

VILLAGE OF HASTINGS-ON-HUDSON
 Zoning Board of Appeals
 Application and Procedure for Application for
 Variance/Interpretation/View Preservation



Case number: Date of application: 9/17/15

Property owner: Malcolm W. Beadling
 Property address: 19 William Street, Hastings on Hudson, NY 10706
 Name all streets on which the property is located:
 Sheet: 4.70 Block: 53 Lot/Parcel: 14 Zoning District: MR1.5

Applicant: Christina Griffin Architect
 Standing of applicant if not owner: Architect
 Address: 10 Spring Street, Hastings on Hudson, NY, 10706
 Daytime phone number: 914.478.0799 Fax number:
 E-mail address: cg@cgastudio.com

ZBA action requested for (See §295-146B & C):
 Use Variance/s; Area Variance/s;
 Interpretation; View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
<u>295-72</u> <u>1E(1c)</u>	<u>Side yard setback</u> <u>min/6.5 FT</u>	<u>6.4 FT</u>	<u>6.4 FT</u>
.....
.....
.....

*See example below:

295-66F, 1a...	Front Yard Min 30 ft. deep	28.5 ft.	19.5 ft.
295-66A	Permitted Principal Use	Single Family Home	Conversion to Dental Office

VILLAGE OF HASTINGS-ON-HUDSON
 Zoning Board of Appeals
 Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS
 (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	12 FT.	+/- 10.8 FT	+/- 10.8 FT
REAR	30 FT.	+/- 33.8 FT	+/- 33.8 FT
SIDE ONE	16.5 FT	+/- 6.4 FT.	+/- 6.4 FT
SIDE TWO	13 FT	+/- 32.5 FT	+/- 32.5 FT
TOTAL OF TWO SIDES	24 FT	+/- 38.9 FT	+/- 38.9 FT

YARD SETBACKS
 (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG	N/A	+/- 10 FT	+/- 10 FT
REAR	N/A	+/- 2.3 FT	+/- 5.3 FT
SIDE	N/A	+/- 2.3 FT	+/- 2.3 FT

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	3 STORIES	3 STORIES	3 STORIES
FEET		+/- 38.0 FT	+/- 38.0 FT

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	1500 SF	6102.19 SF	6102.19 SF
BLDG. COVERAGE / % OF LOT AREA	15%	82%	82% exist
DEVELOPMENT COVERAGE / % OF LOT AREA	N/A	N/A	N/A

*See Definitions of Building and Development Coverage in Section 295-B of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Multi-Family	Multi-Family	Multi-Family

** Single Family, Two Family, Commercial, Mixed Use etc.

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- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action

- List pending violations on this property if any:

none

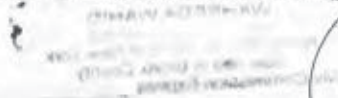
- Is there an approved site plan for this property?: (Yes) (No)
- Is there an Accessory Apartment at this property?: (Yes) (No)
- Does this property have Boarder's Permit?: (Yes) (No)

- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit nine (9) copies of the application along with the required fee, 8 copies of property survey showing the existing and proposed construction and 8 copies of all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) to the Office of the Building Inspector, no less than six (6) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
 COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:



[Signature]
 Applicant

Sworn to before me this 16th day
 of Sept., 2015

Ann G. Scholl
 Notary Public

ANN G. SCHOLL
 NOTARY PUBLIC-STATE OF NEW YORK
 No. 015C605551
 Qualified in Westchester County
 My Commission Expires December 30, 2018

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON

Name : Malcolm Beadling, being duly sworn, deposes and says that he/she resides at 19 William Street in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.70 Block 53 and Lot 14 of the tax map, and that he/she hereby authorized Christina Griffin to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

M. Beadling
Owner

SWORN TO BEFORE ME THIS 14 DAY
OF September 2005

Waheda Wahid
Notary Public

WAHEDA WAHID
No. 18783
Notary Public, State of New York
Qualified in Bronx County
My Commission Expires: 2-2-2019

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

ARISTOTLE BOURNAZOS, P.C.

LAND SURVEYORS - PLANNERS

20 CEDAR STREET
NEW ROCHELLE
NEW YORK 10801
(914) 633-0100



LICENSED IN
NEW YORK
NEW JERSEY
CONNECTICUT

This is to certify that I have surveyed
Lots 13 and 14 as shown on
"Map of Valuable Lots on Warburton and
Washington Avenues...laid out for
William Ward Tompkins",
in the Village of Hastings-on-Hudson,
Town of Greenburgh,
Westchester County of Westchester, New York

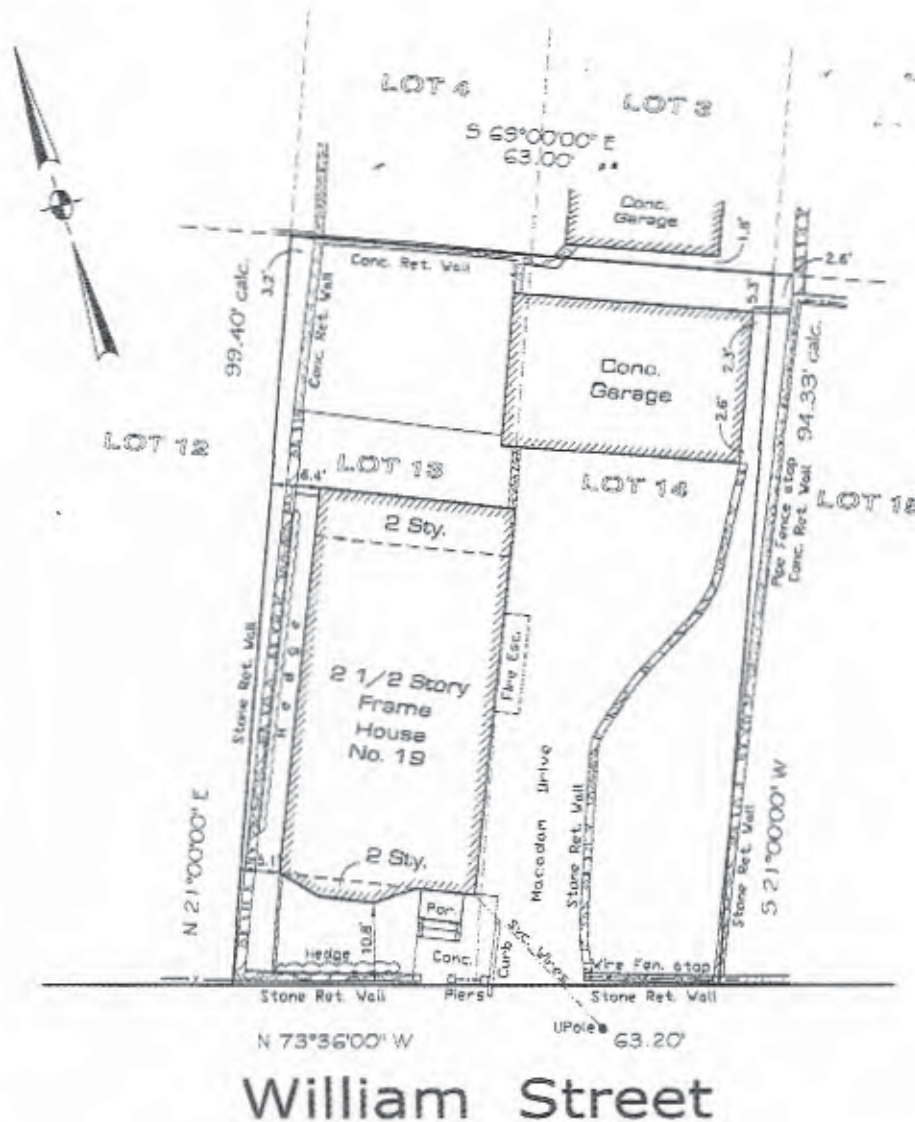
Filed in the Westchester County Clerk's Office, Division of Land Records
on Dec. 13, 1901 in Vol. 14, Pg. 42

I have located all existing buildings and lines of possession and have shown their positions hereon.

