

VILLAGE OF HASTINGS-ON-HUDSON
Application for the Planning Board Review/Action
for Site Plan, Subdivision
Steep Slopes, View Preservation, Special Use Permit Advisory



Case number: Date of application:

Planning Board action requested for: Site Plan (§295-104) Subdivision (Article XIII)
(Check all that apply) Special Use Permit (Article X) Steep Slopes (§295-147) View Preservation (§295-82)

Property owner: SOON JIA KIM
Property address: 189 WARBURTON AVE, HASTINGS-ON-HUDSON, NY
Name all streets on which the property is located: DITTO ABOVE
Sheet: 3 Block: 607 Lot/Parcel: 26B, 27, 28A Zoning District: R-10
PARCEL ID: 4.130-138-11

Applicant: SOON JIA KIM
Standing of applicant if not owner: TAPANI TALO, ARCHITECT 914-645-2940
Address: 189 WARBURTON AVE, HASTINGS-ON-HUDSON
Daytime phone number: 914 478 5419 Fax number:
E-mail address: SOONJIAKIM@GMAIL.COM ; talo.tapani@gmail.com

Total Area of subject Land/property:
Is the subject Property in View Preservation District? Yes No
Does Property currently contain or will contain Steep Slopes? Yes No
Is the subject property within 500 ft. of any other jurisdiction? AQUADUCT Yes No
Will the project affect (remove or injure) any designated trees? Yes No

Please provide brief description of proposed work:

One Room addition - sitting and River View room connected to Master Bedroom - 1st and 2nd floor over existing construction. Framing and roof and window to be of PASSIVE standard or close to it.
Exterior to match existing. No change in street side elevation. Everything behind existing ridge line below it.
Entire addition is within existing setback lines
Permeable net addition is 60 sf. and possible river look out (small) deck 28 sf. with open decking

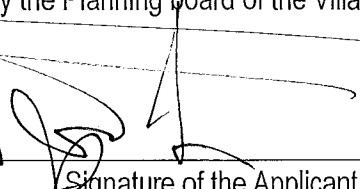
VILLAGE OF HASTINGS-ON-HUDSON
Application for the Planning Board Review/Action
for Site Plan, Subdivision
Steep Slopes and/or View Preservation



STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

The undersigned applicant states that he/she has read all applicable code sections of the Village of Hastings-on-Hudson and is herewith submitting this application complete with all such documentation and information as is necessary and required under the code and is hereby requesting the aforementioned action/approval/s by the Planning board of the Village of Hastings-on-Hudson.

Sworn to before me this 3rd day
of February, 2016



Signature of the Applicant

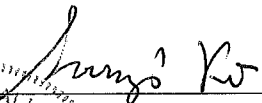
MARY ELLEN BALLANTINE
NOTARY PUBLIC
REG #: 01BA6278291
MY COMMISSION EXPIRES 03/25/2017
WESTCHESTER COUNTY, NEW YORK

Mary Ellen Ballantine
Notary Public

STATE OF NEW YORK
COUNTY OF WESTCHESTER

Name: SOON-JA Kim, being duly sworn, deposes and says that he/she resides at 189 Warburton Ave. Hastings-on-Hudson in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 3 Block 607 and Lot 26B, 27, 28 of the tax map, and that he/she hereby authorized Tapani TALO, Architect to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

