ALLIGOOD ARCHITECTURE

March 1, 2016

Zoning Board
Village of Hastings-on-Hudson
Hastings-on-Hudson, NY 10706

Re: 30 Floral Drive
Hastings-on-Hudson, NY 10706
Sheet 4.40 Block 34 Lot 4
Zoning Variance Application

Dear Board Members:

With regard to the proposed addition at 30 Floral Drive, the following zoning variances are requested:

1. Rear yard. Increasing the degree of non-conformity. The existing house extends 7" into the required 30'-0" rear yard setback, including a stone garage that provides the structural support for the rear of the house. This proposal is for reconstructing the rear wall of the house at the first floor in the existing location to increase the bearing capacity and improve thermal performance. The plan for the second floor is to rebuild the wall in its current location, but also to extend it to the full length of the ground floor wall and increase its height by approximately 3'-3 ¼".

2. Front porch. Encroachment into front yard setback. This proposal requests a variance for the front yard setback for a covered front porch. The encroachment will be 3'-2 ½" into the setback requirement, reducing the front yard to 26'-9 ½" instead of 30'-0". This encroachment is perhaps mitigated to a certain extent by the additional 15'-1" of existing yard and greenspace that lies between the front property line and Floral Drive (see drawing number Z-104). The proposed front porch will extend 48-7 ¾" across the full frontage of the house and will provide a useable and gracious porch.

Sincerely,

ALLIGOOD ARCHITECTURE

Douglass Lacy Alligood Jr., AIA

REGISTERED ARCHITECT
DOUGLASS LACY ALLIGOOD
No. 026337
STATE OF NEW YORK

ALLIGOOD ARCHITECTURE
157 Rosedale Avenue • Hastings-on-Hudson, N.Y. 10706 • t: 914.591.2578 • f: 914.591.2578 • e: allibad@optonline.net

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation

Case number:.....Date of application:.....

Property owner: MARC LEAF & DEBRA OAKS

Property address: 30 FLORAL DRIVE, HASTINGS-ON-HUDSON, NY 10706

Name all streets on which the property is located: FLORAL DRIVE

Sheet: 4.40 Block: 34 Lot/Parcel: 4 Zoning District: R-10

Applicant: DOUGLASS ALLIGOOD

Standing of applicant if not owner: ARCHITECT

Address: 157 ROSEDALE AVENUE, HASTINGS-ON-HUDSON, NY 10706

Daytime phone number: 646.344.2490 Fax number: 914.591.2578

E-mail address: ALLIBAD@OPTONLINE.NET

ZBA action requested for (See §295-146B & C: ☐ Use Variance/s; ☒ Area Variance/s; ☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68.F	30' FRONT YARD	34.3'	26'-9 1/2"
295-68.F	30' REAR YARD	29.4'	29.4'

*See example below:

295-68F.1a	Front Yard Min. 30 ft. deep	26.5 ft	19.5 ft
295-68A	Permitted Principal Use.	Single Family Home	Conversion to Dental Office

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals
Zoning Analysis

ZONING REQUIREMENTS:

YARD SETBACKS
(Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30'-0"	34.3'	26'-9 1/2"
REAR	30'-0"	29.4'	29.4'
SIDE ONE	12'-0"	83.5'	83.5'
SIDE TWO		53'-6"	42'-6"
TOTAL OF TWO SIDES		137'-0"	126'-0"

YARD SETBACKS
(Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.	-	-	-
REAR	-	-	-
SIDE	-	-	-

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	2 1/2	2 1/2
FEET	35'	31'-6" @ SW	33'-8" @ SW

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 SF	18,414 SF	18,414 SF
BLDG. COVERAGE/ % OF LOT AREA	25%	9%	14%
DEVELOPMENT COVERAGE / % OF LOT AREA	35%	22%	27%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	SINGLE FAMILY	SINGLE FAMILY	SINGLE FAMILY

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation

- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....	.....	.....	.....
.....	.....	.....	.....

- List pending violations on this property if any:

.....

.....

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)

- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit nine (9) copies of the application along with the required fee, 8 copies of property survey showing the existing and proposed construction and 8 copies of all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) to the Office of the Building Inspector, no less than six (6) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

MARY ELLEN BALLANTINE NOTARY PUBLIC REG #: 01BA6278291 MY COMMISSION EXPIRES 03/25/2017 WESTCHESTER COUNTY, NEW YORK

Applicant

Sworn to before me this 24th day of Feb., 2016

Mary Ellen Ballantine
Notary Public

STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON

Name : DEBRA D. OAKS, being duly sworn, deposes and says that he/she resides at 31 FLORAL DR in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.40 Block 34 and Lot 4 of the tax map, and that he/she hereby authorized Douglass Alligood. to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

Debra Oaks
Owner

SWORN TO BEFORE ME THIS 24th DAY
OF Feb. 2016

MARY ELLEN BALLANTINE
NOTARY PUBLIC
REG.#: 01BA6278291
MY COMMISSION EXPIRES 03/25/2017
WESTCHESTER COUNTY, NEW YORK

Mary Ellen Ballantine
Notary Public

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

NEW YORK STATE ENERGY CODE NOTES

1) ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND BUILDING ENVELOPE SYSTEMS COMPLY WITH APPLICABLE SECTIONS OF THE 2002 NEW YORK STATE ENERGY CODE FOR A SINGLE FAMILY RESIDENCE.
2) CLIMATIC CONDITIONS USED FOR DESIGN CONSIDERATION ARE AS FOLLOWS (AS PER TABLE 302.1):
a. WINTER DESIGN DRY-BULB TEMPERATURE: 7
b. SUMMER DESIGN DRY-BULB TEMPERATURE: 84
c. COINCIDENT WET-BULB TEMPERATURE: 73
d. DEGREE DAYS: 5750
e. ZONE: 12B
3) PROPOSED WORK CONFORMS WITH THE REQUIREMENTS OF PRESCRIPTIVE PACKAGE 2.
4) GLAZING AREA: LESS THAN 12%. GLAZING AREA IS THE RATIO OF THE AREA OF THE GLAZING ASSEMBLIES (INCLUDING SLIDING-GLASS DOORS, SKYLIGHTS, AND BASEMENT WINDOWS BUT EXCLUDING OPAQUE DOORS) TO THE GROSS WALL AREA, EXPRESSED AS A PERCENTAGE. UP TO 1% OF THE TOTAL ALLOWED GLAZING AREA MAY BE EXCLUDED FROM THE U-VALUE REQUIREMENT. FOR EXAMPLE, 3 FT2 OF DECORATIVE GLASS MAY BE EXCLUDED FROM A BUILDING DESIGN WITH 300 FT2 OF GLAZING AREA.
5) GLAZING U-FACTOR: 0.50 MAXIMUM. GLAZING U-FACTORS MUST BE TESTED AND DOCUMENTED BY THE MANUFACTURER IN ACCORDANCE WITH THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) TEST PROCEDURE OR TAKEN FROM THE GLAZING U-FACTOR TABLE IN CHAPTER 1. CENTER-OF-GLASS U-FACTORS CANNOT BE USED.
A) CASEMENT WINDOW U-FACTOR: .34
B) DOUBLE-HUNG WINDOW U-FACTOR: .34
6) MINIMUM CEILING R-VALUE: R-38. THE CEILING R-VALUES DO NOT ASSUME A RAISED OR OVERSIZED TRUSS CONSTRUCTION. IF THE INSULATION ACHIEVES THE FULL INSULATION THICKNESS OVER THE PLATE LINES OF EXTERIOR WALLS, R-30 INSULATION MAY BE SUBSTITUTED FOR R-38 INSULATION AND R-38 INSULATION MAY BE SUBSTITUTED FOR R-49 INSULATION. CEILING R-VALUES REPRESENT THE SUM OF CAVITY INSULATION PLUS INSULATING SHEATHING (IF USED). FOR VENTILATED CEILINGS, INSULATING SHEATHING MUST BE PLACED BETWEEN THE CONDITIONED SPACE AND THE VENTILATED PORTION OF THE ROOF.
A) VAULTED CEILING INSULATION R-VALUE: R30
B) SUSPENDED CEILING UNDER ROOF R-VALUE: R30
C) FLOOR INSULATION ABOVE UNHEATED SPACE: R-30
7) MINIMUM WALL R-VALUE: R-19. WALL R-VALUES REPRESENT THE SUM OF THE WALL CAVITY INSULATION PLUS INSULATING SHEATHING (IF USED). DO NOT INCLUDE EXTERIOR SIDING, STRUCTURAL SHEATHING, AND INTERIOR DRYWALL. FOR EXAMPLE, AN R-19 REQUIREMENT COULD BE MET EITHER BY R-19 CAVITY INSULATION OR R-13 CAVITY INSULATION PLUS R-6 INSULATING SHEATHING. WALL REQUIREMENTS APPLY TO WOOD-FRAME WALL CONSTRUCTIONS.
8) MINIMUM FLOOR R-VALUE: R-21. THE FLOOR REQUIREMENTS APPLY TO FLOORS OVER UNCONDITIONED SPACES (SUCH AS UNCONDITIONED CRAWL SPACES, BASEMENTS, OR GARAGES). FLOORS OVER OUTSIDE AIR MUST MEET THE CEILING REQUIREMENTS.
A) WALL INSULATION: R-19
9) MINIMUM BASEMENT WALL R-VALUE: R-10.
10) MINIMUM SLAB PERIMETER R-VALUE: NA
11) MINIMUM CRAWL SPACE: R-19. NOT APPLICABLE WHEN CRAWL SPACE IS VENTILATED.
12) HEATING/COOLING EQUIPMENT EFFICIENCY: NORMAL
13) ALL BUILDING ENVELOPE ELEMENTS SHALL BE PROTECTED BY A VAPOR BARRIER LOCATED ON THE WINTER WARM SIDE OF THE INSULATION
14) AIR LEAKAGE. (SECTION 502.1.4) ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED IN AN APPROVED MANNER. THE FOLLOWING AREAS SHOULD BE SEALED USING APPROPRIATE MATERIALS: EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES. BETWEEN WALL SOLE PLATES, FLOORS, AND EXTERIOR WALL PANELS. OPENINGS FOR PLUMBING, ELECTRICITY, REFRIGERANT, AND GAS LINES IN EXTERIOR WALLS, FLOORS, AND ROOFS. OPENINGS IN THE ATTIC FLOOR (SUCH AS WHERE CEILING PANELS MEET INTERIOR AND EXTERIOR WALLS AND MASONRY FIREPLACES); SERVICE AND ACCESS DOORS OR HATCHES; OPENINGS FOR PLUMBING AND GAS LINES IN THE SUBFLOOR AND INTERIOR PLATES OF KITCHENS AND BATHROOMS; ETC. RECESSED LIGHTING FIXTURES.
15) SEALANTS USED BETWEEN DISSIMILAR MATERIALS (SUCH AS BETWEEN THE SOLE PLATE AND A SLAB FLOOR) MUST ALLOW FOR THE EXPANSION AND CONTRACTION OF THE MATERIALS.
16) RECESSED LIGHTING FIXTURES MUST BE IC RATED WITH NO PENETRATIONS, OR IC RATED IN ACCORDANCE WITH ASTM 283, OR 3) INSTALLED INSIDE AN AIR-TIGHT ASSEMBLY WITH A 0.5 INCH (12.76 MM) CLEARANCE FROM ANY COMBUSTIBLE MATERIAL AND A 3 INCH (76 MM) CLEARANCE FROM INSULATION MATERIAL.
17) (SECTION 102.7) FIREPLACES (SOLID FUEL TYPE) SHALL BE INSTALLED WITH TIGHT FITTING NONCOMBUSTIBLE
18) FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES. FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR, AS REQUIRED BY THE FIREPLACE CONSTRUCTION PROVISIONS OF THE LOCAL BUILDING CODE.
19) VAPOR RETARDERS. (SECTION 502.1.1) VAPOR RETARDERS MUST BE INSTALLED IN ALL NON-VENTED FRAMED CEILINGS, WALLS, AND FLOORS. NON-VENTED AREAS ARE FRAMED CAVITIES WITHOUT VENTS OR OTHER OPENINGS ALLOWING THE FREE MOVEMENT OF AIR. THE VAPOR RETARDER MUST HAVE A PERM RATING OF 1.0 OR LESS AND MUST BE INSTALLED ON THE "WARM-IN-WINTER SIDE" OF THE INSULATION (BETWEEN THE INSULATION AND THE CONDITIONED SPACE). EXEMPTIONS: VAPOR RETARDERS ARE NOT REQUIRED: WHERE MOISTURE OR ITS FREEZING WILL NOT DAMAGE THE MATERIALS. IF OTHER APPROVED MEANS TO AVOID CONDENSATION AND LEAKAGE OF MOISTURE ARE PROVIDED.
20) EXPOSED FOUNDATION INSULATION. (SECTION 102.4.1) EXTERIOR FOUNDATION WALL AND SLAB PERIMETER INSULATION MUST HAVE A RIGID, OPAQUE, AND WEATHER-RESISTANT COVERING THAT PREVENTS THE DEGRADATION OF THE INSULATION'S PERFORMANCE. THE PROTECTIVE COVERING MUST COVER THE EXPOSED (ABOVE-GRADE) AREA OF THE INSULATION AND EXTEND TO A MINIMUM OF 6IN. (153 MM) BELOW GRADE.
21) MATERIALS AND EQUIPMENT INFORMATION. (SECTION 102.2) ALL INSULATION, CAULKING AND WEATHERSTRIPPING, WINDOWS AND SKYLIGHTS, AND MECHANICAL AND WATER HEATING EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
22) (SECTION 102.1) MATERIALS AND EQUIPMENT MUST BE IDENTIFIED IN A MANNER THAT WILL ALLOW COMPLIANCE WITH THE CODE TO BE DETERMINED. PROVIDE LABELS ON ALL PERTINENT MATERIALS AND EQUIPMENT. CONTRACTOR TO CERTIFY THE R-VALUE OF THE INSTALLED INSULATION.
23) (SECTION 102.5.1) FOR BLOWN OR SPRAYED INSULATION, THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS MUST BE CLEARLY POSTED AT THE JOB SITE. IN ATTICS, THICKNESS MARKERS MUST BE PLACED AT LEAST ONCE EVERY 300 SQUARE FEET.
24) (SECTION 102.2) MANUFACTURER MANUALS FOR ALL INSTALLED HEATING AND COOLING EQUIPMENT AND SERVICE WATER HEATING EQUIPMENT MUST BE PROVIDED TO THE HOMEOWNER.
25) DUCT INSULATION. (SECTION 503.3.3.3) SUPPLY- AND RETURN-AIR DUCTS AND PLENUMS FOR HEATING AND COOLING SYSTEMS LOCATED IN UNCONDITIONED SPACES (SPACES NEITHER HEATED NOR COOLED) MUST BE INSULATED TO THE FOLLOWING MINIMUM R-VALUES: DUCTS IN UNCONDITIONED SPACES (I.E. ATTICS, CRAWLSPACES, UNHEATED BASEMENTS AND GARAGES, AND EXTERIOR CAVITIES): SUPPLYR-8 RETURNR-2. UNCONDITIONED SPACES INCLUDE VENTILATED CRAWL SPACES, VENTILATED ATTICS, AND FRAMED CAVITIES IN THOSE FLOOR, WALL, AND CEILING ASSEMBLIES WHICH A) SEPARATE CONDITIONED SPACE FROM UNCONDITIONED SPACE OR OUTSIDE AIR AND B) ARE UNINSULATED ON THE SIDE FACING AWAY FROM CONDITIONED SPACE. EXCEPTIONS: INSULATION IS NOT REQUIRED ON FACTORY-INSTALLED PLENUMS, CASINGS, OR DUCTWORK FURNISHED AS PART OF THE HVAC EQUIPMENT.
26) DUCT CONSTRUCTION. (SECTION 503.3.3.4.2) ALL JOINTS, SEAMS, AND CONNECTIONS MUST BE SECURELY FASTENED WITH WELDS, GASKETS, MASTICS (ADHESIVES), MASTIC-PLUS-EMBEDDED-FABRIC, OR TAPES. DUCT TAPE NOT LISTED FOR THE INTENDED APPLICATION IS NOT PERMITTED. EXCEPTION: CONTINUOUSLY WELDED AND LOCKING-TYPE LONGITUDINAL JOINTS AND SEAMS ON DUCTS OPERATING AT LESS THAN 2 IN. W.G. (500 PA). DUCTS SHALL BE SUPPORTED EVERY 10 FEET OR IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. COOLING DUCTS WITH EXTERIOR INSULATION MUST BE COVERED WITH A VAPOR RETARDER. AIR FILTERS ARE REQUIRED IN THE RETURN AIR SYSTEM.
27) (SECTION 503.3.3.7) THE HVAC SYSTEM MUST PROVIDE A MEANS FOR BALANCING AIR AND WATER SYSTEMS. FOR AIR SYSTEMS, THIS REQUIREMENT CAN BE MET BY INSTALLING MANUAL DAMPERS AT EACH BRANCH OF THE DUCTWORK OR BY INSTALLING ADJUSTABLE REGISTERS THAT CAN CONSTRICT THE AIRFLOW INTO A ROOM. FOR WATER SYSTEMS, BALANCING VALVES CAN BE INSTALLED TO CONTROL THE WATER FLOW TO ROOMS OR ZONES.
28) TEMPERATURE CONTROLS. (SECTION 503.3.2.1) EACH DWELLING UNIT IS CONSIDERED A ZONE AND MUST HAVE AT LEAST ONE THERMOSTAT PROVIDED FOR EACH SEPARATE SYSTEM (HEATING AND COOLING).
(SECTION 503.3.2.2) EACH HEATING AND COOLING SYSTEM MUST HAVE A THERMOSTAT CAPABLE OF BEING SET: DOWN TO 55°F OR LOWER WHEN USED TO CONTROL HEATING; UP TO 85°F OR HIGHER WHEN USED TO CONTROL COOLING; WITH A TEMPERATURE RANGE OR DEADBAND OF AT LEAST 5°F WHEN USED TO CONTROL BOTH HEATING AND COOLING.

BUILDING DEPARTMENT NOTES

1. APPROVED PLANS OF THIS CONSTRUCTION MUST BE ON THE JOB AT ALL TIMES FOR THE BUILDING INSPECTOR TO USE WHEN MAKING INSPECTIONS.
2. ELECTRICIANS: ANY ELECTRICAL WORK DONE IN CONNECTION WITH THIS BUILDING PERMIT MUST BE DONE BY AN ELECTRICIAN LICENSED IN THE VILLAGE OF HASTINGS-ON-HUDSON. NEW YORK BOARD OF FIRE UNDERWRITERS APPLICATION AND VILLAGE OF HASTINGS-ON-HUDSON ELECTRICAL PERMITS MUST BE FILED WITH THE DEPARTMENT OF BUILDINGS PRIOR TO STARTING OF ANY WORK. NO INSPECTIONS WILL BE MADE UNLESS THE AFOREMENTIONED IS COMPLIED WITH.
3. PLUMBERS: PRIOR TO COMMENCING OF ANY PLUMBING WORK, A PLUMBER MUST BE LICENSED IN THE VILLAGE OF HASTINGS-ON-HUDSON, AND FILE FOR PLUMBING PERMITS, WITH ASSOCIATED PLANS OR SKETCHES, WITH THE DEPARTMENT OF BUILDINGS. INSPECTIONS AND APPROVAL ARE REQUIRED AS FOLLOWS: SEWER INSPECTION, ROUGHING, LATERALS, FINAL INSTALLATION AND ALL NECESSARY TESTS.
4. ALL CHANGES MADE TO PREVIOUSLY APPROVED PLANS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION, AND FINAL AS-BUILT PLANS AND SURVEY FOR CERTIFICATE OF OCCUPANCY.

GENERAL NOTES

1) SCOPE OF WORK IS TO INCLUDE ALL LABOR AND MATERIALS TO PROVIDE AND COMPLETE JOB; ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES APPLIED BY THE SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED.
2) ALL WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL BUILDING CODES AND ORDINANCES, INCLUDING ADA AND ANY LOCAL BARRIER FREE CODES.
3) BEFORE COMMENCING THE WORK, THE GENERAL CONTRACTOR SHALL APPLY, PAY FOR FEES, OBTAIN APPROVALS AND PROCURE SIGN-OFFS OF ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY ALL APPLICABLE BUILDING CODES AND REGULATORY AGENCIES.
4) THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING THE WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
5) MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
7) THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC); THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY LAYOUT AND EXACT LOCATIONS OF ALL PARTITIONS, DOORS, ELECTRICAL AND SIGNAL OUTLETS, LIGHT FIXTURES AND SWITCHES WITH THE ARCHITECT IN THE FIELD PRIOR TO PROCEEDING WITH CONSTRUCTION.
8) PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
9) ELECTRICAL WORK SHALL BE DESIGNED AND BUILT IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND APPLICABLE LOCAL CODES AND STANDARDS. ELECTRICAL DEVICES SHALL BEAR UL LISTINGS.
10) THE CONTRACTOR SHALL DO ALL CUTTING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
11) ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
12) THE CONTRACTOR IS TO REUSE OR RELOCATE MATERIALS AS INDICATED ON THE DRAWINGS, AND RETURN TO THE OWNER ALL REUSABLE MATERIALS.
13) WORK WHICH CONTAINS QUALITY OR CONSTRUCTION DEFICIENCIES WILL NOT BE ACCEPTED, WHETHER OR NOT THE w/4 t ðRw/4 t ðið ið ARCHITECT DISCOVERS OR NOTIFIES THE CONTRACTOR(S) OF DEFECTS DURING CONSTRUCTION.
14) DEFECTIVE WORK REVEALED WITHIN THE GUARANTEE PERIOD SHALL REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT DOCUMENTS, NO PAYMENT EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
15) THE CONTRACTOR SHALL PATCH AND REPAIR ALL FIREPROOFING DAMAGE INCURRED DURING DEMOLUTION AND/OR CONSTRUCTION, CONTRACTOR SHALL FIREPROOF AS REQUIRED BY CODE ALL NEW PENETRATIONS GENERATED BY THE WORK OF THIS CONTRACT.
16) DURING CONSTRUCTION, ACTUAL LOCATIONS OF CONSTRUCTION ITEMS DENOTED IN THE CONSTRUCTION DOCUMENTS SHALL BE INDICATED, TO SCALE IN CONTRASTING INK ON THE DRAWINGS AND CONCEALED DEVIATIONS FROM THE DRAWINGS, UPON PROJECT COMPLETION, INCLUDING PUNCH LIST, THIS INFORMATION SHALL BE TRANSFERRED TO A SET OF REPRODUCIBLE DOCUMENTS PROVIDED BY THE ARCHITECT. THIS SET SHALL BE CONSPICUOUSLY LABELED "AS BUILT SET".
17) SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE TO BE UNENFORCEABLE, FOR WHATEVER REASONS, SUCH UNENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT OR VOID ANY OTHER PROVISIONS OF THE CONTRACT.
18) THROUGHOUT THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF A CLAIM OR LIEN AGAINST THE OWNER OR EQUIPMENT, ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS HE CAN SHOW REASONABLE AND JUSTIFIABLE CAUSE, APPROVAL FOR FINAL PAYMENT SHALL BE CONTINGENT UPON THE CONTRACTOR'S OBTAINING AND FURNISHING TO THE ARCHITECT SIGNED RELEASES AND LIEN WAIVERS FROM SUCH INDIVIDUALS OR COMPANIES.
19) THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS INDICATED, PRIOR TO PROCEEDING WITH CONSTRUCTION.
20) ALL QUESTIONS ARE TO BE DIRECTED TO THE ARCHITECT IN WRITING AND RECEIVE A WRITTEN CLARIFICATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK, DRAWINGS ARE NOT TO BE SCALED, DIMENSIONS SHALL GOVERN.
21) DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS; LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS.
22) WHERE A MANUFACTURER IS SPECIFIED, SUBSTITUTIONS ARE PROHIBITED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE ARCHITECT WILL DETERMINE EQUALITY BASED UPON INFORMATION, SAMPLES AND SPECIFICATIONS SUBMITTED BY THE CONTRACTOR.
23) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF CURRENT AND/OR REVISED DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION. INCORRECT WORK PERFORMED DUE TO INCORRECTLY DATED DRAWINGS WILL NOT BE ACCEPTED.
24) THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.
25) THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING AND PLUMBING EQUIPMENT (TO INCLUDE ALL PIPING AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
26) DEFINITIONS: "TYPICAL" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED; "SIMILAR" MEANS COMPARABLE CHARACTERISTICS TO THE CONDITION NOTED. DIMENSIONS AND ORIENTATION TO BE VERIFIED ON PLANS.
27) SUBMITTALS: THE GENERAL CONTACTOR IS TO SUBMIT A MINIMUM OF (1) REPRODUCIBLE AND (3) COPIES OF SHOP DRAWINGS, SAMPLES, PRODUCT LITERATURE AND/OR SPECIFICATIONS TO THE ARCHITECT PRIOR TO FABRICATION FOR APPROVAL. THE ARCHITECT'S APPROVAL SHALL BE RETURNED WITHIN (10) BUSINESS DAYS OF RECEIPT OF SHOP DRAWINGS.
28) ALL CONSTRUCTION WORK AND OTHER ITEMS INDICATED ON DRAWINGS ARE NEW AND TO BE PROVIDED UNDER THIS CONTRACT, UNLESS OTHERWISE NOTED.
29) WHERE EXISTING CONSTRUCTION OR ITEMS ARE REMOVED AND/OR DISTURBED FOR INSTALLATION OF NEW WORK, CAUSING THE EXPOSw/4 t ðið URE OF UNFINISHED AND/ORw/4 t ðið DAMAGED SURFACES, RESULTING SURFACES SHALL BE RECONSTRUCTED WITH FINISHED MATERIALS TO MATCH ADJACENT FINISHED AREAS.
30) WHERE REMOVAL OF EXISTING WALL RESULTS IN TRENCHES AND/OR UNEVEN FLOORING CONDITIONS, PATCH THESE AREAS AS REQUIRED TO PROVIDE SMOOTH AND GENTLE TRANSITION, AND UNIFORMITY OF NEW FLOORING.

GENERAL NOTES (CONTD)

30) WHERE REMOVAL OF EXISTING WALL RESULTS IN TRENCHES AND/OR UNEVEN FLOORING CONDITIONS, PATCH THESE AREAS AS REQUIRED TO PROVIDE SMOOTH AND GENTLE TRANSITION, AND UNIFORMITY OF NEW FLOORING.
31) AT AREAS SCHEDULED TO RECEIVE NEW CEILINGS, REMOVE ALL LOOSE PLASTER, PEELING PAINT AND OTHER EXTRANEOUS MATERIALS FROM UNDERSIDE OF STRUCTURE ABOVE, PRIOR TO INSTALLING NEW CEILING.
32) PRIOR TO INSTALLATION OF NEW FLOORING, PREPARE UNDERLYING SUBSTRATE TO RECEIVE NEW FLOORING. REMOVE COATINGS, ADHESIVES, PROTRUSIONS AND IRREGULARITIES THAT WOULD PREVENT ADHESIVE BOND OF NEW FLOORING.
33) WHERE EXISTING FURRED WALLS (OR OTHER WALLS BUILT OUT UNDER A PREVIOUS RENOVATION) ARE REMOVED UNDER THIS CONTRACT, FROM EXISTING WALLS TO REMAIN, REMOVE ALL UNDERLYING PROTRUSIONS (I.E., BASE, CHAIR RAIL, WINDOW TRIM, DOOR TRIM AND OTHER ORIGINAL BUILDING FINISHES) WHICH OTHERWISE INTERFERE WITH THE INSTALLATIONS OF NEW WORK.
34) GENERAL CONSTRUCTION WORK IS REQUIRED IN VARIOUS AREAS OF THE EXTERIOR GROUNDS AS NECESSARY TO EXECUTE MECHANICAL, ELECTRICAL, FIRE PROTECTION, AND PLUMBING WORK INDICATED IN PLANS, DIAGRAMS AND SPECIFICATIONS. ALTHOUGH NOT NECESSARILY SHOWN ON DRAWINGS, GENERAL CONSTRUCTION IS REQUIRED IN THESE AREAS, CONSISTING OF REMOVAL/REPLACEMENT OF CEILINGS, WALLS, FINISHES AND OTHER CONSTRUCTION, AS NECESSARY TO PERFORM WORK AND RESTORE FINISHED SPACES TO ORIGINAL CONDITION, CONTRACTORS SHALL INCLUDE COST FOR ALL SUCH WORK IN BASE BID.
35) NEW MECHANICAL, PLUMBING, ELECTRICAL AND OTHER SERVICES SHALL BE CONCEALED WITHIN EXISTING OR NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
36) WHERE DOOR FRAMES, GRILLES, PLUMBING, CONDUITS OR OTHER ITEMS ARE REMOVED FROM EXISTING MASONRY WALLS, REBUILD, SUPPORT, AND PATCH REMAINING PORTIONS OF WALLS ADJACENT AND ABOVE REMOVED ITEMS.
37) PROVIDE OPENINGS IN EXISTING AND NEW PARTITION CONSTRUCTION, FOR INCLUDING STEEL LINTELS TO SUPPORT MASONRY ABOVE.
38) REMOVE EXISTING RESILIENT BASE FROM ALL WALLS WHICH ARE REMAINING. PATCH AND PREPARE SUBSTRATE SMOOTH TO RECEIVE NEW RUBBER BASE.
39) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWING BY FIELD WORK. ALL LINES AND LEVELS SHALL BE ESTABLISHED AND CHECKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
40) THE COST OF REBUILDING OR CORRECTING PROBLEMS RESULTING FROM INADEQUATE DIMENSION VERIFICATION WILL BE BORNE BY THE CONTRACTOR.
41) THE CONTRACTOR SHALL INSPECT AND LEVEL ALL SUB-FLOORING AS REQUIRED TO RECEIVE SPECIFIED FLOOR FINISHES AND FIXTURES. FLOORS SHALL BE LEVELED TO A MAXIMUM SLOPE OF 1/16" OVER 1'-0" WHERE REQUIRED AND TO FLUSH ADJACENCY OF DIFFERENT FLOOR FINISHES.
42) THE GENERAL CONTRACTOR SHALL COORDINATE THE ACCESS OF ANY AND ALL SUBCONTRACTORS, AND WITH REASONABLE NOTIFICATION ANY OWNER CONSULTANT, VENDOR, INSTALLER, ETC. TO THE PROJECT.
43) WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE NEW YORK STATE ENERGY CODE, INCLUDING, BUT NOT LIMITED TO MINIMUM STANDARDS FOR WALL INSULATION, VAPOR BARRIERS, NEW MECHANICAL AND PLUMBING EQUIPMENT.

