

ALLIGOOD ARCHITECTURE

March 1, 2016

Planning Board
Village of Hastings-on-Hudson
Hastings-on-Hudson, NY 10706

Re: 30 Floral Drive
Hastings-on-Hudson, NY 10706
Sheet 4.40 Block 34 Lot 4
Steep Slopes Application

Dear Board Members:

With regard to the proposed addition at 30 Floral Drive, the following strategies to mitigate adverse effects of building on a steep slope.

The lot slopes from a high point at Floral Drive at the front of the lot to a low point at the rear of the property. The front half of the property slopes between 0 and 15%. The rear of the lot slopes between 15% and 25%. Approximately half of the existing house, the rear portion, sits on the steep slope of 15% - 25%, including a rear yard deck. The existing deck is to be removed and a family room and enlarged kitchen are proposed in the area of the removed deck. The proposed addition will be slightly larger than the existing deck. A new deck is proposed for the southwest corner of the house, above the existing driveway.


The driveway slopes down from Floral Drive to the garage at the rear of the house. A trench drain that leads to a new recharging drywell is proposed to minimize the runoff from the driveway leaving the property at the rear.

New perforated footing drains and roof leader drains are proposed to capture drainage from both the existing house and the proposed addition and connect to a new recharging drywell at the rear yard.

The recharging drywells will be at least 10'-0" from the property line, existing structures on this property and the proposed addition.

Sincerely,

ALLIGOOD ARCHITECTURE



Douglass Lacy Alligood Jr., AIA



ALLIGOOD ARCHITECTURE

157 Rosedale Avenue • Hastings-on-Hudson, N.Y. 10706 • t: 914.591.2578 • f: 914.591.2578 • e: allibad@optonline.net



VILLAGE OF HASTINGS-ON-HUDSON
Municipal Building
7 Maple Avenue
Hastings-on-Hudson, New York 10706
(914) 478-3400
Fax: (914) 478-4624
hastings@hastingsgov.org <http://hastingsgov.org>

LEGAL NOTICE

THE PLANNING BOARD

Pursuant to the provisions of Section 295-143B of the Village of Hastings-on-Hudson Code, Notice is hereby given that:

A Public Hearing will be held on **Thursday, March 17, 2016 at 8:15 PM**, in the Meeting Room, Municipal Building, 7 Maple Avenue, Hastings-on-Hudson, New York.

The Hearing will be held on the application of Marc Leaf & Debra Oaks for the Steep Slopes approval in accordance with chapter 249 of the Village Code, for the creation of a front, side & rear addition, to their single family dwelling at 30 Floral Drive. Said property is located in the R-10 Zoning District and is known as SBL: 4.40-34-4 on the Village Tax Maps.

The Planning Board will at this time and place hear all persons in support of such matter and any objections thereto.

THE ZONING BOARD OF APPEALS

Pursuant to the provisions of Section 295-143B of the Village of Hastings-on-Hudson Code, Notice is hereby given that:

A Public Hearing will be held by the Zoning Board of Appeals on **Thursday, March 24, 2016 at 8:00 PM** in the Meeting Room, Municipal Building, 7 Maple Avenue, Hastings-on-Hudson, New York.

The Hearing will be held on the application of Mark Leaf & Debra Oaks for relief from the strict application of code sections 295-68.F.(1)(a) and 295-68.F.(1)(b) of the Village Code for the creation of a front, side & rear addition, to their single family dwelling at 30 Floral Drive. Said property is located in the R-10 Zoning District and is known as SBL: 4.40-34-4 on the Village Tax Maps.

Variances are sought for the following:

Front yard setback: Existing – approx. 34.3 ft.; Proposed – approx. 26.8 ft.; Required min. - 30 ft. {295-68.F.(1)(a)}; Seeking 3.2 ft. variance.

Rear yard setback: Existing – approx. 29.4 ft.; Proposed – approx. 29.4 ft.; Required min. - 30 ft. or 30% {295-68.F.(1)(b)}; Seeking .6 ft. variance.

The Zoning Board of Appeals will at this time and place hear all persons in support of such matter and any objections thereto.

Plans will be available for review at the office of the Building Department or on the Village web site Hastingsgov.org

Matthew Collins, Chair, ZBA

Jamie Cameron, Chair, PB

CASE NO.: 05-16
PUBLISH: Rivertowns Enterprise
March 4, 2016

ALLIGOOD ARCHITECTURE

March 1, 2016

Zoning Board
Village of Hastings-on-Hudson
Hastings-on-Hudson, NY 10706

Re: 30 Floral Drive
Hastings-on-Hudson, NY 10706
Sheet 4.40 Block 34 Lot 4
Zoning Variance Application

Dear Board Members:

With regard to the proposed addition at 30 Floral Drive, the following zoning variances are requested:

1. Rear yard. Increasing the degree of non-conformity. The existing house extends 7" into the required 30'-0" rear yard setback, including a stone garage that provides the structural support for the rear of the house. This proposal is for reconstructing the rear wall of the house at the first floor in the existing location to increase the bearing capacity and improve thermal performance. The plan for the second floor is to rebuild the wall in its current location, but also to extend it to the full length of the ground floor wall and increase its height by approximately 3'-3 1/4".
2. Front porch. Encroachment into front yard setback. This proposal requests a variance for the front yard setback for a covered front porch. The encroachment will be 3'-2 1/2" into the setback requirement, reducing the front yard to 26'-9 1/2" instead of 30'-0". This encroachment is perhaps mitigated to a certain extent by the additional 15'-1" of existing yard and greenspace that lies between the front property line and Floral Drive (see drawing number Z-104). The proposed front porch will extend 48'-7 3/4" across the full frontage of the house and will provide a useable and gracious porch.

Sincerely,

ALLIGOOD ARCHITECTURE

Douglass Lacy Alligood Jr., AIA



ALLIGOOD ARCHITECTURE

157 Rosedale Avenue • Hastings-on-Hudson, N.Y. 10706 • t: 914.591.2578 • f: 914.591.2578 • e: allibad@optonline.net

VILLAGE OF HASTINGS-ON-HUDSON
 Zoning Board of Appeals
 Application and Procedure for Application for
 Variance/Interpretation/View Preservation



Case number: Date of application:

Property owner: MARC LEAF & DEBRA OAKS
 Property address: 30 FLORAL DRIVE, HASTINGS-ON-HUDSON, NY 10706
 Name all streets on which the property is located: FLORAL DRIVE
 Sheet: 4.40 Block: 34 Lot/Parcel: 4 Zoning District: R-10

Applicant: DOUGLASS ALLIGOOD
 Standing of applicant if not owner: ARCHITECT
 Address: 157 ROSEDALE AVENUE, HASTINGS-ON-HUDSON, NY 10706
 Daytime phone number: 646.344.2490 Fax number: 914.591.2578
 E-mail address: ALLIBADE.OPTONLINE.NET

ZBA action requested for (See §295-146B & C : Use Variance/s; Area Variance/s;
 Interpretation; View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
<u>295-68.F</u>	<u>30' FRONT YARD</u>	<u>34.3'</u>	<u>26'-9 1/2"</u>
<u>295-68.F</u>	<u>30' REAR YARD</u>	<u>29.4'</u>	<u>29.4'</u>
.....
.....

*See example below:

...295-68F.1a...Front Yard Min. 30 ft. deep.....26.5 ft.....19.5 ft.....
...295-68A.....Permitted Principal Use.....Single Family Home.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON
 Zoning Board of Appeals
 Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS
 (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30'-0"	34.3'	26'-9 1/2" 29.4'
REAR	30'-0"	29.4'	29.4'
SIDE ONE	12'-0"	83.5' 83.5'	83.5' 83.5'
SIDE TWO		53'-6" 53'-6"	42'-6" 42'-6"
TOTAL OF TWO SIDES		137'-0"	126'-0"

YARD SETBACKS
 (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.	-	-	-
REAR	-	-	-
SIDE	-	-	-

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	2 1/2	2 1/2
FEET	35'	33'-6" e sw	33'-8" e sw

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 sq	18,414 sq	18,414 sq
BLDG. COVERAGE / % OF LOT AREA	25%	92 BLDG	14%
DEVELOPMENT COVERAGE / % OF LOT AREA	35%	22%	27%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	SINGLE FAMILY	SINGLE FAMILY	SINGLE FAMILY

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON
 Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....
.....

- List pending violations on this property if any:

.....

- Is there an approved site plan for this property?: (Yes) (No)
- Is there an Accessory Apartment at this property?: (Yes) (No)
- Does this property have Boarder's Permit?: (Yes) (No)

- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit nine (9) copies of the application along with the required fee, 8 copies of property survey showing the existing and proposed construction and 8 copies of all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) to the Office of the Building Inspector, no less than six (6) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
 COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Sworn to before me this 24th day
 of Feb., 20016



[Signature]
 Applicant

Mary Ellen Ballantine
 Notary Public

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON

Name : DEBRA D. DAKS, being duly sworn, deposes and says that he/she resides at 31 FLORAL DR in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.40 Block 34 and Lot 4 of the tax map, and that he/she hereby authorized Douglas Alligood to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

Debra Daks
Owner

SWORN TO BEFORE ME THIS 24th DAY
OF Feb. 2016



Mary Ellen Ballantine
Notary Public

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

OAKS-LEAF Residence

30 Floral Drive Hastings-on-Hudson, NY

ALLIGOOD 157 Rosedale Avenue Hastings-on-Hudson, NY 10706 (914) 991-2278

COVER SHEET & GENERAL NOTES

- N-100 COVER SHEET & GENERAL NOTES
Z-100 EXISTING ZONING PERSPECTIVES
Z-200 EXISTING ZONING PERSPECTIVES
Z-300 EXISTING ZONING PERSPECTIVES
Z-400 EXISTING ZONING PERSPECTIVES
Z-500 EXISTING ZONING PERSPECTIVES
Z-600 EXISTING ZONING PERSPECTIVES
Z-700 EXISTING ZONING PERSPECTIVES
Z-800 EXISTING ZONING PERSPECTIVES
Z-900 EXISTING ZONING PERSPECTIVES
Z-1000 EXISTING ZONING PERSPECTIVES