Surveyed: Nov. 16, 2013
Map Drafted: Nov. 22, 2013 on scale of one inch to 15 feet

I hereby certify this survey to:

L.S., N.Y.S. Lic. No. 49586



William Street

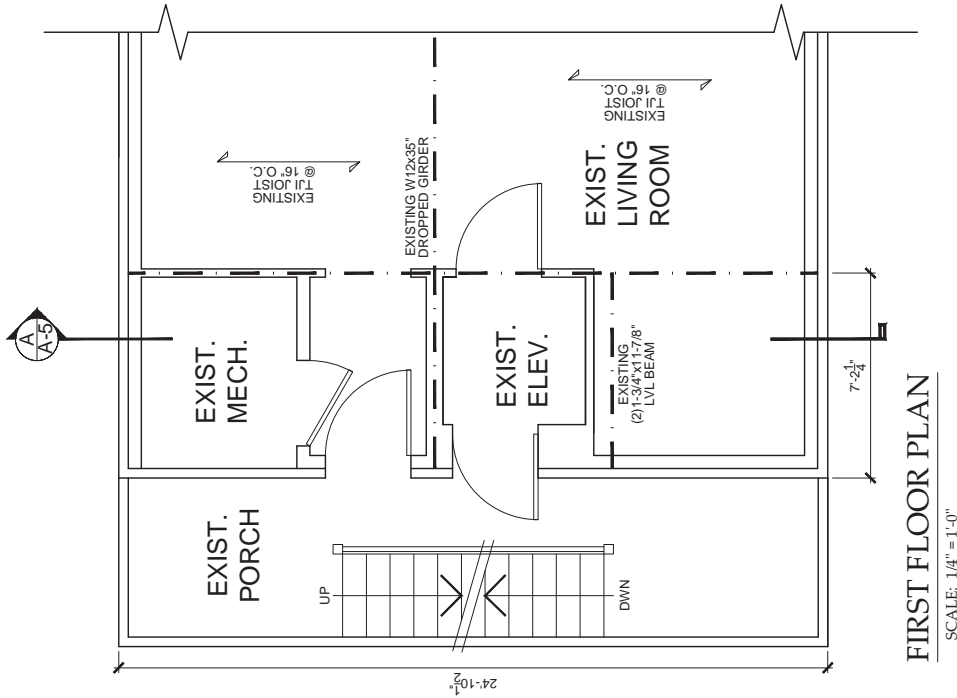
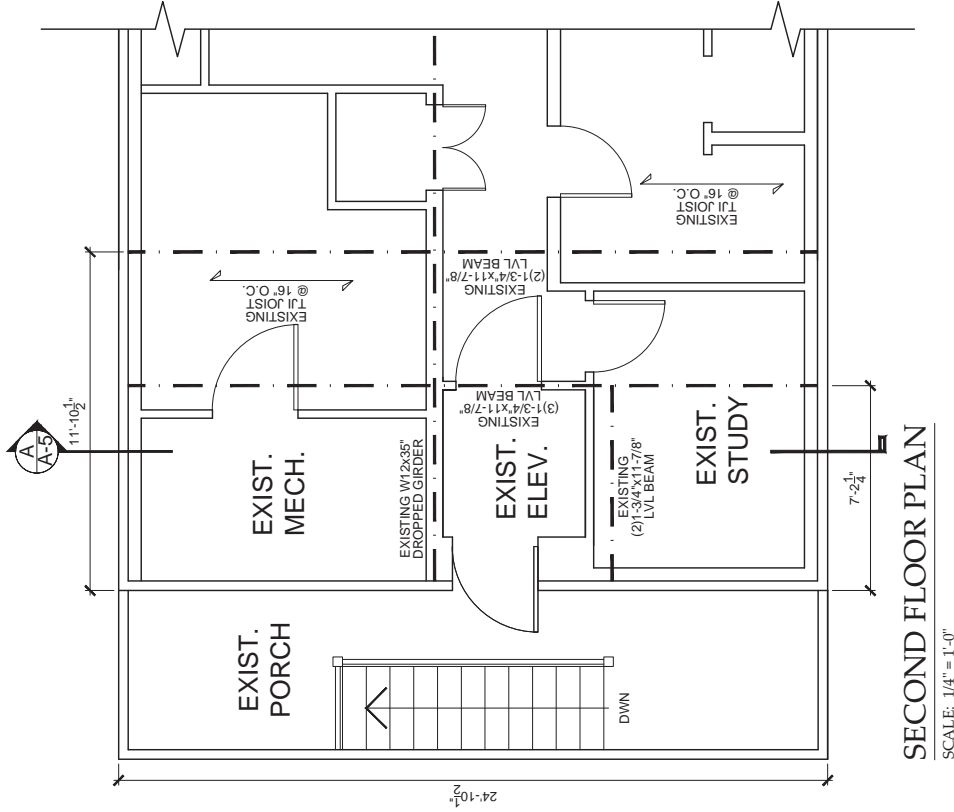
Note: Filed Map Vol. 14, P. 42 is lacking linear and angular data.
Variations may be encountered with findings of others.

Guarantees or certifications indicated hereon shall run only to the person or persons for whom the survey is prepared, and on his behalf to the title company, government agency and lending institution listed hereon. Guarantees or certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or additions to the survey map are a violation of section 7209 sub-section 2, of the New York State Education Law.
No guarantee is implied by this map as to the existence or non-existence of any easements of record that would affect subject property, unless surveyor has been furnished a complete copy of the title report.

Dimensions shown from structures to property lines are not intended to be used for construction of fences, structures or other improvements.