DEMOLITION NOTES

1) DEMOLITION CONTRACTOR SHALL PROVIDE DUMPSTER AND RUBBISH REMOVAL FOR ALL ITEMS INDICATED TO BE REMOVED OR DEMOLISHED.
2) DEMOLITION CONTRACTOR TO PROVIDE TEMPORARY PROTECTION, AS DETERMINED NECESSARY BY THE OWNER, TO LIMIT DUST AND NOISE MIGRATION FROM THE AREA OF WORK INTO THE SURROUNDING NEIGHBORHOOD.
3) DEMOLITION CONTRACTOR TO ENSURE THAT ALL DEMOLITION AND REMOVALS WORK IS PERFORMED IN ACCORDANCE WITH ALL LOCAL AUTHORITIES AND CODES.
4) WORK TO BE PERFORMED BETWEEN THE HOURS OF 8AM TO 5PM MONDAY TO FRIDAY.
5) WORK MATERIALS, EQUIPMENT AND VEHICLES MUST BE KEPT ON SITE IN A NEAT AND ORDERLY MANNER.
6) ALL AREAS OUTSIDE THE AREA OF WORK SHALL BE MAINTAINED FREE OF DEBRIS AND ALL RUBBISH SHALL BE REMOVED AT THE END OF EACH BUSINESS DAY.
7) DEMOLITION CONTRACTOR RESPONSIBLE TO PROVIDE TEMPORARY POWER FROM MAIN DISTRIBUTION PANEL (EXISTING TO REMAIN THROUGHOUT DEMOLITION). DEMOLITION CONTRACTOR MUST VERIFY AND DISCONNECT BRANCH CIRCUITS PRIOR TO DEMOLITION.
8) THE SCOPE OF DEMOLITION IS NON-STRUCTURAL ELEMENTS ONLY. THE DEMOLITION CONTRACTOR MUST NOTIFY THE OWNER IMMEDIATELY OF ANY STRUCTURAL WORK REQUIRED OR NECESSITATED BY THIS SCOPE OF WORK.
9) REMOVE ALL PARTITIONS INDICATED BY DASHED LINES.
10) REMOVE ALL ELECTRICAL OUTLETS AND DISTRIBUTION CONDUIT AND WIRING.
11) DEMOLITION CONTRACTOR RESPONSIBLE FOR ALL SHUT-OFFS PRIOR TO START OF DEMOLITION.
12) DEMOLITION CONTRACTOR REQUIRED TO VERIFY FIELD CONDITIONS AND IS REQUIRED TO VISIT THE SITE PRIOR TO SUBMITTING A BID FOR WORK. REQUESTS FOR INFORMATION MUST BE SUBMITTED IN WRITING.
13) DEMOLITION CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND IS REQUIRED TO SUBMIT INSURANCE AND WORKER'S COMPENSATION CERTIFICATES REQUIRED BY LOCAL AUTHORITIES AND INDEMNIFICATIONS FOR THE OWNER AND ARCHITECT.

PARTITION NOTES

1) REFER TO DRAWING A-101 FOR CONSTRUCTION PLAN AND PARTITION TYPES.
2) WORK OF THIS SECTION INCLUDES ALL REQUIRED GYPSUM DRYWALL PARTITIONS, SOFFITS, FURRING, ETC., INCLUDING ALL REQUIRED STUDS, BOARDS, SUPPORT SYSTEMS ACCESSORIES AND FINISHING.
3) FIRE-RESISTANCE RATINGS: COMPLY WITH FIRE-RESISTANCE RATINGS AS SHOWN ON DRAWINGS AND AS REQUIRED BY GOVERNING AUTHORITIES AND CODES. PROVIDE MATERIALS, ACCESSORIES AND APPLICATION PROCEDURES WHICH HAVE BEEN LISTED BY UL OR TESTED IN ACCORDANCE WITH ASTM E119 FOR THE TYPE OF CONSTRUCTION SHOWN.
4) INDUSTRY STANDARD: COMPLY WITH APPLICABLE REQUIREMENTS OF GA-216 "APPLICATION AND FINISHING OF GYPSUM BOARD" BY THE GYPSUM ASSOCIATION, EXCEPT WHERE MORE DETAILED OR MORE STRINGENT REQUIREMENTS ARE INDICATED, INCLUDING THE RECOMMENDATIONS OF THE MANUFACTURER.
5) MATERIALS FROM MORE THAN ONE MANUFACTURER MAY NOT BE USED IN A SYSTEM OR ASSEMBLY. GYPSUM DRYWALL PRODUCTS AND SYSTEMS SHALL BE BY ONE OF THE FOLLOWING:
A. GEORGIA-PACIFIC CORP.
B. NATIONAL GYPSUM CO.
C. U.S. GYPSUM CO.
6) EXPOSED GYPSUM BOARD: COMPLY WITH ASTM C36 FOR EXPOSED GYPSUM BOARD, HEREBY DEFINED TO INCLUDE WORK INDICATED FOR PAINTED FINISH AND SIMILAR FORMS OF DECORATION, AS WELL AS UNFINISHED WORK.
7) TYPE X: PROVIDE TYPE X WHERE INDICATED AND WHERE REQUIRED TO ACHIEVE INDICATED FIRE-RESISTANCE RATINGS.
8) THICKNESS: 5/8" UNLESS SHOWN OTHERWISE ON DRAWINGS.
9) SHEET SIZE: 4' WIDE X MAXIMUM LENGTH AVAILABLE (8'-0" MINIMUM) WHICH WILL MINIMIZE NUMBER OF END JOINTS IN WORK.
10) LONG-EDGE PROFILE: STANDARD TAPER.
11) CEILINGS SUPPORT MATERIALS:
A. FURRING MEMBERS: SCREW TYPE, HAT-SHAPED FURRING CHANNELS OF 25-GUAGE, ZINC-COATED STEEL; COMPLY WITH ASTM C 645.
B. SOFFIT AND FASCIA MEMBERS: SCREW TYPE "C" SHAPED STUDS OF THE DEPTH INDICATED, OF 20-GAUGE, ZINC-COATED STEEL; COMPLY WITH ASTM C645.
C. FURRING ANCHORAGES: GALVANIZED FURRING CHANNEL CLIPS, MANUFACTURER'S STANDARD WIRE TYPE CLIPS, BOLTS, OR SCREWS AS RECOMMENDED BY MANUFACTURER AND COMPLYING WITH ANSI A42.4.
12) WALL/PARTITION SUPPORT MATERIALS
A. STUDS: SCREW TYPE 20-GUAGE ZINC-COATED "C" SHAPED STUDS; COMPLY WITH ASTM C 645.
B. DEPTH OF SECTION: 3-5/8" EXCEPT AS OTHERWISE NOTED.
C. RUNNERS: MATCH STUDS; TYPE RECOMMENDED BY STUD MANUFACTURER FOR FLOOR AND CEILING SUPPORT OF STUDS, AND FOR VERTICAL ABUTMENT OF DRYWALL AT OTHER WORK.
D. STIFFENERS: 3/4" COLD-ROLLED STEEL CHANNELS AT 0.3 LBS. PER FT., RUST-INHIBITIVE PAINT FINISH.
E. STUD SYSTEM ACCESSORIES: PROVIDE STUD MANUFACTURER'S STANDARD CLIPS, SHOES, TIES, REINFORCEMENTS, FASTENERS AND OTHER ACCESSORIES AS NEEDED FOR A COMPLETE STUD SYSTEM.

PARTITION NOTES (CONTD)

13) TRIM AND ACCESSORIES: PROVIDE MANUFACTURER'S STANDARD METAL TRIM ACCESSORIES, OF BEADED TYPE WITH FACE FLANGES FOR CONCEALMENT IN JOINT COMPOUND, EXCEPT WHERE SEMI OR EXPOSED TYPE IS INDICATED.
14) INSTALLATION FRAMING (GENERAL): INSTALL METAL FRAMING FOR ALL ASSEMBLIES AND ACCESSORIES IN ACCORDANCE WITH DESIGN REQUIREMENTS, MANUFACTURER'S PRINTED INSTRUCTIONS, AND APPLICABLE CODE REQUIREMENTS.
15) STUDS: USE FULL-LENGTH STUDS BETWEEN RUNNER TRACKS. FRICTION-FIT STUDS TO RUNNER TRACKS BY POSITIONING AND ROTATING INTO PLACE. PROVIDE POSITIVE ATTACHMENT TO RUNNER TRACKS FOR STUDS LOCATED AT PARTITION CORNERS AND INTERSECTIONS, AND ADJACENT TO OPENINGS. USE SCREWS AT JAMB CEILING FOR HOLLOW METAL FRAMES.
16) STUD SPACING: 16" O.C. TYP. (MAX. 24" O.C.)
17) PROVIDE ADDITIONAL STUDS TO SUPPORT INSIDE CORNERS AT PARTITION INTERSECTIONS AND CORNERS AND TO SUPPORT PARTITIONS.
18) PROVIDE ROUGH FRAMING AT OPENINGS CONSISTING OF FULL LENGTH STUDS ADJACENT TO JAMBS, AND HORIZONTAL HEADER AND SILL TRACKS.

NYS RESIDENTIAL CODE NOTES
GROUND SNOW LOAD [FIGURE R301.2(5)]: 45
WIND SPEED [FIGURE R301.2.1.4]: 90
SEISMIC DESIGN CATEGORY [FIGURE R301.2(2)]: C
WEATHERING [FIGURE R301.2(3)]: SEVERE
FROST LINE DEPTH: 42
TERMITE [FIGURE R301.2(6)]: MODERATE TO HEAVY
DECAY [FIGURE R301.2(7)]: SLIGHT TO MODERATE
WINTER DESIGN TEMPERATURE [TABLE N1102.1]: 7
SUMMER DESIGN TEMPERATURE [TABLE N1102.1]: 84
DEGREE DAYS [TABLE N1102.1]: 5750
ZONE [TABLE N1102.1]: 12B

CONCRETE FOOTINGS OR OTHER CONCRETE NOT EXPOSED TO WEATHER SHALL BE MINIMUM 2,500 PSI PER TABLE R402.2
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER SHALL BE MINIMUM 3,000 PSI AIR ENTRAINED. TOTAL AIR CONTENT SHALL NOT BE LESS THAN 5% OR MORE THAN 7%.

TABLE R301.4
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS

USE	LIVE LOAD (LBS/SF)	DEAD LOAD (LBS/SF)	TOTAL DESIGN LOAD (LBS/SF)
EXTERIOR BALCONIES	60	10	70
DECKS	40	10	50
PASSENGER VEHICLE GARAGES	50	10	60
ATTICS WITHOUT STORAGE	10	10	20
ATTICS WITH STORAGE	20	10	30
ROOMS OTHER THAN SLEEPING ROOMS	40	10	50
SLEEPING ROOMS	30	10	40
STAIRS	40	10	50
GUARDRAILS AND HANDRAILS	200	0	200

RAFTER SPANS BASED ON TABLE R802.5.1(4) SNOW LOAD = 45 LBS/SF
GROUND SNOW LOAD

FINISH & MATERIAL SPECIFICATIONS

STONE SPECIFICATIONS
ST01 RUBBLE STONE VENEER - 2" THICK ROUGHLY SQUARED HORIZONTAL PATTERN TO MATCH ARCHITECT'S SAMPLE
ST02 BLUESTONE - 3" THICK W/ROUGH SIDES AND SMOOTH TOP
ST03 SLATE - 12" X 12" X1/2" CALIFORNIA GREY/GOLD THINSET ON CONCRETE SLAB
ST04 SLATE - 12" X 12" X1/2" CALIFORNIA GREY/GOLD THINSET ON 1/2" DUROCK ON 3/4" PLYWD SUBFLOOR

STUCCO SPECIFICATIONS
STC01 EXTERIOR STUCCO - SMOOTH FINISH

LIGHT FIXTURE SPECIFICATIONS
LF01 FOYER PENDANT
LF02 EXTERIOR WALL SCONCE
LF03 STAIR PENDANT - EXTENDS FROM NEW 2ND FLOOR CLG THRU OPENING TO 1ST FLOOR
LF04 RECESSED FLOOR LIGHT
LF05 RECESSED DOWNLIGHT - 6" Ø
LF06 RECESSED DOWNLIGHT - 5" Ø
LF07 RECESSED SHOWER DOWNLIGHT - 6" Ø
LF08 SURFACE MOUNTED BEDROOM LIGHT FIXTURE
LF09 PENDANT MOUNTED TRACK LIGHT
LF10 UNDER CABINET MOUNTED LINEAR STRIP FIXTURE
LF11 PENDANT MOUNTED BILLIARD TABLE FIXTURE
LF12 PENDANT MOUNTED PING PONG TABLE FIXTURE

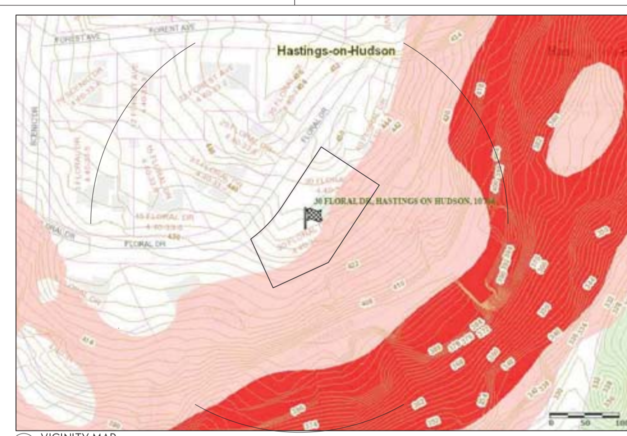
ROOFING SPECIFICATIONS
RS01 SELF-ADHERING SBS MODIFIED BITUMEN ROOFING SYSTEM, INCLUDING PRECUT FLASHING, CONSISTING OF THE FOLLOWING:
PRIMER: CERTAINTEED FLINTLASTIC SA PRIMER
BASE SHEET: CERTAINTEED FLINTLASTIC SA NAILBASE
CAP SHEET: CERTAINTEED FLINTLASTIC SA CAP SHEET - COLOR LIGHT GREY

CERAMIC TILE SPECIFICATIONS
CT01 FLOOR TILE - SOLISTONE HONED TURKISH AMBER - 5001SU, HONED NATURAL STONE - INTERLOCKING PEBBLES, 1" - 1 1/2" PEBBLE SIZE, 12" X 12" SHEET SIZE
CT02 WALL TILE - MOSAIC SOURCE - SLATE SERIES, PRAIRIE FALLING WATER, PART NO PRAIRFALWTR
CT03 WALL TILE - SOLISTONE MODERN FAUVE B4024

GLASS SPECIFICATIONS
GL01 ANDERSEN STANDARD CLEAR HIGH PERFORMANCE LOW-E INSULATING GLASS
GL02 ANDERSEN STANDARD CLEAR HIGH PERFORMANCE LOW-E4 TEMPERED INSULATING GLASS
GL03 ANDERSEN REED PATTERN HIGH PERFORMANCE LOW-E TEMPERED INSULATING GLASS
GL04 GLASS BLOCK

GARAGE DOOR SPECIFICATIONS
GAR01 TO BE DETERMINED

METAL SPECIFICATIONS
MTL01 ANDERSEN STANDARD CLEAR HIGH PERFORMANCE LOW-E INSULATING GLASS



1 VICINITY MAP
SCALE: NTS

OAKS-LEAF Residence

30 Floral Drive
Hastings-on-Hudson, NY

ALLIGOOD
157 Rosedale Avenue
Hastings-on-Hudson, NY 10706
(914) 591-2578

DRAWING LIST

N-100 COVER SHEET & GENERAL NOTES
Z-100 EXISTING SITE PLAN
Z-101 EXISTING ZONING PERSPECTIVES
Z-102 EXISTING STEEP SLOPES SITE PLAN
Z-103 EXISTING STEEP SLOPES PERSPECTIVES
Z-104 PROPOSED SITE PLAN
Z-105 PROPOSED ZONING PERSPECTIVES
Z-106 STEEP SLOPES SITE PLAN
Z-107 PROPOSED STEEP SLOPES PERSPECTIVES
D-100 BASEMENT DEMOLITION PLAN
D-101 FIRST FLOOR DEMOLITION PLAN
D-102 SECOND FLOOR DEMOLITION PLAN
D-103 ATTIC & ROOF DEMOLITION PLANS
D-300 EXISTING EXTERIOR ELEVATIONS
D-301 EXISTING EXTERIOR ELEVATIONS
A-100 BASEMENT CONSTRUCTION PLAN
A-101 FIRST FLOOR CONSTRUCTION PLAN
A-102 SECOND FLOOR CONSTRUCTION PLAN
A-103 ATTIC CONSTRUCTION PLAN
A-104 ROOF CONSTRUCTION PLAN
A-200 NORTH / SOUTH SECTIONS
A-201 EAST / WEST SECTIONS
A-300 EXTERIOR ELEVATIONS
A-301 EXTERIOR ELEVATIONS
A-701 DOOR SCHEDULE DOOR TYPES & DETAILS
A-702 WINDOW SCHEDULE & WINDOW TYPES
A-703 WINDOW DETAILS
A-704 PARTITION TYPES STAIR DETAILS

Date	Issue
02.22.16	ISSUED FOR DOB REVIEW

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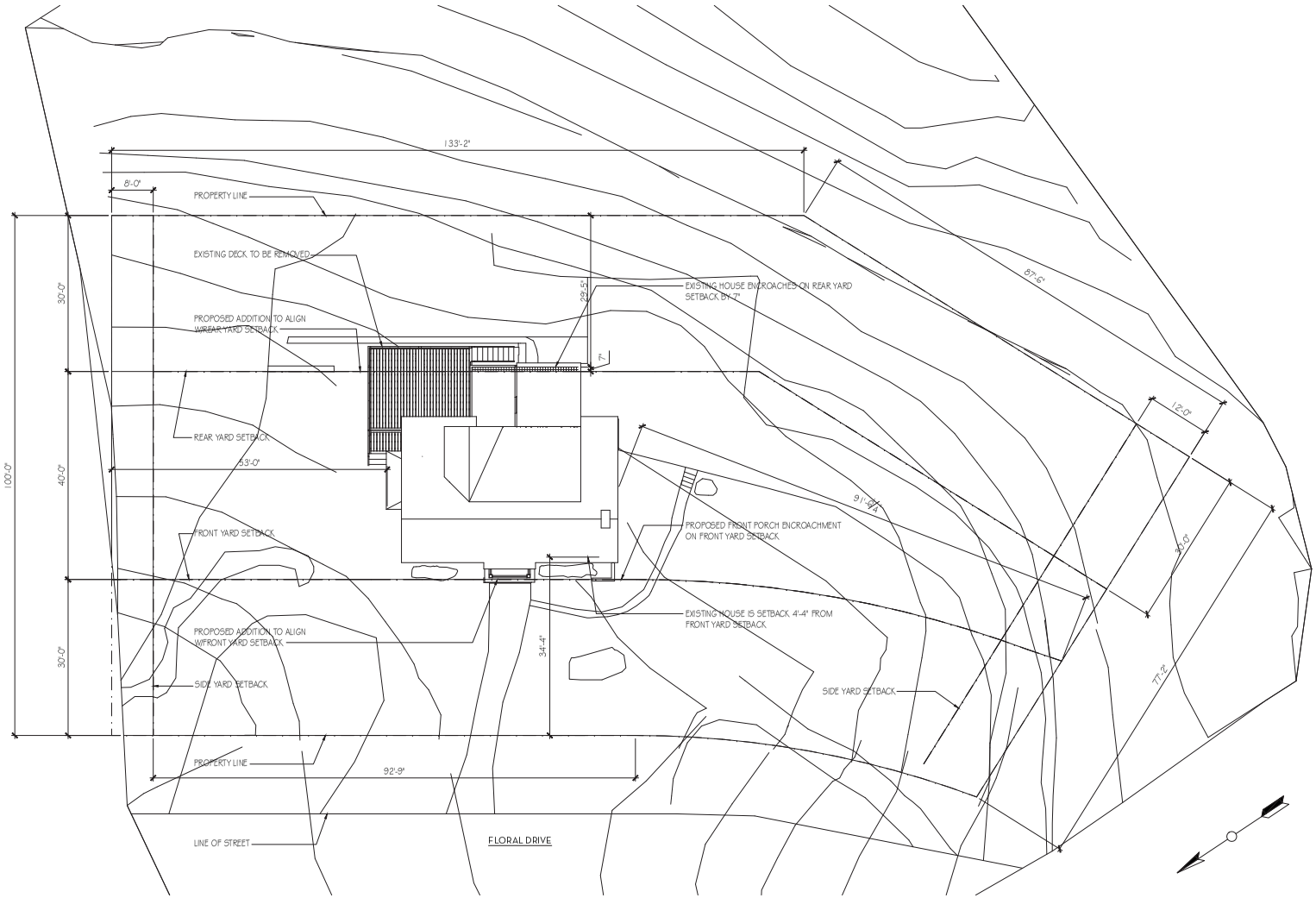
Sheet Title

COVER SHEET & GENERAL NOTES

DATE: 01.18.16
SCALE: NTS
PROJ. # 1601

Sheet No. N-100



1 EXISTING SITE PLAN
SCALE: 1/16"=1'-0"

OAKS-LEAF Residence

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02.22.16	ISSUED FOR DOB REVIEW

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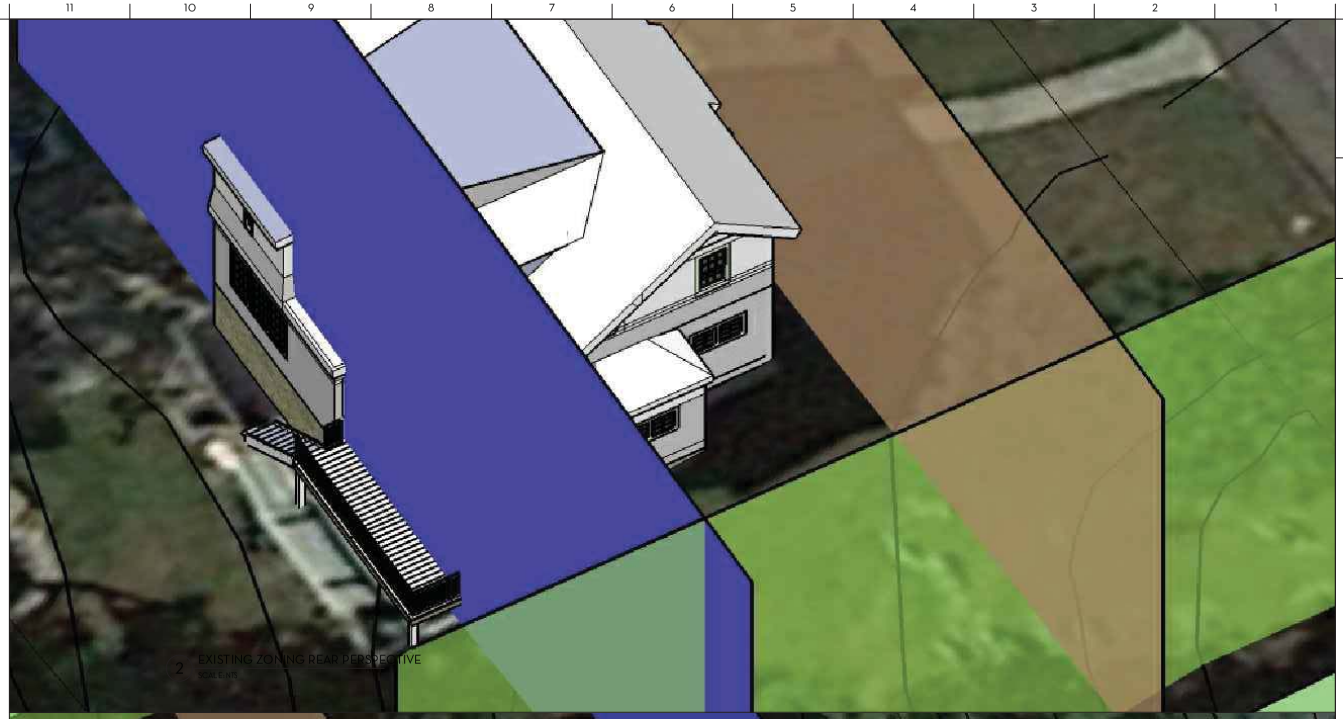
Sheet Title

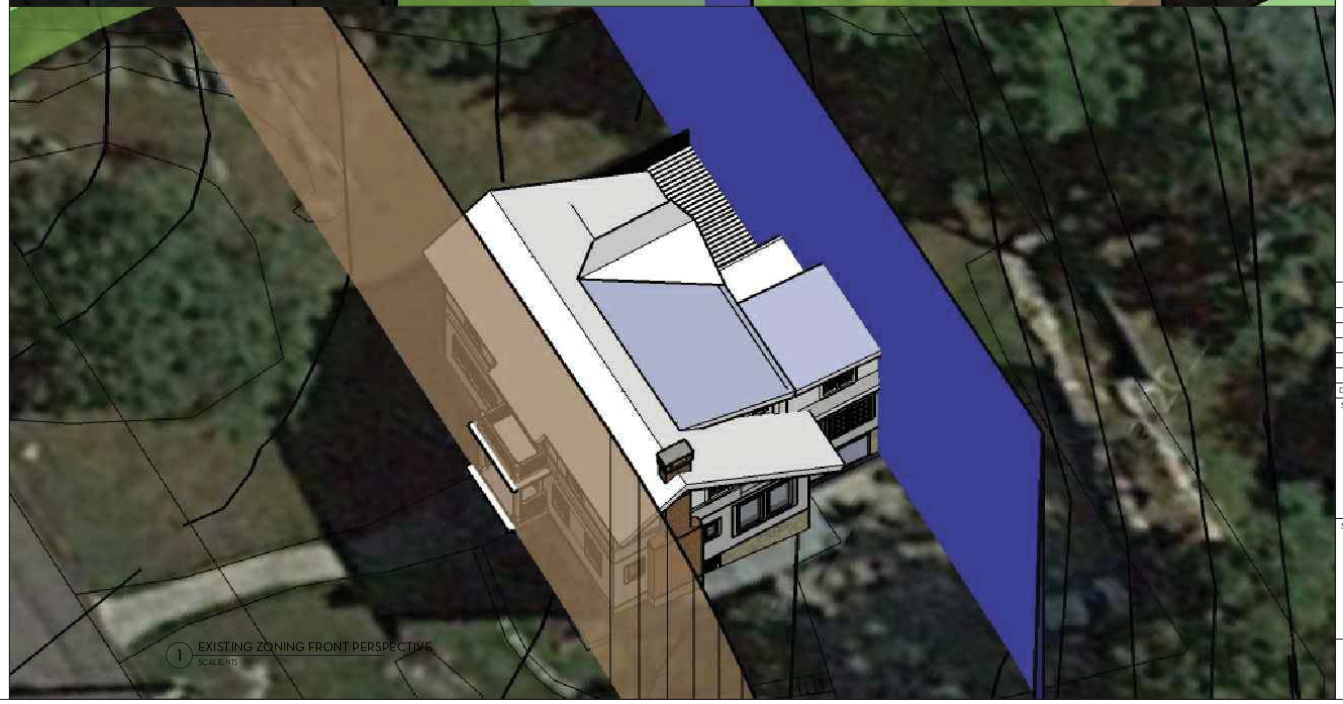
EXISTING SITE PLAN

DATE: 01.18.16
SCALE: 1" = 10'-0"
PROJ. #1601

Sheet No.
Z-100



2 EXISTING ZONING REAR PERSPECTIVE
SCALE: NTS



1 EXISTING ZONING FRONT PERSPECTIVE
SCALE: NTS

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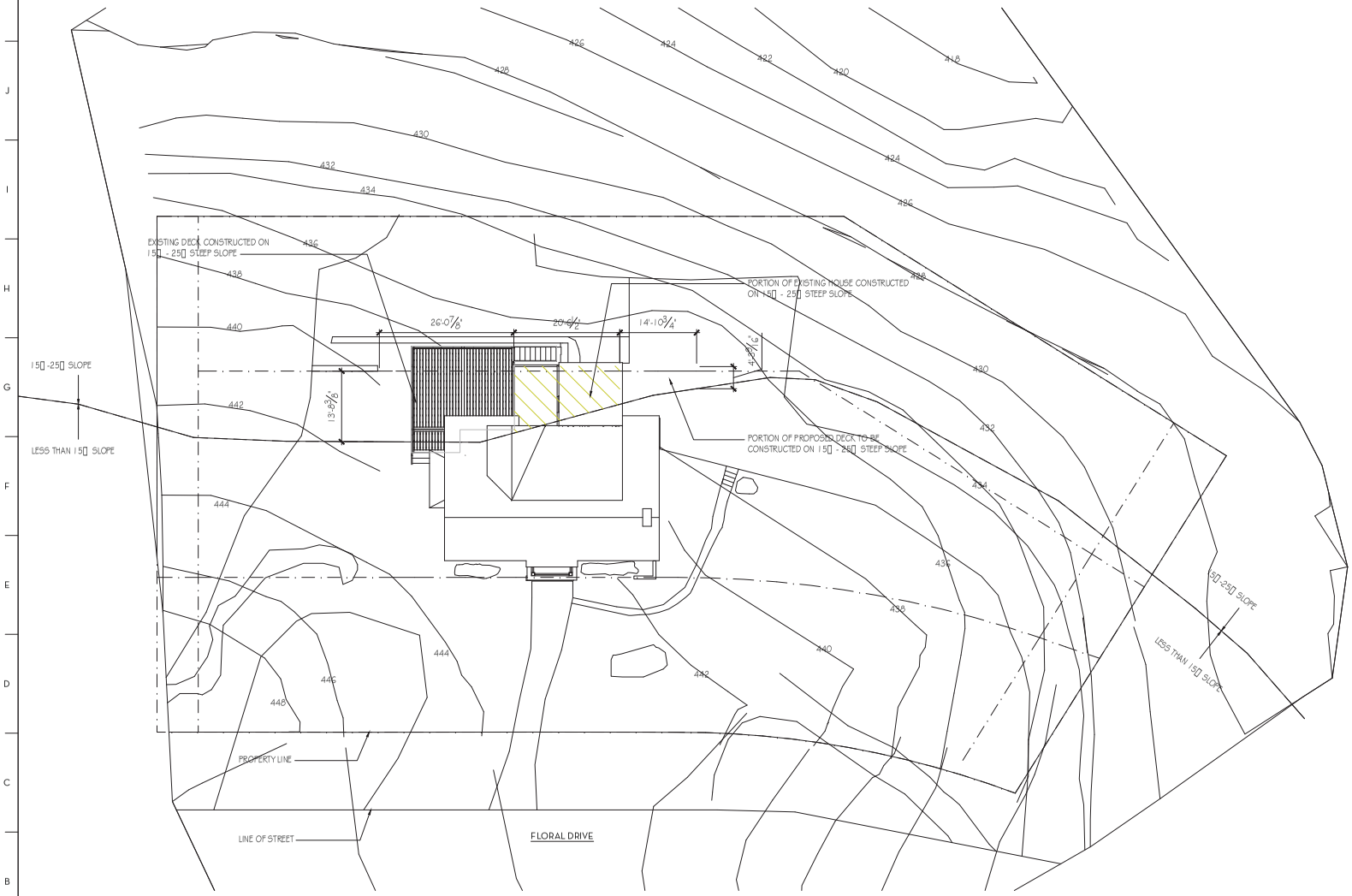
EXISTING ZONING PERSPECTIVES