DRAWING LIST

- N-100 COVER SHEET & GENERAL NOTES
Z-100 EXISTING ZONING PERSPECTIVES
Z-200 EXISTING ZONING PERSPECTIVES
Z-300 EXISTING ZONING PERSPECTIVES
Z-400 EXISTING ZONING PERSPECTIVES
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A-300 EXISTING ZONING PERSPECTIVES
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A-1000 EXISTING ZONING PERSPECTIVES

- A-1100 EXISTING ZONING PERSPECTIVES
A-1200 EXISTING ZONING PERSPECTIVES
A-1300 EXISTING ZONING PERSPECTIVES
A-1400 EXISTING ZONING PERSPECTIVES
A-1500 EXISTING ZONING PERSPECTIVES
A-1600 EXISTING ZONING PERSPECTIVES
A-1700 EXISTING ZONING PERSPECTIVES
A-1800 EXISTING ZONING PERSPECTIVES
A-1900 EXISTING ZONING PERSPECTIVES
A-2000 EXISTING ZONING PERSPECTIVES

Table with columns: DATE, SCALE, PROJ #, DRAWING NO., SHEET NO., TOTAL SHEETS

COVER SHEET & GENERAL NOTES

Sheet No. 01 of 16 PROJ # 1103 N-100

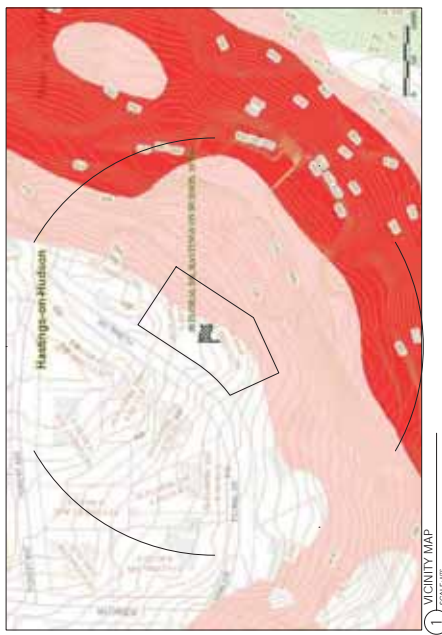
Table with columns: PARTITION NOTES (CONT'D), GENERAL NOTES (CONT'D), BALDING DEPARTMENT NOTES, NEW YORK STATE ENERGY CODE NOTES

Table with columns: PARTITION NOTES (CONT'D), GENERAL NOTES (CONT'D), BALDING DEPARTMENT NOTES, NEW YORK STATE ENERGY CODE NOTES

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Table with columns: PARTITION NOTES (CONT'D), GENERAL NOTES (CONT'D), BALDING DEPARTMENT NOTES, NEW YORK STATE ENERGY CODE NOTES



1 VICINITY MAP SCALE: 1/8" = 1'-0"

OAKS-LEAF
Residence
30 Floral Drive
Hastings-on-Hudson, NY

ALLIGOOD
157 Rosedale Avenue
Hastings-on-Hudson, NY 10706
(914) 391-2278

DATE: 01.16.12
SCALE: 1" = 10'-0"
PROJECT: Z-102

EXISTING STEEP SLOPES
SITE PLAN

Sheet Title	
DATE	02.22.12
SCALE	AS SHOWN FOR CONSTRUCTION
PROJECT	EXISTING STEEP SLOPES
DESIGNER	
CHECKER	
APPROVER	
STAMP	

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15



1 EXISTING STEEP SLOPES SITE PLAN
SCALE: 1" = 10'-0"

**OAKS-LEAF
Residence**
30 Floral Drive
Hastings-on-Hudson, NY

ALLIGOOD
157 Rosedale Avenue
Hastings-on-Hudson, NY 10706
(914) 391-2278

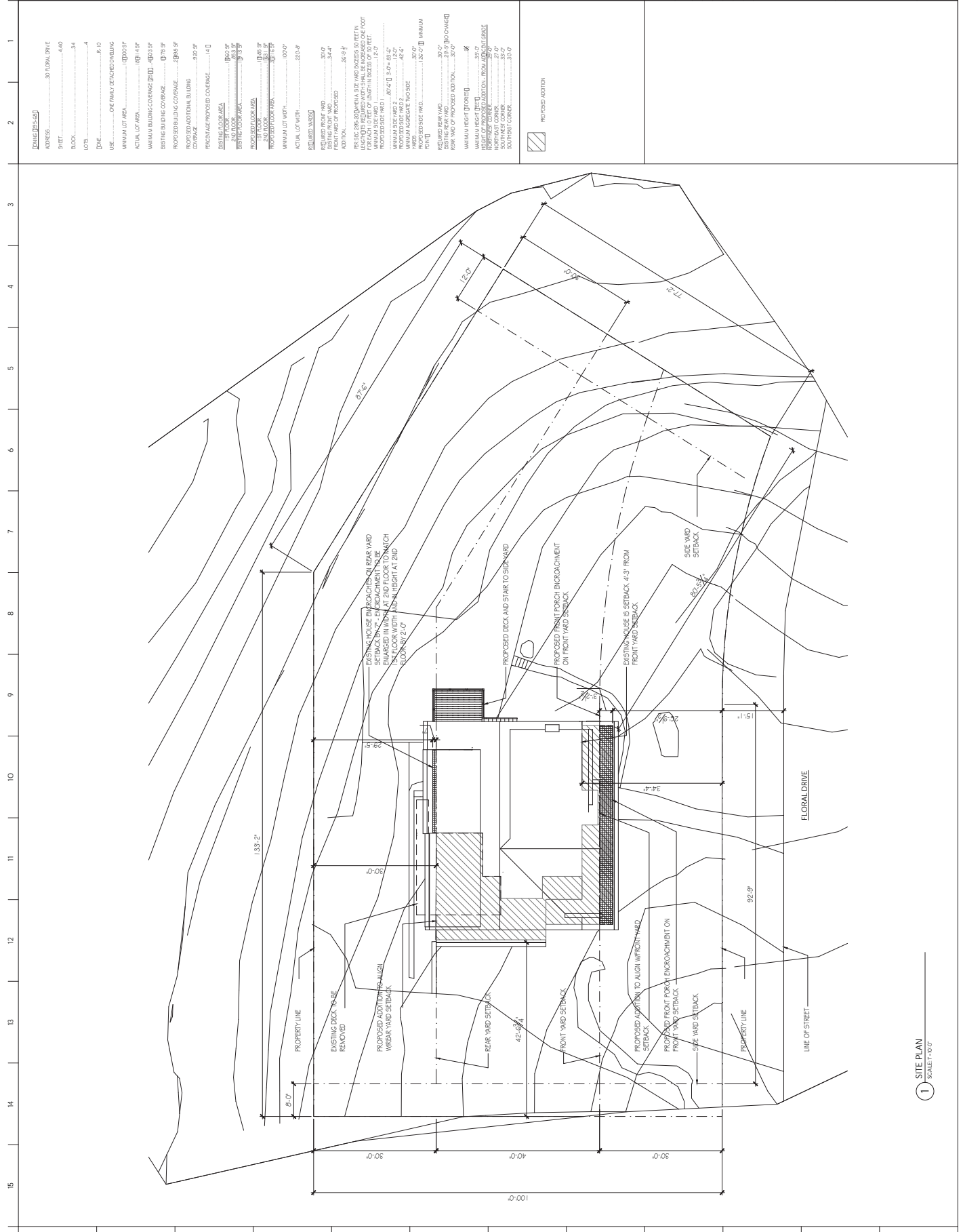
**PROPOSED
SITE PLAN**

Sheet No. **Z-104**
DATE: 01.16.12
SCALE: 1" = 10'-0"
PROJ. #100

DETAILED LEGEND

ADDRESS: 30 FLORAL DRIVE
SHEET: 4/0
BLOCK: 34
LOTS: 4
DIME: R-10
USE: ONE FAMILY DETACHED DWELLING
MINIMUM LOT AREA: 10,000 SF
ACTUAL LOT AREA: 10,141 SF
MAXIMUM BUILDING COVERAGE (B-10): 40.0% SF
EXISTING BUILDING COVERAGE: 0.0% SF
PROPOSED BUILDING COVERAGE: 21.84% SF
PROPOSED ADDITIONAL BUILDING COVERAGE: 33.0% SF
REAR YARD SETBACK PROPOSED COVERAGE: 4.0
EXISTING FLOOR AREA: 1,000 SF
EXISTING FLOOR AREA: 1,000 SF
PROPOSED FLOOR AREA: 1,000 SF
PROPOSED FLOOR AREA: 1,000 SF
MINIMUM LOT WIDTH: 100.0 FT
ACTUAL LOT WIDTH: 100.0 FT
(LIMITED ACCESS)
REQUIRED FRONT YARD: 30'-0"
FRONT YARD OF PROPOSED: 34'-4"
ADDITION: 4'-4"
REAR YARD: 25'-0" WITH A SIDE YARD DIMENSION 30 FEET IN EACH DIRECTION OF WHICH IN DIMENSIONS OF 30 FEET.
PROPOSED SIDE YARD: 12'-0"
MINIMUM FRONT YARD: 40'-0" [30'-0"] 30'-0" 30'-0"
PROPOSED SIDE YARD 2: 42'-0"
MINIMUM AGGREGATE TWO SIDE YARD: 130'-0" [MINIMUM]
PROPOSED SIDE YARD: 30'-0"
MINIMUM REAR YARD: 30'-0"
EXISTING REAR YARD: 23'-0" (NO CHANGE)
REAR YARD OF PROPOSED ADDITION: 30'-0"
MINIMUM HEIGHT (FOOTED): 4'
MAXIMUM HEIGHT (B-10): 35'-0"
MINIMUM HEIGHT (B-10): 27'-0"
MINIMUM HEIGHT (B-10): 27'-0"
MINIMUM HEIGHT (B-10): 27'-0"
MINIMUM HEIGHT (B-10): 30'-0"