"Will19"
C13-311



LEGEND

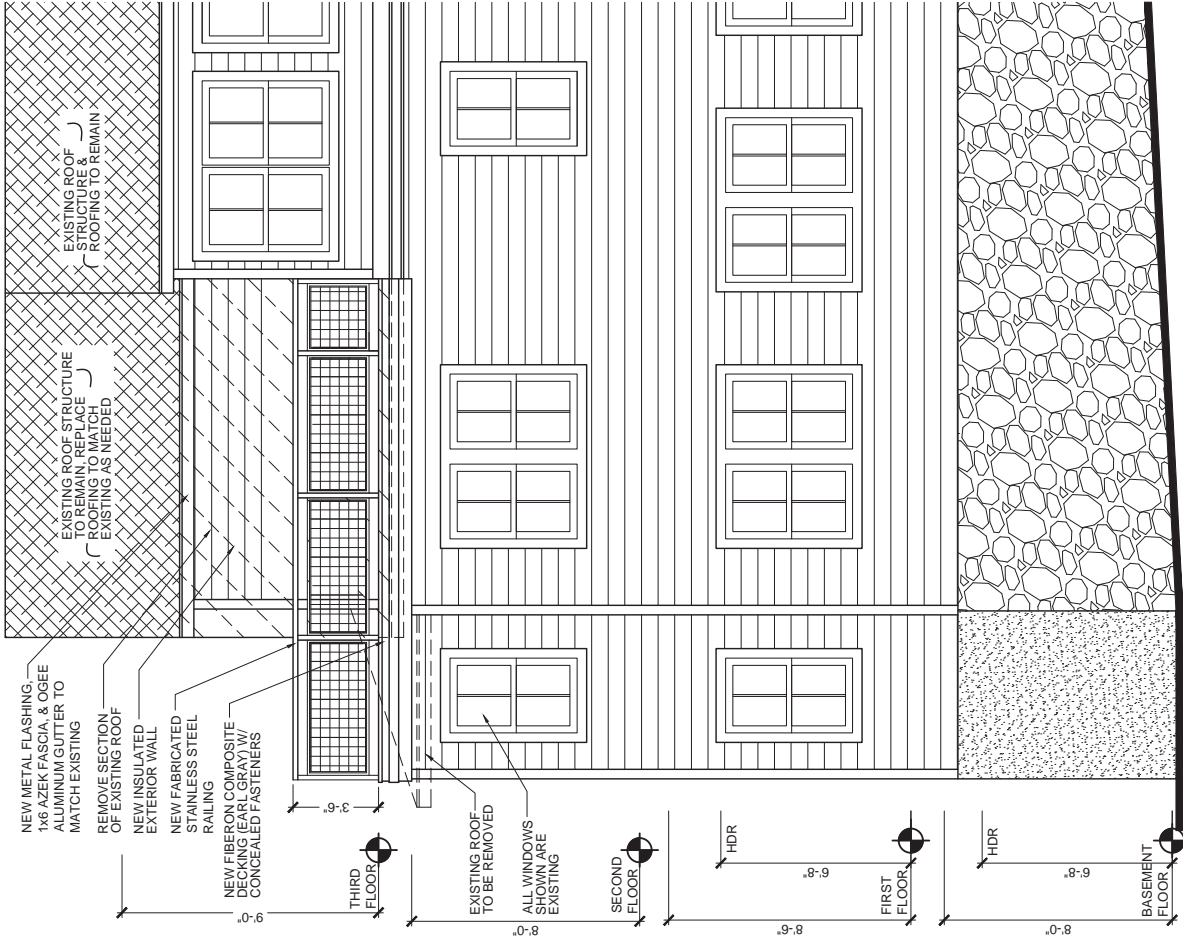
	SECTION NO.		EXISTING WALL TO REMAIN
	SHEET NO.		NEW INTERIOR WALL: 1/2" gypsum bd. each side of 2x4s 16" o.c.
	GROUND FAULT INTERRUPTER DUPLEX		EXTERIOR WALL: Siding to match existing, house wrap, 5/8" Advantech engineered panel, 2x6 studs @ 16" o.c., R-19 batt insulation, 1/2" gypsum board
	SWITCH		EXTERIOR SCONCES

NEW ROOF DECK AT
BEADLING-SACHS RESIDENCES
 19 WILLIAM STREET, HASTINGS-ON-HUDSON, NY 10706

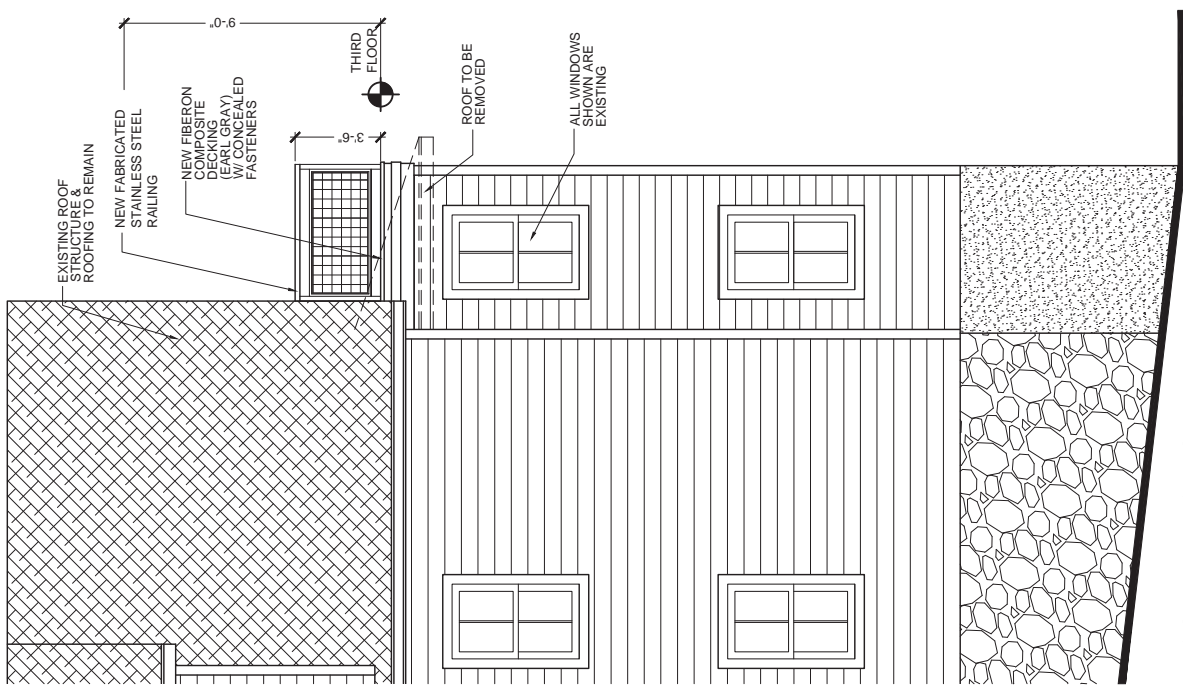
CHRISTINA GRIFFIN ARCHITECT
 10 Spring Street
 Hastings-on-Hudson, New York 10706
 914.473.0999 | 914.473.0806
 www.christinagriffinarchitect.com

DESIGN DRAWINGS 2-15-15
 CONSTRUCTION DRAWINGS 2-23-15
 BUILDING PERMIT SUBMISSION 8-21-15
 ZONING BOARD SUBMISSION 9-17-15
 AS SHOWN