DATE: 01.18.16
SCALE: NTS
PROJ. #1601

Sheet No.
Z-101



1 EXISTING STEEP SLOPES SITE PLAN
SCALE: 1" = 10'-0"

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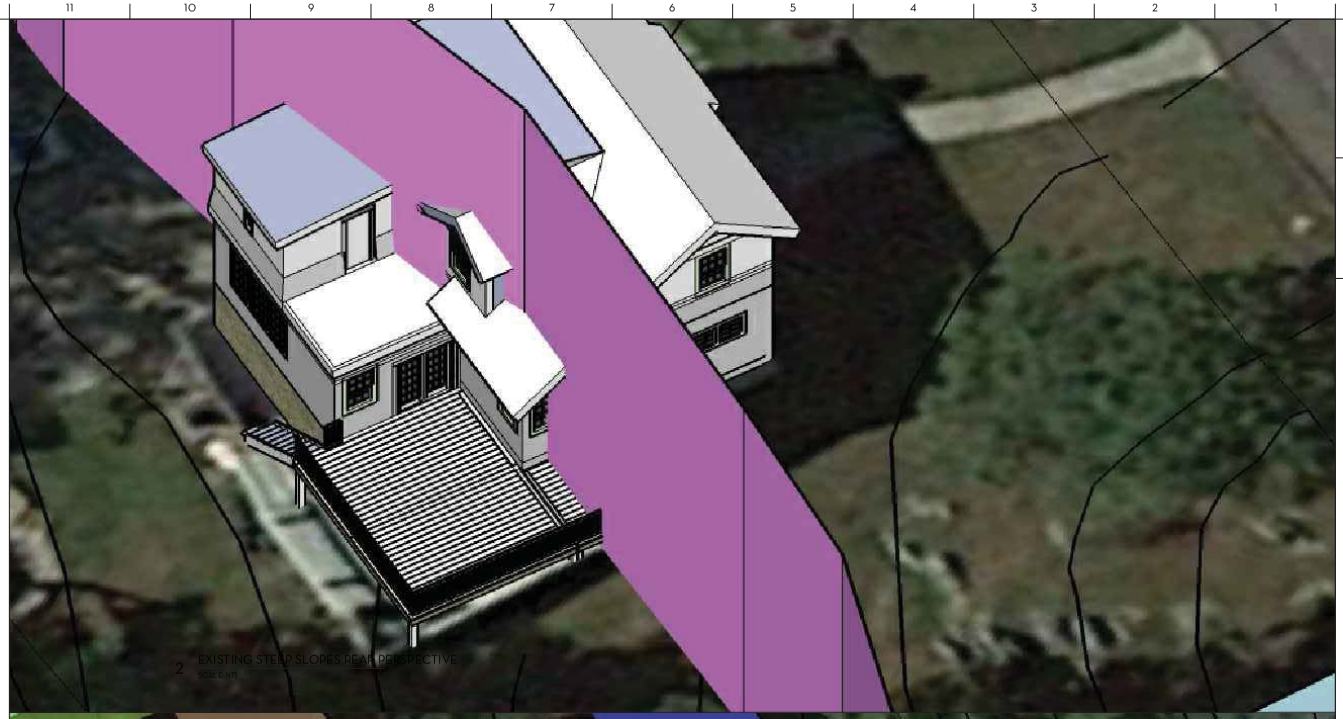
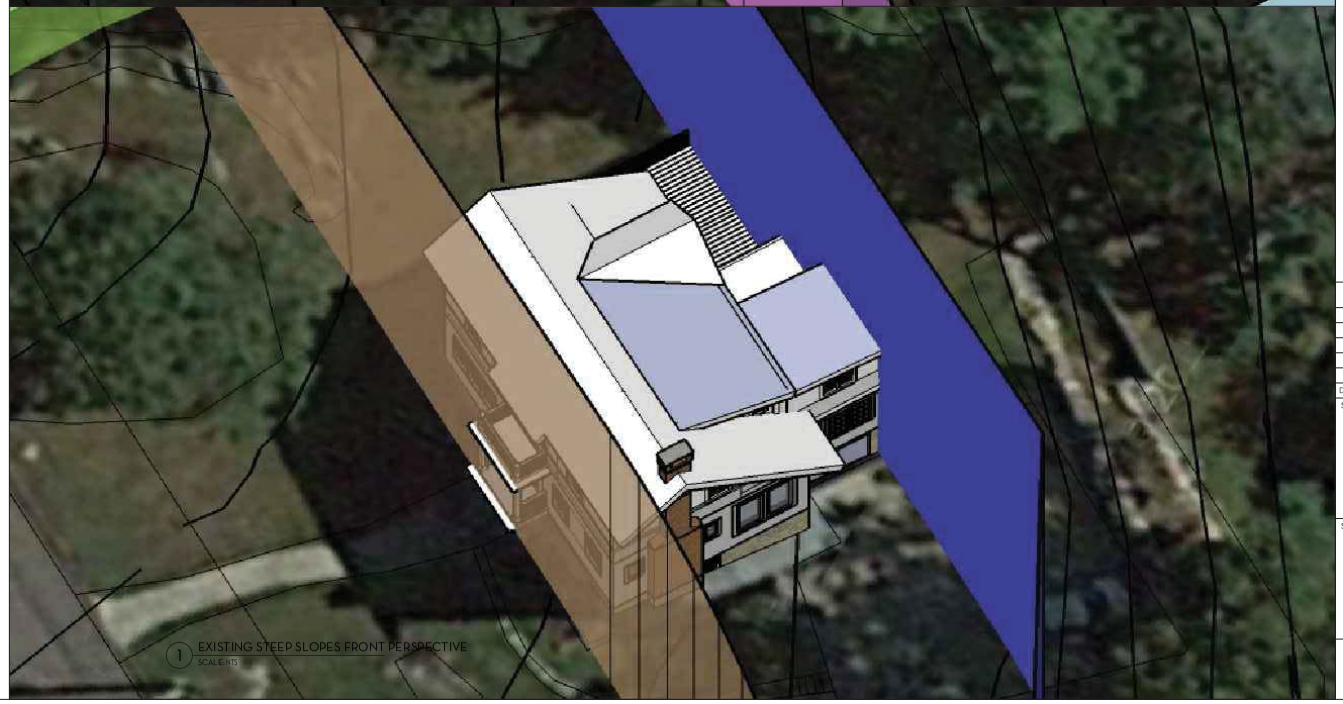
EXISTING STEEP SLOPES SITE PLAN

DATE: 01.18.16
SCALE: 1" = 10'-0"
PROJ. #1601

Sheet No.
Z-102



2 EXISTING STEEP SLOPES REAR PERSPECTIVE
SCALE: NTS



1 EXISTING STEEP SLOPES FRONT PERSPECTIVE
SCALE: NTS

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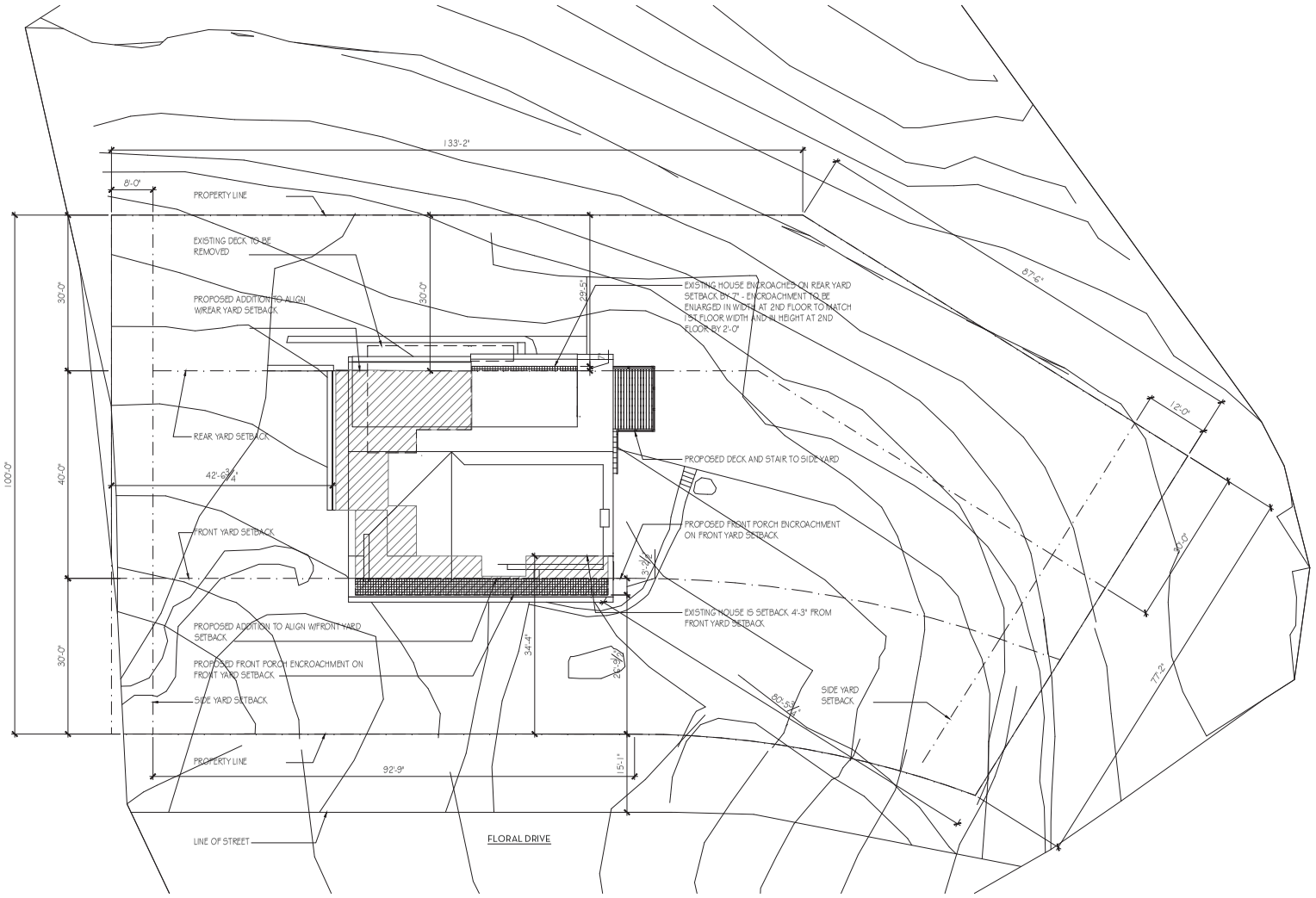
EXISTING STEEP SLOPES PERSPECTIVES

DATE: 01.18.16
SCALE: NTS
PROJ. #1601

Sheet No.
Z-103



1 SITE PLAN
SCALE: 1" = 10'-0"

ZONING [R95-65]

ADDRESS ..... 30 FLORAL DRIVE
SHEET 4.40
BLOCK 34
LOTS 4
ZONE ..... R- 10
USE ..... ONE FAMILY DETACHED DWELLING
MINIMUM LOT AREA ..... 10,000.0 SF
ACTUAL LOT AREA ..... 18,814.9 SF
MAXIMUM BUILDING COVERAGE [35%] ..... 4,603.5 SF
EXISTING BUILDING COVERAGE ..... 1,778 SF
PROPOSED BUILDING COVERAGE ..... 2,988.6 SF
PROPOSED ADDITIONAL BUILDING COVERAGE ..... 920 SF
PERCENTAGE PROPOSED COVERAGE ..... 14 %

EXISTING FLOOR AREA
1ST FLOOR ..... 1,160.0 SF
2ND FLOOR ..... 853 SF
EXISTING FLOOR AREA ..... 2,013 SF

PROPOSED FLOOR AREA
1ST FLOOR ..... 1,785.5 SF
2ND FLOOR ..... 1,431 SF
PROPOSED FLOOR AREA ..... 3,216.5 SF

MINIMUM LOT WIDTH ..... 100.0"
ACTUAL LOT WIDTH ..... 220.8'

REQUIRED YARDS

REQUIRED FRONT YARD ..... 30'-0"
EXISTING FRONT YARD ..... 34'-4"
FRONT YARD OF PROPOSED ADDITION ..... 26'-9 1/2"

PER SEC. 295-20 WHEN A SIDE YARD EXCEEDS 50 FEET IN LENGTH THE REQUIRED WIDTH SHALL BE INCREASED ONE FOOT FOR EACH 10 FEET OF LENGTH IN EXCESS OF 50 FEET.
MINIMUM SIDE YARD 1 ..... 12'-0"
PROPOSED SIDE YARD 1 ..... 80'-6" - 3'-0" = 83'-6"
MINIMUM SIDE YARD 2 ..... 12'-0"
PROPOSED SIDE YARD 2 ..... 42'-6"
MINIMUM AGGREGATE TWO SIDE YARDS ..... 30'-0"
PROPOSED SIDE YARD ..... 126'-0" [MINIMUM POINT]

REQUIRED REAR YARD ..... 30'-0"
EXISTING REAR YARD ..... 29'-5" [NO CHANGE]
REAR YARD OF PROPOSED ADDITION ..... 30'-0"

MAXIMUM HEIGHT [STORIES] 2½

MAXIMUM HEIGHT [FEET] ..... 35'-0"
HEIGHT OF PROPOSED ADDITION - FROM ADJACENT GRADE
NORTHWEST CORNER ..... 29'-0"
NORTHEAST CORNER ..... 27'-0"
SOUTHWEST CORNER ..... 33'-0"
SOUTHEAST CORNER ..... 30'-0"

PROPOSED ADDITION

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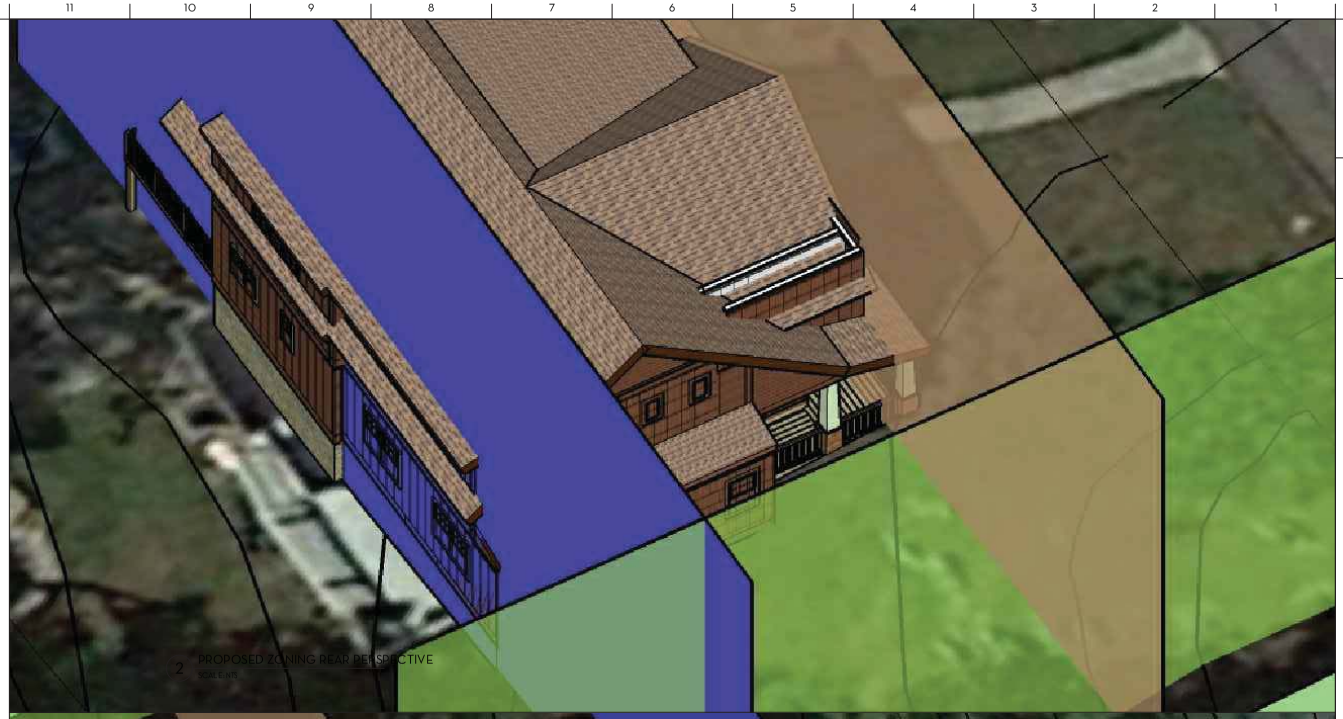
PROPOSED SITE PLAN

DATE: 01.18.16
SCALE: 1" = 10'-0"
PROJ. #1601

Sheet No.
Z-104



2 PROPOSED ZONING REAR PERSPECTIVE
SCALE: NTS

1 PROPOSED ZONING FRONT PERSPECTIVE
SCALE: NTS

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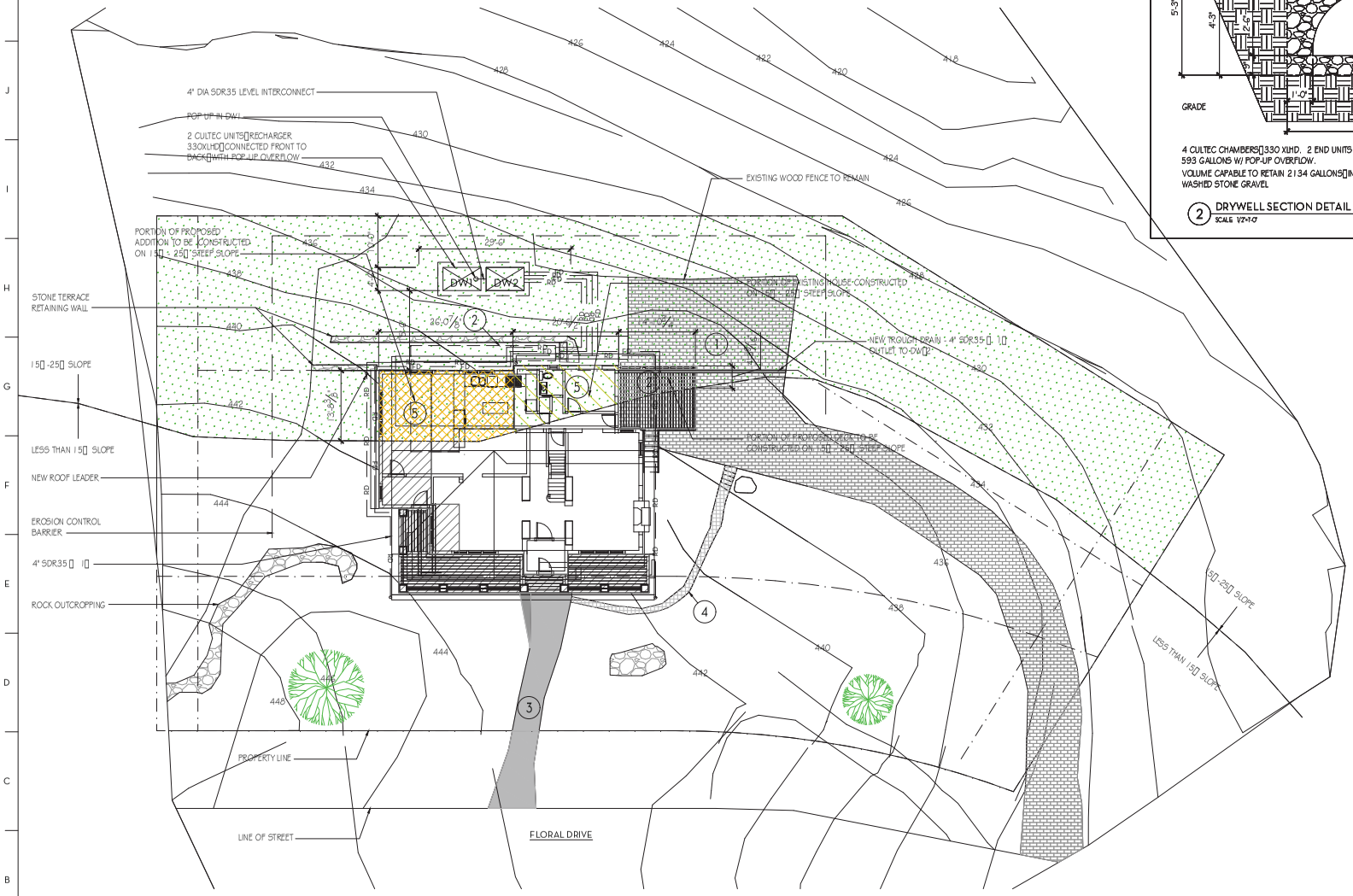
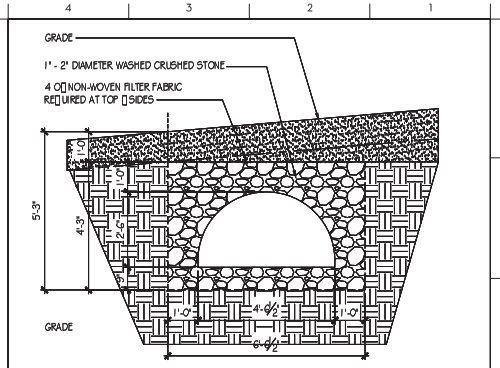
PROPOSED ZONING PERSPECTIVES

DATE: 01.18.16
SCALE: NTS
PROJ. #1601

Sheet No.
Z-105



1 STEEP SLOPES SITE PLAN
SCALE: 1" = 10'-0"



4 CULTEC CHAMBERS 330 XLHD. 2 END UNITS AT 474 GALLONS 2 INTERMEDIATE UNITS AT 593 GALLONS W/ POP-UP OVERFLOW.
VOLUME CAPABLE TO RETAIN 2134 GALLONS INCLUDING ⅓ VOLUME OF SURROUNDING 1" - 2" WASHED STONE GRAVEL

2 DRYWELL SECTION DETAIL
SCALE: 1/2"=1'-0"

SITE DATA

LOT AREA.....14 414 SF

EXISTING DEVELOPMENT

1. DRIVEWAY.....2054 SF
2. DECK (149 SF).....0 SF
3. FRONT WALKWAY.....161 SF
4. FLAGSTONE.....75 SF
5. HOUSE.....1578 SF

EXISTING DEVELOPMENT.....3874 SF

EXISTING DEVELOPMENT TO BE REMOVED.....6 SF

NEW DEVELOPMENT

1. DRIVEWAY.....0 SF
2. DECK (142 SF).....0 SF
3. FRONT WALKWAY.....0 SF
4. FLAGSTONE.....12 SF
5. HOUSE.....534 SF
6. FRONT PORCH.....386 SF

PROPOSED NEW DEVELOPMENT.....932 SF

STEEP SLOPE DEVELOPMENT CALCULATIONS

AREA OF STEEP SLOPE (15 - 25).....7308 SF
MAX DEVELOPMENT ALLOWED (35).....2558 SF

EXISTING DEVELOPMENT (TO REMAIN) ON STEEP SLOPE

1. DRIVEWAY.....683 SF
2. DECK (196 SF).....0 SF
3. FRONT WALKWAY.....0 SF
4. FLAGSTONE.....0 SF
5. HOUSE.....208 SF
6. FRONT PORCH.....0 SF

TOTAL.....891 SF

POST DEVELOPMENT ON STEEP SLOPE

1. DRIVEWAY.....683 SF
2. DECK (142 SF).....0 SF
3. FRONT WALKWAY.....0 SF
4. FLAGSTONE.....0 SF
5. HOUSE.....565 SF
6. FRONT PORCH.....0 SF

TOTAL.....1254 SF

POST DEVELOPMENT ON STEEP SLOPE 1254 2558

STEEP SLOPE CALCULATIONS

1. PER 249-2 DEFINITIONS, STEEP SLOPE (GROUND AREA) OF AT LEAST 1000 SQUARE FEET WITH A SLOPE OF 15 OR MORE AS MEASURED IN ACCORDANCE WITH 249-3.
2. 7308 SF OF THE SITE IS CLASSIFIED AS STEEP SLOPE BETWEEN 15 AND 25 PER THE ABOVE DEFINITION.
3. 249-5 RESTRICTIONS ON STEEP SLOPE DISTURBANCES. FOR ANY LOT THAT CONTAINS A SLOPE IN EXCESS OF 15 BUT NOT GREATER THAN 25 NOT MORE THAN A TOTAL OF 35 OF SUCH SLOPE SHALL BE DEVELOPED.
4. PER THE ABOVE 7308 35 = 2558 SF.
5. TOTAL AREA OF PROPOSED ADDITION TO BE CONSTRUCTED ON STEEP SLOPE 557 SF
6. TOTAL AREA EXISTING AND PROPOSED CONSTRUCTED ON STEEP SLOPE WILL 565 SF.
7. PROPOSED ADDITION COMPLIES WITH 249-5.