PROPOSED ADDITION



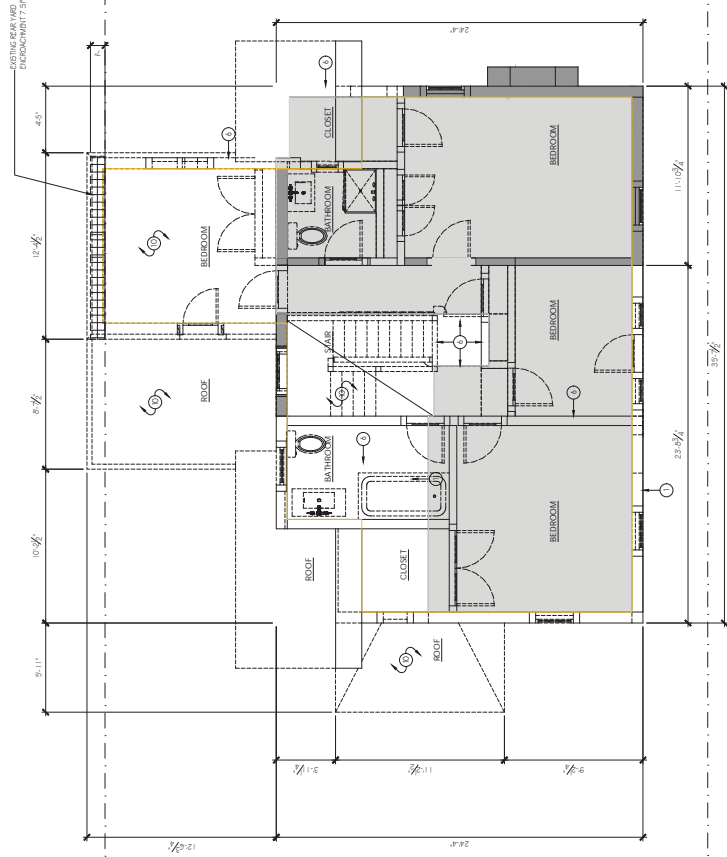
1 SITE PLAN
SCALE: 1" = 10'-0"

DEMOLITION PLAN LEGEND

- EXISTING OBSTRUCTIVE FORMAN
REMAIN
- EXISTING WALL TO REMAIN
- REFERENCE TO KE NOTES
- PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW INTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- EXISTING WOOD DECKING/RAILINGS/STAIRS/DECKING/STRUCTURE TO BE REMOVED
- EXISTING INTERIOR COLUMNS AND CORES TO BE REMOVED
- EXISTING INTERIOR PARTITIONS AND ALL ASSOCIATED FINISHES TO BE REMOVED
- EXISTING CEMENT SINK AND ALL ASSOCIATED FINISHES TO BE REMOVED
- EXISTING CEMENT SINK AND ALL ASSOCIATED FINISHES TO BE REMOVED
- EXISTING DISHWASHER AND ALL ASSOCIATED FINISHES TO BE REMOVED
- EXISTING REFRIGERATOR AND ALL ASSOCIATED FINISHES TO BE REMOVED
- EXISTING CUPBOARDING AND ALL ASSOCIATED FINISHES TO BE REMOVED
- EXISTING FLOOR STRUCTURE TO REMAIN; WOOD STRIP/FINISH TO BE REMOVED AND REFINISHED WITH NEW
- EXISTING SLIDING DOOR TO BE REMOVED

DEMOLITION KEYED NOTES

- EXISTING COLUMN TO REMAIN
- REMOVING DECKING AT EXISTING WOOD STRUCTURE ABOVE
- EXISTING COLUMN
- EXISTING BACKSPLASH STAIN TO REMAIN
- EXISTING PORTHOLE TO BE REMOVED
- EXISTING INTERIOR BEARING WALL TO BE REMOVED
- EXISTING INTERIOR NON-BEARING WALL TO BE REMOVED
- EXISTING STAIRS TO BE REMOVED
- EXISTING INTERIOR BEARING WALL TO BE REMOVED
- EXISTING STRUCTURAL BEAM TO REMAIN
- EXISTING STRUCTURAL COLUMN TO REMAIN
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- EXISTING INTERFACE AND DIRECT TO REMAIN; REMOVE AND REFINISH WITH NEW
- EXISTING WOOD DECKING/RAILINGS/STAIRS/DECKING/STRUCTURE TO BE REMOVED
- EXISTING INTERIOR COLUMNS AND CORES TO BE REMOVED
- EXISTING INTERIOR PARTITIONS AND ALL ASSOCIATED FINISHES TO BE REMOVED
- EXISTING CEMENT SINK AND ALL ASSOCIATED FINISHES TO BE REMOVED
- EXISTING CEMENT SINK AND ALL ASSOCIATED FINISHES TO BE REMOVED
- EXISTING DISHWASHER AND ALL ASSOCIATED FINISHES TO BE REMOVED
- EXISTING REFRIGERATOR AND ALL ASSOCIATED FINISHES TO BE REMOVED
- EXISTING CUPBOARDING AND ALL ASSOCIATED FINISHES TO BE REMOVED
- EXISTING FLOOR STRUCTURE TO REMAIN; WOOD STRIP/FINISH TO BE REMOVED AND REFINISHED WITH NEW
- EXISTING SLIDING DOOR TO BE REMOVED



1 2ND FLOOR DEMOLITION PLAN
SCALE 1/4" = 1'-0"