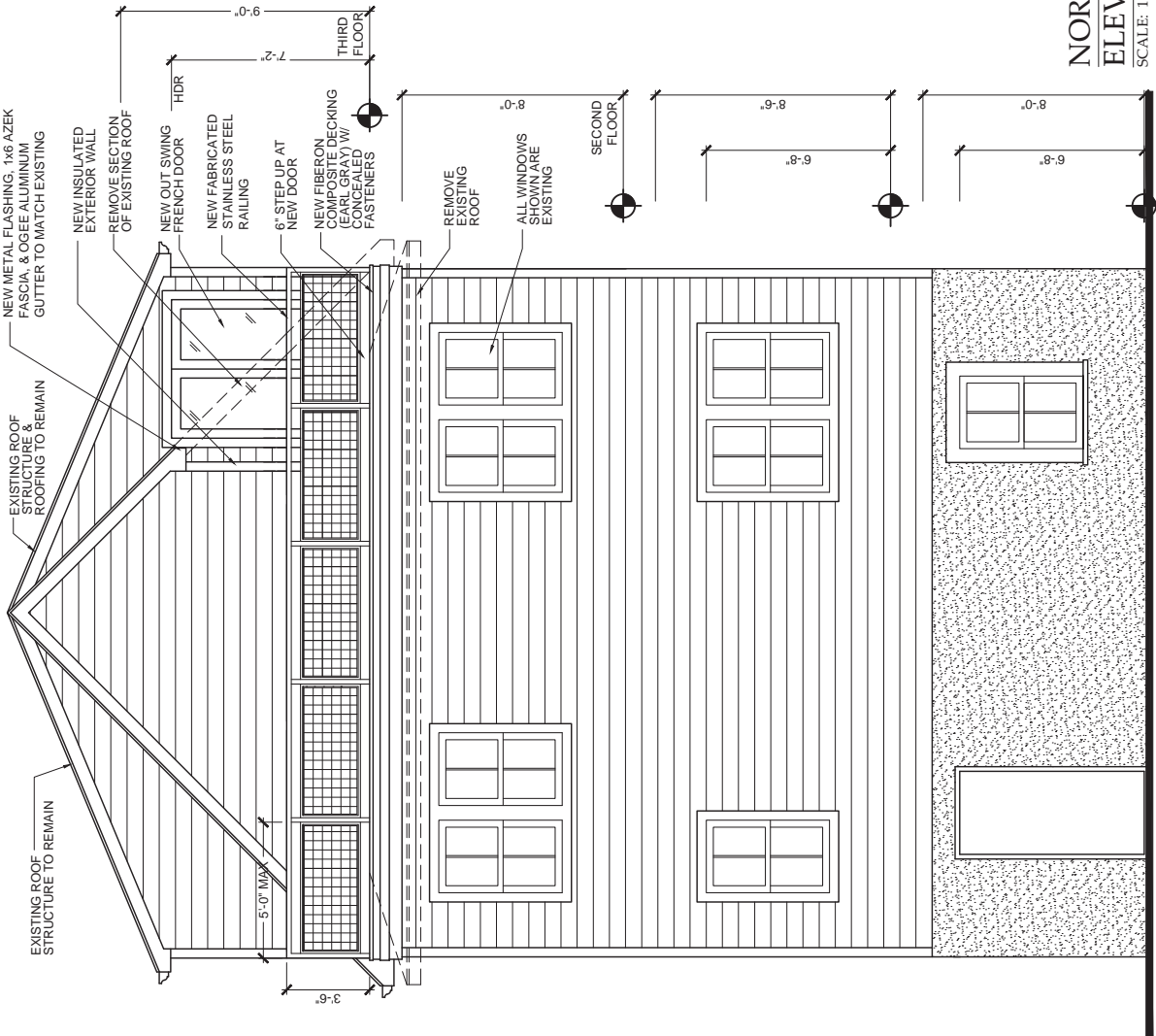
A-4



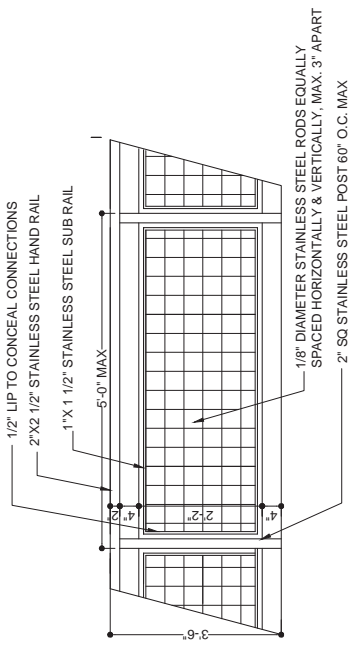
WEST ELEVATION
 SCALE: 1/4" = 1'-0"



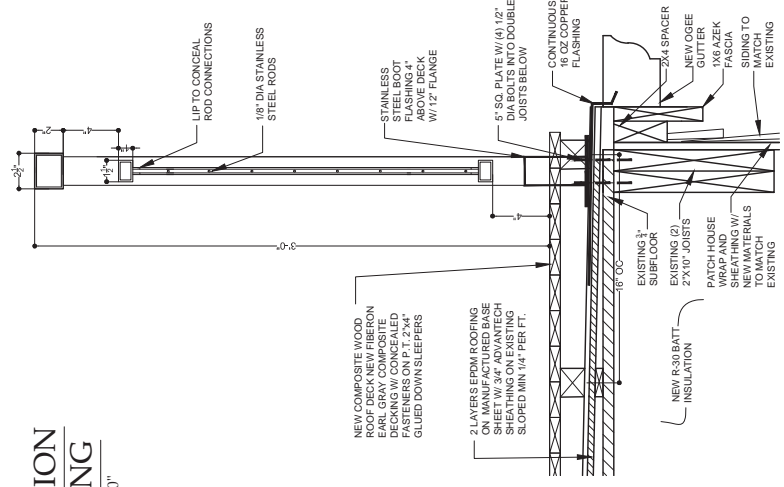
EAST ELEVATION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION of RAILING
SCALE: 1/2" = 1'-0"



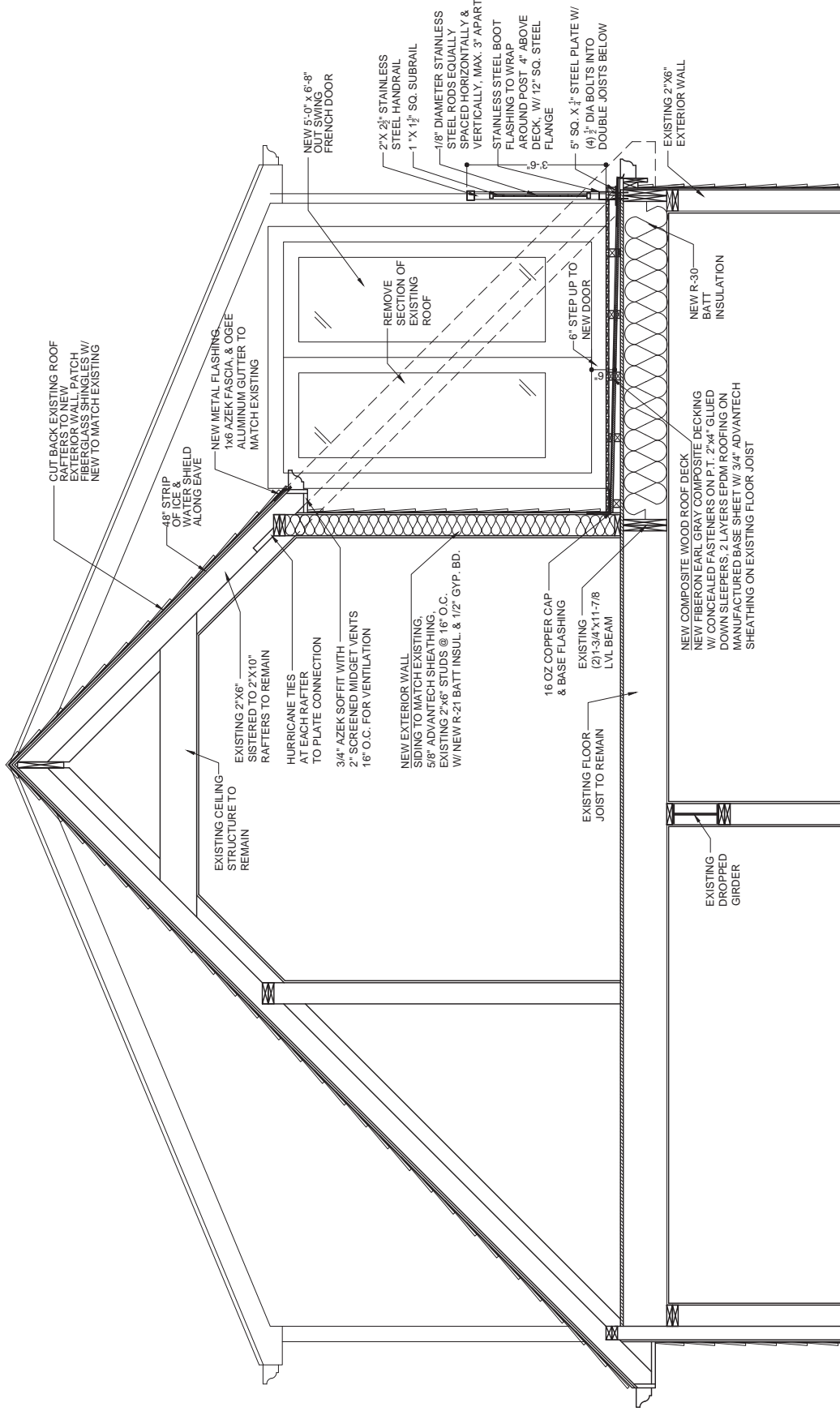
SECTION THROUGH RAILING
SCALE: 1 1/2" = 1'-0"