PROPOSED ADDITION

PORTION OF SITE 15 - 25 STEEP SLOPE = 7308 SF

PORTION OF EXISTING HOUSE ALREADY CONSTRUCTED ON 15 - 25 STEEP SLOPE = 208 SF

PORTION OF PROPOSED ADDITION TO BE CONSTRUCTED ON 15 - 25 STEEP SLOPE = 357 SF

ROOF DRAIN (NON-PERFORATED)

FOOTING DRAIN (PERFORATED)

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Date	Issue
02.22.16	ISSUED FOR DOB REVIEW

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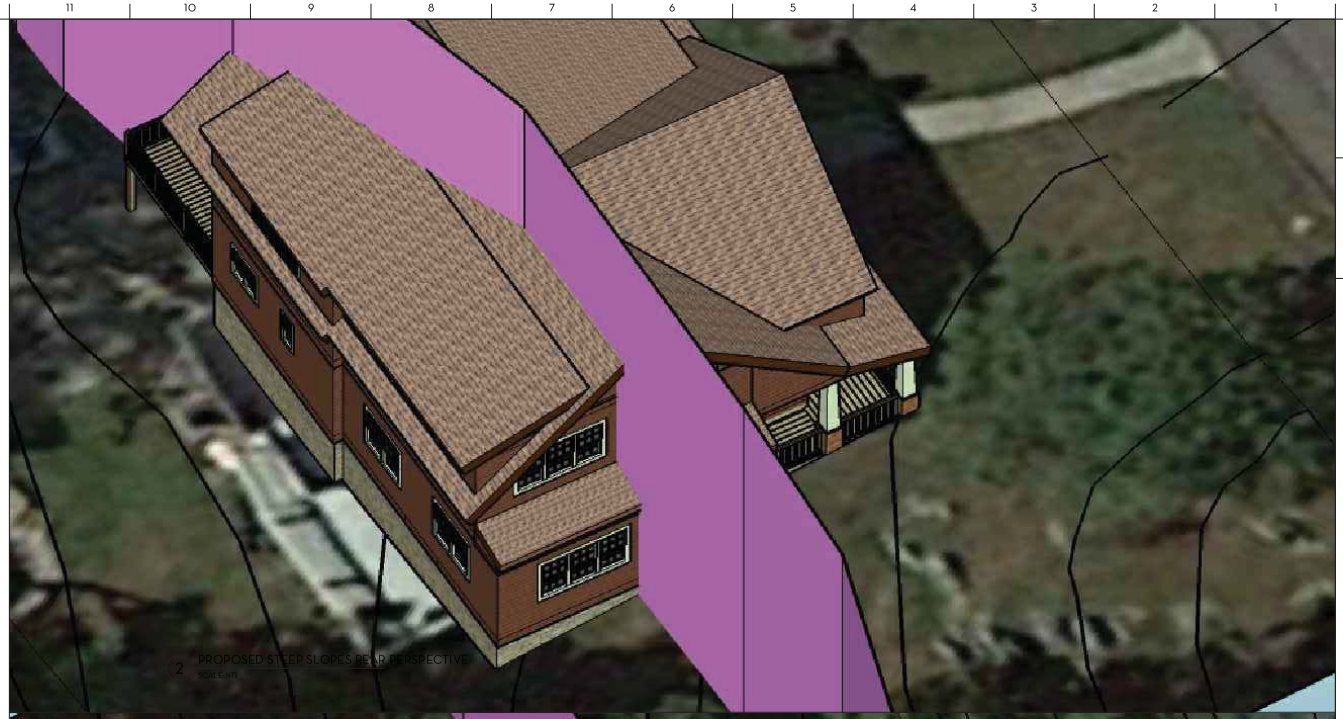
Sheet Title

STEEP SLOPES SITE PLAN

DATE: 01.18.16
SCALE: 1" = 10'-0"
PROJ. #1601

Sheet No.
Z-106



2 PROPOSED STEEP SLOPES REAR PERSPECTIVE
SCALE: NTS

1 PROPOSED STEEP SLOPES FRONT PERSPECTIVE
SCALE: NTS

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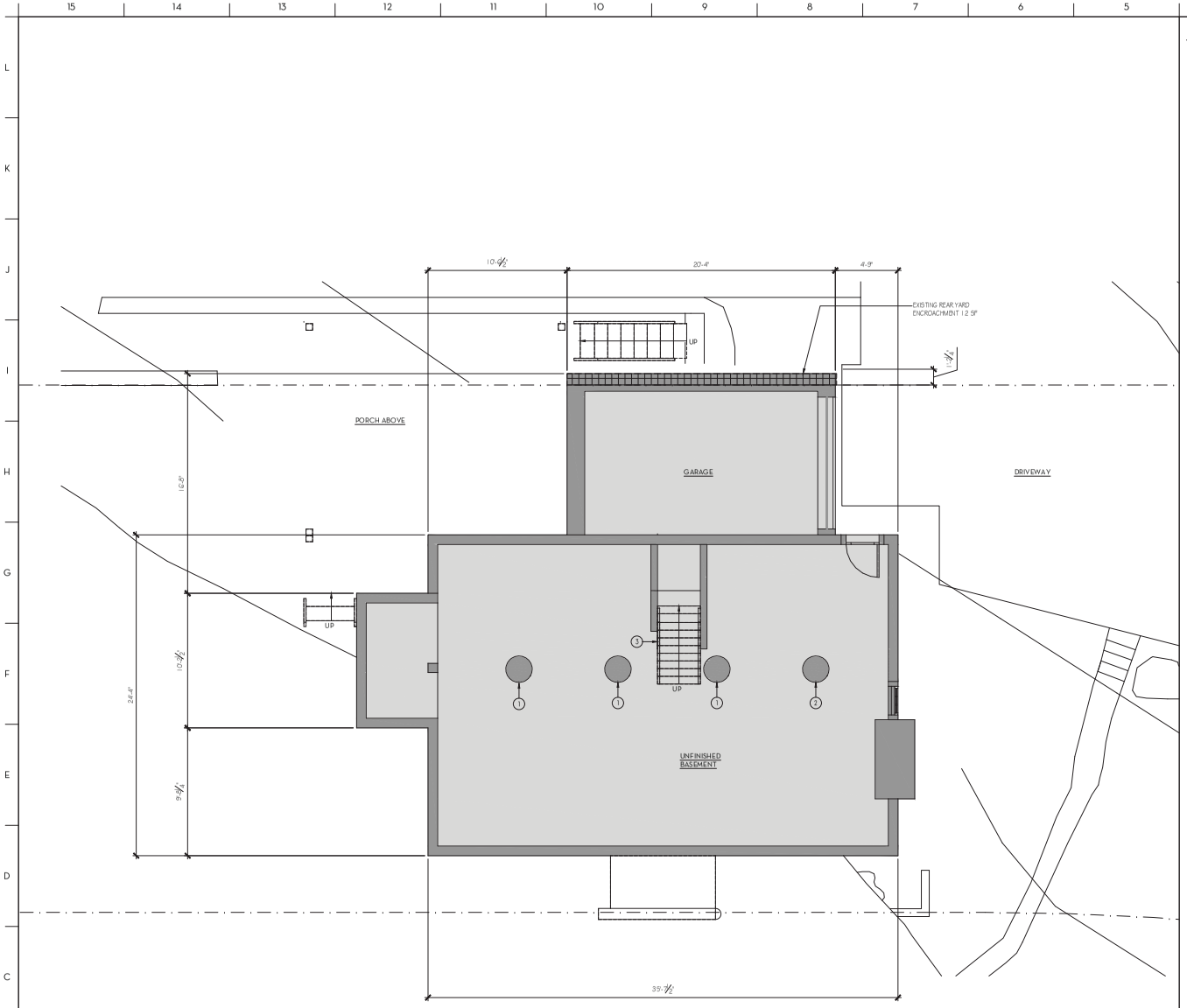
Sheet Title

PROPOSED STEEP SLOPES PERSPECTIVES

DATE: 01.18.16
SCALE: NTS
PROJ. #1601

Sheet No.
Z-107



1 BASEMENT DEMOLITION PLAN
SCALE: 1/4"=1'-0"

DEMOLITION KEYED NOTES

1. EXISTING COLUMN TO REMAIN
2. NEW SISTER 2X8'S AT EXISTING WOOD STRUCTURE ABOVE EXISTING COLUMN
3. EXISTING BASEMENT STAIR TO REMAIN
4. EXISTING PORTICO TO BE REMOVED
5. EXISTING EXTERIOR BEARING WALL TO BE REMOVED
6. EXISTING EXTERIOR NON-BEARING WALL TO BE REMOVED
7. EXISTING STAIR TO BE REMOVED
8. EXISTING INTERIOR BEARING WALL TO BE REMOVED
9. EXISTING STRUCTURAL BEAM TO REMAIN
10. EXISTING STRUCTURAL COLUMN TO REMAIN
11. EXISTING WINDOW TO REMAIN
12. EXISTING WINDOW TO BE REMOVED
13. EXISTING FIREPLACE AND CHIMNEY TO REMAIN - REMOVE AND REPLACE FIREPLACE HEARTH & SURROUND WITH NEW
14. EXISTING DOOR & FRAME TO BE REMOVED
15. EXISTING WOOD DECK, RAILING, STEPS & SUPPORT STRUCTURE TO BE REMOVED
16. EXISTING KITCHEN CABINETS AND COUNTER TO BE REMOVED
17. EXISTING KITCHEN SINK AND ALL ASSOCIATED PIPING TO BE REMOVED
18. EXISTING GAS RANGE AND ALL ASSOCIATED PIPING & WIRING TO BE REMOVED
19. EXISTING DISHWASHER AND ALL ASSOCIATED PIPING TO BE REMOVED
20. EXISTING REFRIGERATOR AND ALL ASSOCIATED PIPING TO BE REMOVED
21. EXISTING PLUMBING FIXTURE AND ALL ASSOCIATED PIPING TO BE REMOVED
22. EXISTING FLOOR STRUCTURE TO REMAIN - WOOD STRIP FINISHED FLOORING TO BE REMOVED AND REPLACED WITH NEW
23. EXISTING SLIDING DOOR TO BE REMOVED

DEMOLITION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN REMAIN
- EXISTING WALL TO REMAIN
- REFERENCE TO KEYNOTES
- PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING OUTLET TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE
- EXISTING TELEPHONE JACK TO BE REMOVED; REMOVE ALL ASSOCIATED WIRING BACK TO SOURCE
- EXISTING LIGHT SWITCH TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE
- EXISTING CABLE JACK TO BE REMOVED. ALL ASSOCIATED WIRING TO BE REMOVED BACK TO SOURCE

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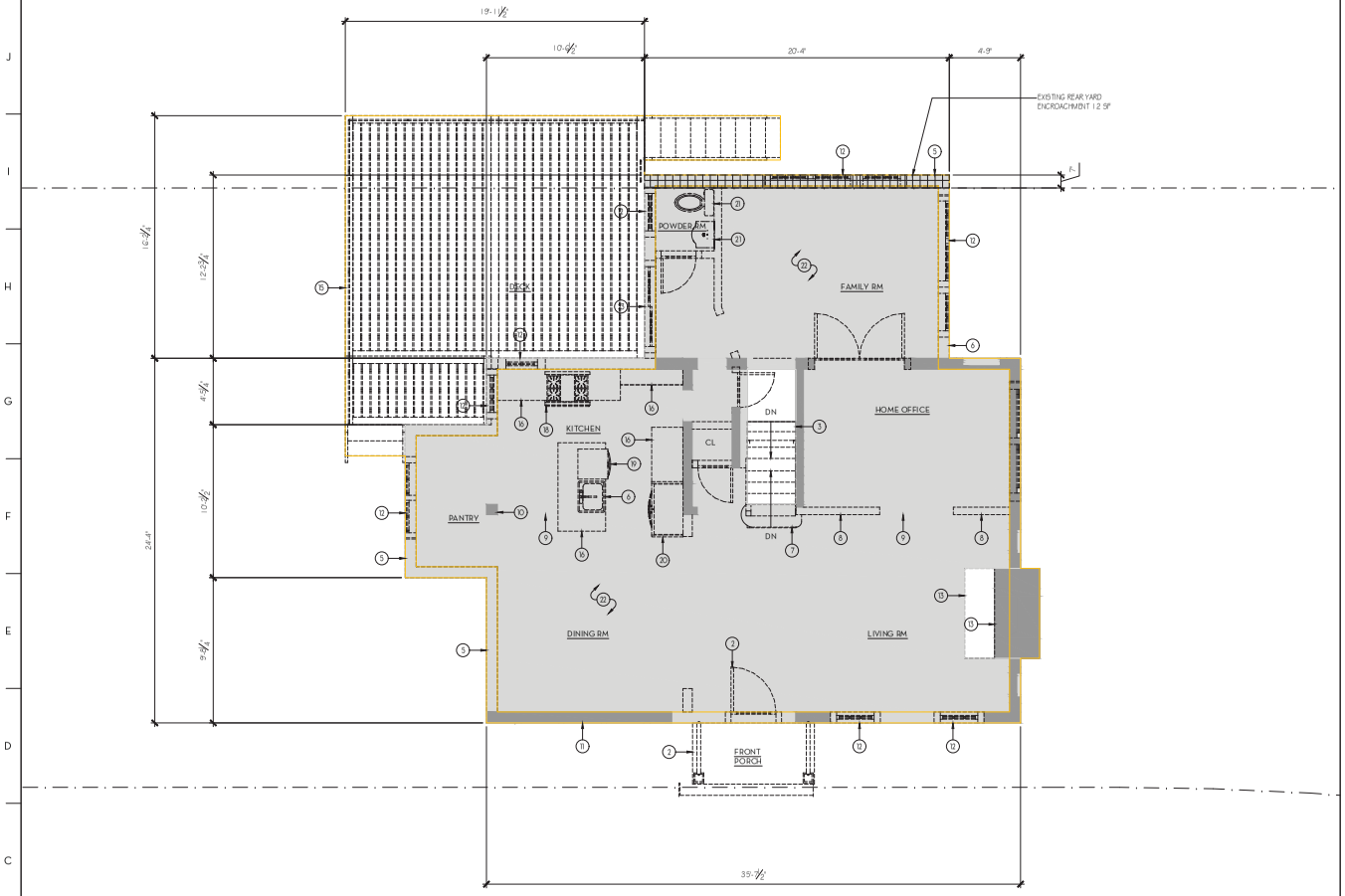
BASEMENT DEMOLITION PLAN

DATE: 01.18.16
SCALE: 1/4"=1'-0"
PROJ. #1601

Sheet No.
D-100



1 1ST FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"

DEMOLITION KEYED NOTES

1. EXISTING COLUMN TO REMAIN
2. NEW SISTER 2X9 TS AT EXISTING WOOD STRUCTURE ABOVE EXISTING COLUMN
3. EXISTING BASEMENT STAIR TO REMAIN
4. EXISTING PORTICO TO BE REMOVED
5. EXISTING EXTERIOR BEARING WALL TO BE REMOVED
6. EXISTING EXTERIOR NON-BEARING WALL TO BE REMOVED
7. EXISTING STAIR TO BE REMOVED
8. EXISTING INTERIOR BEARING WALL TO BE REMOVED
9. EXISTING STRUCTURAL BEAM TO REMAIN
10. EXISTING STRUCTURAL COLUMN TO REMAIN
11. EXISTING WINDOW TO REMAIN
12. EXISTING WINDOW TO BE REMOVED
13. EXISTING FIREPLACE AND CHIMNEY TO REMAIN - REMOVE AND REPLACE FIREPLACE HEARTH & SURROUND WITH NEW
14. EXISTING DOOR & FRAME TO BE REMOVED
15. EXISTING WOOD DECK, RAILING, STEPS & SUPPORT STRUCTURE TO BE REMOVED
16. EXISTING KITCHEN CABINETS AND COUNTER TO BE REMOVED
17. EXISTING KITCHEN SINK AND ALL ASSOCIATED PIPING TO BE REMOVED
18. EXISTING GAS RANGE AND ALL ASSOCIATED PIPING & WIRING TO BE REMOVED
19. EXISTING DISHWASHER AND ALL ASSOCIATED PIPING TO BE REMOVED
20. EXISTING REFRIGERATOR AND ALL ASSOCIATED PIPING TO BE REMOVED
21. EXISTING PLUMBING FIXTURE AND ALL ASSOCIATED PIPING TO BE REMOVED
22. EXISTING FLOOR STRUCTURE TO REMAIN - WOOD STRIP FINISHED FLOORING TO BE REMOVED AND REPLACED WITH NEW
23. EXISTING SLIDING DOOR TO BE REMOVED

DEMOLITION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN REMAIN
- EXISTING WALL TO REMAIN
- REFERENCE TO KEYNOTES
- PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING OUTLET TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE
- EXISTING TELEPHONE JACK TO BE REMOVED; REMOVE ALL ASSOCIATED WIRING BACK TO SOURCE
- EXISTING LIGHT SWITCH TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE
- EXISTING CABLE JACK TO BE REMOVED. ALL ASSOCIATED WIRING TO BE REMOVED BACK TO SOURCE

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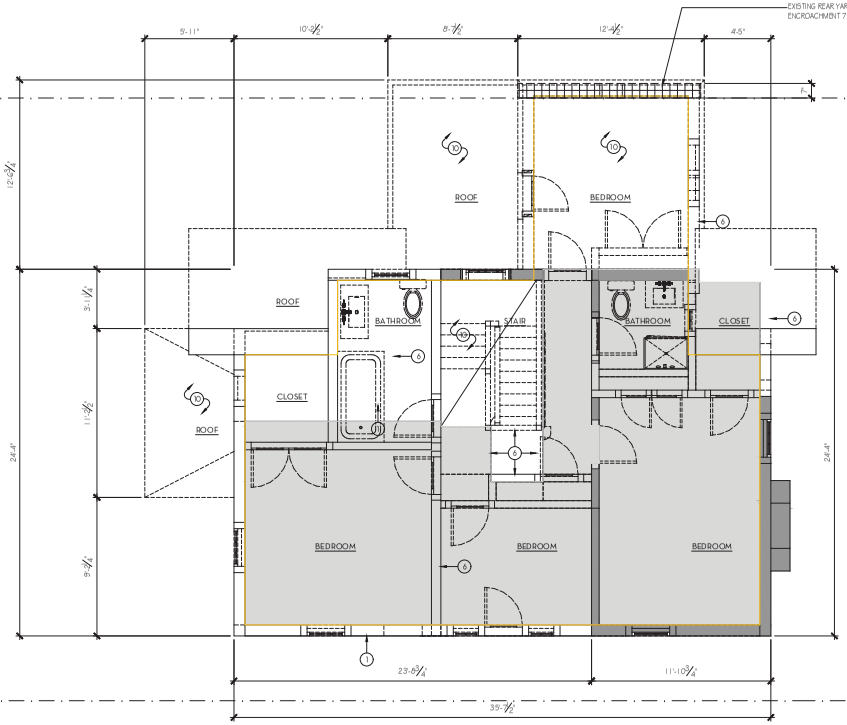
FIRST FLOOR DEMOLITION PLAN

DATE: 01.18.16
SCALE: 1/4"=1'-0"
PROJ. #1601

Sheet No.
D-101



1 2ND FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"

DEMOLITION KEYED NOTES

1. EXISTING COLUMN TO REMAIN
2. NEW SISTER 2X9 TS AT EXISTING WOOD STRUCTURE ABOVE EXISTING COLUMN
3. EXISTING BASEMENT STAIR TO REMAIN
4. EXISTING PORTICO TO BE REMOVED
5. EXISTING EXTERIOR BEARING WALL TO BE REMOVED
6. EXISTING EXTERIOR NON-BEARING WALL TO BE REMOVED
7. EXISTING STAIR TO BE REMOVED
8. EXISTING INTERIOR BEARING WALL TO BE REMOVED
9. EXISTING STRUCTURAL BEAM TO REMAIN
10. EXISTING STRUCTURAL COLUMN TO REMAIN
11. EXISTING WINDOW TO REMAIN
12. EXISTING WINDOW TO BE REMOVED
13. EXISTING FIREPLACE AND CHIMNEY TO REMAIN - REMOVE AND REPLACE FIREPLACE HEARTH & SURROUND WITH NEW
14. EXISTING DOOR & FRAME TO BE REMOVED
15. EXISTING WOOD DECK, RAILING, STEPS, & SUPPORT STRUCTURE TO BE REMOVED
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17. EXISTING KITCHEN SINK AND ALL ASSOCIATED PIPING TO BE REMOVED
18. EXISTING GAS RANGE AND ALL ASSOCIATED PIPING & WIRING TO BE REMOVED
19. EXISTING DISHWASHER AND ALL ASSOCIATED PIPING TO BE REMOVED
20. EXISTING REFRIGERATOR AND ALL ASSOCIATED PIPING TO BE REMOVED
21. EXISTING PLUMBING FIXTURE AND ALL ASSOCIATED PIPING TO BE REMOVED
22. EXISTING FLOOR STRUCTURE TO REMAIN - WOOD STRIP FINISHED FLOORING TO BE REMOVED AND REPLACED WITH NEW
23. EXISTING SLIDING DOOR TO BE REMOVED

DEMOLITION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN REMAIN
- EXISTING WALL TO REMAIN
- REFERENCE TO KEYNOTES
- PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING OUTLET TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE
- EXISTING TELEPHONE JACK TO BE REMOVED; REMOVE ALL ASSOCIATED WIRING BACK TO SOURCE
- EXISTING LIGHT SWITCH TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE
- EXISTING CABLE JACK TO BE REMOVED. ALL ASSOCIATED WIRING TO BE REMOVED BACK TO SOURCE

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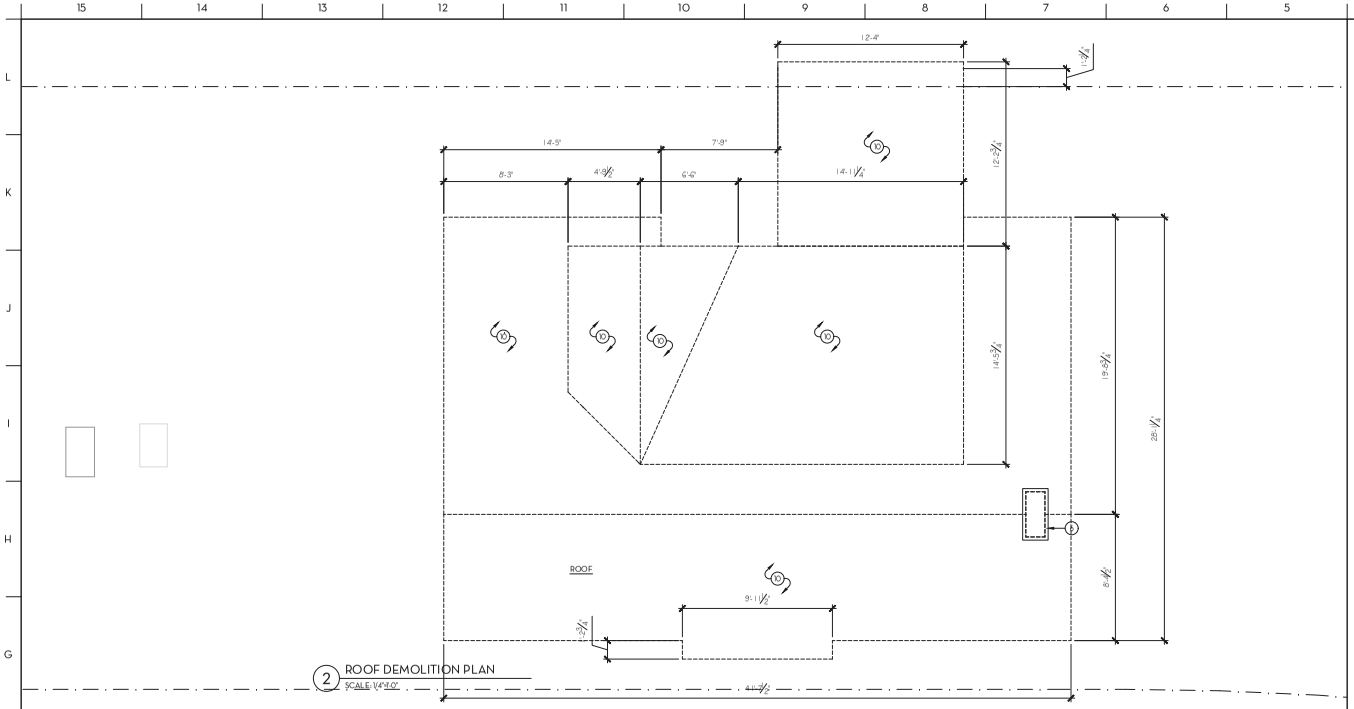
Sheet Title

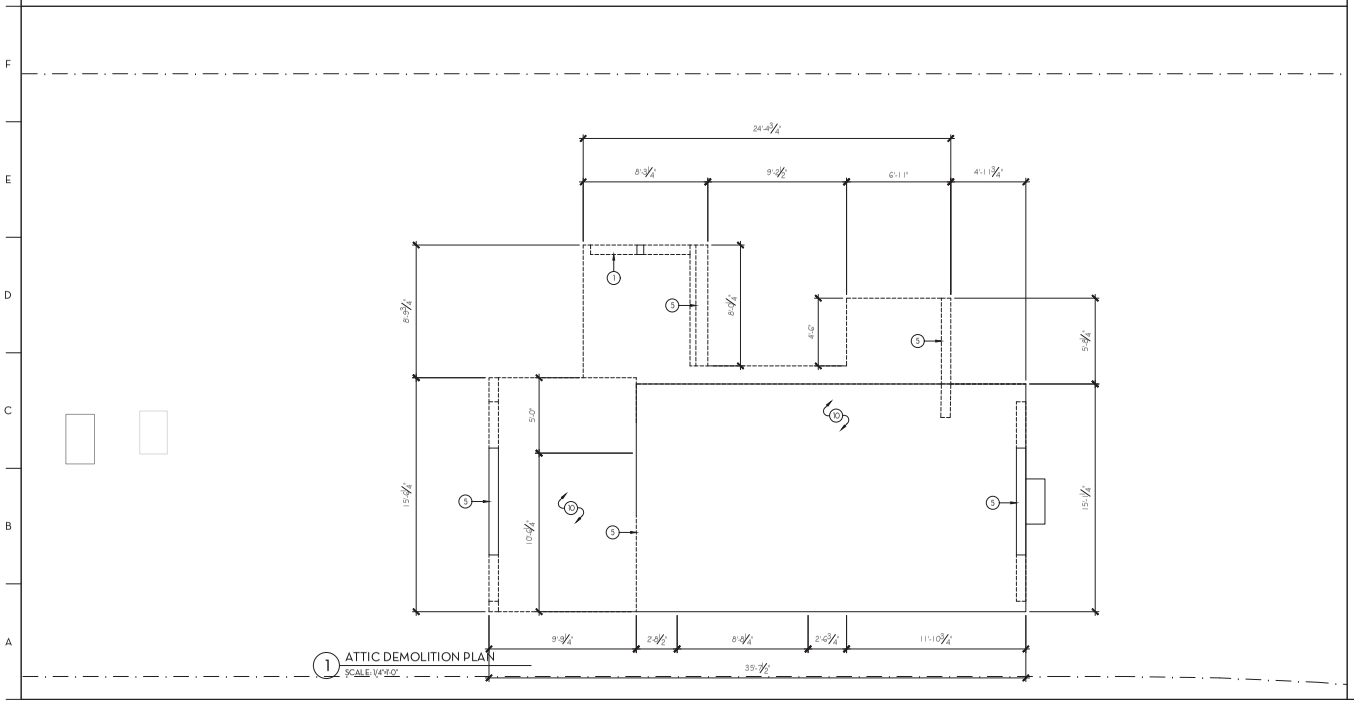
SECOND FLOOR DEMOLITION PLAN

DATE: 01.18.16
SCALE: 1/4"=1'-0"
PROJ. #1601

Sheet No.
D-102



2 ROOF DEMOLITION PLAN
SCALE: 1/4"=1'-0"



1 ATTIC DEMOLITION PLAN
SCALE: 1/4"=1'-0"

DEMOLITION KEYED NOTES

1. EXISTING COLUMN TO REMAIN
2. NEW SISTER 2X6 TS AT EXISTING WOOD STRUCTURE ABOVE EXISTING COLUMN
3. EXISTING BASEMENT STAIR TO REMAIN
4. EXISTING PORTICO TO BE REMOVED
5. EXISTING EXTERIOR BEARING WALL TO BE REMOVED
6. EXISTING EXTERIOR NON-BEARING WALL TO BE REMOVED
7. EXISTING STAIR TO BE REMOVED
8. EXISTING INTERIOR BEARING WALL TO BE REMOVED
9. EXISTING STRUCTURAL BEAM TO REMAIN
10. EXISTING STRUCTURAL COLUMN TO REMAIN
11. EXISTING WINDOW TO REMAIN
12. EXISTING WINDOW TO BE REMOVED
13. EXISTING FIREPLACE AND CHIMNEY TO REMAIN - REMOVE AND REPLACE FIREPLACE HEARTH & SURROUND WITH NEW
14. EXISTING DOOR & FRAME TO BE REMOVED
15. EXISTING WOOD DECK & RAILING & STEPS & SUPPORT STRUCTURE TO BE REMOVED
16. EXISTING KITCHEN CABINETS AND COUNTER TO BE REMOVED
17. EXISTING KITCHEN SINK AND ALL ASSOCIATED PIPING TO BE REMOVED
18. EXISTING GAS RANGE AND ALL ASSOCIATED PIPING & WIRING TO BE REMOVED
19. EXISTING DISHWASHER AND ALL ASSOCIATED PIPING TO BE REMOVED
20. EXISTING REFRIGERATOR AND ALL ASSOCIATED PIPING TO BE REMOVED
21. EXISTING PLUMBING FIXTURE AND ALL ASSOCIATED PIPING TO BE REMOVED
22. EXISTING FLOOR STRUCTURE TO REMAIN - WOOD STRIP FINISHED FLOORING TO BE REMOVED AND REPLACED WITH NEW
23. EXISTING SLIDING DOOR TO BE REMOVED

DEMOLITION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN REMAIN
- EXISTING WALL TO REMAIN
- REFERENCE TO KEYNOTES
- PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING OUTLET TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE
- EXISTING TELEPHONE JACK TO BE REMOVED; REMOVE ALL ASSOCIATED WIRING BACK TO SOURCE
- EXISTING LIGHT SWITCH TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE
- EXISTING CABLE JACK TO BE REMOVED. ALL ASSOCIATED WIRING TO BE REMOVED BACK TO SOURCE