Sworn to before me this 3rd day
of February, 2016



Signature of the Owner

MARY ELLEN BALLANTINE
NOTARY PUBLIC
REG #: 01BA6278291
MY COMMISSION EXPIRES 03/25/2017
WESTCHESTER COUNTY, NEW YORK

Mary Ellen Ballantine
Notary Public

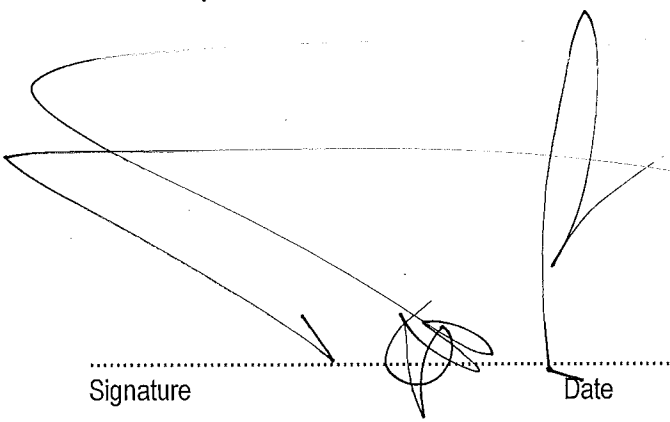
Submit eleven (13) sets of this application with all necessary documents, plans, surveys, photographs, applicable checklists and any other data that you deem critical to make your case before the Planning Board.

VILLAGE OF HASTINGS-ON-HUDSON
View Preservation Approval Application Requirements Checklist



Items	Item Specifics	Indicate how the checklist items are addressed*
Application	Complete application with supporting documents <u>DONE</u>
Application Fee	Prescribed fee for the requested review/action
Plans	Plans, Site Plans, Elevations Sections and details as necessary to describe the full scope of proposed work <u>SUBMITTED</u>
	A plan showing the location from where the photos were taken and general direction of the field of vision <u>SUBMITTED ENOUGH</u>
Photographs	Photographs from various vantage points showing the current views of the Palisades and Hudson river, without the proposed development/work
	Photographs from various vantage points showing the current views of the Palisades and Hudson river, with the proposed development/work simulated in the photographs <u>SUBMITTED</u>
Additional Requirements	Board/s may require a Mock-up at the proposed site simulating the height bulk or outline of the proposed construction/development to help them with their deliberations and decisions <u>N/A</u>To be provided as and if needed.....

*Indicate by notes such as, "see Note/Detail on Dwg #___", "attached herewith", or "NA", etc. where "NA" stands for "Not applicable".



 Signature _____ Date _____ Name TAPANI Title Architect



VILLAGE OF HASTINGS-ON-HUDSON
Municipal Building
7 Maple Avenue
Hastings-on-Hudson, New York 10706
(914) 478-3400
Fax: (914) 478-4624
hastings@hastingsgov.org <http://hastingsgov.org>

LEGAL NOTICE

THE PLANNING BOARD

Pursuant to the provisions of Section 295-143B of the Village of Hastings-on-Hudson Code, Notice is hereby given that:

A Public Hearing will be held on **Thursday, March 17, 2016 at 8:15 PM**, in the Meeting Room, Municipal Building, 7 Maple Avenue, Hastings-on-Hudson, New York.

The Hearing will be held on the application of Soon Ja Kim for the View Preservation advisory as per sections 295-82 of the Village Code, for the addition of a three season viewing room on her single-family dwelling at 189 Warburton Avenue. Said property is located in the R-10 Zoning District and is known as SBL: 4.130-138-11 on the Village Tax Maps.

The Planning Board will at this time and place hear all persons in support of such matter and any objections thereto.

THE ZONING BOARD OF APPEALS

Pursuant to the provisions of Section 295-143B of the Village of Hastings-on-Hudson Code, Notice is hereby given that:

A Public Hearing will be held by the Zoning Board of Appeals on **Thursday, March 24, 2016 at 8:00 PM** in the Meeting Room, Municipal Building, 7 Maple Avenue, Hastings-on-Hudson, New York.

The Hearing will be held on the application of Soon Ja Kim for the View Preservation approval as required under section 295-82 of the Village Code, for the addition of a three seasons viewing room on her single-family dwelling at 189 Warburton Avenue. Said property is located in the R-10 Zoning District and is known as SBL: 4.130-138-11 on the Village Tax Maps.

The Zoning Board of Appeals will at this time and place hear all persons in support of such matter and any objections thereto.