NEW ROOF DECK AT
BEADLING-SACHS RESIDENCES
19 WILLIAM STREET, HASTINGS-ON-HUDSON, NY 10706

DESIGN DRAWINGS 2-15-15	CONSTRUCTION DRAWINGS 7-23-15
BLUE PRINTS & MATERIAL SUBMISSION 8-20-15	PERMITTING SUBMISSION 8-21-15
PERMITTING SUBMISSION 8-21-15	CONTRACT BOARD SUBMISSION 9-17-15
PERMITTING SUBMISSION 9-17-15	CONTRACT BOARD SUBMISSION 9-17-15

Christina Griffin Architect
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A-5
SECTION
Drawing Title
Sheet No.



SECTION THROUGH THIRD FLOOR & ROOF DECK

SCALE: 1/2" = 1'-0"

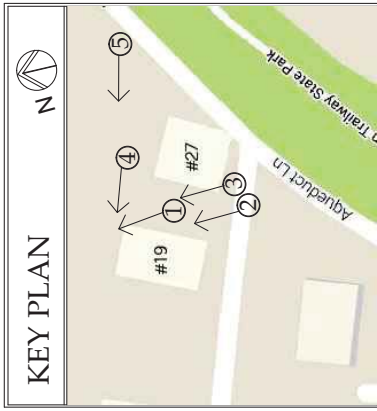
NEW ROOF DECK AT
BEADLING-SACHS RESIDENCES
 19 WILLIAMS STREET, HASTINGS-ON-HUDSON, NY 10706

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PLANNING BOARD SUBMISSION: 7.19.15
 ZONING BOARD SUBMISSION: 9.17.15
 BUILDING PERMIT & VARIATION SUBMISSION: 9.25.15
 CONSTRUCTION PERMITS: 2.23.16
 10 Spring Street
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AS SHOWN
 Scale:
 VIEW PRESERVATION
 STUDY
 19 WILLIAM STREET

A-7



①
BEFORE
 VIEW from
 NEIGHBORING PROPERTY
 on WILLIAM STREET

①
AFTER
 VIEW from
 NEIGHBORING PROPERTY
 on WILLIAM STREET

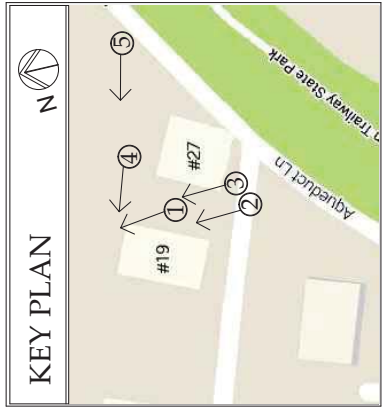
19 WILLIAMS STREET, HASTINGS-ON-HUDSON, NY 10706
BEADLING-SACHS RESIDENCES

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DATE: 08/15/16
 VIEW PRESERVATION STUDY 2
 ON WILLIAM STREET
 AS SHOWN

PLANNING BOARD SUBMISSION: 7/13/16
 CONSTRUCTION PERMITS 7/24/16
 BUILDING PERMIT & VARIATION SUBMISSION: 8/25/16
 PLANNING BOARD SUBMISSION: 8/17/16
 CONING BOARD SUBMISSION: 8/17/16
 PLANNING BOARD SUBMISSION: 8/17/16

A-8



②
 BEFORE
 VIEW from
 NEIGHBORING PROPERTY
 on WILLIAM STREET

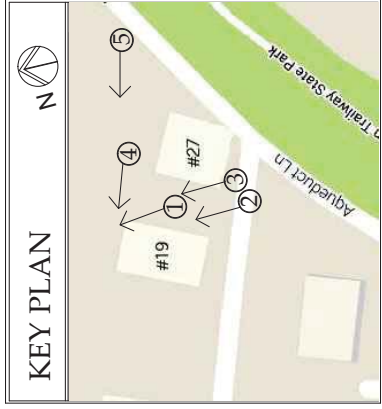
②
 AFTER
 VIEW from
 NEIGHBORING PROPERTY
 on WILLIAM STREET

NEW ROOF DECK AT
 BEADLING-SACHS RESIDENCES
 19 WILLIAMS STREET, HASTINGS-ON-HUDSON, NY 10706

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AS SHOWN	2/19/16
VIEW PRESERVATION	2/19/16
STUDY 7	2/19/16
ON WILLIAM STREET	2/19/16
BUILDING EXTERIOR & INTERIOR SUBMISSION	8/25/15
CONSTRUCTION PERMITS 2-22-15	8/25/15
PLANNING BOARD SUBMISSION	8/25/15
PLANNING BOARD SUBMISSION	8/25/15
CONING BOARD SUBMISSION	8/25/15
PLANNING BOARD SUBMISSION	8/25/15

A-9



③
 BEFORE
 VIEW from
 NEIGHBORING PROPERTY
 on WILLIAM STREET

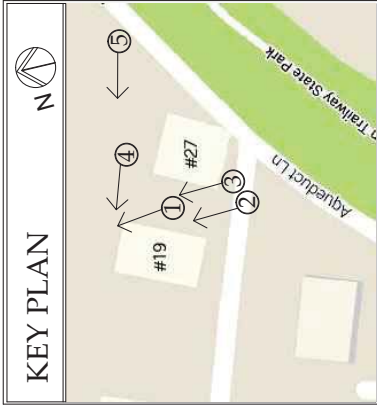
③
 AFTER
 VIEW from
 NEIGHBORING PROPERTY
 on WILLIAM STREET

BRADLING-SACHS RESIDENCES
19 WILLIAMS STREET, HASTINGS-ON-HUDSON, NY 10706

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AS SHOWN
Scale:
VIEW PRESERVATION STUDY & ZONING BOARD SUBMISSION 9-17-15
BUILDING PERMIT & ZONING SUBMISSION 9-25-15
CONSTRUCTION PERMITS 2-24-15
ZONING BOARD SUBMISSION 9-17-15
PLANNING BOARD SUBMISSION 9-17-15

A-10



4
BEFORE
VIEW from
NEIGHBORING PROPERTY
on WILLIAM STREET

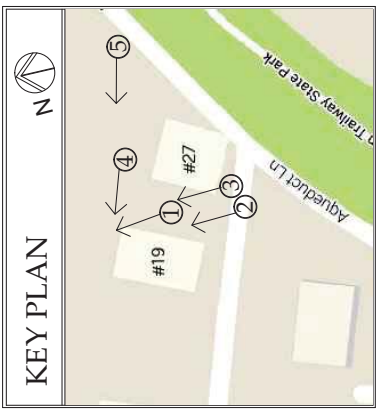
4
AFTER
VIEW from
NEIGHBORING PROPERTY
on WILLIAM STREET

NEW ROOF DECK AT
BEADLING-SACHS RESIDENCES
 19 WILLIAMS STREET, HASTINGS-ON-HUDSON, NY 10706

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DATE	DESCRIPTION
2.13.15	PLANNING BOARD SUBMISSION
3.17.15	CONSTRUCTION DRAWINGS 2.04.15
3.17.15	BUILDING PERMIT & WATER SUBMISSION 3.05.15
3.17.15	ARCHITECT SUBMISSION
3.17.15	PLANNING BOARD SUBMISSION