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Sheet Title

ATTIC & ROOF DEMOLITION PLANS

DATE: 01.18.16
SCALE: 1/4"=1'-0"
PROJ. #1601

Sheet No.
D-103

2 EAST ELEVATION
SCALE: 1/4"=1'-0"

1 NORTH ELEVATION
SCALE: 1/4"=1'-0"

DEMOLITION KEYED NOTES

1. EXISTING COLUMN TO REMAIN
2. NEW SISTER 2X6 STS AT EXISTING WOOD STRUCTURE ABOVE EXISTING COLUMN
3. EXISTING BASEMENT STAIR TO REMAIN
4. EXISTING PORTICO TO BE REMOVED
5. EXISTING EXTERIOR BEARING WALL TO BE REMOVED
6. EXISTING EXTERIOR NON-BEARING WALL TO BE REMOVED
7. EXISTING STAIR TO BE REMOVED
8. EXISTING INTERIOR BEARING WALL TO BE REMOVED
9. EXISTING STRUCTURAL BEAM TO REMAIN
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13. EXISTING FIREPLACE AND CHIMNEY TO REMAIN - REMOVE AND REPLACE FIREPLACE HEARTH & SURROUND WITH NEW
14. EXISTING DOOR & FRAME TO BE REMOVED
15. EXISTING WOOD DECK, RAILING, STEPS, & SUPPORT STRUCTURE TO BE REMOVED
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18. EXISTING GAS RANGE AND ALL ASSOCIATED PIPING & WIRING TO BE REMOVED
19. EXISTING DISHWASHER AND ALL ASSOCIATED PIPING TO BE REMOVED
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22. EXISTING FLOOR STRUCTURE TO REMAIN - WOOD STRIP FINISHED FLOORING TO BE REMOVED AND REPLACED WITH NEW
23. EXISTING SLIDING DOOR TO BE REMOVED

DEMOLITION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN REMAIN
- EXISTING WALL TO REMAIN
- 23 REFERENCE TO KEYNOTES
- 9A PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING OUTLET TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE
- EXISTING TELEPHONE JACK TO BE REMOVED; REMOVE ALL ASSOCIATED WIRING BACK TO SOURCE
- EXISTING LIGHT SWITCH TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE
- EXISTING CABLE JACK TO BE REMOVED; ALL ASSOCIATED WIRING TO BE REMOVED BACK TO SOURCE

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02.22.16	ISSUED FOR DOB REVIEW

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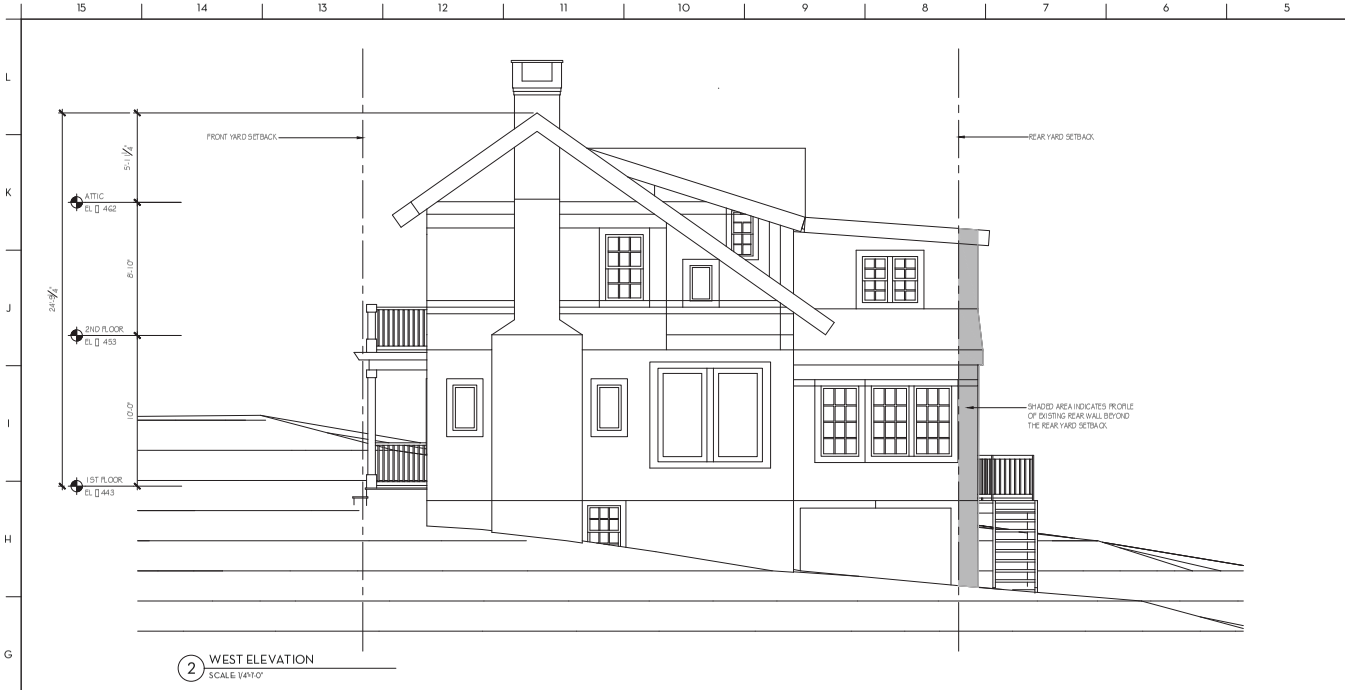
Sheet Title

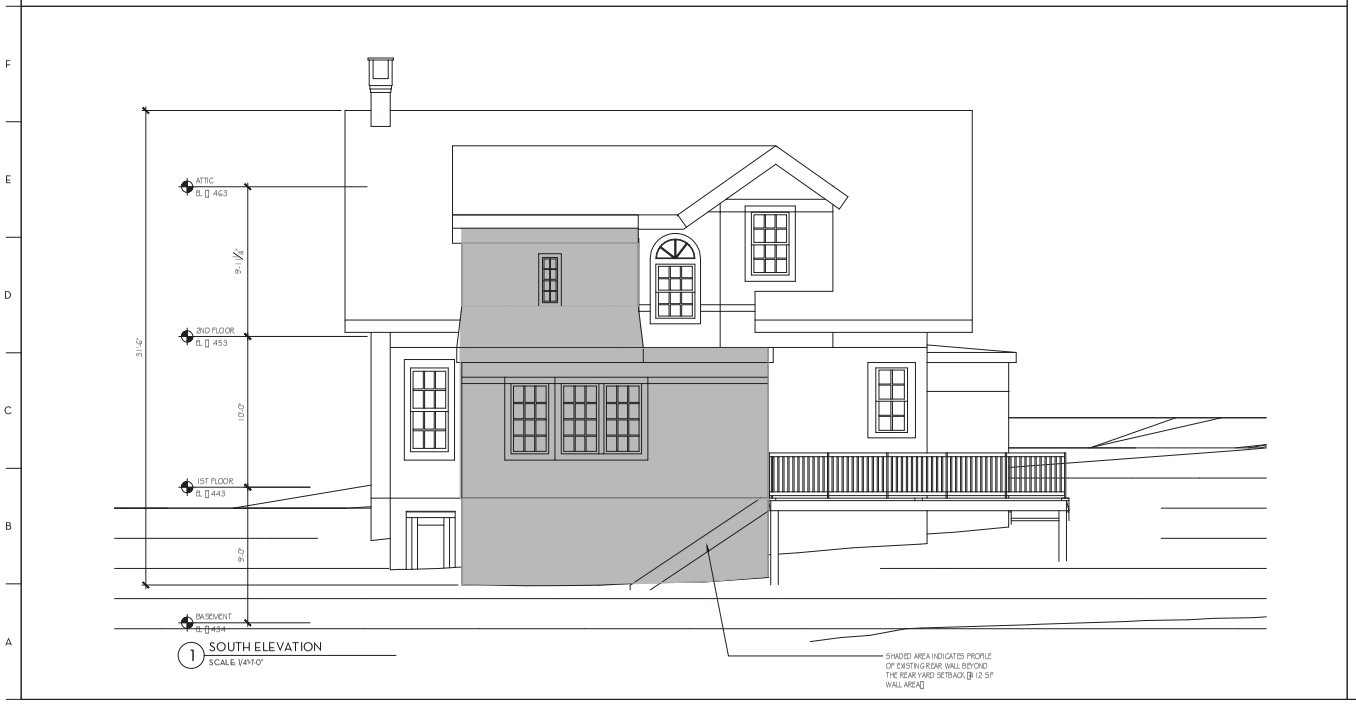
EXISTING EXTERIOR ELEVATIONS

DATE: 01.18.16
SCALE: 1/4"=1'-0"
PROJ. #1601

Sheet No.
D-300



2 WEST ELEVATION
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

DEMOLITION KEYED NOTES

1. EXISTING COLUMN TO REMAIN
2. NEW SISTER 2X8'S AT EXISTING WOOD STRUCTURE ABOVE EXISTING COLUMN
3. EXISTING BASEMENT STAIR TO REMAIN
4. EXISTING PORTICO TO BE REMOVED
5. EXISTING EXTERIOR BEARING WALL TO BE REMOVED
6. EXISTING EXTERIOR NON-BEARING WALL TO BE REMOVED
7. EXISTING STAIR TO BE REMOVED
8. EXISTING INTERIOR BEARING WALL TO BE REMOVED
9. EXISTING STRUCTURAL BEAM TO REMAIN
10. EXISTING STRUCTURAL COLUMN TO REMAIN
11. EXISTING WINDOW TO REMAIN
12. EXISTING WINDOW TO BE REMOVED
13. EXISTING FIREPLACE AND CHIMNEY TO REMAIN - REMOVE AND REPLACE FIREPLACE HEARTH & SURROUND WITH NEW
14. EXISTING DOOR & FRAME TO BE REMOVED
15. EXISTING WOOD DECK, RAILING, STEPS & SUPPORT STRUCTURE TO BE REMOVED
16. EXISTING KITCHEN CABINETS AND COUNTER TO BE REMOVED
17. EXISTING KITCHEN SINK AND ALL ASSOCIATED PIPING TO BE REMOVED
18. EXISTING GAS RANGE AND ALL ASSOCIATED PIPING & WIRING TO BE REMOVED
19. EXISTING DISHWASHER AND ALL ASSOCIATED PIPING TO BE REMOVED
20. EXISTING REFRIGERATOR AND ALL ASSOCIATED PIPING TO BE REMOVED
21. EXISTING PLUMBING FIXTURE AND ALL ASSOCIATED PIPING TO BE REMOVED
22. EXISTING FLOOR STRUCTURE TO REMAIN - WOOD STRIP FINISHED FLOORING TO BE REMOVED AND REPLACED WITH NEW
23. EXISTING SLIDING DOOR TO BE REMOVED

DEMOLITION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN REMAIN
- EXISTING WALL TO REMAIN
- REFERENCE TO KEYNOTES
- PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING OUTLET TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE
- EXISTING TELEPHONE JACK TO BE REMOVED; REMOVE ALL ASSOCIATED WIRING BACK TO SOURCE
- EXISTING LIGHT SWITCH TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING & CONDUIT BACK TO SOURCE
- EXISTING CABLE JACK TO BE REMOVED. ALL ASSOCIATED WIRING TO BE REMOVED BACK TO SOURCE

OAKS-LEAF Residence

30 Floral Drive
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ALLIGOOD
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Hastings-on-Hudson, NY 10706
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Date	Issue
02.22.16	ISSUED FOR DOB REVIEW

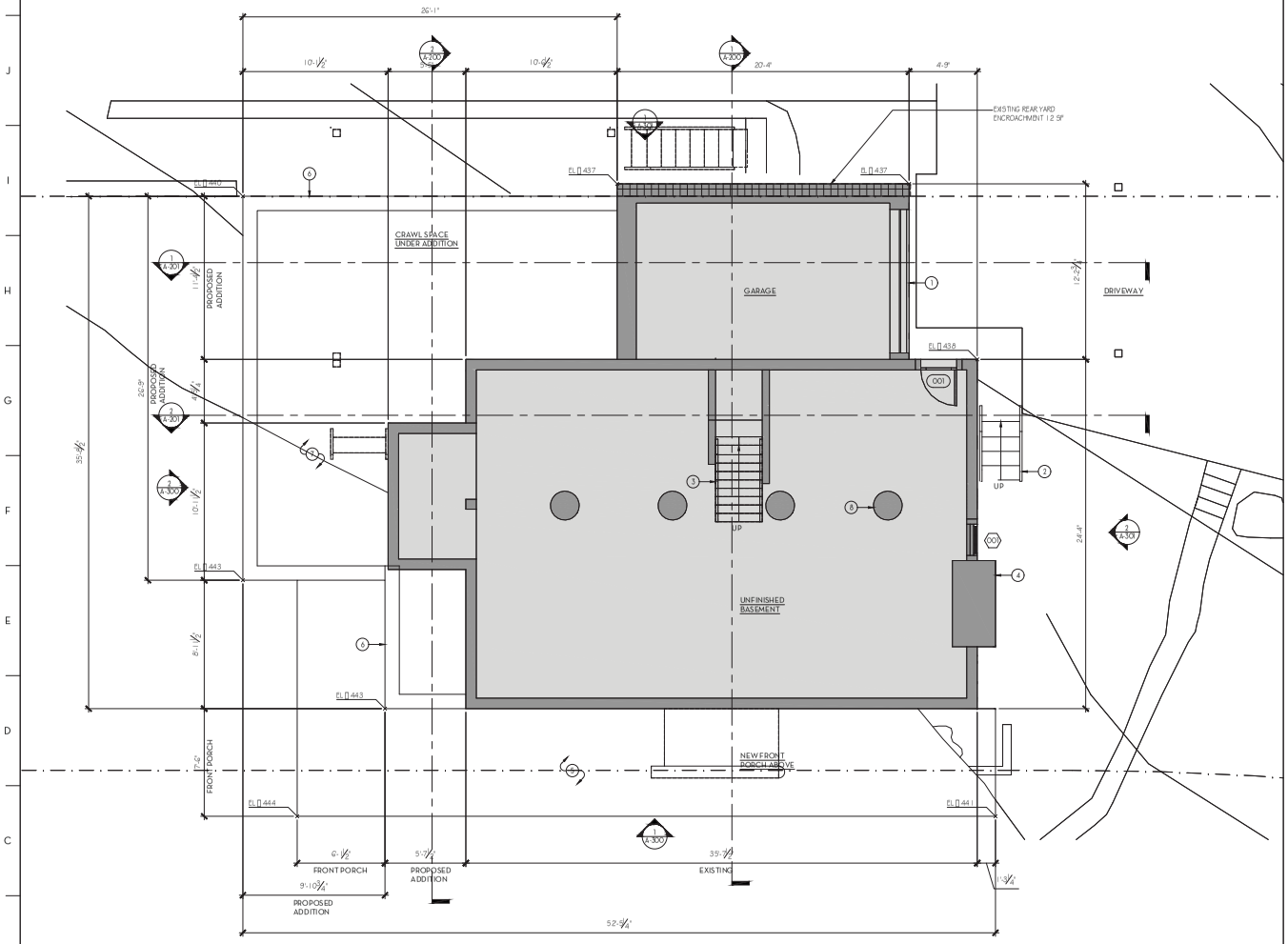
Stamp

Sheet Title

EXISTING EXTERIOR ELEVATIONS

DATE: 01.18.16
SCALE: 1/4"=1'-0"
PROJ. #1601

Sheet No.
D-301



1 BASEMENT PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION KEYED NOTES

1. NEW GARAGE DOOR
2. NEW WOOD STEPS TO NEW DECK
3. NEW WOOD STAIR TO 1ST FLOOR
4. REMOVE EXISTING STUCCO CLADDING ON CHIMNEY - REPLACE WITH NEW STONE VENEER TO MATCH EXISTING FOUNDATION
5. PIERS UNDER NEW FRONT PORCH
6. 10" CMU FOUNDATION WALL WITH 1'-0" D X 2'-0" W CONTINUOUS CONCRETE FOOTING
7. AREA MAY REQUIRE PIERS OR SLAB ON-GRADE DUE TO LARGE ROCK OUTCROPPING
8. EXISTING STRUCTURAL FRAMING IN THIS AREA TO BE REPAIRED
9. NEW KITCHEN SINK
10. NEW DISHWASHER
11. NEW GAS COOKTOP
12. NEW WALL OVEN/S BUILT-IN MICROWAVE
13. NEW REFRIGERATOR WITH COLD WATER SUPPLY
14. NEW KITCHEN COUNTER/BASE CABINETS AND OVERHEAD CABINETS
15. NEW ISLAND COUNTER AND BASE CABINETS
16. NEW WOOD STAIR BETWEEN 1ST 2ND FLOORS
17. NEW STONE FIREPLACE HEARTH
18. NEW FIREPLACE SURROUND
19. REMOVE STUCCO FINISH FROM EXISTING CHIMNEY TO EXPOSE EXISTING BRICK - REPOINT AS REQ'D TO MAINTAIN INTEGRITY OF WATERPROOFING
20. NEW WOOD RAILING AT STAIR OPENING
21. BUILT-IN PAINTED WOOD SHELVES IN LINEN CLOSET
22. NEW DOOR (WITH SWING REVERSED) IN EXISTING DOOR OPENING
23. NEW ATTIC HATCH
24. NEW FLOOR FRAMING - 2X8 WD JOISTS 16" OC
25. NEW FLOOR FRAMING - 2X 10 WD JOISTS 16" OC
26. NEW FLOOR FRAMING - 2X 12 WD JOISTS 16" OC
27. NEW OAK STRIP FINISHED FLOORING ON 3/4" PLYWOOD UNDERLAYMENT
28. NEW STONE TILE FINISHED FLOORING ON 3/4" PLYWOOD UNDERLAYMENT
29. NEW CERAMIC TILE FINISHED FLOORING ON 3/4" PLYWOOD UNDERLAYMENT
30. NEW 3/4" PLYWOOD FINISHED FLOORING
31. AIR HANDLERS FOR NEW CENTRAL AC SYSTEM TO BE LOCATED IN THE ATTIC
32. NEW WATER TANK AND POINT OF USE HOT WATER HEATER TO BE LOCATED IN THE ATTIC (TO PROVIDE IMPROVED WATER PRESSURE TO THE 2ND FLOOR)
33. NEW ROOFING SHINGLES

CONSTRUCTION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN
- EXISTING WALL TO REMAIN
- 23 — REFERENCE TO KEYNOTES
- 01A — PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- 101 — DOOR NUMBER
- NEW DOOR
- CP-01 — FLOORING TYPE DESIGNATION - SEE SPECS
- 01 — WINDOW NUMBER
- NEW WINDOW
- 1 A-501 — DETAIL NUMBER; SHEET NUMBER; DETAIL REFERENCE BUBBLE
- 1 A-300 — SECTION NUMBER; SHEET NUMBER; SECTION REFERENCE
- 2 A-300 — ELEVATION NUMBER; ELEVATION REFERENCES; 1 A-600 2 3 4; SHEET NUMBER
- ALIGN — ALIGN FINISH FACES
- 1ST FLOOR +0'-0" — FLOOR ELEVATION SYMBOL
- 4" — FLOOR ELEVATION CHANGE
- 15A DUPLEX RECEPTACLE WALL MOUNTED FLUSH VERTICALLY 16" AFF U.N.O.
- GFCI — DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE
- 20A — DEDICATED DUPLEX RECEPTACLE
- WP — WATERPROOF DUPLEX RECEPTACLE
- QUAD RECEPTACLE: WALL MOUNTED FLUSH
- PHONE JACK WALL MOUNTED FLUSH @ 18" AFF U.N.O.
- DOOR BELL MOUNTED @ 48" AFF; CONNECT NEW DOOR BELL TO EXISTING CHIME
- FLUSH FLOOR OUTLET
- CEILING MOUNTED OUTLET
- WALL MOUNTED - SINGLE POLE SWITCH
- D — WALL MOUNTED - DIMMER SWITCH
- 3 — WALL MOUNTED - 3-WAY SWITCH
- EM — WALL MOUNTED - EXHAUST FAN SWITCH
- T — WALL MOUNTED THERMOSTAT
- S — ELECTRIC POWERED SMOKE DETECTOR
- EXISTING LIGHT FIXTURE TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING CONDUIT BACK TO SOURCE
- SP EX — CEILING MOUNTED SPEAKER. WIRED TO CENTRAL SYSTEM (EX DENOTES EXISTING TO REMAIN/RE DENOTES EXISTING REINSTALLED IN NEW LOCATION)

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Date	Issue
02.22.16	ISSUED FOR DOB REVIEW

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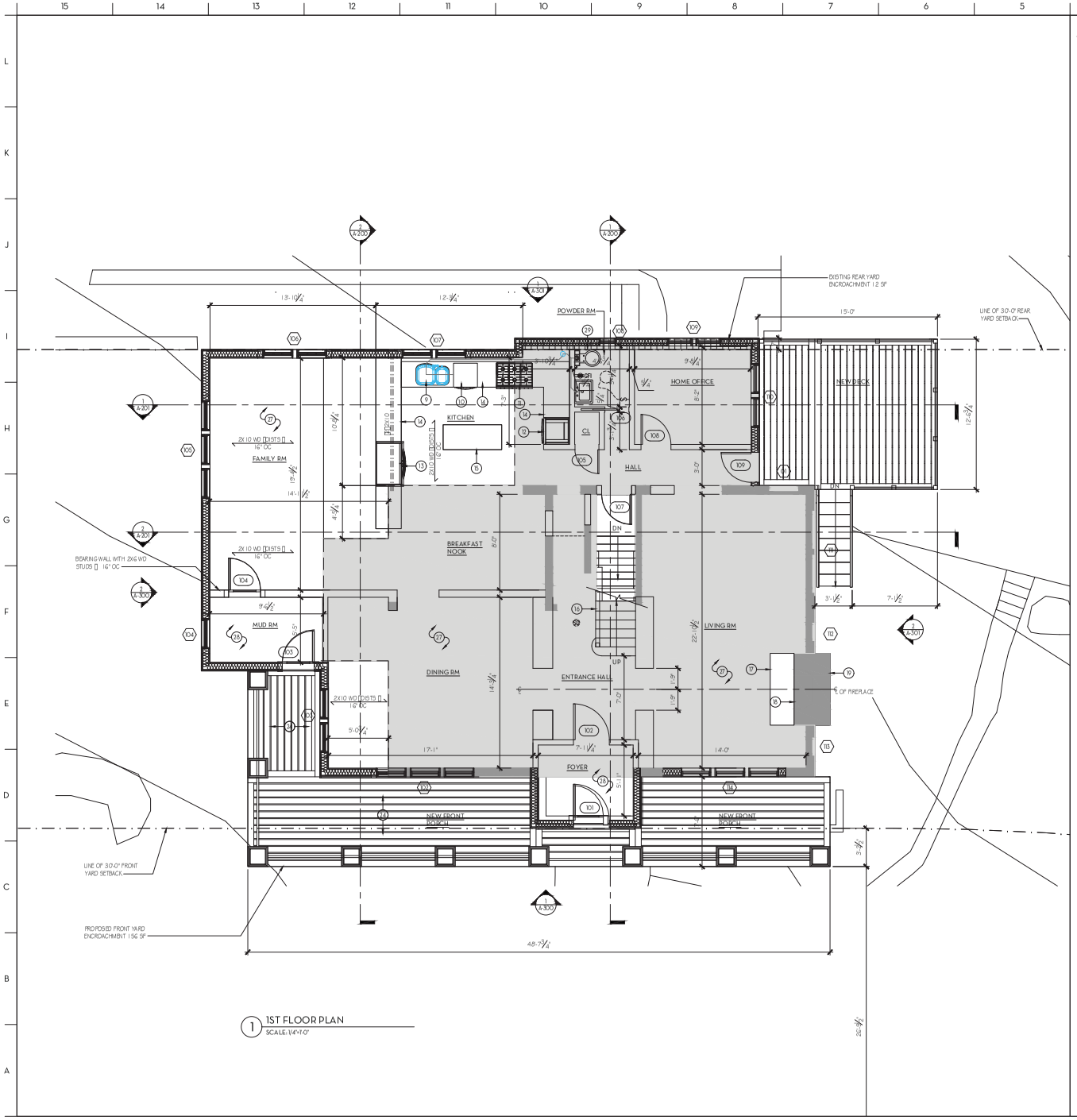
Sheet Title

BASEMENT CONSTRUCTION PLAN

DATE: 01.18.16
SCALE: 1/4"= 1'-0"
PROJ. #1601

Sheet No.
A-100



1 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION KEYED NOTES

1. NEW GARAGE DOOR
2. NEW WOOD STEPS TO NEW DECK
3. NEW WOOD STAIR TO 1ST FLOOR
4. REMOVE EXISTING STUCCO CLADDING ON CHIMNEY - REPLACE WITH NEW STONE VENEER TO MATCH EXISTING FOUNDATION
5. PIERS UNDER NEW FRONT PORCH
6. 10" CMU FOUNDATION WALL WITH 1'-0" D X 2'-0" W CONTINUOUS CONCRETE FOOTING
7. AREA MAY REQUIRE PIERS OR SLAB ON-GRADE DUE TO LARGE ROCK OUTCROPPING
8. EXISTING STRUCTURAL FRAMING IN THIS AREA TO BE REPAIRED
9. NEW KITCHEN SINK
10. NEW DISHWASHER
11. NEW GAS COOKTOP
12. NEW WALL OVEN/S [] BUILT-IN MICROWAVE
13. NEW REFRIGERATOR WITH COLD WATER SUPPLY
14. NEW KITCHEN COUNTER[] BASE CABINETS AND OVERHEAD CABINETS
15. NEW ISLAND COUNTER AND BASE CABINETS
16. NEW WOOD STAIR BETWEEN 1ST [] 2ND FLOORS
17. NEW STONE FIREPLACE HEARTH
18. NEW FIREPLACE SURROUND
19. REMOVE STUCCO FINISH FROM EXISTING CHIMNEY TO EXPOSE EXISTING BRICK - REPOINT AS REQ[]D TO MAINTAIN INTEGRITY OF WATERPROOFING
20. NEW WOOD RAILING AT STAIR OPENING
21. BUILT-IN PAINTED WOOD SHELVES IN LINEN CLOSET
22. NEW DOOR [] WITH SWING REVERSED[] IN EXISTING DOOR OPENING
23. NEW ATTIC HATCH
24. NEW FLOOR FRAMING - 2X8 WD [] JSTS [] 16" OC
25. NEW FLOOR FRAMING - 2X 10 WD [] JSTS [] 16" OC
26. NEW FLOOR FRAMING - 2X 12 WD I-[] JSTS [] 16" OC
27. NEW OAK STRIP FINISHED FLOORING ON 3/4" PLYWOOD UNDERLAYMENT
28. NEW STONE TILE FINISHED FLOORING ON 3/4" PLYWOOD UNDERLAYMENT
29. NEW CERAMIC TILE FINISHED FLOORING ON 3/4" PLYWOOD UNDERLAYMENT
30. NEW 3/4" PLYWOOD FINISHED FLOORING
31. AIR HANDLERS FOR N.B.V. CENTRAL AC SYSTEM TO BE LOCATED IN THE ATTIC
32. NEW WATER TANK AND POINT OF USE HOT WATER HEATER TO BE LOCATED IN THE ATTIC [] TO PROVIDE IMPROVED WATER PRESSURE TO THE 2ND FLOOR[]
33. NEW ROOFING SHINGLES

CONSTRUCTION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN
- EXISTING WALL TO REMAIN
- REFERENCE TO KEYNOTES
- PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- DOOR NUMBER / NEW DOOR
- FLOORING TYPE DESIGNATION - SEE SPECS
- WINDOW NUMBER / NEW WINDOW
- DETAIL NUMBER / SHEET NUMBER / DETAIL REFERENCE BUBBLE
- SECTION NUMBER / SHEET NUMBER / SECTION REFERENCE
- ELEVATION NUMBER / ELEVATION REFERENCES / SHEET NUMBER
- ALIGN FINISH FACES
- 1ST FLOOR 10'-0" FLOOR ELEVATION SYMBOL
- 4" FLOOR ELEVATION CHANGE
- 15A DUPLEX RECEPTACLE WALL MOUNTED FLUSH VERTICALLY [] 18" AFF U.N.O.
- GFI DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE
- 20A DEDICATED DUPLEX RECEPTACLE
- WP WATERPROOF DUPLEX RECEPTACLE
- QUAD RECEPTACLE: WALL MOUNTED FLUSH
- PHONE JACK WALL MOUNTED FLUSH @ 18" AFF U.N.O.
- DOOR BELL MOUNTED @ 48" AFF; CONNECT NEW DOOR BELL TO EXISTING CHIME
- FLUSH FLOOR OUTLET
- CEILING MOUNTED OUTLET
- WALL MOUNTED - SINGLE POLE SWITCH
- D WALL MOUNTED - DIMMER SWITCH
- 3 WALL MOUNTED - 3 WAY SWITCH
- EM WALL MOUNTED - EXHAUST FAN SWITCH
- T WALL MOUNTED THERMOSTAT
- S ELECTRIC POWERED SMOKE DETECTOR
- EXISTING LIGHT FIXTURE TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING [] CONDUIT BACK TO SOURCE
- CEILING MOUNTED SPEAKER. WIRED TO CENTRAL SYSTEM [] EX DENOTES EXISTING TO REMAIN [] RE DENOTES EXISTING REINSTALLED IN NEW LOCATION []

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Date	Issue
02.22.16	ISSUED FOR DOB REVIEW