Sheet Title

02.22.15
Barr
Stamp

**OAKS-LEAF
Residence**
30 Floral Drive
Hastings-on-Hudson, NY

ALLIGOOD
157 Rosedale Avenue
Hastings-on-Hudson, NY 10804
(914) 391-2278

**EXISTING
EXTERIOR ELEVATIONS**

DATE: 01.16.15
SCALE: 1/4" = 1'-0"
PROJECT: #100

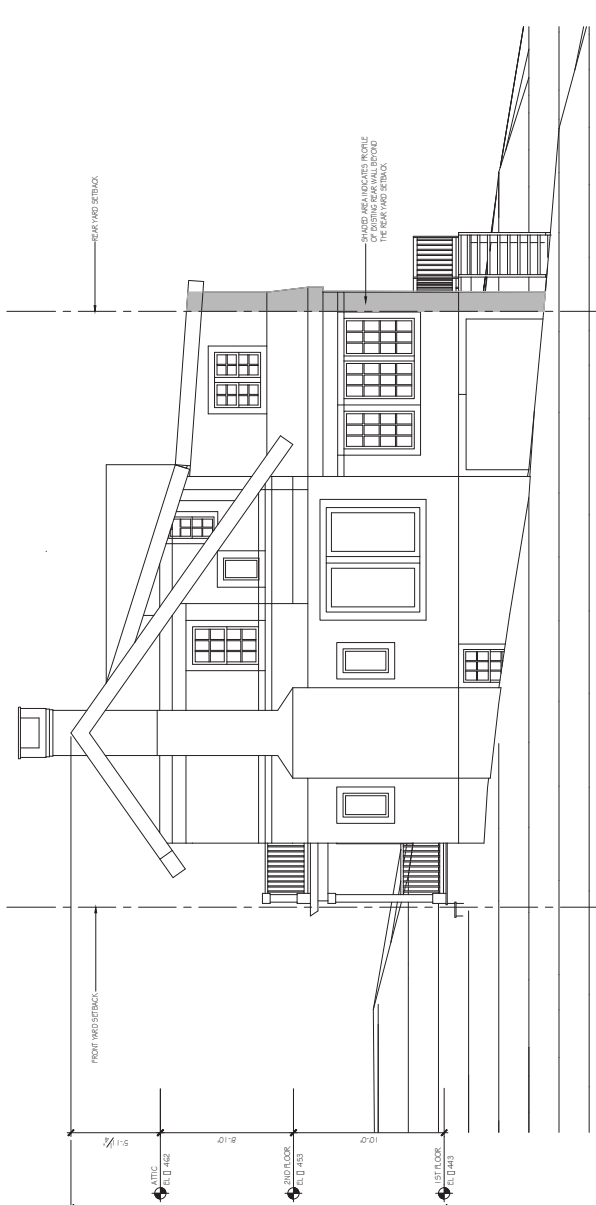
Sheet No:
D-301

DEMOLITION PLAN LEGEND

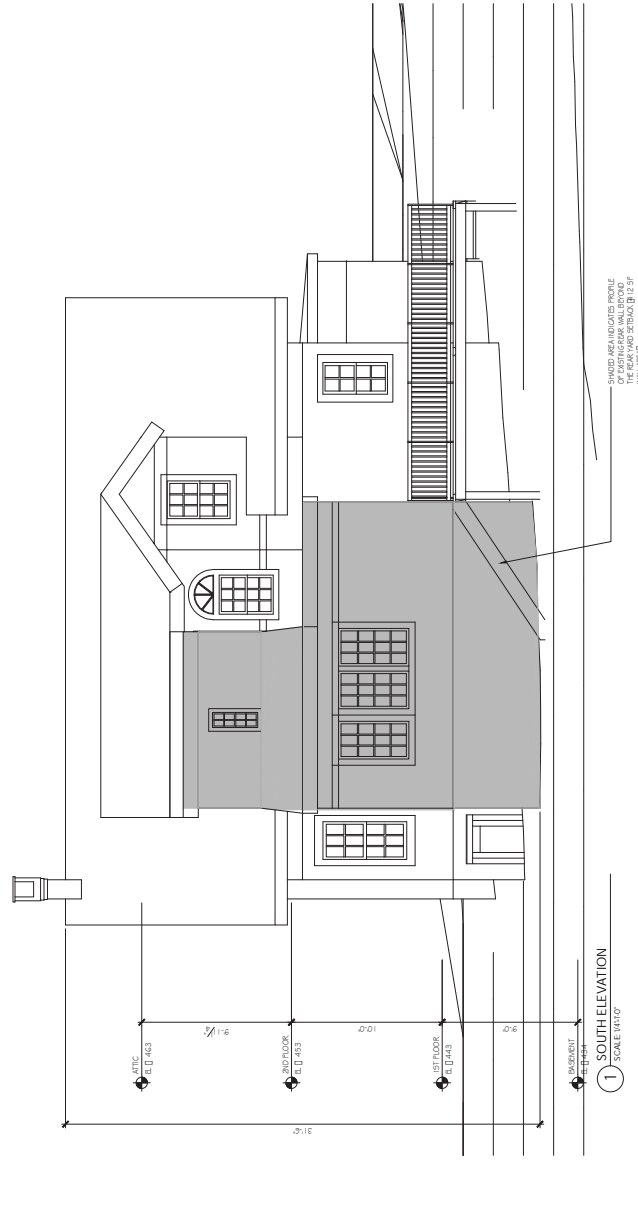
- EXISTING OR STRUCTURE TO REMAIN
- EXISTING WALL TO REMAIN
- REFERENCE TO NOTES
- PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW GIBBER WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING TELEPHONE JACK TO BE REMOVED
- EXISTING TELEPHONE JACK TO REMAIN
- EXISTING SWITCH TO BE REMOVED
- EXISTING SWITCH TO REMAIN
- EXISTING CABLE AND/OR ASSOCIATED WIRING TO BE REMOVED
- EXISTING CABLE AND/OR ASSOCIATED WIRING TO REMAIN

DEMOLITION KEYED NOTES

- EXISTING COLUMN TO REMAIN
- REWORKING JOISTS AT EXISTING WOOD STRUCTURE ABOVE
- EXISTING COLUMN
- EXISTING BACKSPLASH STAIN TO REMAIN
- EXISTING PORTAL TO BE REMOVED
- EXISTING EXTERIOR BEARING WALL TO BE REMOVED
- EXISTING EXTERIOR NON-BEARING WALL TO BE REMOVED
- EXISTING STAIN TO BE REMOVED
- EXISTING EXTERIOR BEARING WALL TO REMAIN
- EXISTING STRUCTURAL BEAM TO REMAIN
- EXISTING STRUCTURAL COLUMN TO REMAIN
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- EXISTING INTERFACE AND CHIMNEY TO REMAIN, REMOVE AND REPAIR BRICKWORK WITH NEW
- EXISTING DOOR FRAME TO BE REMOVED
- EXISTING WOOD DECKING/STEPS/DECKWORK STRUCTURE TO BE REMOVED
- EXISTING UTILITY CABINETS AND COUNTERS TO BE REMOVED
- EXISTING UTILITY SINK AND ALL ASSOCIATED PIPING TO BE REMOVED
- EXISTING GAS RANGE AND ALL ASSOCIATED PIPING TO BE REMOVED
- EXISTING DISHWASHER AND ALL ASSOCIATED PIPING TO BE REMOVED
- EXISTING REFRIGERATOR AND ALL ASSOCIATED PIPING TO BE REMOVED
- EXISTING CLAMBER INURE AND ALL ASSOCIATED PIPING TO BE REMOVED
- EXISTING FLOOR STRUCTURE TO REMAIN, WOOD STRIP/FINISH TO BE REMOVED AND REFINISHED WITH NEW
- EXISTING SLIDING DOOR TO BE REMOVED



2 WEST ELEVATION
SCALE 1/8" = 1'-0"



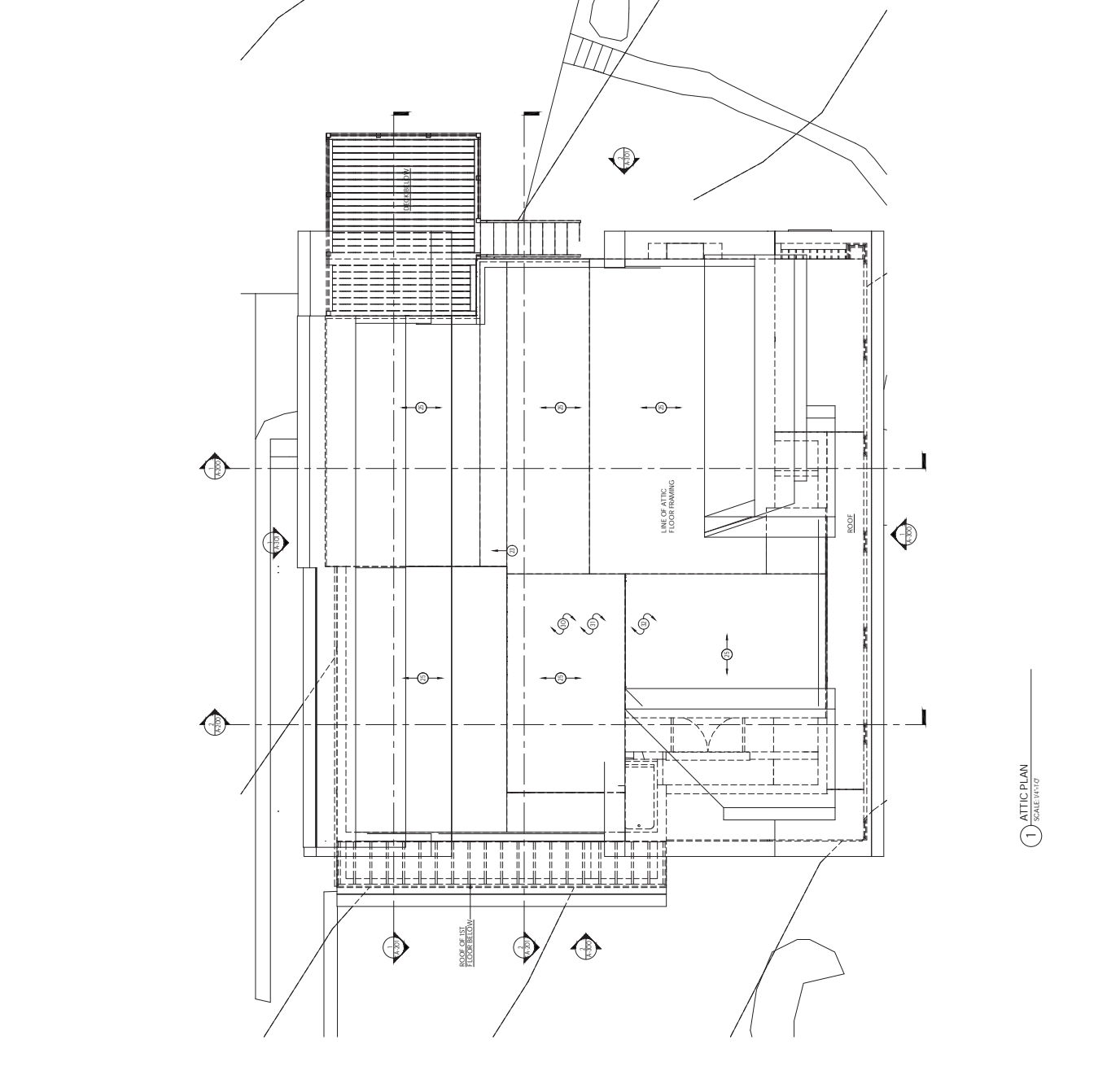
1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

CONSTRUCTION PLAN LEGEND

EXISTING/TO REMAIN
EXISTING WALL TO REMAIN
REFERENCE TO KE NOTES
PARTITION TYPE
NEW FULL HEIGHT PARTITION
NEW 1/2" Gypsum Wall
NEW CONCRETE BLOCK WALL
EXISTING DOOR TO REMAIN
LOCK NUMBER
NEW DOOR
FLOORING TYPE/DESCRIPTION - SEE SPECS
WINDOW NUMBER
NEW WINDOW
DETAIL NUMBER
SHEET NUMBER
DETAIL REFERENCE SYMBOL
SECTION NUMBER
SECTION REFERENCE
ELEVATION NUMBER
ELEVATION REFERENCES
SHEET NUMBER
ALIGN
ALIGNED FISH FACES
SET FLOOR - FLOOR ELEVATION SYMBOL
FLOOR ELEVATION CHANGE
BANKED RECEPTACLE - WALL MOUNTED FLUSH
VERTICAL (V) 1" x 1" U.O.
DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE
DEDICATED DUPLEX RECEPTACLE
WATERPROOF DUPLEX RECEPTACLE
DUPLEX RECEPTACLE - WALL MOUNTED FLUSH
PHONE JACK - WALL MOUNTED FLUSH 8" x 4" U.O.
DOOR BELLMOUNTED 8" x 4" AFF CONTACT RELAY UNIT
BELL TO EXISTING CHIME
FUSH FLOOR OUTLET
CEILING MOUNTED OUTLET
WALL MOUNTED SINGLE POLE SWITCH
WALL MOUNTED DIMMER SWITCH
WALL MOUNTED 3-WAY SWITCH
WALL MOUNTED EXHAUST FAN SWITCH
WALL MOUNTED THERMOSTAT
ELECTRIC POWERED SMOKE DETECTOR
EXISTING LIGHT FIXTURE TO BE REMOVED - REMOVE ASSOCIATED WIRING/CONDUIT/BACK TO SOURCE
CEILING MOUNTED SPEAKER - WIRE TO CENTRAL SYSTEM
REPAIR/REPLACE - SEE KE NOTES FOR DETAILS