A-11



⑤
 BEFORE
 VIEW from
 NEIGHBORING PROPERTY
 on AQUEDUCT LANE

⑤
 AFTER
 VIEW from
 NEIGHBORING PROPERTY
 on AQUEDUCT LANE

LOCATION PLAN

NTS

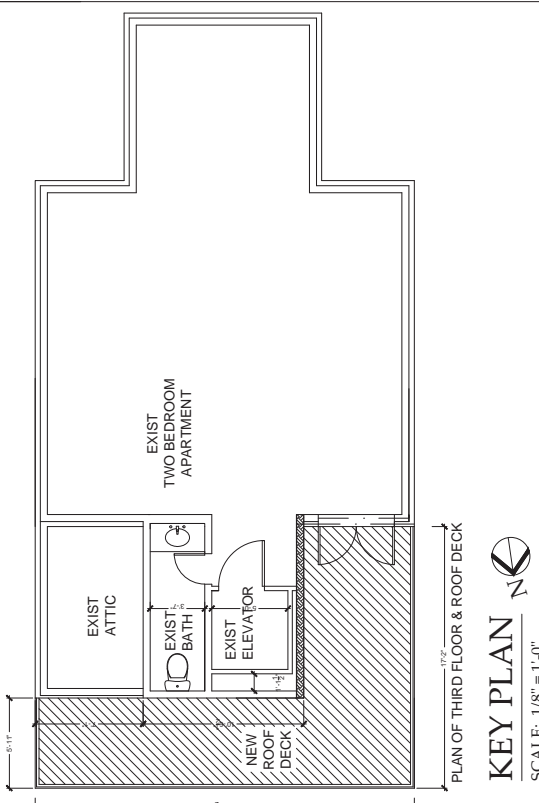
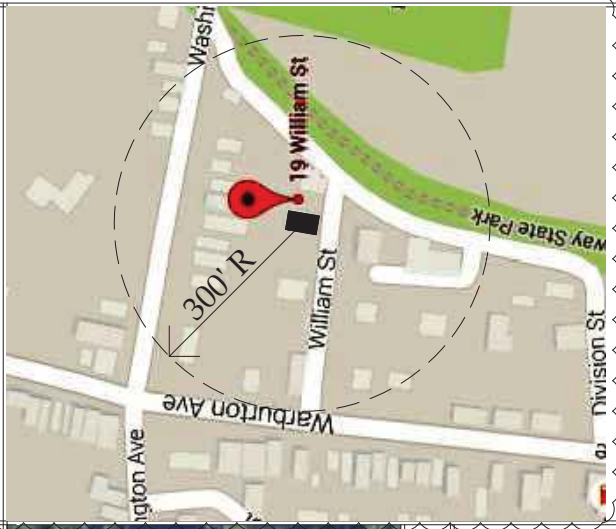


HASTINGS GREEN BUILDING CODE COMPLIANCE NOTES

- EXTERIOR LIGHTING SHALL COMPLY WITH WITH HGBC 160.8.H, LIGHT ZONE 2
- CONTROLS FOR EXTERIOR LIGHTING TO COMPLY WITH HGBC 160.9.A.1
- PAINTS, STAINS AND OTHER FINISHING MATERIALS TO COMPLY WITH HGBC 160.11.A.1, 1.2.3.4 & 5
- CONSTRUCTION WASTE MANAGEMENT TO COMPLY WITH HGBC 180-11.C

VICINITY PLAN

SCALE = 200' / 1"



KEY PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY FULLY WITH THE RESIDENTIAL CODE OF NYS. EXISTING BUILDING CODE OF NYS, LOCAL BUILDING CODE & FIRE DEPARTMENT REGULATIONS, AND ALL OTHER AGENCIES HAVING JURISDICTION OVER PROJECT.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH CONDITIONS OF THE SITE, AND THE WORK SHALL BE COMPLETED PRIOR TO SUBMITTING A BID FOR CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, TESTED AND READY FOR OWNER'S USE.
- THE CONTRACTOR SHALL PROVIDE WORKMANS COMPENSATION, LIABILITY AND PROPERTY DAMAGE INSURANCE. TO THE LIMITS REQUIRED BY THE GOVERNING MUNICIPALITY.
- INSPECTIONS, APPROVALS AND PERMITS, AND PAY ALL NECESSARY PERMIT FEES REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL OBTAIN AND ALL OTHER AGENCIES HAVING JURISDICTION OVER THE PROJECT, SUCH AS PLUMBING & ELECTRICAL, EXCEPT FOR THE WORK SPECIFIED IN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL OBTAIN THE CERTIFICATE OF OCCUPANCY FOR THE PROJECT WHEN CONSTRUCTION IS COMPLETE.

INSULATION AND FENESTRATION REQUIREMENT BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE
4	0.35	0.60	38	13
MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5/10"	19	10/13"	10, 2" FFI	10/13"

- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION & SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, SEQUENCES & PROCEDURES AND OBTAIN THE APPROVAL OF ALL PORTIONS OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE FOR LEGAL REMOVAL AND DISPOSAL OF ALL WASTE FOR THE PROJECT AT THE END OF THE PROJECT IN BROOK CLEAN CONDITION.
- STRUCTURAL DESIGN NOTES
UNIFORM DESIGN LOADS (P.S.F.)

DECK	DEAD LOAD	LIVE LOAD	DL & LL
DECK	10	60	70

SIZE	TYPE	F _x PSJ
2X2-2X3-2X4	#2 Douglas Fir	1315/1510
2X8	#2 Douglas Fir	1950/2120
2X2	#1 Press Treated	875/1005
2X2	South Yellow Pine	1200/1400

- BEAM HANGERS BY TECO OR SIMPSON AS WHERE BEAMS FRAMED INTO GIRDERS AND AT ALL DISCONTINUOUS OR FLASH FRAMING.
- BLOCK ALL NEW POSTS TO BEARING WITH KILN DRIED LUMBER.
- FASTEN ALL LEDGERS WITH (2) 5/8" DIAMETER BOLTS @ 16" O.C.
- ALL GIRDERS AND BUILT-UP BEAMS TO BE SPIKED WITH 10D. F. AND STAGGERED TOP & BOTTOM W/ TWO BOLTS TO ALIGN AT ENDS.
- ALL NEW RAFTERS TO BE FASTENED TO (2) AT 1000PH. ROOF/GROUND SNOW LOADS FOR DESIGN 45/15 FT.