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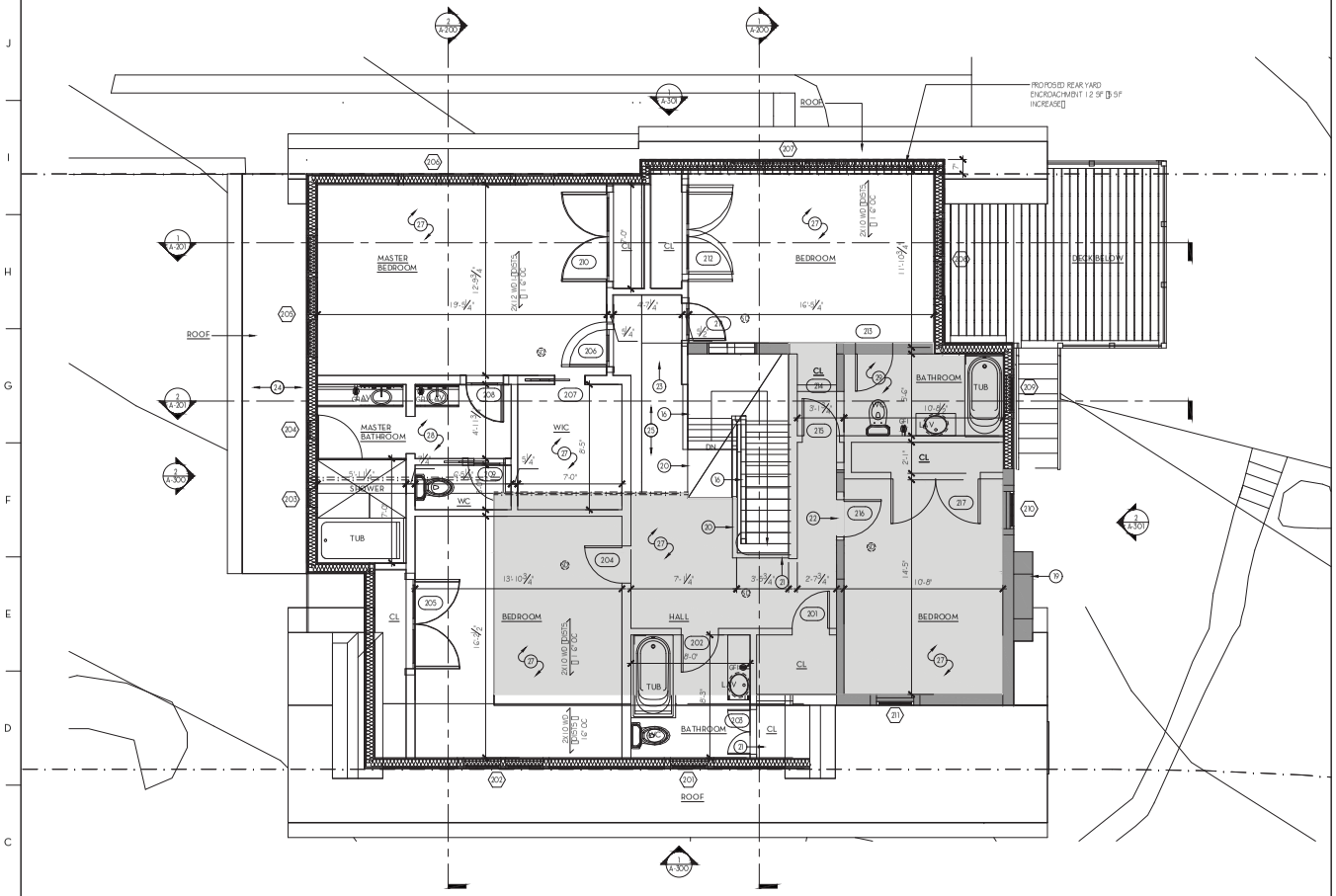
Sheet Title

FIRST FLOOR CONSTRUCTION PLAN

DATE: 12.10.06
SCALE: 1/4"=1'-0"
PROJ. #1601

Sheet No. A-101



1 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION KEYED NOTES

1. NEW GARAGE DOOR
2. NEW WOOD STEPS TO NEW DECK
3. NEW WOOD STAIR TO 1ST FLOOR
4. REMOVE EXISTING STUCCO CLADDING ON CHIMNEY - REPLACE WITH NEW STONE VENEER TO MATCH EXISTING FOUNDATION
5. PIERS UNDER NEW FRONT PORCH
6. 10" CMU FOUNDATION WALL WITH 1'-0" D X 2'-0" W CONTINUOUS CONCRETE FOOTING
7. AREA MAY REQUIRE PIERS OR SLAB ON-GRADE DUE TO LARGE ROCK OUTCROPPING
8. EXISTING STRUCTURAL FRAMING IN THIS AREA TO BE REPAIRED
9. NEW KITCHEN SINK
10. NEW DISHWASHER
11. NEW GAS COOKTOP
12. NEW WALL OVEN (BUILT-IN MICROWAVE
13. NEW REFRIGERATOR WITH COLD WATER SUPPLY
14. NEW KITCHEN COUNTER (BASE CABINETS AND OVERHEAD CABINETS
15. NEW ISLAND COUNTER AND BASE CABINETS
16. NEW WOOD STAIR BETWEEN 1ST (2ND FLOORS
17. NEW STONE FIREPLACE HEARTH
18. NEW FIREPLACE SURROUND
19. REMOVE STUCCO FINISH FROM EXISTING CHIMNEY TO EXPOSE EXISTING BRICK - REPOINT AS REQ'D TO MAINTAIN INTEGRITY OF WATERPROOFING
20. NEW WOOD RAILING AT STAIR OPENING
21. BUILT-IN PAINTED WOOD SHELVES IN LINEN CLOSET
22. NEW DOOR (WITH SWING REVERSED) IN EXISTING DOOR OPENING
23. NEW ATTIC HATCH
24. NEW FLOOR FRAMING - 2X8 WD (JISTS (16" OC
25. NEW FLOOR FRAMING - 2X 10 WD (JISTS (16" OC
26. NEW FLOOR FRAMING - 2X 12 WD (JISTS (16" OC
27. NEW OAK STRIP FINISHED FLOORING ON ¾" PLYWOOD UNDERLAYMENT
28. NEW STONE TILE FINISHED FLOORING ON ¾" PLYWOOD UNDERLAYMENT
29. NEW CERAMIC TILE FINISHED FLOORING ON ¾" PLYWOOD UNDERLAYMENT
30. NEW ¾" PLYWOOD FINISHED FLOORING
31. AIR HANDLERS FOR NEW CENTRAL AC SYSTEM TO BE LOCATED IN THE ATTIC
32. NEW WATER TANK AND POINT OF USE HOT WATER HEATER TO BE LOCATED IN THE ATTIC (TO PROVIDE IMPROVED WATER PRESSURE TO THE 2ND FLOOR)
33. NEW ROOFING SHINGLES

CONSTRUCTION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN
- EXISTING WALL TO REMAIN
- REFERENCE TO KEYNOTES
- PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- DOOR NUMBER
- NEW DOOR
- FLOORING TYPE DESIGNATION - SEE SPECS
- WINDOW NUMBER
- NEW WINDOW
- DETAIL NUMBER
- SHEET NUMBER
- DETAIL REFERENCE BUBBLE
- SECTION NUMBER
- SHEET NUMBER
- SECTION REFERENCE
- ELEVATION NUMBER
- ELEVATION REFERENCES
- SHEET NUMBER
- ALIGN FINISH FACES
- 1ST FLOOR +0'-0" FLOOR ELEVATION SYMBOL
- 4" FLOOR ELEVATION CHANGE
- 15A DUPLEX RECEPTACLE WALL MOUNTED FLUSH VERTICALLY (18" AFF U.N.O.
- GFI DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE
- 20A DEDICATED DUPLEX RECEPTACLE
- WP WATERPROOF DUPLEX RECEPTACLE
- QUAD RECEPTACLES: WALL MOUNTED FLUSH
- PHONE JACK WALL MOUNTED FLUSH @ 18" AFF U.N.O.
- DOOR BELL MOUNTED @ 48" AFF; CONNECT NEW DOOR BELL TO EXISTING CHIME
- FLUSH FLOOR OUTLET
- CEILING MOUNTED OUTLET
- WALL MOUNTED - SINGLE POLE SWITCH
- D WALL MOUNTED - DIMMER SWITCH
- 3 WALL MOUNTED - 3 WAY SWITCH
- EM WALL MOUNTED - EXHAUST FAN SWITCH
- WALL MOUNTED THERMOSTAT
- ELECTRIC POWERED SMOKE DETECTOR
- EXISTING LIGHT FIXTURE TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING (CONDUIT BACK TO SOURCE
- CEILING MOUNTED SPEAKER: WIRED TO CENTRAL SYSTEM (EX DENOTES EXISTING TO REMAIN; RE DENOTES EXISTING REINSTALLED IN NEW LOCATION)

OAKS-LEAF Residence

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Date	Issue
02.22.16	ISSUED FOR DOB REVIEW

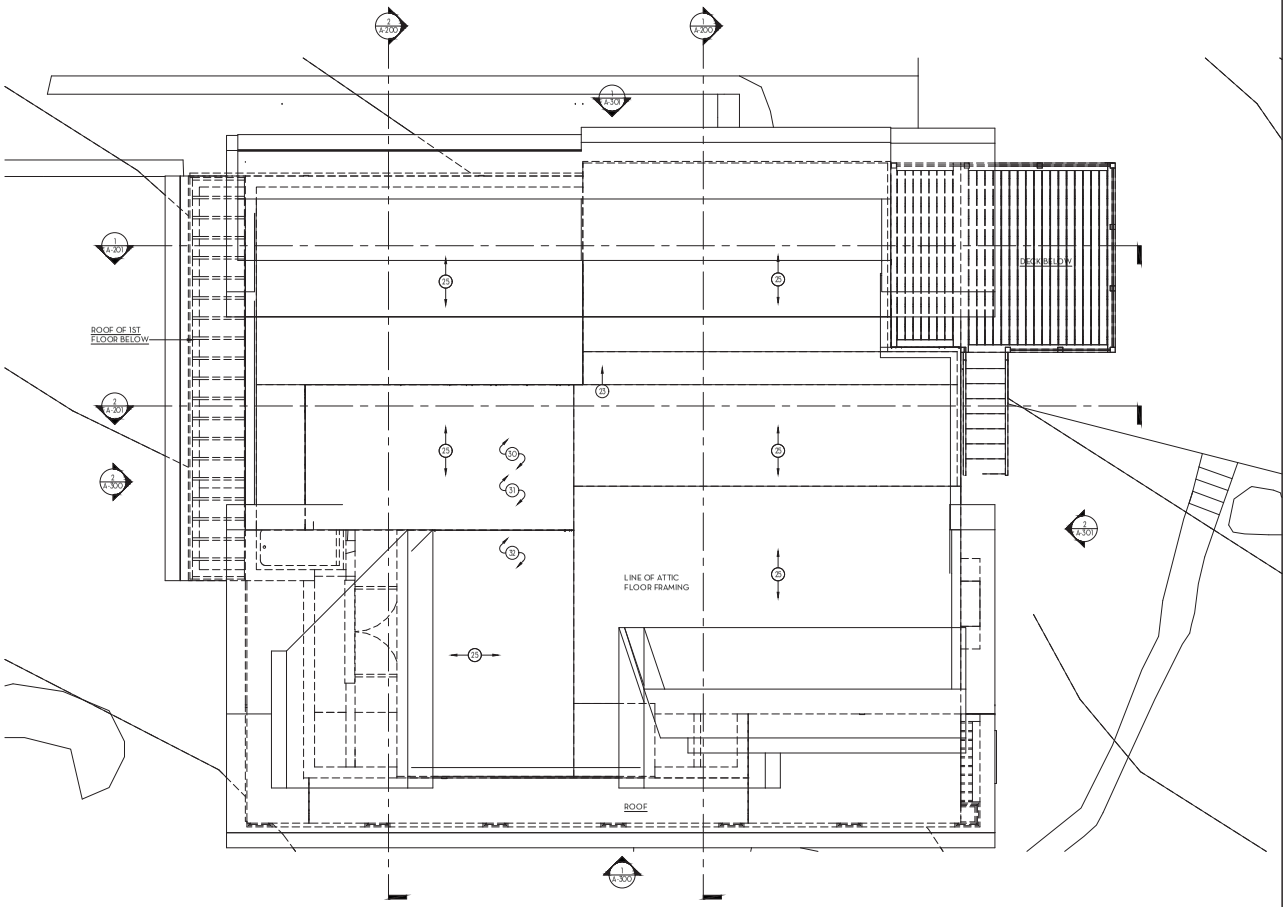
Stamp

Sheet Title

SECOND FLOOR CONSTRUCTION PLAN

DATE: 01.18.16
SCALE: 1/4"=1'-0"
PROJ. #1601

Sheet No. A-102



1 ATTIC PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION KEYED NOTES

1. NEW GARAGE DOOR
2. NEW WOOD STEPS TO NEW DECK
3. NEW WOOD STAIR TO 1ST FLOOR
4. REMOVE EXISTING STUCCO CLADDING ON CHIMNEY - REPLACE WITH NEW STONE VENEER TO MATCH EXISTING FOUNDATION
5. PIERS UNDER NEW FRONT PORCH
6. 10" CMU FOUNDATION WALL WITH 1'-0" D X 2'-0" W CONTINUOUS CONCRETE FOOTING
7. AREA MAY REQUIRE PIERS OR SLAB ON-GRADE DUE TO LARGE ROCK OUTCROPPING
8. EXISTING STRUCTURAL FRAMING IN THIS AREA TO BE REPAIRED
9. NEW KITCHEN SINK
10. NEW DISHWASHER
11. NEW GAS COOKTOP
12. NEW WALL OVEN/S [] BUILT-IN MICROWAVE
13. NEW REFRIGERATOR WITH COLD WATER SUPPLY
14. NEW KITCHEN COUNTER[]BASE CABINETS AND OVERHEAD CABINETS
15. NEW ISLAND COUNTER AND BASE CABINETS
16. NEW WOOD STAIR BETWEEN 1ST [] 2ND FLOORS
17. NEW STONE FIREPLACE HEARTH
18. NEW FIREPLACE SURROUND
19. REMOVE STUCCO FINISH FROM EXISTING CHIMNEY TO EXPOSE EXISTING BRICK - REPOINT AS REQ[]D TO MAINTAIN INTEGRITY OF WATERPROOFING
20. NEW WOOD RAILING AT STAIR OPENING
21. BUILT-IN PAINTED WOOD SHELVES IN LINEN CLOSET
22. NEW DOOR [WITH SWING REVERSED[]IN EXISTING DOOR OPENING
23. NEW ATTIC HATCH
24. NEW FLOOR FRAMING - 2X8 WO[]DISTS [] 16" OC
25. NEW FLOOR FRAMING - 2X10 WO[]DISTS [] 16" OC
26. NEW FLOOR FRAMING - 2X12 WO[]DISTS [] 16" OC
27. NEW OAK STRIP FINISHED FLOORING ON ¾" PLYWOOD UNDERLAYMENT
28. NEW STONE TILE FINISHED FLOORING ON ¾" PLYWOOD UNDERLAYMENT
29. NEW CERAMIC TILE FINISHED FLOORING ON ¾" PLYWOOD UNDERLAYMENT
30. NEW ¾" PLYWOOD FINISHED FLOORING
31. AIR HANDLERS FOR NEW CENTRAL AC SYSTEM TO BE LOCATED IN THE ATTIC
32. NEW WATER TANK AND POINT OF USE HOT WATER HEATER TO BE LOCATED IN THE ATTIC [TO PROVIDE IMPROVED WATER PRESSURE TO THE 2ND FLOOR[]
33. NEW ROOFING SHINGLES

CONSTRUCTION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN
- EXISTING WALL TO REMAIN
- 23 — REFERENCE TO KEYNOTES
- PARTITION TYPE — 01A
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- DOOR NUMBER — K01
- NEW DOOR
- CP-01 — FLOORING TYPE DESIGNATION - SEE SPECS
- WINDOW NUMBER — 01
- NEW WINDOW
- DETAIL NUMBER — 1 A-501
- SHEET NUMBER
- DETAIL REFERENCE BUBBLE
- SECTION NUMBER — 1 A-300
- SHEET NUMBER — SECTION REFERENCE
- ELEVATION NUMBER — 2 A-300
- ELEVATION REFERENCES — 1 2 3 4 A-600
- SHEET NUMBER
- ALIGN — ALIGN FINISH FACES
- 1ST FLOOR +0'-0" — FLOOR ELEVATION SYMBOL
- 4" — FLOOR ELEVATION CHANGE
- TSA DUPLEX RECEPTACLE: WALL MOUNTED FLUSH VERTICALLY [] 18" AFF U.N.O.
- GFI — DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE
- DOA — DEDICATED DUPLEX RECEPTACLE
- WP — WATERPROOF DUPLEX RECEPTACLE
- QUAD RECEPTACLE: WALL MOUNTED FLUSH
- PHONE JACK WALL MOUNTED FLUSH @ 18" AFF U.N.O.
- DOOR BELL MOUNTED @ 48" AFF. CONNECT NEW DOOR BELL TO EXISTING CHIME
- FLUSH FLOOR OUTLET
- CEILING MOUNTED OUTLET
- WALL MOUNTED - SINGLE POLE SWITCH
- D — WALL MOUNTED - DIMMER SWITCH
- 3 — WALL MOUNTED - 3-WAY SWITCH
- EM — WALL MOUNTED - EXHAUST FAN SWITCH
- T — WALL MOUNTED THERMOSTAT
- S — ELECTRIC POWERED SMOKE DETECTOR
- EXISTING LIGHT FIXTURE TO BE REMOVED. REMOVE A[] ASSOCIATED WIRING [] CONDUIT BACK TO SOURCE
- SP EX — CEILING MOUNTED SPEAKER: WIRED TO CENTRAL SYS[] [EX DENOTES EXISTING TO REMAIN[]RE DENOTES EXIS[] REINSTALLED IN NEW LOCATION[]

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Date	Issue
02.22.16	ISSUED FOR DOB REVIEW

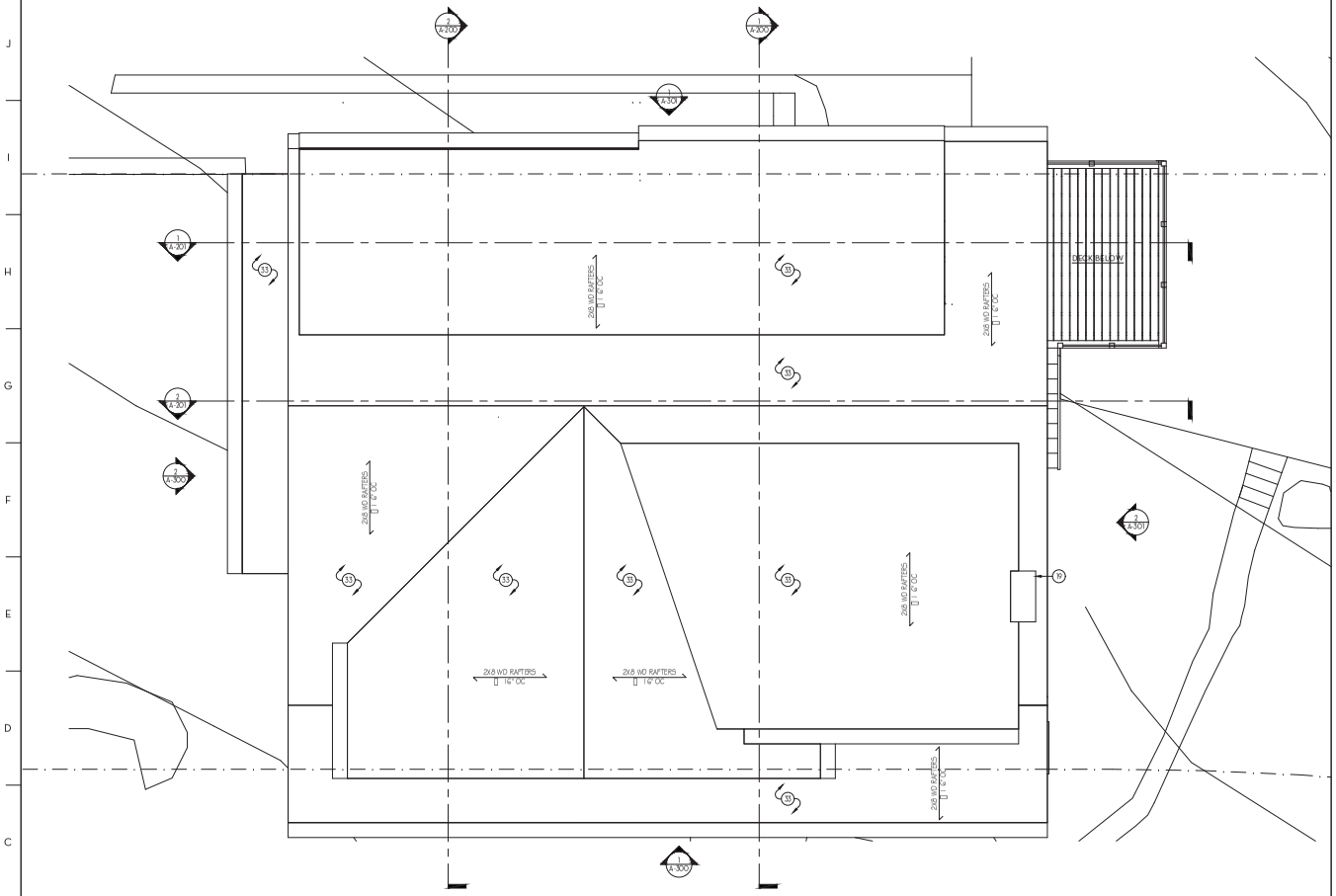
Stamp

Sheet Title

ATTIC CONSTRUCTION PLAN

DATE: 01.18.16
SCALE: 1/4"= 1'-0"
PROJ. #1601

Sheet No. A-103



1 ROOF PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION KEYED NOTES

1. NEW GARAGE DOOR
2. NEW WOOD STEPS TO NEW DECK
3. NEW WOOD STAIR TO 1ST FLOOR
4. REMOVE EXISTING STUCCO CLADDING ON CHIMNEY - REPLACE WITH NEW STONE VENEER TO MATCH EXISTING FOUNDATION
5. PIERS UNDER NEW FRONT PORCH
6. 10" CMU FOUNDATION WALL WITH 1'-0" D X 2'-0" W CONTINUOUS CONCRETE FOOTING
7. AREA MAY REQUIRE PIERS OR SLAB ON-GRADE DUE TO LARGE ROCK OUTCROPPING
8. EXISTING STRUCTURAL FRAMING IN THIS AREA TO BE REPAIRED
9. NEW KITCHEN SINK
10. NEW DISHWASHER
11. NEW GAS COOKTOP
12. NEW WALL OVEN/S [] BUILT-IN MICROWAVE
13. NEW REFRIGERATOR WITH COLD WATER SUPPLY
14. NEW KITCHEN COUNTER[]BASE CABINETS AND OVERHEAD CABINETS
15. NEW ISLAND COUNTER AND BASE CABINETS
16. NEW WOOD STAIR BETWEEN 1ST [] 2ND FLOORS
17. NEW STONE FIREPLACE HEARTH
18. NEW FIREPLACE SURROUND
19. REMOVE STUCCO FINISH FROM EXISTING CHIMNEY TO EXPOSE EXISTING BRICK - REPOINT AS REQ[]D TO MAINTAIN INTEGRITY OF WATERPROOFING
20. NEW WOOD RAILING AT STAIR OPENING
21. BUILT-IN PAINTED WOOD SHELVES IN LINEN CLOSET
22. NEW DOOR [] WITH SWING REVERSED[]IN EXISTING DOOR OPENING
23. NEW ATTIC HATCH
24. NEW FLOOR FRAMING - 2X8 WD []ISTS [] 16" OC
25. NEW FLOOR FRAMING - 2X 10 WD []ISTS [] 16" OC
26. NEW FLOOR FRAMING - 2X 12 WD I-[]ISTS [] 16" OC
27. NEW OAK STRIP FINISHED FLOORING ON $\frac{3}{4}$" PLYWOOD UNDERLAYMENT
28. NEW STONE TILE FINISHED FLOORING ON $\frac{3}{4}$" PLYWOOD UNDERLAYMENT
29. NEW CERAMIC TILE FINISHED FLOORING ON $\frac{3}{4}$" PLYWOOD UNDERLAYMENT
30. NEW $\frac{3}{4}$" PLYWOOD FINISHED FLOORING
31. AIR HANDLERS FOR NEW CENTRAL AC SYSTEM TO BE LOCATED IN THE ATTIC
32. NEW WATER TANK AND POINT OF USE HOT WATER HEATER TO BE LOCATED IN THE ATTIC [] TO PROVIDE IMPROVED WATER PRESSURE TO THE 2ND FLOOR[]
33. NEW ROOFING SHINGLES

CONSTRUCTION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN
- EXISTING WALL TO REMAIN
- 23 — REFERENCE TO KEYNOTES
- 100A — PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- 2X6 @ 16" O.C. — NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- 101 — DOOR NUMBER
- NEW DOOR
- CP-01 — FLOORING TYPE DESIGNATION - SEE SPECS
- 01 — WINDOW NUMBER
- NEW WINDOW
- 1 A-501 — DETAIL NUMBER / SHEET NUMBER — DETAIL REFERENCE BUBBLE
- 1 A-300 — SECTION NUMBER / SHEET NUMBER — SECTION REFERENCE
- 2 A-300 — ELEVATION NUMBER / SHEET NUMBER — ELEVATION REFERENCES (1, 2, 3, 4) A-600
- ALIGN — ALIGN FINISH FACES
- 1ST FLOOR +0'-0" — FLOOR ELEVATION SYMBOL
- 4" — FLOOR ELEVATION CHANGE
- 15A DUPLEX RECEPTACLE WALL MOUNTED FLUSH VERTICALLY [] 18" AFF U.N.O.
- GFI — DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE
- 20A — DEDICATED DUPLEX RECEPTACLE
- WP — WATERPROOF DUPLEX RECEPTACLE
- QUAD RECEPTACLE: WALL MOUNTED FLUSH
- PHONE JACK WALL MOUNTED FLUSH @ 18" AFF U.N.O.
- DOOR BELL MOUNTED @ 48" AFF; CONNECT NEW DOOR BELL TO EXISTING CHIME
- FLUSH FLOOR OUTLET
- CEILING MOUNTED OUTLET
- WALL MOUNTED - SINGLE POLE SWITCH
- D — WALL MOUNTED - DIMMER SWITCH
- 3 — WALL MOUNTED - 3-WAY SWITCH
- EXH — WALL MOUNTED - EXHAUST FAN SWITCH
- T — WALL MOUNTED THERMOSTAT
- S — ELECTRIC POWERED SMOKE DETECTOR
- EXISTING LIGHT FIXTURE TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING [] CONDUIT BACK TO SOURCE
- SPK / SPK — CEILING MOUNTED SPEAKER: WIRED TO CENTRAL SYSTEM [] X DENOTES EXISTING TO REMAIN[]RE DENOTES EXISTING REINSTALLED IN NEW LOCATION[]