CONSTRUCTION KEYED NOTES

- 1) NEW GARAGE DOOR
- 2) NEW WOOD STEPS TO NEW DECK
- 3) NEW WOOD STAIR TO 1ST FLOOR
- 4) REMOVE EXISTING SILLING ON CHIMNEY, REPLACE WITH NEW STONE. VERIFY TO MATCH EXISTING FOUNDATION
- 5) FRESH AIR INLET FROM FRONT PORCH
- 6) 1" x 1" x 1" GYPSUM WALL WITH 1/2" x 2" x 2" W/CONTINUOUS CORNER REINFORCEMENT
- 7) AREA MARK REMOVE FRESH AIR EXCHANGE DUCT TO GARAGE ROOF. CUT EXISTING
- 8) EXISTING STRUCTURAL FRAMING IN THIS AREA TO BE REPIRED
- 9) NEW 1/2" GYPSUM SINK
- 10) NEW 1/2" WASHER
- 11) NEW GAS COOKTOP
- 12) NEW WALL OVERSILL BUILT IN UNDERWAY
- 13) NEW REFRIGERATOR WITH COOL WARE SUPPLY
- 14) NEW WETTED COUNTERTOP, CABINETS AND OVERSINK
- 15) NEW 1/2" GYPSUM COUNTER AND WALK CABINETS
- 16) NEW WOOD STAIR BETWEEN 1ST & 2ND FLOOR
- 17) NEW STONE FRESH AIR
- 18) NEW STONE APPROACH
- 19) NEW WOOD PAINTING AT SINK OPENING
- 20) NEW WOOD (PINE) SINK RECESSED HANGING DOOR OPENING
- 21) BUILT IN PAINTED WOOD SHALVE IN UNDER CLOSET
- 22) NEW ATTIC W/CH
- 23) NEW WOOD (PINE) SINK RECESSED HANGING DOOR OPENING
- 24) NEW WOOD PAINTING - 2X6 W/DP550 1/2" OC
- 25) NEW FLOOR FINISHING - 2X12 W/DP550 1/2" OC
- 26) NEW WOOD FINISHING - 2X12 W/DP550 1/2" OC
- 27) NEW WOOD STRIP FINISHED FLOORING ON 1/2" FINISHED UNDERLAMENT
- 28) NEW STONE TILE FINISHED FLOORING ONE 1/2" FINISHED UNDERLAMENT
- 29) NEW WOOD (PINE) FINISHED FLOORING ON 1/2" FINISHED UNDERLAMENT
- 30) NEW 1/2" FINISHED FLOORING
- 31) AIR HANDLERS FOR KEY GENERAL AC SYSTEM TO BE LOCATED IN THIS AREA. AIR INTAKE/EXHAUST WATER HEATER TO BE LOCATED IN THE ATTIC TO PROTECT IMPROVED WATER PRESSURE TO THE 2ND FLOOR
- 32) NEW WOODING SHIELDS



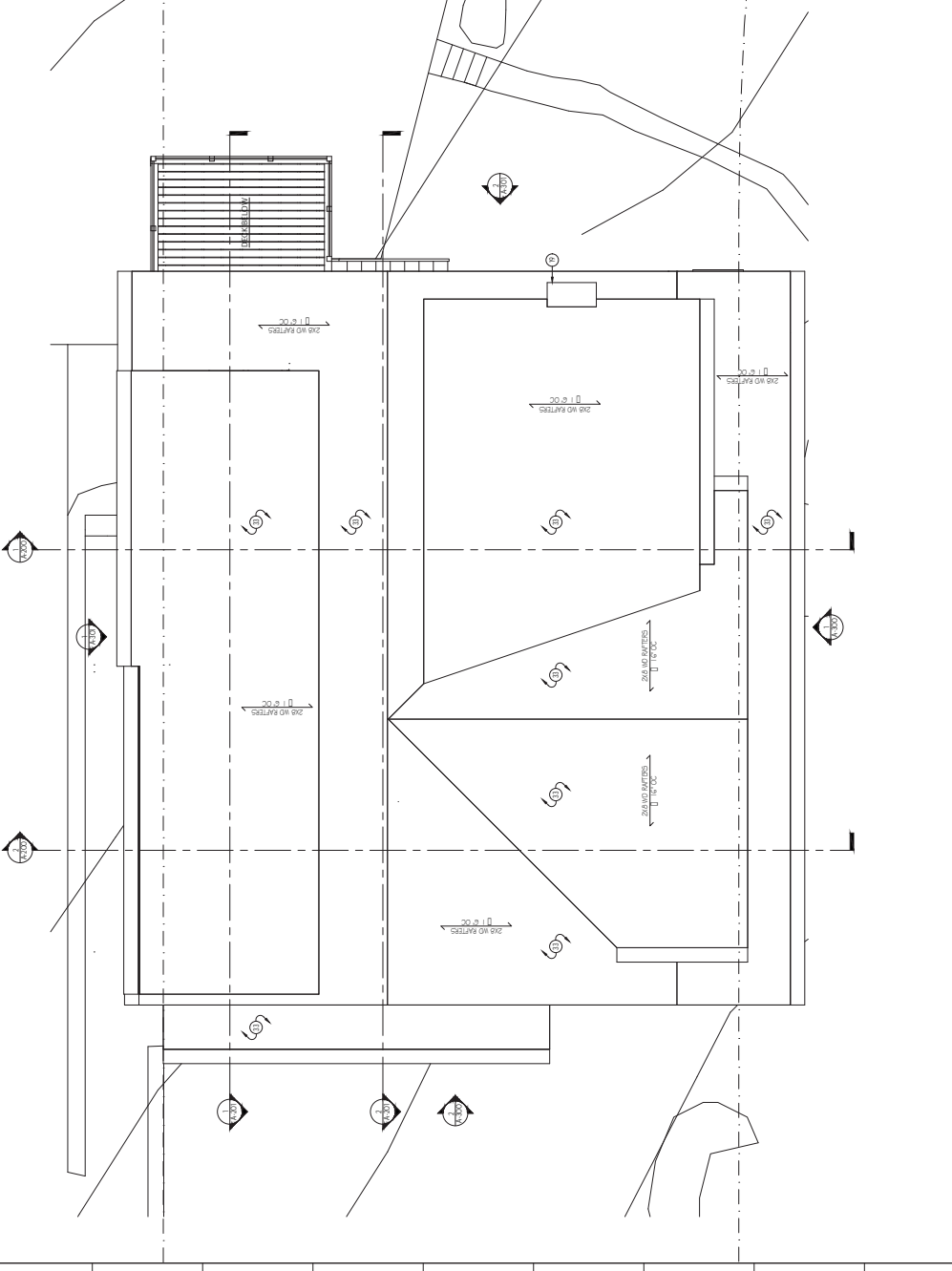
1 ATTIC PLAN
SCALE 1/4" = 1'-0"

CONSTRUCTION PLAN LEGEND

- EXISTING STRUCTURE TO REMAIN
- EXISTING WALL TO REMAIN
- REFERENCE TO KEY NOTES
- PARTITION TYPE
- NEW FULL HEIGHT PARTITION
- NEW EXTERIOR WALL
- NEW CONCRETE BLOCK WALL
- EXISTING DOOR TO REMAIN
- DOOR NUMBER
- NEW DOOR
- FLOORING TYPE/FINISH/TRIM - SEE SPECS
- WINDOW NUMBER
- NEW WINDOW
- DETAIL NUMBER
- SHEET NUMBER
- DETAIL REFERENCE SYMBOL
- SECTION NUMBER
- SHEET REFERENCE
- ELEVATION NUMBER
- ELEVATION REFERENCE
- SHEET NUMBER
- ALIGN FINISH FACES
- SET FLOOR - FLOOR ELEVATION SYMBOL
- FLOOR ELEVATION CHANGE
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CONSTRUCTION KEY NOTES

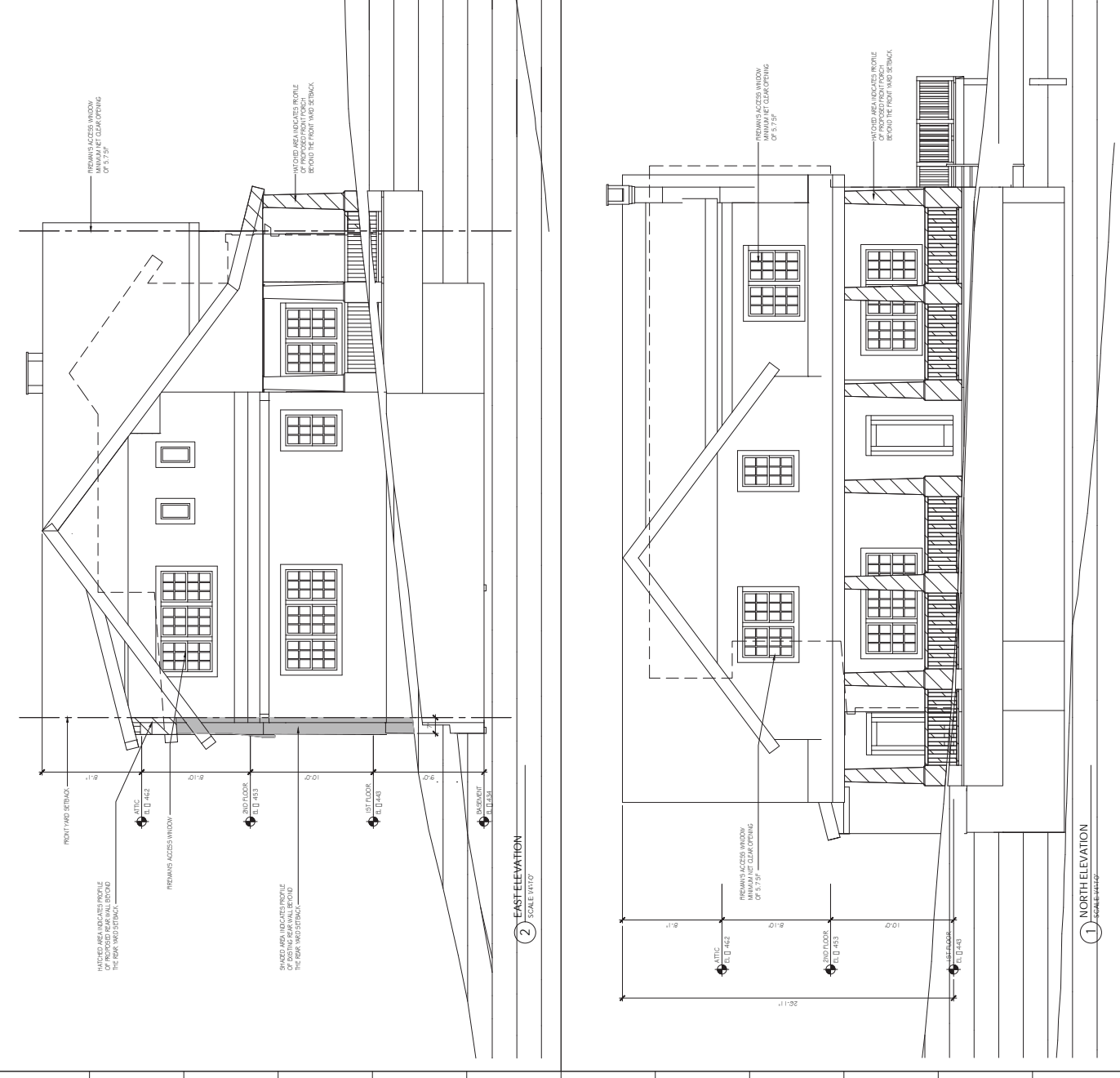
- 1) NEW GARAGE DOOR.
- 2) NEW WOOD STAIRS TO NEW DECK.
- 3) NEW WOOD STAIR TO 1ST FLOOR.
- 4) REPLACE EXISTING STUCCO ON CHIMNEY. REPLACE WITH NEW STUCCO. VERIFY TO MATCH EXISTING FOUNDATION.
- 5) FRESH AIR EXHAUST FAN ON ROOF.
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1 ROOF PLAN
SCALE 1/4" = 1'-0"