DESIGN REQUIREMENTS for the 2010 RESIDENTIAL CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

GROUND WIND LOAD (MPH)	WIND CATEGORY	SEISMIC CATEGORY	SUBJECT TO DAMAGE FROM			ICE SHIELD REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST DEPTH	TERMITES		
20 psf	100-110	C	severe	42" min	medium	no	NO

LIST of DRAWINGS

- A1 GENERAL NOTES, CLIMATE & GEOGRAPHIC CRITERIA OF DRAWINGS & DATES, HASTINGS GREEN BUILDING CODE NOTES, LOCATION PLAN
- A2 DECK FLOOR PLAN & ROOF PLAN
- A3 FIRST & SECOND FLOOR STRUCTURAL PLANS
- A4 EAST & WEST ELEVATIONS
- A5 NORTH ELEVATION & RAILING DETAILS
- A6 BEFORE & AFTER VIEW OF 1
- A7 BEFORE & AFTER VIEW OF 2
- A8 BEFORE & AFTER VIEW OF 3
- A9 BEFORE & AFTER VIEW OF 4
- A10 BEFORE & AFTER VIEW OF 5
- A11 SITE PLAN, ZONING CALCULATIONS

DATES

- DESIGN DRAWINGS 7-15-15
- CONSTRUCTION DRAWINGS 7-15-15
- PERMITTING & WATER SUB 7-23-15
- BUILDING PERMIT 9-16-15
- ZONING BOARD SUBMISSION 9-16-15
- PLANNING BOARD SUBMISSION 9-16-15
- APPROVED PG 2 SUBMISSION 10-1-15

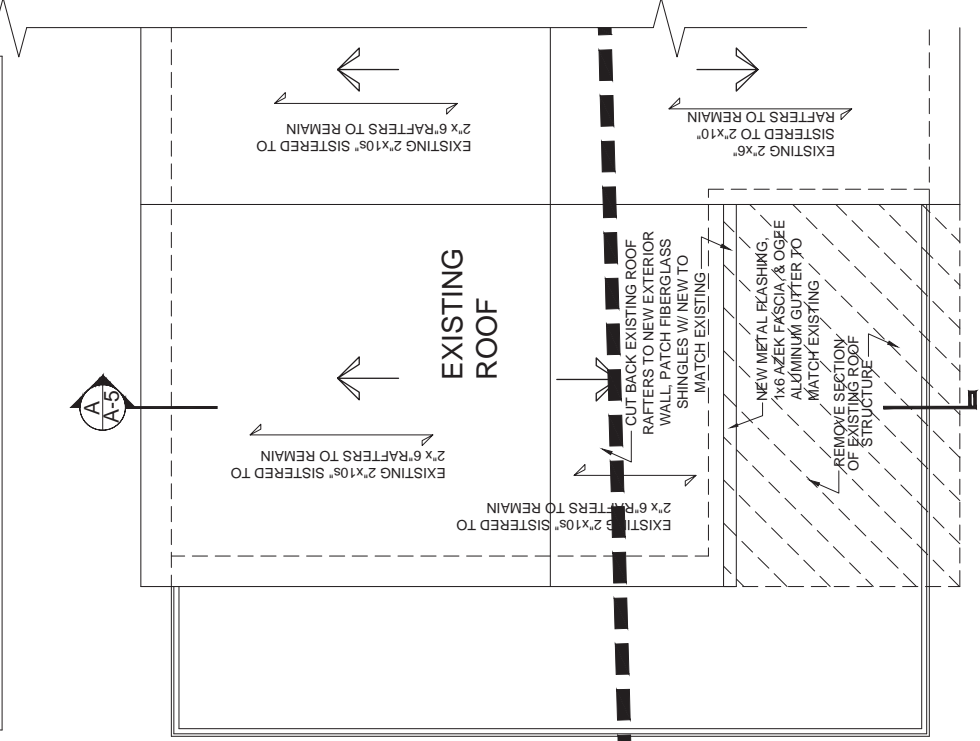
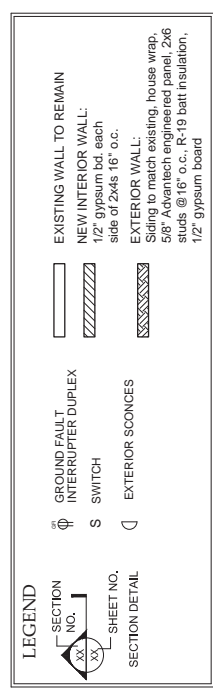
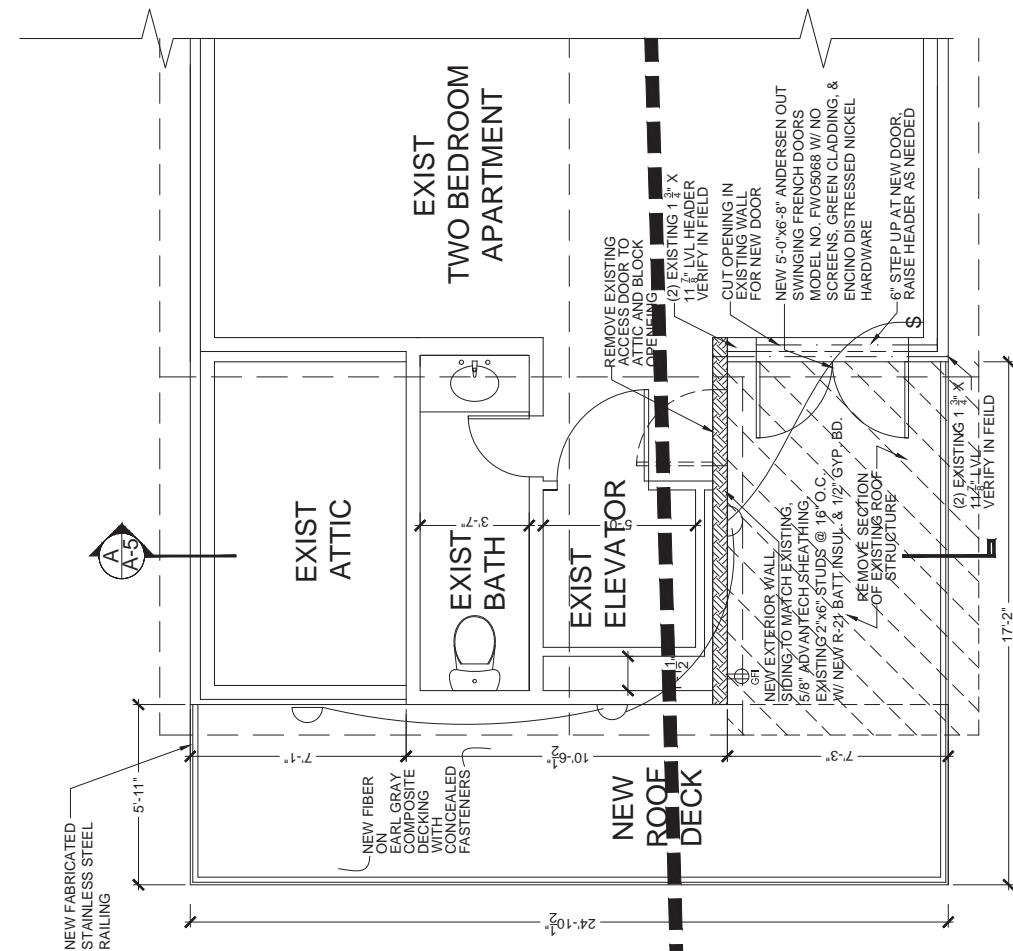
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A-1

SCHEDULE of LIGHT FIXTURES

SYMBOL	TYPE/DESIGN	DIRECTION	POWER	TIMER
⬆	LED FLOOD LIGHTS	DOWN & 180°	50 WATTS	NO
⬇	LED WALL LIGHTS	DOWN & 180°	10 WATTS	NO



A-2

DESIGN DRAWINGS 7-15-15
CONSTRUCTION DRAWINGS 2-23-15
BUILDING PERMIT & ASHES SUBMISSION 4.26.15
BUILDING PERMIT SUBMISSION 9-17-15
ZONING BOARD SUBMISSION 9-17-15
PLANNING BOARD SUBMISSION 9-17-15
AMENDED PG. & ZEA SUBMISSION 10-1-15

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AS SHOWN

ARISTOTLE BOURNAZOS, P.C.