OAKS-LEAF Residence

30 Floral Drive
Hastings-on-Hudson, NY

ALLIGOOD
157 Rosedale Avenue
Hastings-on-Hudson, NY 10706
(914) 591-2578

Date	Issue
02.22.16	ISSUED FOR DOB REVIEW

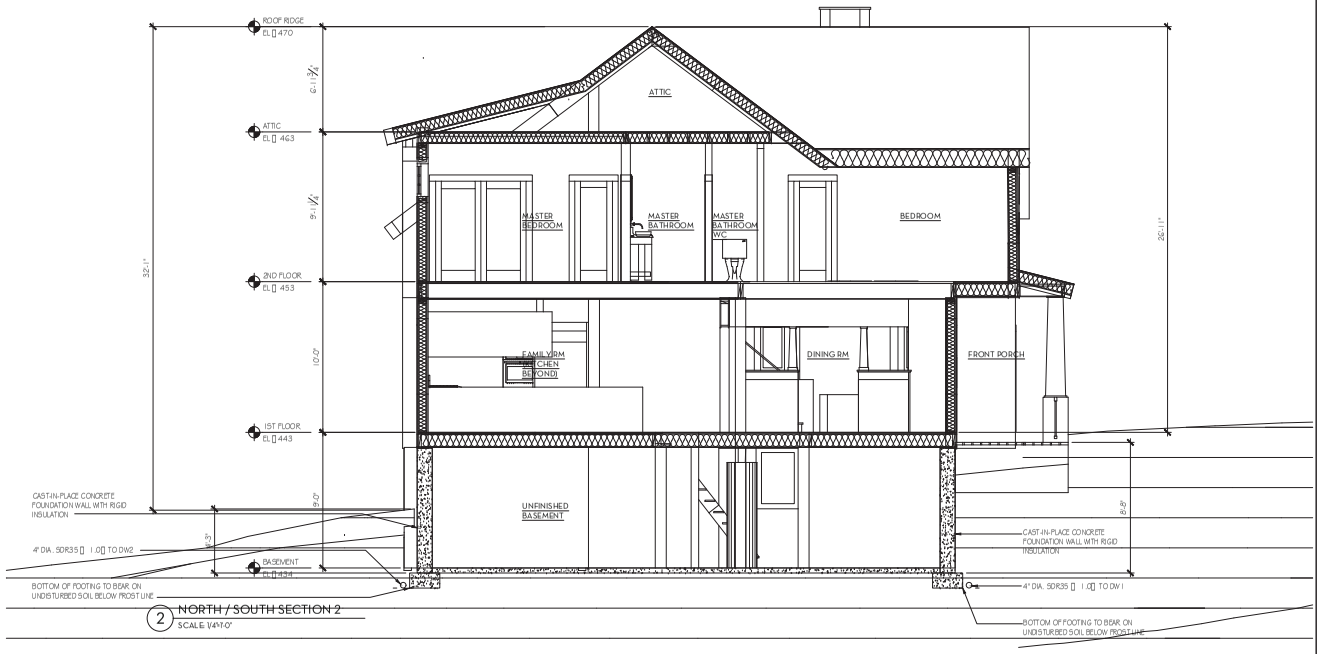
Stamp

Sheet Title

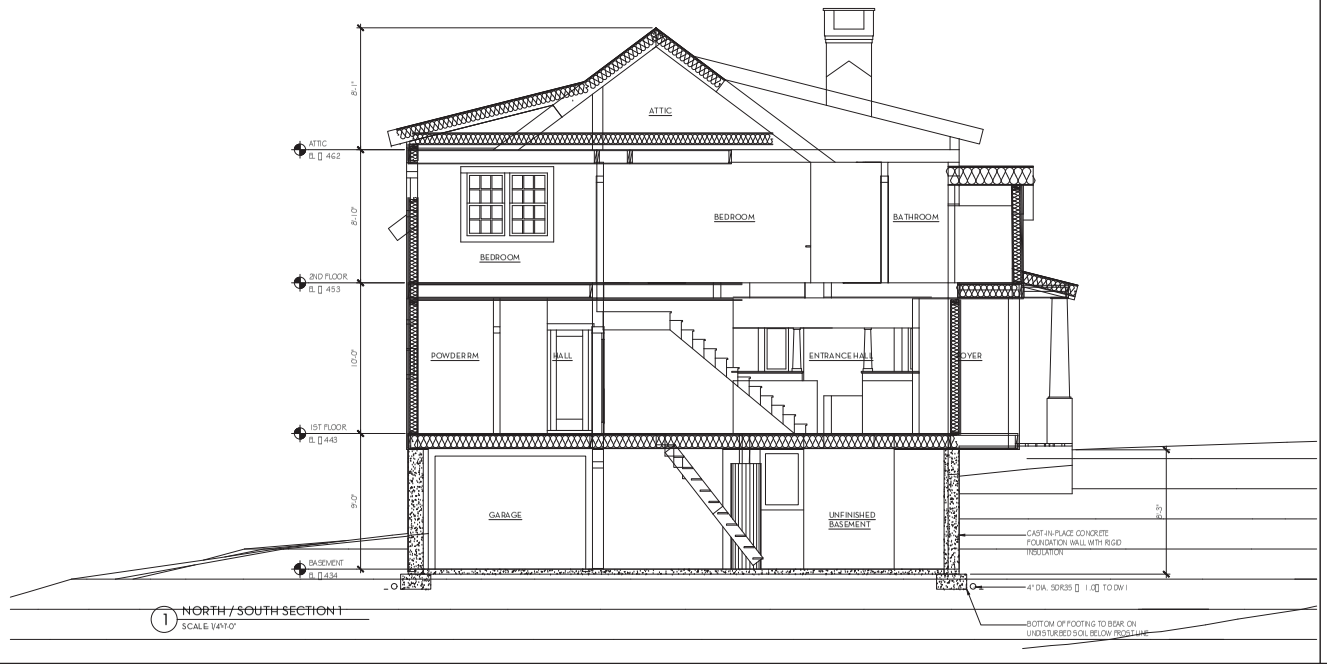
ROOF CONSTRUCTION PLAN

DATE: 01.18.16
SCALE: 1/4"= 1'-0"
PROJ. #1601

Sheet No. A-104



2 NORTH / SOUTH SECTION 2
SCALE: 1/4"=1'-0"



1 NORTH / SOUTH SECTION 1
SCALE: 1/4"=1'-0"

CONSTRUCTION KEYED NOTES

1. NEW GARAGE DOOR
2. NEW WOOD STEPS TO NEW DECK
3. NEW WOOD STAIR TO 1ST FLOOR
4. REMOVE EXISTING STUCCO CLADDING ON CHIMNEY - REPLACE WITH NEW STONE VENEER TO MATCH EXISTING FOUNDATION
5. PIERS UNDER NEW FRONT PORCH
6. 10" CMU FOUNDATION WALL WITH 1'-0" D X 2'-0" W CONTINUOUS CONCRETE FOOTING
7. AREA MAY REQUIRE PIERS OR SLAB ON-GRADE DUE TO LARGE ROCK OUTCROPPING
8. EXISTING STRUCTURAL FRAMING IN THIS AREA TO BE REPAIRED
9. NEW KITCHEN SINK
10. NEW DISHWASHER
11. NEW GAS COOKTOP
12. NEW WALL OVEN/S [] BUILT-IN MICROWAVE
13. NEW REFRIGERATOR WITH COLD WATER SUPPLY
14. NEW KITCHEN COUNTER[] BASE CABINETS AND OVERHEAD CABINETS
15. NEW ISLAND COUNTER AND BASE CABINETS
16. NEW WOOD STAIR BETWEEN 1ST [] 2ND FLOORS
17. NEW STONE FIREPLACE HEARTH
18. NEW FIREPLACE SURROUND
19. REMOVE STUCCO FINISH FROM EXISTING CHIMNEY TO EXPOSE EXISTING BRICK - REPOINT AS REQ[] TO MAINTAIN INTEGRITY OF WATERPROOFING
20. NEW WOOD RAILING AT STAIR OPENING
21. BUILT-IN PAINTED WOOD SHELVES IN LINEN CLOSET
22. NEW DOOR [] WITH SWING REVERSED [] IN EXISTING DOOR OPENING
23. NEW ATTIC HATCH
24. NEW FLOOR FRAMING - 2X8 WD [] JISTS [] 16" OC
25. NEW FLOOR FRAMING - 2X 10 WD [] JISTS [] 16" OC
26. NEW FLOOR FRAMING - 2X 12 WD I-[] JISTS [] 16" OC
27. NEW OAK STRIP FINISHED FLOORING ON ¾" PLYWOOD UNDERLAYMENT
28. NEW STONE TILE FINISHED FLOORING ON ¾" PLYWOOD UNDERLAYMENT
29. NEW CERAMIC TILE FINISHED FLOORING ON ¾" PLYWOOD UNDERLAYMENT
30. NEW ¾" PLYWOOD FINISHED FLOORING
31. AIR HANDLERS FOR NBW CENTRAL AC SYSTEM TO BE LOCATED IN THE ATTIC
32. NEW WATER TANK AND POINT OF USE HOT WATER HEATER TO BE LOCATED IN THE ATTIC [] TO PROVIDE IMPROVED WATER PRESSURE TO THE 2ND FLOOR[]
33. NEW ROOFING SHINGLES

CONSTRUCTION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN
- EXISTING WALL TO REMAIN
- 23 REFERENCE TO KEYNOTES
- 01A PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- 101 DOOR NUMBER / NEW DOOR
- CP-01 FLOORING TYPE DESIGNATION - SEE SPECS
- 01 WINDOW NUMBER / NEW WINDOW
- 1 A-501 DETAIL NUMBER / SHEET NUMBER / DETAIL REFERENCE BUBBLE
- 1 A-300 SECTION NUMBER / SHEET NUMBER / SECTION REFERENCE
- 2 A-300 ELEVATION NUMBER / SHEET NUMBER / ELEVATION REFERENCES 1 2 3 4
- ALIGN / ALIGN FINISH FACES
- 1ST FLOOR +0'-0" FLOOR ELEVATION SYMBOL
- 4" FLOOR ELEVATION CHANGE
- 15A DUPLEX RECEPTACLE WALL MOUNTED FLUSH VERTICALLY [] 18" AFF U.N.O.
- GFI DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE
- 20A DEDICATED DUPLEX RECEPTACLE
- WP WATERPROOF DUPLEX RECEPTACLE
- QUAD RECEPTACLE: WALL MOUNTED FLUSH
- PHONE JACK WALL MOUNTED FLUSH @ 18" AFF U.N.O.
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- D WALL MOUNTED - DIMMER SWITCH
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- T WALL MOUNTED THERMOSTAT
- SD ELECTRIC POWERED SMOKE DETECTOR
- EXISTING LIGHT FIXTURE TO BE REMOVED. REMOVE ALL ASSOCIATED WIRING [] CONDUIT BACK TO SOURCE
- SP EX CEILING MOUNTED SPEAKER. WIRED TO CENTRAL SYSTEM [] EX DENOTES EXISTING TO REMAIN [] RE DENOTES EXISTING REINSTALLED IN NEW LOCATION []

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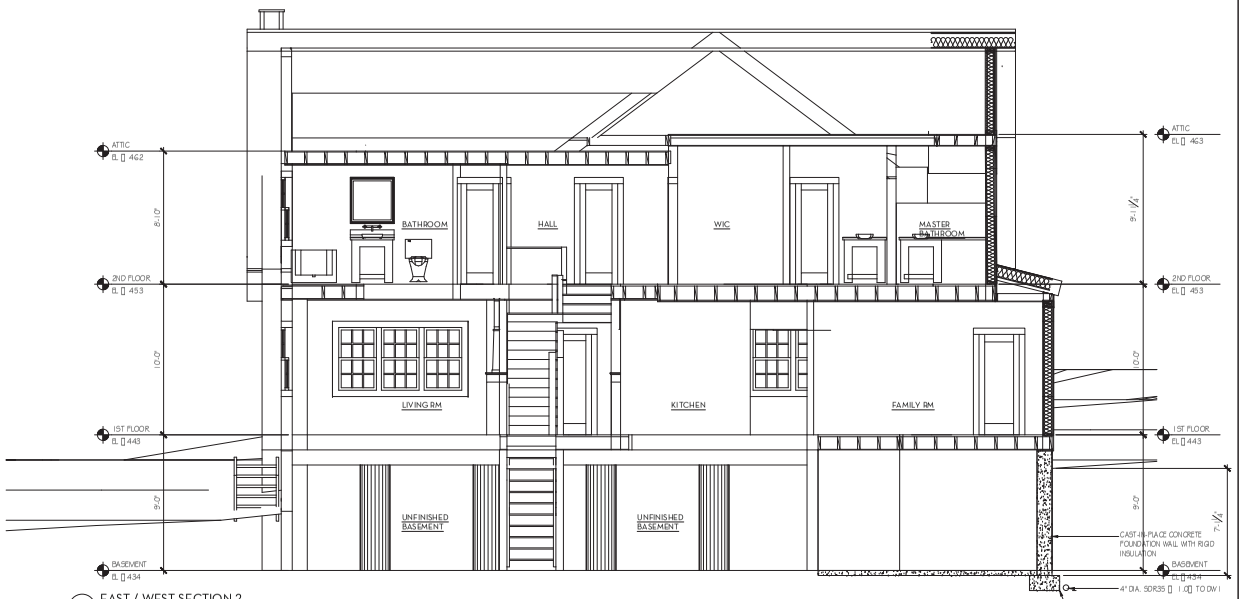
Sheet Title

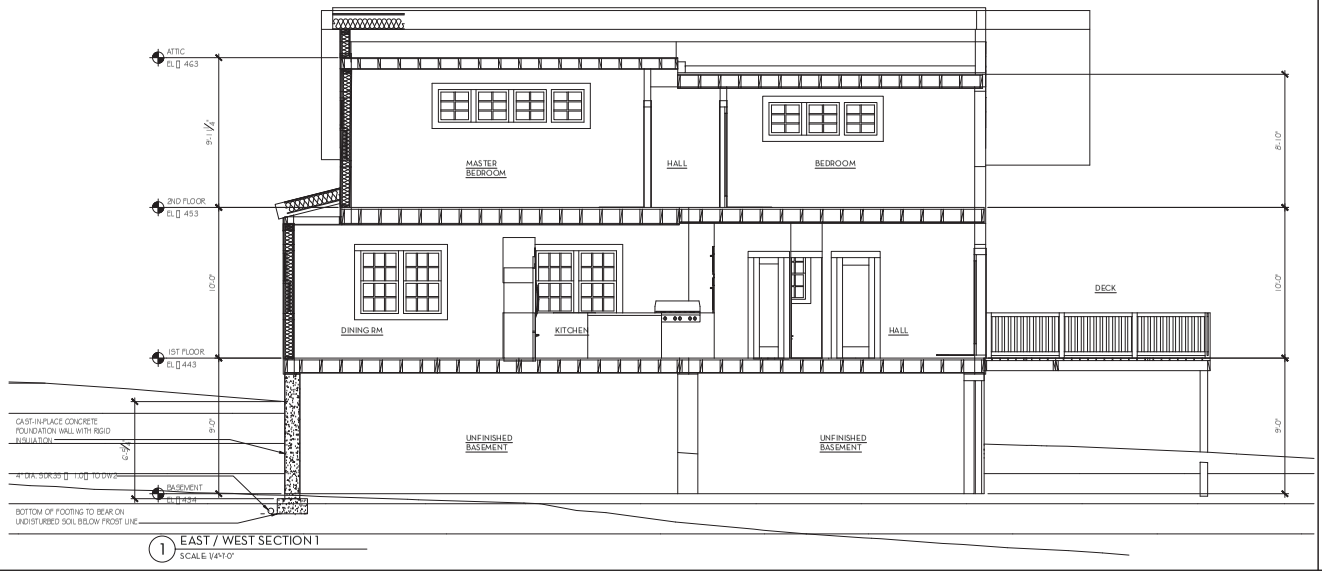
NORTH / SOUTH SECTIONS

DATE: 01.18.16
SCALE: 1/4"=1'-0"
PROJ. #1601

Sheet No.
A-200



2 EAST / WEST SECTION 2
SCALE: 1/4"=1'-0"



1 EAST / WEST SECTION 1
SCALE: 1/4"=1'-0"

CONSTRUCTION KEYED NOTES

1. NEW GARAGE DOOR
2. NEW WOOD STEPS TO NEW DECK
3. NEW WOOD STAIR TO 1ST FLOOR
4. REMOVE EXISTING STUCCO CLADDING ON CHIMNEY - REPLACE WITH NEW STONE VENEER TO MATCH EXISTING FOUNDATION
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6. 10" CMU FOUNDATION WALL WITH 1'-0" D X 2'-0" W CONTINUOUS CONCRETE FOOTING
7. AREA MAY REQUIRE PIERS OR SLAB ON-GRADE DUE TO LARGE ROCK OUTCROPPING
8. EXISTING STRUCTURAL FRAMING IN THIS AREA TO BE REPAIRED
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10. NEW DISHWASHER
11. NEW GAS COOKTOP
12. NEW WALL OVEN/S & BUILT-IN MICROWAVE
13. NEW REFRIGERATOR WITH COLD WATER SUPPLY
14. NEW KITCHEN COUNTER, BASE CABINETS AND OVERHEAD CABINETS
15. NEW ISLAND COUNTER AND BASE CABINETS
16. NEW WOOD STAIR BETWEEN 1ST & 2ND FLOORS
17. NEW STONE FIREPLACE HEARTH
18. NEW FIREPLACE SURROUND
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20. NEW WOOD RAILING AT STAIR OPENING
21. BUILT-IN PAINTED WOOD SHELVES IN LINEN CLOSET
22. NEW DOOR (WITH SWING REVERSED) IN EXISTING DOOR OPENING
23. NEW ATTIC HATCH
24. NEW FLOOR FRAMING - 2X8 WD JOISTS @ 16" OC
25. NEW FLOOR FRAMING - 2X 10 WD JOISTS @ 16" OC
26. NEW FLOOR FRAMING - 2X 12 WD JOISTS @ 16" OC
27. NEW OAK STRIP FINISHED FLOORING ON 3/4" PLYWOOD UNDERLAYMENT
28. NEW STONE TILE FINISHED FLOORING ON 3/4" PLYWOOD UNDERLAYMENT
29. NEW CERAMIC TILE FINISHED FLOORING ON 3/4" PLYWOOD UNDERLAYMENT
30. NEW 3/4" PLYWOOD FINISHED FLOORING
31. AIR HANDLERS FOR NEW CENTRAL AC SYSTEM TO BE LOCATED IN THE ATTIC
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33. NEW ROOFING SHINGLES

CONSTRUCTION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN
- EXISTING WALL TO REMAIN
- 23 — REFERENCE TO KEYNOTES
- PA — PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- 101 — DOOR NUMBER
- NEW DOOR
- CP-01 — FLOORING TYPE DESIGNATION - SEE SPECS
- 01 — WINDOW NUMBER
- NEW WINDOW
- 1 A-501 — DETAIL NUMBER; SHEET NUMBER; DETAIL REFERENCE BUBBLE
- 1 A-300 — SECTION NUMBER; SHEET NUMBER; SECTION REFERENCE
- 1 A-300 / 1 A-600 — ELEVATION NUMBER; ELEVATION REFERENCES; SHEET NUMBER
- ALIGN — ALIGN FINISH FACES
- 1ST FLOOR +0'-0" — FLOOR ELEVATION SYMBOL
- 4" — FLOOR ELEVATION CHANGE
- 15A DUPLEX RECEPTACLE: WALL MOUNTED FLUSH VERTICALLY @ 16" AFF U.N.O.
- GFI — DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE
- DOA — DEDICATED DUPLEX RECEPTACLE
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- SP, SPX — CEILING MOUNTED SPEAKER. WIRED TO CENTRAL SYSTEM (X DENOTES EXISTING TO REMAIN, RE DENOTES EXISTING REINSTALLED IN NEW LOCATION)

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Date	Issue
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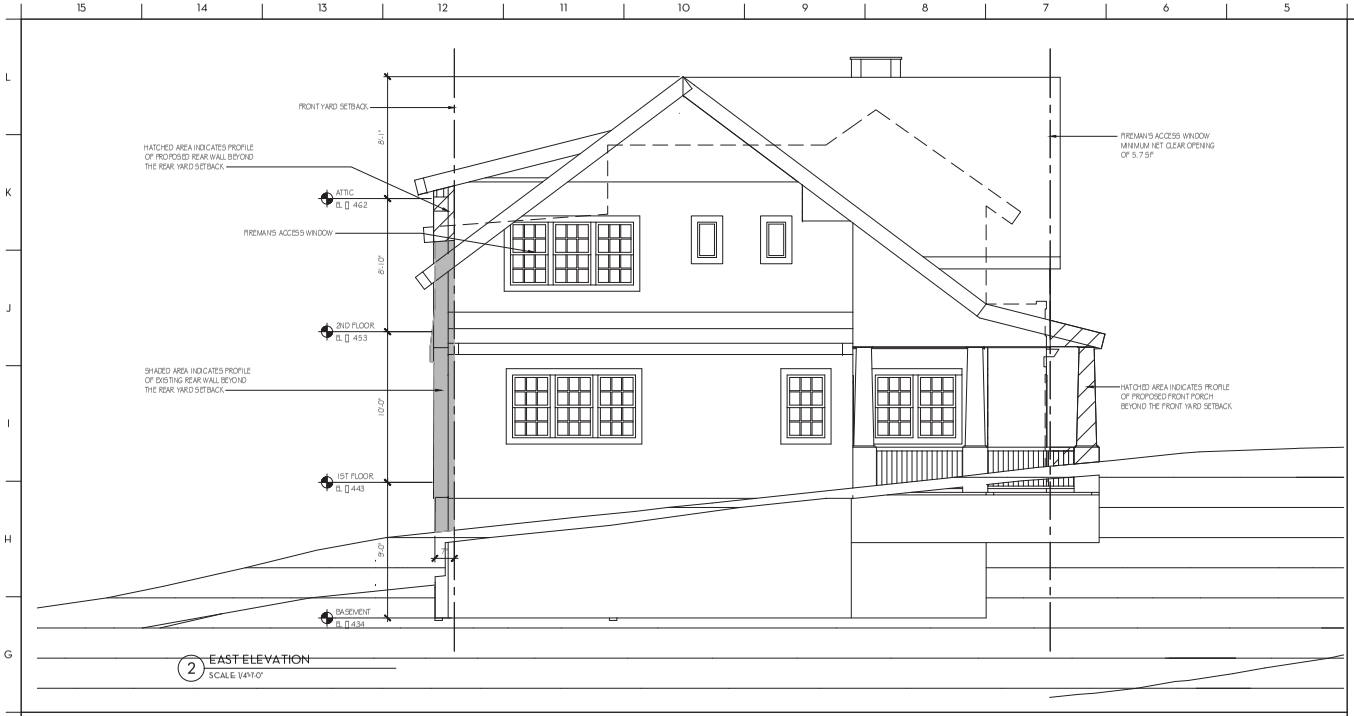
Stamp

Sheet Title

EAST / WEST SECTIONS

DATE: 01.18.16
SCALE: 1/4"=1'-0"
PROJ. #1601

Sheet No.
A-201



2 EAST ELEVATION
SCALE: 1/4"=1'-0"

1 NORTH ELEVATION
SCALE: 1/4"=1'-0"

CONSTRUCTION KEYED NOTES

1. NEW GARAGE DOOR
2. NEW WOOD STEPS TO NEW DECK
3. NEW WOOD STAIR TO 1ST FLOOR
4. REMOVE EXISTING STUCCO CLADDING ON CHIMNEY - REPLACE WITH NEW STONE VENEER TO MATCH EXISTING FOUNDATION
5. PIERS UNDER NEW FRONT PORCH
6. 12" CMU FOUNDATION WALL WITH 1'-0" D X 2'-0" W CONTINUOUS CONCRETE FOOTING
7. AREA MAY REQUIRE PIERS OR SLAB ON-GRADE DUE TO LARGE ROCK OUTCROPPING
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24. NEW FLOOR FRAMING - 2X8 WD JOISTS 16" OC
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30. NEW 3/4" PLYWOOD FINISHED FLOORING
31. AIR HANDLERS FOR NEW CENTRAL AC SYSTEM TO BE LOCATED IN THE ATTIC
32. NEW WATER TANK AND POINT OF USE HOT WATER HEATER TO BE LOCATED IN THE ATTIC TO PROVIDE IMPROVED WATER PRESSURE TO THE 2ND FLOOR
33. NEW ROOFING SHINGLES

CONSTRUCTION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN
- EXISTING WALL TO REMAIN
- 23 REFERENCE TO KEYNOTES
- PA PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- 101 DOOR NUMBER / NEW DOOR
- CP-01 FLOORING TYPE DESIGNATION - SEE SPECS
- 01 WINDOW NUMBER / NEW WINDOW
- 1 A-501 DETAIL NUMBER / SHEET NUMBER / DETAIL REFERENCE BUBBLE
- 1 A-300 SECTION NUMBER / SHEET NUMBER / SECTION REFERENCE
- 2 A-300 ELEVATION NUMBER / SHEET NUMBER / ELEVATION REFERENCES 1 A-400 1 2 3 4
- ALIGN ALIGN FINISH FACES
- 1ST FLOOR +0'-0" FLOOR ELEVATION SYMBOL
- 4" FLOOR ELEVATION CHANGE
- TR DUPLEX RECEPTACLE: WALL MOUNTED FLUSH VERTICALLY 16" AFF U.N.O.
- GFCI DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE
- DOA DEDICATED DUPLEX RECEPTACLE
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- QUAD RECEPTACLE: WALL MOUNTED FLUSH
- PHONE JACK WALL MOUNTED FLUSH @ 18" AFF U.N.O.
- DOOR BELL MOUNTED @ 48" AFF; CONNECT NEW DOOR BELL TO EXISTING CHIME
- FLUSH FLOOR OUTLET
- CEILING MOUNTED OUTLET
- S WALL MOUNTED - SINGLE POLE SWITCH
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- 3 WALL MOUNTED - 3 WAY SWITCH
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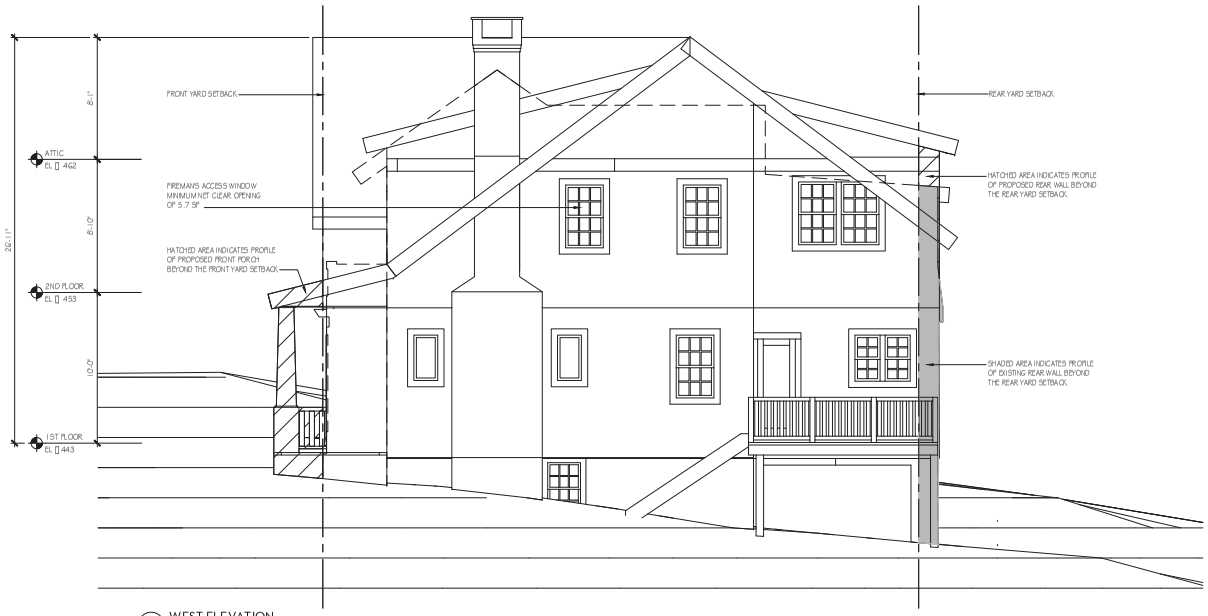
Stamp

Sheet Title

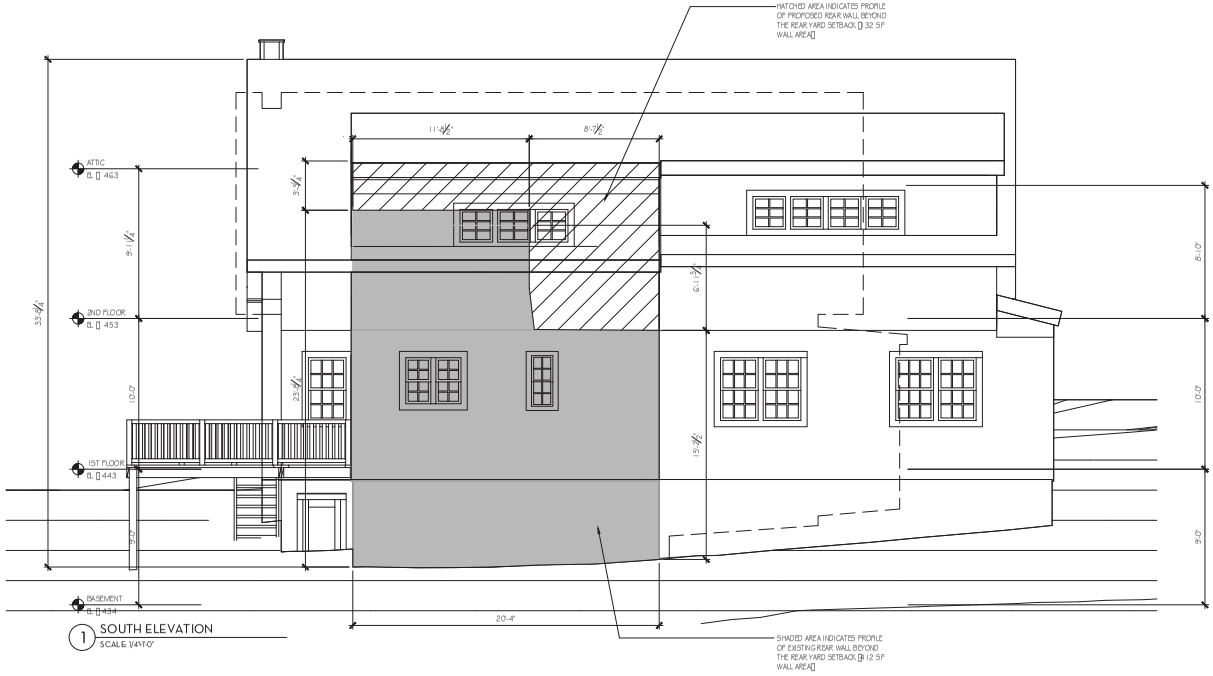
EXTERIOR ELEVATIONS

DATE: 01.18.16
SCALE: 1/4"=1'-0"
PROJ. #1601

Sheet No.
A-300



2 WEST ELEVATION
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

CONSTRUCTION KEYED NOTES

1. NEW GARAGE DOOR
2. NEW WOOD STEPS TO NEW DECK
3. NEW WOOD STAIR TO 1ST FLOOR
4. REMOVE EXISTING STUCCO CLADDING ON CHIMNEY - REPLACE WITH NEW STONE VENEER TO MATCH EXISTING FOUNDATION
5. PIERS UNDER NEW FRONT PORCH
6. 10" CMU FOUNDATION WALL WITH 1'-0" D X 2'-0" W CONTINUOUS CONCRETE FOOTING
7. AREA MAY REQUIRE PIERS OR SLAB ON-GRADE DUE TO LARGE ROCK OUTCROPPING
8. EXISTING STRUCTURAL FRAMING IN THIS AREA TO BE REPAIRED
9. NEW KITCHEN SINK
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12. NEW WALL OVEN/S (BUILT-IN MICROWAVE
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19. REMOVE STUCCO FINISH FROM EXISTING CHIMNEY TO EXPOSE EXISTING BRICK - REPOINT AS REQ'D TO MAINTAIN INTEGRITY OF WATERPROOFING
20. NEW WOOD RAILING AT STAIR OPENING
21. BUILT-IN PAINTED WOOD SHELVES IN LINEN CLOSET
22. NEW DOOR (WITH SWING REVERSED) IN EXISTING DOOR OPENING
23. NEW ATTIC HATCH
24. NEW FLOOR FRAMING - 2X8 WD (JISTS) @ 16" OC
25. NEW FLOOR FRAMING - 2X 10 WD (JISTS) @ 16" OC
26. NEW FLOOR FRAMING - 2X 12 WD I-(JISTS) @ 16" OC
27. NEW OAK STRIP FINISHED FLOORING ON 3/4" PLYWOOD UNDERLAYMENT
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31. AIR HANDLERS FOR NEW CENTRAL AC SYSTEM TO BE LOCATED IN THE ATTIC
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33. NEW ROOFING SHINGLES

