings-on-Hudson, Voluntary Clean-up Program
360015: Tappan Terminal (Eastern Portion), Railroad Ave., Hastings-on-Hudson, State Superfund Program

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? >7.0 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: UvC-Urban Land Riverhead Complex 100 %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: >6.56 feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site No rating for UvC
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: 95 % of site
 10-15%: 5 % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____ Site is located in a built landscape habitat and has wildlife species commonly associated with such an environment including, small mammals, birds, and amphibians. _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres</p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Project site is located within a rare plant and rare animal area.</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Project site is located within a rare plant and rare animal area.</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>	
E.3. Designated Public Resources On or Near Project Site	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: <u>County & State Park Lands, Hudson River</u> <i>ii.</i> Basis for designation: <u>Exceptional or unique character</u> <i>iii.</i> Designating agency and date: <u>Westchester County, 01/31/1990</u></p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District	
ii. Name: <u>Old Croton Aqueduct, Crapsey, Jasper F., House and Studio</u>	
iii. Brief description of attributes on which listing is based: <u>Historic architecture and infrastructure</u>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within 5 miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
i. Identify resource: <u>Saw Mill River Parkway</u>	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>NYS Scenic Byway</u>	
iii. Distance between project and resource: <u>0.97</u> miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

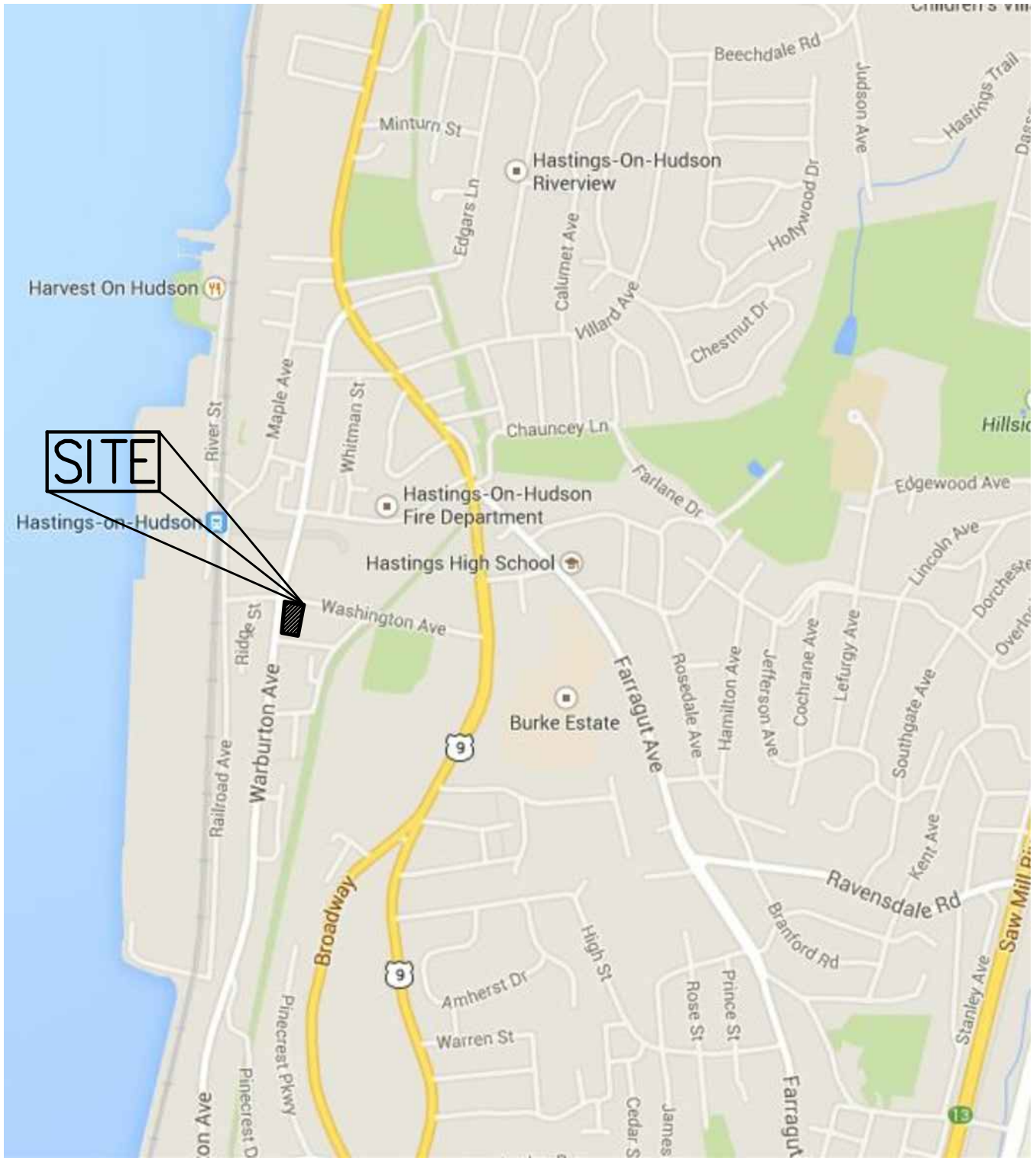
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name James A. Ryan, RLA Date 7/2/2015

Signature  Title JMC Principal (owner agent)



TOWNHOUSES AT 32-34 WASHINGTON AVE
 WASHINGTON AVE HASTINGS-ON-HUDSON

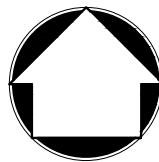
SITE LOCATION MAP

DATE: 03/19/2015

JMC PROJECT: 13180

FIGURE: SLM-1

SCALE: 1" = 1,000'



JMC
 SITE DEVELOPMENT CONSULTANTS

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Site Planning	Environmental Studies
Civil Engineering	Entitlements
Landscape Architecture	Construction Services
Land Surveying	3D Visualization
Transportation Engineering	Laser Scanning

July 1, 2015

Mr. Andrew Cortese
CCI Properties, LLC
52 Cedar Street
Dobbs Ferry, NY 10522

RE: JMC Project 13180
Washington Avenue Residences
32-34 Washington Avenue
Village of Hasting-On-Hudson, NY

Trip Generation Analysis

Dear Mr. Cortese:

This letter has been prepared to assess traffic generation and associated impacts of the proposed 5 additional townhouses located at 32-34 Washington Avenue.

We have projected traffic volumes associated with the additional townhouses of the Washington Avenue Residences redevelopment based on information contained in "Trip Generation Manual, 9th Edition" published by the Institute of Transportation Engineers (ITE). The ITE publication is an industry standard to project traffic volumes generated by specific land uses. For our analysis, we utilized the Residential Condominium/Townhouse (ITE Code 230) land use to calculate the projected traffic volumes. The proposed 5 additional townhouses are anticipated to generate 1 entering trip and 4 exiting trips, for a total of 5 trips during the peak weekday morning hour, which is based on data from 59 studies. During the peak weekday afternoon hour, the additional townhouses are anticipated to generate 3 entering trips and 2 exiting trips, for a total of 5 trips based on data from 62 studies.

The 5 total trips generated by the additional townhouses average 1 trip every 12 minutes during the peak hours. It is the professional opinion of JMC that the low volume of additional traffic related to the 5 additional townhouses will not have a perceptible impact on the operations of the Warburton Avenue and Washington Avenue intersection.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC

A blue ink signature of Marc Petrero, Project Manager.

Marc Petrero, PE
Project Manager

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