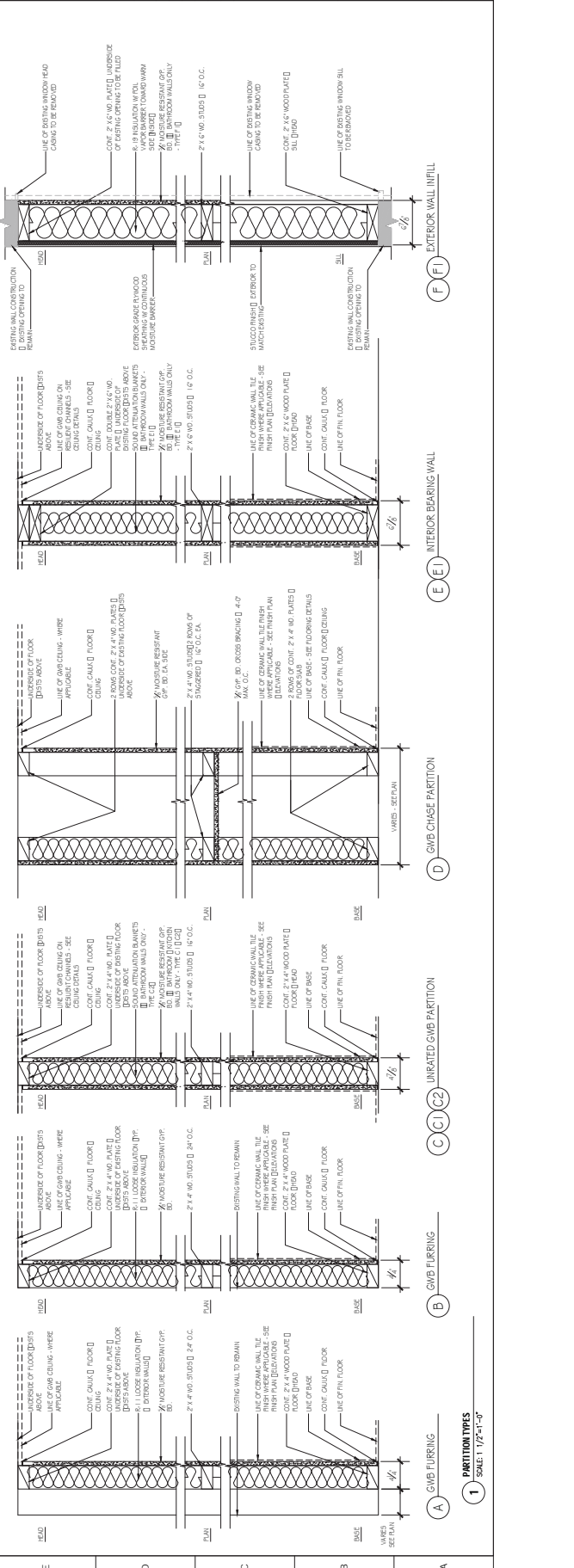
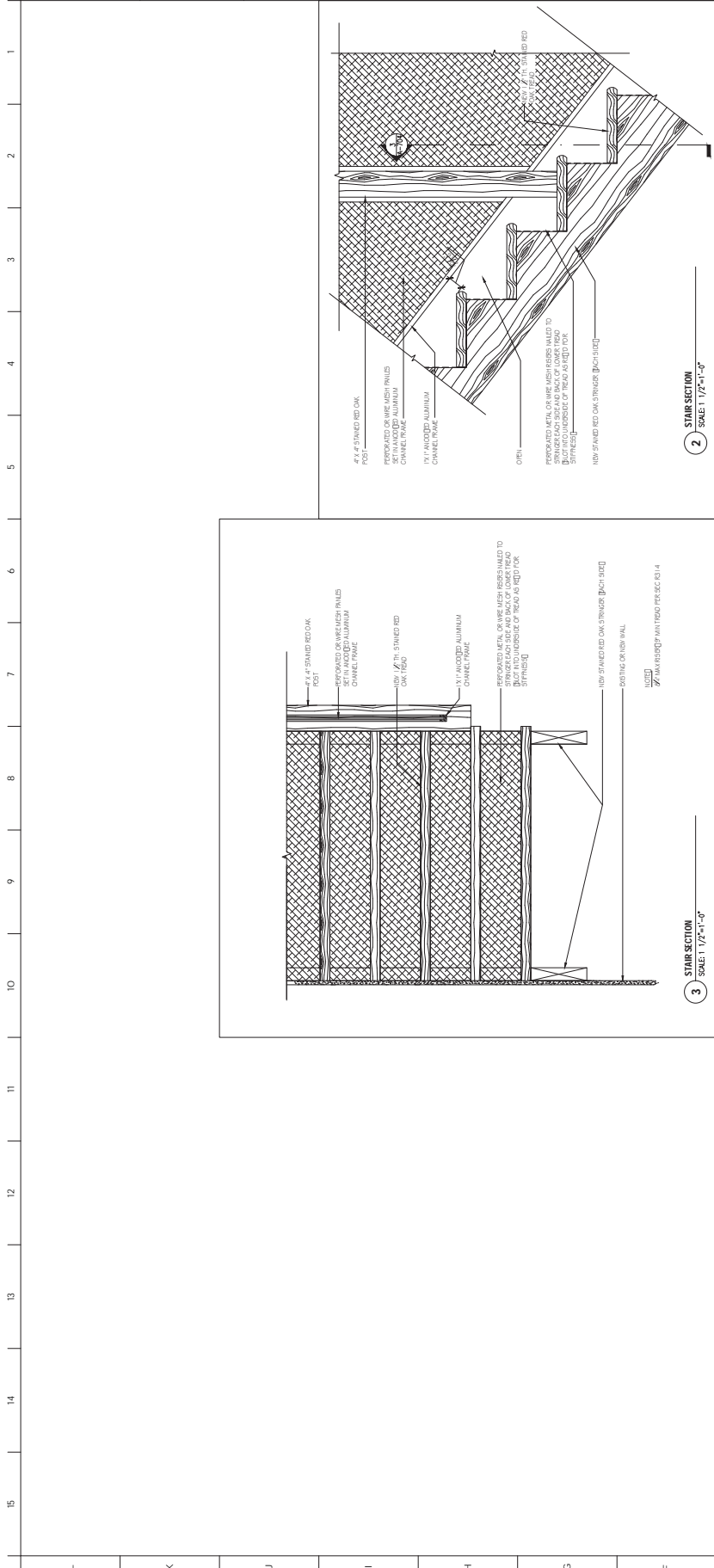
CONSTRUCTION PLAN LEGEND	
	EXISTING DOOR STRUCTURE TO REMAIN
	EXISTING WALL TO REMAIN
	REFERENCE TO NOTES
	PARTITION TYPE
	NEW FULL HEIGHT PARTITION
	NEW EXTERIOR WALL
	NEW CONCRETE BLOCK WALL
	EXTERIOR DOOR TO REMAIN
	DOOR NUMBER
	NEW DOOR
	FLOORING TYPE DESIGNATION - SEE SPECS
	WINDOW NUMBER
	NEW WINDOW
	DETAIL NUMBER
	SHEET NUMBER
	SECTION REFERENCE
	ELEVATION NUMBER
	ELEVATION REFERENCE
	SHEET NUMBER
	ALIGN FINISH FACES
	FLOOR ELEVATION SYMBOL
	FLOOR ELEVATION CHANGE
	EXTERIOR RECEPTACLE
	DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE
	EXTERIOR DOOR RECEPTACLE
	WATER PROOF DUPLEX RECEPTACLE
	EXTERIOR DOOR RECEPTACLE
	PHONE AND WALL MOUNTED FLUSH OR 8" X 11" WALL MOUNTED BELL TO EXISTING PHONE FLUSH OUTLET
	CEILING MOUNTED OUTLET
	WALL MOUNTED SINGLE POLE SWITCH
	WALL MOUNTED DIMMER SWITCH
	WALL MOUNTED 3-WAY SWITCH
	WALL MOUNTED EXHAUST FAN SWITCH
	WALL MOUNTED THERMOSTAT
	ELECTRIC POWERED SMOKE DETECTOR
	EXTERIOR LIGHT FIXTURE TO BE REMOVED
	EXTERIOR LIGHT FIXTURE TO BE REMOVED
	EXTERIOR LIGHT FIXTURE TO BE REMOVED
	EXTERIOR LIGHT FIXTURE TO BE REMOVED
	EXTERIOR LIGHT FIXTURE TO BE REMOVED