LAND SURVEYORS - PLANNERS

LICENSED IN
NEW YORK
NEW JERSEY
CONNECTICUT

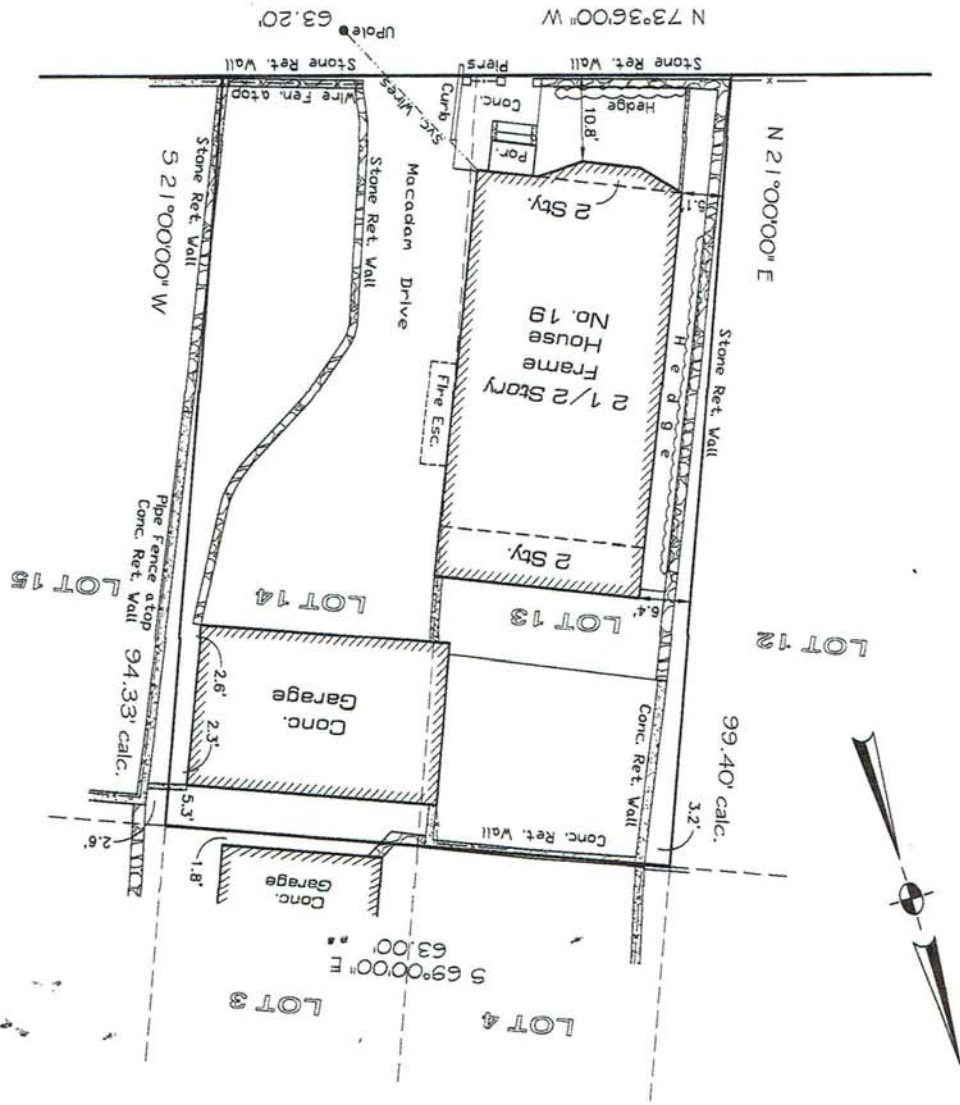


20 CEDAR STREET
NEW ROCHELLE
NEW YORK 10801
(914) 633-0100

This is to certify that I have surveyed
Lots 13 and 14 as shown on
"Map of Valuable Lots on Warburton and
Washington Avenues...laid out for
William Ward Tompkins",
in the Village of Hastings-on-Hudson,
Town of Greenburgh,
Westchester County of Westchester, New York
Filed in the Westchester County Clerk's Office, Division of Land Records
on Dec. 13, 1901 in Vol. 14, Pg. 42

I have located all existing buildings and lines of possession and have shown their positions hereon.
Surveyed: Nov. 18, 2013
Map Drafted: Nov. 22, 2013 on scale of one inch to 15 feet
I hereby certify this survey to:

L.S., N.Y.S. Lic. No. 49586



William Street

Note: Filed Map Vol. 14, P. 42 is lacking linear and angular data.

Variations may be encountered with findings of others.
Guarantees or certifications indicated hereon shall run only to the person or persons for
whom the survey is prepared, and on his behalf to the title company, government agency
and lending institution listed hereon. Guarantees or certifications are not transferable
to additional institutions or subsequent owners.

Unauthorized alteration or additions to this survey map are a violation of section 7209 sub-section 2, of the New York State Education Law.
No guarantee is implied by this map as to the existence or non-existence of any easements of record that would affect subject property, unless
surveyor has been furnished a complete copy of the title report.
Dimensions shown from structures to property lines are not intended to be used for construction of fences, structures or other improvements.

"William"
C13-311

October 1, 2015

Members of the Hastings Planning Board
Village of Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, NY 10706

Re: View Preservation of
New Roof Deck at the Beadling-Sachs Residence
19 William Street

Dear Chairperson and Members of the Planning Board:

As the Architect representing the Malcolm Beadling, I am submitting the following drawings, dated September 17, 2015, describing a new roof deck at the Beadling-Sach Residence.

S-1 Site Plan, Zoning Compliance Data
A-1 Location Plan, Key Plan, General Notes
A-2 Roof Deck & Third Floor Plan, Roof Plan
A-3 First Floor & Second Floor Plans
A-4 East & West Elevations
A-5 North Elevation, Railing Details
A-6 Section through Third Floor & Roof Deck
A-7 View Preservation Study 1
A-8 View Preservation Study 2
A-9 View Preservation Study 3
A-10 View Preservation Study 4
A-11 View Preservation Study 5
Survey
Short Environmental Assessment Form
Site Plan Checklist

As shown on the drawings, a portion of the existing roof structure will be removed and replaced by the new deck, and the impact on view will be minimal. We are requesting a review of the project by the Planning Board at the October 15, 2015 meeting.

Thank you for your time and consideration to review our proposal.

Sincerely,



Christina Griffin AIA LEED

cc: Malcolm Beadling

October 1, 2015
Members of the Hastings Zoning Board of Appeals
Village of Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, NY 10706

Re: New Roof Deck at the Beadling-Sachs Residence
19 William Street

Dear Chairperson and Members of the Zoning Board of Appeals:
As the Architect representing Malcolm W. Beadling, I am submitting the following drawings, dated September 17, 2015, describing a new roof deck at the Beadling-Sachs Residence.

- S-1 Site Plan, Zoning Compliance Data
- A-1 Location Plan, Key Plan, General Notes
- A-2 Roof Deck & Third Floor Plan, Roof Plan
- A-3 First Floor & Second Floor Plans
- A-4 East & West Elevations
- A-5 North Elevation, Railing Details
- A-6 Section through Third Floor & Roof Deck
- A-7 View Preservation Study 1
- A-8 View Preservation Study 2
- A-9 View Preservation Study 3
- A-10 View Preservation Study 4
- A-11 View Preservation Study 5
Survey

We are requesting a review of the project for View Preservation and for the following variance from the Hastings Zoning Code:

1. Variance from Section 295-72.1E (1c) – Side Yard Setback

We are requesting a variance for an existing non-conforming side yard setback of 6.4 ft., which is less than the 16.5 ft. required. The non-conformity of 6.4 ft. will continue at the roof with the new roof deck.

I appreciate your understanding of our request for these variances, and look forward to presenting the drawings at the October 15, 2015 Zoning Board of Appeals meeting.

Sincerely,



Christina Griffin AIA LEED AP BD+C CPHC

cc: Malcolm Beadling