CONSTRUCTION PLAN LEGEND

- EXISTING FLOOR STRUCTURE TO REMAIN
- EXISTING WALL TO REMAIN
- 23 — REFERENCE TO KEYNOTES
- PARTITION TYPE
- 100A — NEW FULL HEIGHT PARTITION
- 200-2HR — NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- DOOR NUMBER
- 101 — NEW DOOR
- CP-01 — FLOORING TYPE DESIGNATION - SEE SPECS
- WINDOW NUMBER
- 01 — NEW WINDOW
- DETAIL NUMBER
- 1 A-501 — SHEET NUMBER
- DETAIL REFERENCE BUBBLE
- SECTION NUMBER
- 1 A-300 — SHEET NUMBER — SECTION REFERENCE
- ELEVATION NUMBER
- 1 2 3 4 — A-300 — ELEVATION REFERENCES
- SHEET NUMBER
- ALIGN — ALIGN FINISH FACES
- 1ST FLOOR +0'-0" — FLOOR ELEVATION SYMBOL
- 4" — FLOOR ELEVATION CHANGE
- 15A DUPLEX RECEPTACLE WALL MOUNTED FLUSH VERTICALLY @ 18" AFF U.N.O.
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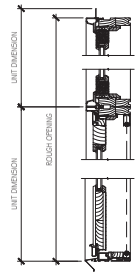
Stamp

Sheet Title

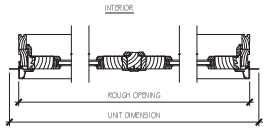
EXTERIOR ELEVATIONS

DATE: 01.18.16
SCALE: 1/4"=1'-0"
PROJ. #1601

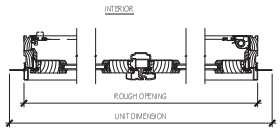
Sheet No.
A-301



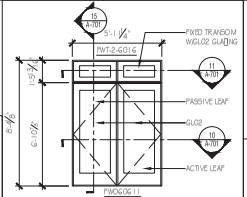
15 DOOR TYPE F & TRANSOM SECTION DETAIL
SCALE: 1 1/2"=1'-0"



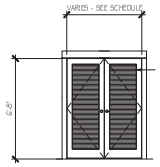
11 DOOR TYPE F TRANSOM PLAN DETAIL
SCALE: 1 1/2"=1'-0"



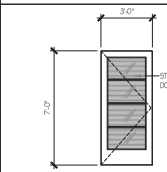
10 DOOR TYPE F PLAN DETAIL
SCALE: 1 1/2"=1'-0"



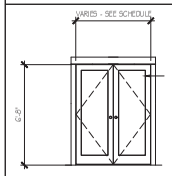
6 DOOR TYPE F ELEVATION
SCALE: 1/4"=1'-0"



5 DOOR TYPE E ELEVATION
SCALE: 1/4"=1'-0"



4 DOOR TYPE D ELEVATION
SCALE: 1/4"=1'-0"



3 DOOR TYPE C ELEVATION
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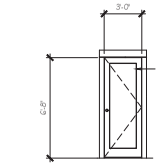
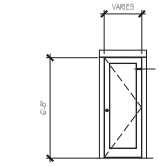


2 DOOR TYPE B ELEVATION
SCALE: 1/4"=1'-0"



1 DOOR TYPE A ELEVATION
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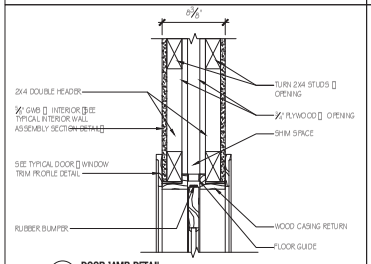
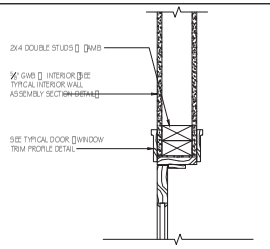
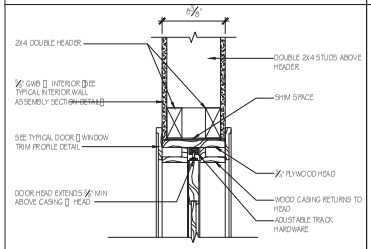


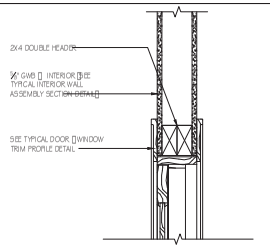
14 DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



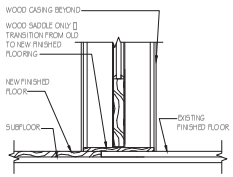
9 DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



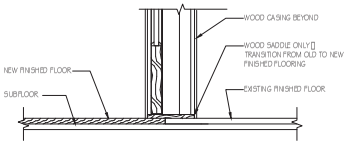
13 DOOR HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



8 DOOR HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



12 DOOR SILL DETAIL
SCALE: 1 1/2" = 1'-0"



7 DOOR SILL DETAIL
SCALE: 1 1/2" = 1'-0"

OAKS-LEAF Residence

30 Floral Drive
Hastings-on-Hudson, NY

ALLIGOOD
157 Rosedale Avenue
Hastings-on-Hudson, NY 10706
(914) 591-2578

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Sheet Title

DOOR SCHEDULE DOOR TYPES & DETAILS

DATE: 02.22.16
SCALE: AS NOTED
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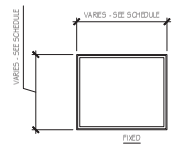
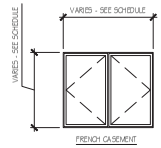
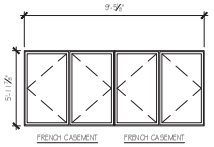


10 WINDOW TYPE F ELEVATION
SCALE: 1/4"=1'-0"



5 WINDOW TYPE C1 ELEVATION
SCALE: 1/4"=1'-0"



5 WINDOW TYPE C5 ELEVATION
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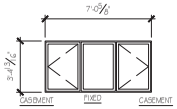
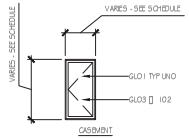
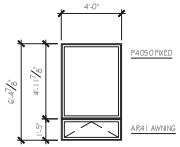


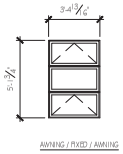
9 WINDOW TYPE E ELEVATION
SCALE: 1/4"=1'-0"



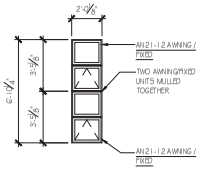
4 WINDOW TYPE C AND C2 ELEVATION
SCALE: 1/4"=1'-0"



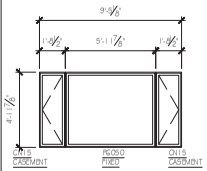
13 WINDOW TYPE L ELEVATION
SCALE: 1/4"=1'-0"



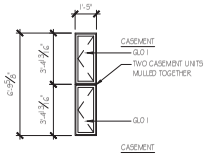
8 WINDOW TYPE D ELEVATION
SCALE: 1/4"=1'-0"



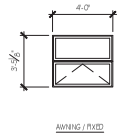
3 WINDOW TYPE B1 ELEVATION
SCALE: 1/4"=1'-0"



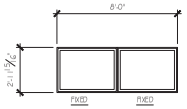
12 WINDOW TYPE G ELEVATION
SCALE: 1/4"=1'-0"



7 WINDOW TYPE C4 ELEVATION
SCALE: 1/4"=1'-0"



2 WINDOW TYPE B ELEVATION
SCALE: 1/4"=1'-0"



11 WINDOW TYPE F1 ELEVATION
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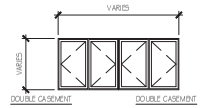

6 WINDOW TYPE C3 ELEVATION
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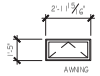

1 WINDOW TYPE A ELEVATION
SCALE: 1/4"=1'-0"

OAKS-LEAF Residence

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Sheet Title

WINDOW SCHEDULE & WINDOW TYPES

DATE: 02.22.16
SCALE: 3"= 1'-0"
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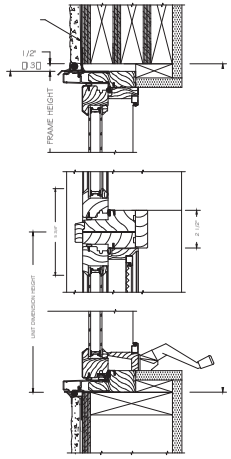
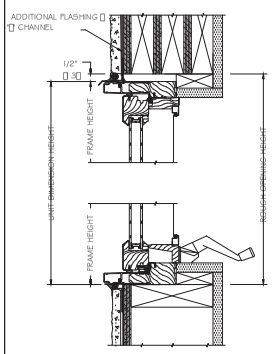
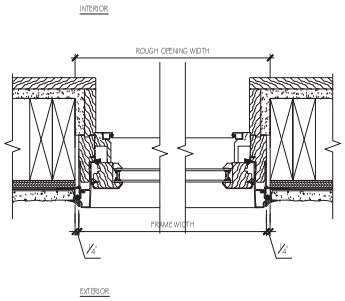


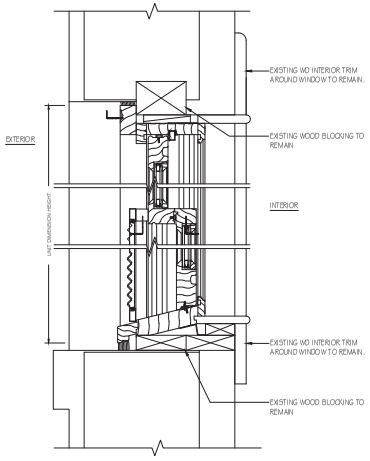
5 STACKED CASEMENT WINDOW TYPIC AL SECTION DETAIL
SCALE: 3"=1'-0"



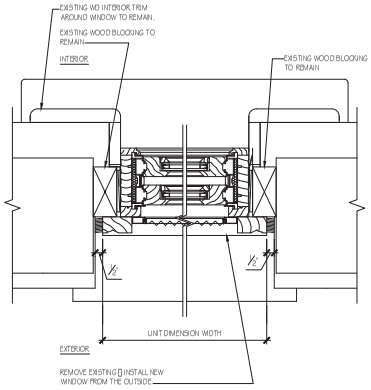
4 CASEMENT WINDOW TYPIC AL SECTION DETAIL
SCALE: 3"=1'-0"



3 CASEMENT WINDOW TYPICAL PLAN DETAIL
SCALE: 3"=1'-0"



2 DOUBLE HUNG WOOD WINDOW SECTION DTL
SCALE: 3"=1'-0"



1 DOUBLE-HUNG WOOD WINDOW PLAN DETAIL
SCALE: 3"=1'-0"

OAKS-LEAF Residence

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WINDOW DETAILS

DATE: 02.22.16
SCALE: 3"= 1'-0"
PROJ. #1601

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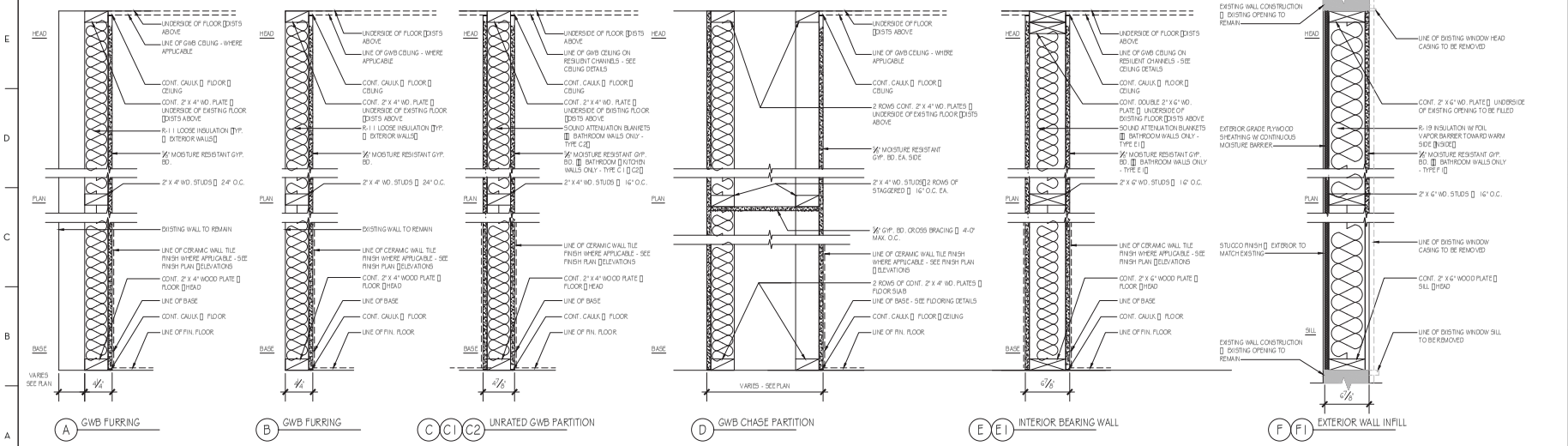
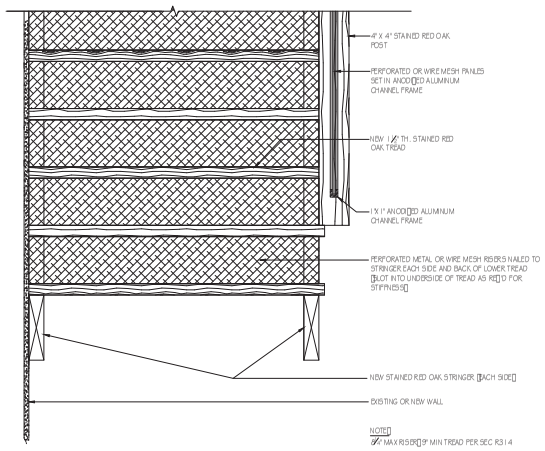
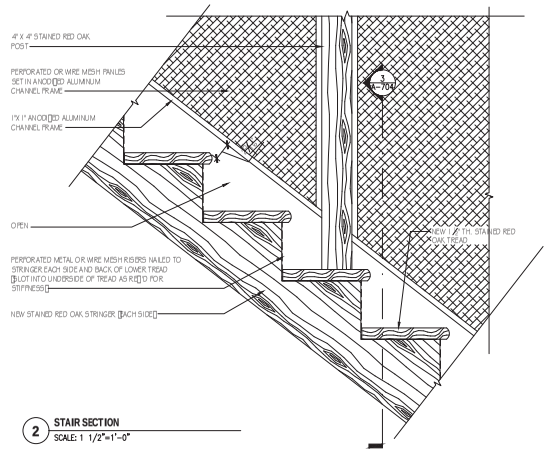


1 PARTITION TYPES
SCALE: 1 1/2"=1'-0"



3 STAIR SECTION
SCALE: 1 1/2"=1'-0"



2 STAIR SECTION
SCALE: 1 1/2"=1'-0"

OAKS-LEAF Residence

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PARTITION TYPES
STAIR DETAILS

DATE: 02.22.16
SCALE: AS NOTED
PROJ. #1601

Sheet No.
A-704

LARRY J. NARDECCHIA JR., P.E.
Consulting Engineer
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Ardsley, New York 10502
(914) 693-1126
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February 22, 2016

Oaks-Leaf Drainage Analysis

30 Floral Dr. Hastings-on-Hudson, N.Y. 10706

Additions to One Family Residence

Criteria :

The criteria for this Analysis shall be "Zero Additional" runoff for a storm event occurring once every 100 years for the total site area. For this project we shall compare the (Pre-existing) runoff conditions with the runoff conditions of the completed proposed (Post-Construction) project. Drywells shall be installed to accommodate all additional runoff produced during a 100 year storm event after the new construction.

The Westchester County Manual for Best Management Practices, shall be used with the Rainfall in inches of a 100 year event of 9.0* inches in a 24 hour period as revised by the State. For Analysis purposes we shall use Table 3-2 for characteristic Cn"s. All impervious areas shall have a Cn number of 98. We shall obtain the runoff of individual co-efficients by interpolation.

*** As Revised**

Runoff Characteristic Cn Values 100 Year Storm ~ 9.0" *

Buildings	Cn 98	=	8.70	For a 100 Year storm event
Walks, walls & Landings	Cn 98	=	8.70	For a 100 Year storm event
Pavers Drive	Cn 90	=	7.53	For a 100 Year storm event
Open Porch	Cn 98	=	8.70	For a 100 Year storm event
Masonry Patio	Cn 98	=	8.70	For a 100 Year storm event
Wood Deck	Cn 85	=	6.81	For a 100 Year storm event
Gravel Areas	Cn 65	=	4.08	For a 100 Year storm event
Exposed Ledge Rock	Cn 98	=	8.70	For a 100 Year storm event
Lawn/plantings Area	Cn 75	=	5.41	For a 100 Year storm event.

*** NYS Revised Storm Runoff Depth Numbers**
100 Year = 9.0 " in a 24 hour period

PRE - DEVELOPMENT RUNOFF ANALYSIS
100 Year Storm

DESCRIPTION Oaks~Leaf Residence 30 Floral Drive Hastings-on-Hudson N.Y. 10706	AREA S.F.	Cn	Runoff In.	Runoff Vol. Cubic Feet
House/Porch	1,578 s.f.	Cn 98	8.70	1,144.1 c.f.
Shed	15 s.f.	Cn 98	8.70	10.9 c.f.
Wood Decks	389 s.f.	Cn 85	6.81	220.8 c.f.
Masonry steps/walks	436 s.f.	Cn 98	8.70	316.1 c.f.
Paver Drive	2,054 s.f.	Cn 90	7.53	1,288.9 c.f.
Ledge	1,210 s.f.	Cn 98	8.70	877.3 c.f.
Impervious Sub Total	5,682 s.f.			
Lawn Shrub Area	12,732 s.f.	Cn 75	5.41	5,740.0 c.f

Total Lot Area ..... 18,414 S.F.

Total Pre-Development Runoff..... 9,598.1 C.F.
100 year storm event

POST - DEVELOPMENT RUNOFF ANALYSIS
100 Year Storm

DESCRIPTION Oaks~Leaf Residence 30 Floral Drive Hastings-on-Hudson N.Y. 10706	AREA S.F.	Cn	Runoff In.	Runoff Vol. Cubic Feet
House/Porch	2,498 s.f.	Cn 98	8.70	1,811.1 c.f.
Shed under deck	0 s.f.	Cn 98	8.70	0.0 c.f.
Wood Decks	182 s.f.	Cn 85	6.81	132.0 c.f.
Masonry steps/walks	336 s.f.	Cn 98	8.70	218.4 c.f.
Paver Drive	2,054 s.f.	Cn 90	7.53	1,288.9 c.f.
Ledge	1,210 s.f.	Cn 98	8.70	877.3 c.f.
Impervious Sub Total	6,280 s.f.			
Lawn Shrub Area	12,134 s.f.	Cn 75	5.41	5,470.4 c.f

Total Lot Area ..... 18,414 S.F.

Total Post-Development Runoff..... 9,798.1 C.F.
100 year storm event

POST DEVELOPMENT - PRE-DEVELOPMENT = ADDITIONAL RUNOFF
RUNOFF RUNOFF

9,798.1 C.F. - 9,598.1 C.F. = 200.0 Cubic Feet

Reqd. Storage Capacity = 200 C.F. = ZERO ADDITIONAL RUNOFF

STORAGE SOLUTION

Retention capacity calculations for each <u>RECHARGER 330</u>
Length 7.5 feet Width 52 inches Height 30.5 inches
Chamber Vol. = 46.5 C.F. (Manufacturer's sheet), Perc Test 12 min/in.

Vol. of 30" high Band : 30" x 24" x 2[7' + 4'] = 110 c.f. of gravel 30" high Voids in Gravel = 40 % Void Capacity = 40% x 110 c.f. <u>Void Vol. = 44.0 c.f.</u>

Percolation Capacity : Test hole dia 8"; drop 3"; Avg. Depth 7.5";
Perc.Test 12.0 min/in actual

Ap = Area of Percolation = Ac [wetted wall] + Ab[bottom]
Ab = n r x r = 3.14 x 4" x 4" = 50.24s.i./144si. = .349 s.f.

Ac = n x D x Hwetted avg = 3.14 x 8" x 7.5"/ 144 s.i. = 1.308 s.f.

Ap = Ac + Ab = .349 s.f. + 1.308 s.f. = <u>1.657 s.f.</u>

Volume of Percolation = Ab x Hd drop = .349 s.f. X 1/12 ft. = .0291 c.f.

Soil Percolation Rate = Sr = .0291 c.f./ 1.657 s.f./ 12 min = <u>.00146 cf/sf/minute</u>

Percolation Capacity in 24 hrs. for "Recharger 330"

Percolation Area (Bottom Only) 7.5' x 4.33' = 32.5 s.f.

<u>PERCOLATION PER 24 HRS.</u>
<u>75% x Perc.Rate x Perc. Area x 24 hr. x 60 min.</u>

75% x .00146 c.f./s.f./min. x 32.5 s.f. x 60 min x 24 hr. = <u>51.2 c.f. perc. per 24 hr.</u>

Total Designed Storage Capacity

Q Design = Recharger 330 Vol + Gravel Void Vol + Percolation Volume

Q Design = 46.5 c.f. (Recharger 180 Vol).+ (Void Vol.)44.0 c.f.+ (Perc. Vol.) 51.2 c.f

Q Design = [46.5 +44.0 + 51.2] c.f. / 24 hrs. = <u>141.7 c.f./24 hr</u>

Design Solution : **How Many ?** **200c.f./141.7 = 1.41 Units** **USE 2 Units**

USE (2) RECHARGER 330 WITH 30", HIGH, 24" WIDE RING OF GRAVEL AROUND OUTSIDE OF THE STRUCTURE .

STORAGE CAPACITY SUPPLIED = (2) 141.7 c.f. = 283.4 C. F.

STORAGE CAPACITY SUPPLIED = 283.4 C. F. / STORAGE REQUIRED 200.0 C.F. 141.7 % % of Required

Submitted By: **Larry J. Nardecchia Jr., P.E.**

Date: **February 22, 2016**

Project No. **2016 - 13**

Larry J. Nardecchia Jr., P.E.
Consulting Engineer
21 McKinley Place
Ardsley, New York 10502
N.Y.S. License 57560

TEST DATE : February 22, 2016

PROJECT NO. 2016-13

File Number 1613

PERCOLATION TESTS DATA SHEET

Owner Oaks-Leaf
Address 30 Floral Drive Hastings-on-Hudson , N.Y. 10706
Location : #1 center rear yard

Section Block Lot

Watershed Hudson River

PERCOLATION DATA SHEET

Hole No.	Run No.	Clock START	Time STOP	Elapsed Time Minutes	Depth To Water From Grade Stake Start Inches	Stop Inches	Drop In Inches	Level Min/In.
Hole # 1		31 " deep no water no ledge no roots						
Test Run	1	9:21 A	9:45 A	24	7.0	10.0	3.0	8.0 min/in
	2	9:45 A	10:15 A	30	10.0	13.0	3.0	10.0 min/in.
	3	10:15 A	10:32 A	17	13.0	14.5	1.5	11.3 min/in

FOR COMPUTATIONS USE 12.0 MIN./IN.

Notes : 1. Tests to be repeated at the same depths until approx. equal soil values are obtained.

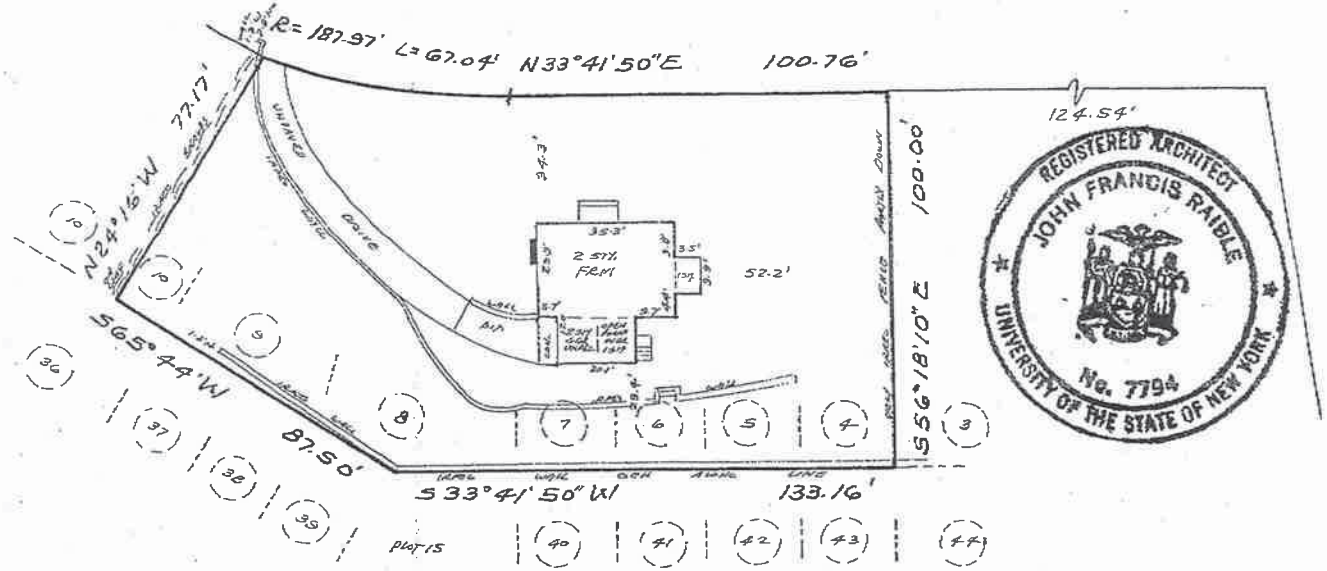
Certified by : Larry J. Nardecchia Jr., P.E.
21 McKinley Place
Ardsley, N.Y. 10502

Date : February 23, 2016

Project Number 2016-13

TITLE No. AA 97-W-6042

FLORAL DRIVEWAY



REGISTERED ARCHITECT
JOHN FRANCIS RAIBLE
No. 7794
UNIVERSITY OF THE STATE OF NEW YORK

MAP OF RIVER VIEW MANOR MAP Nº 3
FILED 12-27-1909 MAP Nº 1886
LOTS 4 TO 9 INCL, P/O LOT 11 BLK. 16

MEASUREMENT IN U.S. STANDARD

KULHANEK & PLAN
LAND SURVEYORS, P.C.

WESTCHESTER OFFICE: POUND RIDGE, NY
LONG ISLAND OFFICE: LONG BEACH, NY
MAILING ADDRESS: P.O. BOX 174, 72 WESTCHESTER AVE., POUND RIDGE, NY 10576
TELEPHONE: 800-541-5124
FAX: 800-242-4955

THE DIMENSIONS SHOWN HEREON, FROM THE STRUCTURES TO THE PROPERTY LINE, ARE FOR A SPECIFIC PURPOSE ONLY. THEY ARE NOT INTENDED TO BE USED FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENT.

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SECTION	BLOCK	DATE
GUARANTEED TO FIDELITY NATIONAL TITLE INS. CO. OF N.Y. ALLIED ABSTRACT LTD. PHH MORTGAGE SERVICES MARTIN S. MIDGLEY MELISSA S. RESNIK-MIDGLEY		4-22-97 HASTINGS-ON-HUDSON WESTCHESTER COUNTY
		JOB NO. 97-48280

looking west 3

North - front

Northwest

Partial south - porch

2nd floor at rear

East - side

looking east 1

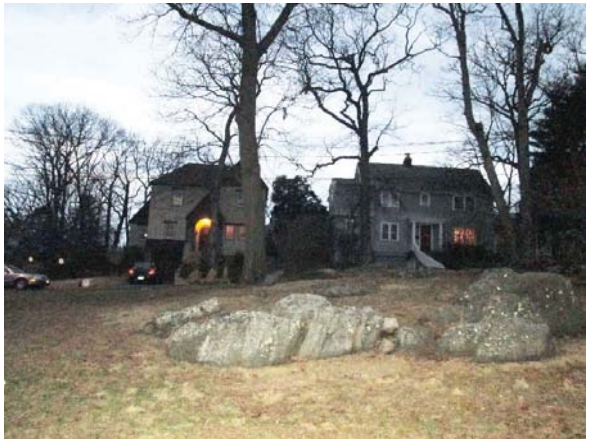
looking east 2

Partial South porch

Partial South

South - rear

Southeast



looking north 1

looking north

looking northwest 1

looking south east 1

looking southwest 2

looking southwest

looking west 1

looking west 2

Southwest

West - side