CONSTRUCTION KEYED NOTES	
1	RENEW GARAGE DOOR
2	RENEW STAIRS TO 1ST FLOOR
3	REPLACE EXISTING SILLING ON CHIMNEY, REPLACE WITH NEW SILLING, REDUCE TO MATCH EXISTING FOUNDATION
4	REPLACE EXISTING SILLING ON CHIMNEY, REPLACE WITH NEW SILLING, REDUCE TO MATCH EXISTING FOUNDATION
5	REPLACE EXISTING SILLING ON CHIMNEY, REPLACE WITH NEW SILLING, REDUCE TO MATCH EXISTING FOUNDATION
6	REPLACE EXISTING SILLING ON CHIMNEY, REPLACE WITH NEW SILLING, REDUCE TO MATCH EXISTING FOUNDATION
7	REPLACE EXISTING SILLING ON CHIMNEY, REPLACE WITH NEW SILLING, REDUCE TO MATCH EXISTING FOUNDATION
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9	REPLACE EXISTING SILLING ON CHIMNEY, REPLACE WITH NEW SILLING, REDUCE TO MATCH EXISTING FOUNDATION
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13	REPLACE EXISTING SILLING ON CHIMNEY, REPLACE WITH NEW SILLING, REDUCE TO MATCH EXISTING FOUNDATION
14	REPLACE EXISTING SILLING ON CHIMNEY, REPLACE WITH NEW SILLING, REDUCE TO MATCH EXISTING FOUNDATION
15	REPLACE EXISTING SILLING ON CHIMNEY, REPLACE WITH NEW SILLING, REDUCE TO MATCH EXISTING FOUNDATION



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



VILLAGE OF HASTINGS-ON-HUDSON
Application for the Planning Board Review/Action
for Site Plan, Subdivision
Steep Slopes and/or View Preservation



STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

The undersigned applicant states that he/she has read all applicable code sections of the Village of Hastings-on-Hudson and is herewith submitting this application complete with all such documentation and information as is necessary and required under the code and is hereby requesting the aforementioned action/approval/s by the Planning board of the Village of Hastings-on-Hudson.

Sworn to before me this 24th day
of Feb., 2016



Signature of the Applicant

Mary Ellen Ballantine
Notary Public

STATE OF NEW YORK
COUNTY OF WESTCHESTER

Name: DEBRA OAKS, being duly sworn, deposes and says that he/she
resides at 30 FLORAL DR in the Village of Hastings-on-Hudson in the County of
Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in
the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet _____ Block _____
and Lot _____ of the tax map, and that he/she hereby authorized Douglas Alligood
to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

Sworn to before me this 24th day
of Feb., 2016



Signature of the Owner

Mary Ellen Ballantine
Notary Public

Submit eleven (13) sets of this application with all necessary documents, plans, surveys, photographs, applicable checklists and any other data that you deem critical to make your case before the Planning Board.

VILLAGE OF HASTINGS-ON-HUDSON

Steep Slopes Application Checklist



Code Section	Code Section Provisions	Indicate how the provisions are addressed*
§ 249-7(1)	A detailed site plan of the property showing, at a scale of not less than 10 feet equals one inch, the applicant's entire property, the adjacent properties, and existing streets and showing the following information: (a) The location of all existing and proposed structures and paved surfaces on the applicant's property and any existing septic systems and wells on such property; (b) The location of the proposed area of disturbance on the applicant's property and its relation to neighboring properties' structures, roads, watercourses and wetlands; (c) The location on the applicant's property of all existing watercourses, wetlands, marshes, wooded areas, rock outcrops, single trees with a diameter of eight inches or more measured three feet above the base of the trunk, and all other significant existing land features; and (d) The existing grades on the applicant's property with contour lines at two-foot intervals and proposed grades within the area of the proposed construction or alteration.	<p>NEW Z-104</p> <p>Z-100</p> <p>Z-104</p> <p style="font-size: 2em;">↑</p>
§ 249-7(2)	A landscaping plan for the applicant's property, indicating proposed paved areas, storm drainage facilities, retaining walls and ground cover, as well as the location of trees and ornamental shrubs.	Z-104
§ 249-7(3)	Architectural plans, elevations, sections of the structures and related improvements.	A-100-REV A-301
§ 249-7(4)	A statement prepared by a licensed architect, registered landscape architect or engineer describing: (a) The methods to be used in overcoming foundation and other structural problems created by slope conditions, in preserving the natural watershed and in preventing soil erosion; (b) The methods to be used to eliminate or mitigate water runoff on all adjacent properties and any other property that will be naturally affected by increased water runoff; and (c) The methods used to minimize the impact of changes in topography on adjacent and nearby properties through landscaping, retaining walls and terracing of gardens	A-106
§ 249-7(5)	A plan submitted under the seal of a licensed professional engineer showing and certifying the following: (a) All existing and proposed natural and artificial drainage courses and other features for the control of drainage, erosion and water. (b) The calculated volume of water runoff from the slope(s) and from the lot in question, as unimproved. (c) The calculated volume of water runoff from the slope(s) and from the lot in question, as improved. (d) The existence, location and capacity of all natural and artificial drainage courses and facilities within 500 feet of the lot which are or will be used to carry or contain the water runoff from the slope(s) and the lot.	<p>SEE ATTACHED PACKAGE FROM</p> <p>LARRY NARDECCHIA</p>
§ 249-7(6)	A statement made under the seal of a licensed professional engineer certifying that: (a) The proposed activity will disturb the steep slope area to the minimum extent possible; and (b) The proposed mitigation measure will prevent, to the maximum extent practical, the adverse effect of any disturbance of the steep slope area on the environment and any neighboring properties.	NA
§ 249-7(7)	Proof that all adjacent property owners have been notified of the steep slope application and of the Planning Board meeting at which it will be considered. Notice shall be provided in accordance with § 295-143C, except that only adjacent property owners need be notified.	
§ 249-7(8)	The Planning Board may, at its discretion, waive any of the requirements of Subsection A except Subsection A(7). Indicate if any waivers are being requested	

*Indicate by notes such as, "see Note/Detail on Dwg # ___", "See PE certification/note in the attached letter", or "NA", etc. where "NA" stands for "Not applicable"

[Signature] 02.23.16 DOUGLASS ALLGOOD ARCHITECT
 Signature Date Name Title

LARRY J. NARDECCHIA JR., P.E.
Consulting Engineer
21 McKinley Place
Ardsley, New York 10502
(914) 693-1126
<Nardo1126@aol.com>

February 22, 2016

Oaks-Leaf Drainage Analysis

30 Floral Dr. Hastings-on-Hudson, N.Y. 10706

Additions to One Family Residence

Criteria :

The criteria for this Analysis shall be "Zero Additional" runoff for a storm event occurring once every 100 years for the total site area. For this project we shall compare the (Pre-existing) runoff conditions with the runoff conditions of the completed proposed (Post-Construction) project. Drywells shall be installed to accommodate all additional runoff produced during a 100 year storm event after the new construction.

The Westchester County Manual for Best Management Practices, shall be used with the Rainfall in inches of a 100 year event of 9.0* inches in a 24 hour period as revised by the State. For Analysis purposes we shall use Table 3-2 for characteristic Cn's. All impervious areas shall have a Cn number of 98. We shall obtain the runoff of individual co-efficients by interpolation.

* As Revised

Runoff Characteristic Cn Values 100 Year Storm ~ 9.0" *

Buildings	Cn 98 = 8.70	For a 100 Year storm event
Walks, walls & Landings	Cn 98 = 8.70	For a 100 Year storm event
Pavers Drive	Cn 90 = 7.53	For a 100 Year storm event
Open Porch	Cn 98 = 8.70	For a 100 Year storm event
Masonry Patio	Cn 98 = 8.70	For a 100 Year storm event
Wood Deck	Cn 85 = 6.81	For a 100 Year storm event
Gravel Areas	Cn 65 = 4.08	For a 100 Year storm event
Exposed Ledge Rock	Cn 98 = 8.70	For a 100 Year storm event
Lawn/plantings Area	Cn 75 = 5.41	For a 100 Year storm event.

* NYS Revised Storm Runoff Depth Numbers
100 Year = 9.0 " in a 24 hour period

PRE - DEVELOPMENT RUNOFF ANALYSIS
100 Year Storm

DESCRIPTION	AREA	Cn	Runoff	Runoff Vol.
Oaks~Leaf Residence 30 Floral Drive Hastings-on-Hudson N.Y. 10706	S.F.		In.	Cubic Feet
House/Porch	1,578 s.f.	Cn 98	8.70	1,144.1 c.f.
Shed	15 s.f.	Cn 98	8.70	10.9 c.f.
Wood Decks	389 s.f.	Cn 85	6.81	220.8 c.f.
Masonry steps/walks	436 s.f.	Cn 98	8.70	316.1 c.f.
Paver Drive	2,054 s.f.	Cn 90	7.53	1,288.9 c.f.
Ledge	1,210 s.f.	Cn 98	8.70	877.3 c.f.
Impervious Sub Total	5,682 s.f.			
Lawn Shrub Area	12,732 s.f.	Cn 75	5.41	5,740.0 c.f.
<hr/>				
Total Lot Area				18,414 S.F.
Total Pre-Development Runoff.....				9,598.1 C.F.
100 year storm event				

POST - DEVELOPMENT RUNOFF ANALYSIS
100 Year Storm

DESCRIPTION	AREA	Cn	Runoff	Runoff Vol.
Oaks~Leaf Residence 30 Floral Drive Hastings-on-Hudson N.Y. 10706	S.F.		In.	Cubic Feet
House/Porch	2,498 s.f.	Cn 98	8.70	1,811.1 c.f.
Shed under deck	0 s.f.	Cn 98	8.70	0.0 c.f.
Wood Decks	182 s.f.	Cn 85	6.81	132.0 c.f.
Masonry steps/walks	336 s.f.	Cn 98	8.70	218.4 c.f.
Paver Drive	2,054 s.f.	Cn 90	7.53	1,288.9 c.f.
Ledge	1,210 s.f.	Cn 98	8.70	877.3 c.f.
Impervious Sub Total	6,280 s.f.			
Lawn Shrub Area	12,134 s.f.	Cn 75	5.41	5,470.4 c.f.
<hr/>				
Total Lot Area				18,414 S.F.
Total Post-Development Runoff.....				9,798.1 C.F.
100 year storm event				

**POST DEVELOPMENT - PRE-DEVELOPMENT = ADDITIONAL RUNOFF
RUNOFF RUNOFF**

9,798.1 C.F. - 9,598.1 C.F. = 200.0 Cubic Feet

Reqd. Storage Capacity = 200 C.F. = ZERO ADDITIONAL RUNOFF

STORAGE SOLUTION

Retention capacity calculations for each RECHARGER 330
Length 7.5 feet Width 52 inches Height 30.5 inches
Chamber Vol. = 46.5 C.F. (Manufacturer's sheet), Perc Test 12 min/in.

Vol. of 30" high Band : 30" x 24" x 2[7' + 4'] = 110 c.f. of gravel 30" high Voids
in Gravel = 40 % Void Capacity = 40% x 110 c.f. Void Vol. = 44.0 c.f.

Percolation Capacity : Test hole dia 8"; drop 3"; Avg. Depth 7.5";
Perc. Test 12.0 min/in actual

$A_p = \text{Area of Percolation} = A_c [\text{wetted wall}] + A_b [\text{bottom}]$
 $A_b = n r \times r = 3.14 \times 4" \times 4" = 50.24 \text{ s.i.} / 144 \text{ s.i.} = .349 \text{ s.f.}$

$A_c = n \times D \times H_{\text{wetted avg}} = 3.14 \times 8" \times 7.5" / 144 \text{ s.i.} = 1.308 \text{ s.f.}$

$A_p = A_c + A_b = .349 \text{ s.f.} + 1.308 \text{ s.f.} = \underline{1.657 \text{ s.f.}}$

Volume of Percolation = $A_b \times H_d \text{ drop} = .349 \text{ s.f.} \times 1/12 \text{ ft.} = .0291 \text{ c.f.}$

Soil Percolation Rate = $S_r = .0291 \text{ c.f.} / 1.657 \text{ s.f.} / 12 \text{ min} = \underline{.00146 \text{ cf/sf/minute}}$

Percolation Capacity in 24 hrs. for "Recharger 330"

Percolation Area (Bottom Only) 7.5' x 4.33' = 32.5 s.f.

PERCOLATION PER 24 HRS.

75% x Perc. Rate x Perc. Area x 24 hr. x 60 min.

75% x .00146 c.f./s.f./min. x 32.5 s.f. x 60 min x 24 hr. = 51.2 c.f. perc. per 24 hr.

Total Designed Storage Capacity

Q Design = Recharger 330 Vol + Gravel Void Vol + Percolation Volume

Q Design = 46.5 c.f. (Recharger 180 Vol).+ (Void Vol.)44.0 c.f.+ (Perc. Vol.) 51.2 c.f

Q Design = [46.5 + 44.0 + 51.2] c.f. / 24 hrs. = 141.7 c.f./24 hr

Design Solution : How Many ? $200\text{c.f.}/141.7 = 1.41$ Units USE 2 Units

USE (2) RECHARGER 330 WITH 30", HIGH, 24" WIDE RING OF GRAVEL AROUND OUTSIDE OF THE STRUCTURE .

STORAGE CAPACITY SUPPLIED = (2) 141.7 c.f. = 283.4 C. F.

STORAGE CAPACITY SUPPLIED = $\frac{283.4 \text{ C.F.}}{200.0 \text{ C.F.}}$ 141.7 % % of Required
STORAGE REQUIRED

Submitted By: Larry J. Nardecchia Jr., P.E.

Date: February 22, 2016

Project No. 2016 - 13



Larry J. Nardecchia Jr., P.E.
 Consulting Engineer
 21 McKinley Place
 Ardsley, New York 10502
 N.Y.S. License 57560

TEST DATE : February 22, 2016

PROJECT NO. 2016-13

File Number 1613

PERCOLATION TESTS DATA SHEET

Owner Oaks-Leaf
 Address 30 Floral Drive Hastings-on-Hudson , N.Y. 10706
 Location : #1 center rear yard

Section Block Lot

Watershed Hudson River

PERCOLATION DATA SHEET

Hole No.	Run No.	Clock START	Time STOP	Depth To Water		From Grade Stake Drop In Inches	Level Min/In.
				Elapsed Time Minutes	Start Stop Inches		
Hole # 1		31 " deep no water no ledge no roots					
	Test Run						
	1	9:21 A	9:45 A	24	7.0	10.0	3.0 8.0 min/in
	2	9:45 A	10:15 A	30	10.0	13.0	3.0 10.0 min/in.
	3	10:15 A	10:32 A	17	13.0	14.5	1.5 11.3 min/in

FOR COMPUTATIONS USE 12.0 MIN./IN.

Notes : 1. Tests to be repeated at the same depths until approx. equal soil values are obtained.

Certified by : Larry J. Nardecchia Jr., P.E.
 21 McKinley Place
 Ardsley, N.Y. 10502

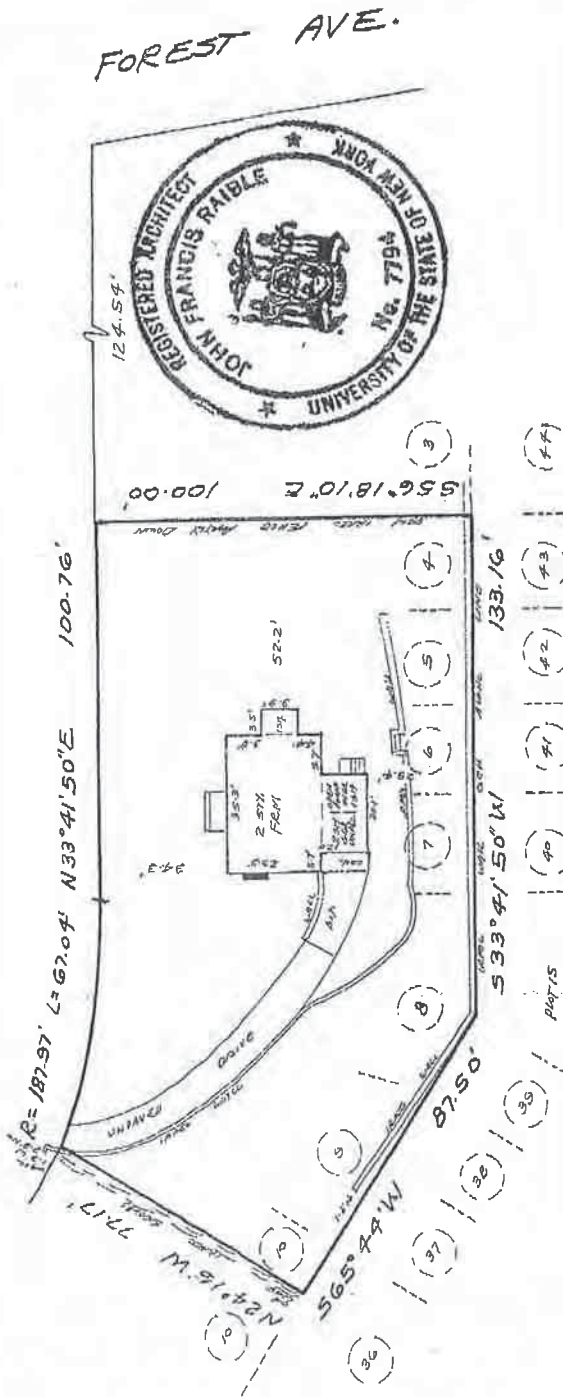
Date : February 23, 2016

Project Number 2016-13



TITLE NO. AA 97-W-6042

FLORAL DRIVEWAY



MAP OF RIVER VIEW MANOR MAP NO 3
FILED 12-27-1909 MAP NO 1886
LOTS 4, 10 9, 10, 11, 12, 13, 14, 15, 16

MEASUREMENT IN U.S. STANDARD

KULHANEX & PLAN
LAND SURVEYORS, P.C.

MANUEL J. KULHANEX
11 WESTCHESTER AVE.
POUND RIDGE, NY 10566
TELEPHONE: 609-541-6124
FAX: 609-242-4535

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SECTION	BLOCK	DATE
GUARANTEED TO FRANCIS RAIBLE 7706 UNIV. OF NY		9-23-57
FRANCIS RAIBLE 7706 UNIV. OF NY		WESTCHESTER COUNTY
JOHN FRANCIS RAIBLE		JOB NO. 97-4-8280



looking west 3



North - front



Northwest



Partial south - porch



2nd floor at rear



East - side



looking east 1



looking east 2



Partial South



Southeast



Partial South porch



South - rear



looking north 1



looking north



looking northwest 1



looking south east 1



looking southwest 2



looking southwest



looking west 1



looking west 2



West - side



Southwest