Plans are available for review at the office of the Building Department or on the Village web site Hastingsgov.org

Matthew Collins, Chair, ZBA

Jamie Cameron, Chair, PB

CASE NO.: 03-16
PUBLISH: THE RIVERTOWNS ENTERPRISE
March 4, 2016

LIST OF ARCHITECTURAL DRAWINGS

A-01	Cover Sheet with List of Drawings	N/A
A-02	Architectural Symbols	N/A
A-04-D	Primary Section Detail Energy Notes @ Typ Walls, Fl, Roof	
A-04-E	Viewing Deck and Flashing details	
A-12	Site Plan with Contours Zoning Calculations	XX
A-13	Basement Plan - Existing	1/4"
A-14	1st Floor (Gr. Fl) Plan - Existing	1/4"
A-15	2nd Floor Plan w/ Addition	1/4"
A-16	West Elevation	1/4"
A-17	North Elevation	1/4"
A-18	South Elevation	1/4"
A-20	Section N-S	1/4"
A-21	Section E-W	1/4"

SEPARATE NY STATE CONSTRUCTION NOTES, COMMENTS AND PERFORMANCE OF WORK IN 8 1/2 x 11 BOOK FORMAT ATTACHED.



N-W VIEW FROM THE RIVER SIDE



S-W VIEW FROM THE RIVER SIDE



N-E VIEW FROM THE WARBURTON AVE



S-E VIEW FROM THE WARBURTON AVE

WINDOW SCHEDULE

WINDOW TAG	MANUF.	MODEL	TYPE	EXT. FRAME MATERIAL	INT. FRAME MATERIAL	UNIT SIZE (WD X HGHT)	ROUGH OPENING	QUANTITY	HARDWARE	REMARKS
A	SCHUCO		CASE-MENT	FIBREGLASS	WOOD	4'x5'	4'-1 1/2'x 5'-2 1/2'	2	T.B.D.	TRIPLE PAIN - OR EQ R=10 OR BETTER, R=14 PEF
B	SCHUCO		CASE-MENT	FIBREGLASS	WOOD	5'x5'	5'-1 1/2'x 5'-2 1/2'	2	T.B.D.	TRIPLE PAIN - OR EQ R=10 OR BETTER, R=14 PEF
C	SCHUCO		CASE-MENT	FIBREGLASS	WOOD	6'x5'	6'-1 1/2'x 5'-2 1/2'	1	T.B.D.	TRIPLE PAIN - OR EQ R=10 OR BETTER, R=14 PEF

DOOR TO DECK 30" x 80" T.B.D. - ASSUMED THAT SEPARATE INSULATED STORM DOOR IN ADDITION TO INSULATED GLASS DOOR ADDED DUE TO HIGH WIND EXPOSURE TOWARDS THE RIVER

TABLE N1102.1 ENERGY DESCRIPTION PATH FOR ZONE 4

GROUND SNOW LOAD	WIND	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM						FLOOD HAZARDS
	SPEED (MPH)		WEATHERING CONCRETE	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP DEG FARENHEIT	ICE SHIELD UNDERLAYMENT REQUIRED	
45 PSF	100-110	C	SEVERE	42"	MODERATE/HEAVY	SLIGHT/MODERATE	7 DEG	YES	NO FLOOD HAZARDS ZONE

NFIP FIRM MAPS DATED (JUNE 6, 1980) COMMUNITY (#360932) PANELS (0001B-0003B)

Ms. Soon Ja Kim
River View Room
Additon

Structural Engineers
Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

ARCHITECTS
Talo -
Green Passive
Architect, P.C.

Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

OWNER:
Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upon-Hudson
NY 10706

PROJECT NAME
River View Room Addition

DRAWING TITLE
COVER SHEET -
submission for Board review
Not final for construction

DATE	JAN 4th, 2016
PROJECT NO	Fall 2015 - Kim
DRAWING BY	T. Talo
CHECK BY	T. Talo
DATE	
CADD FILE NO	

A-01

ARCH. MATERIAL LEGEND

	EARTH / COMPACT FILL
	EARTH POROUS / FILL
	CONCRETE
	BRICK
	CONCRETE BLOCK IN LARGE DETAILS (IN PLANS ALSO AS NOTATES EXISTING WALLS, SEE NOTES AT EACH SHEET)
	STEEL
	GWB, 3/4" OR AS NOTED
	MTL STUD
	FINISHED HARWOOD
	BLOCKING
	ROUGH
	PLYWOOD (IN DETAIL)
	BATT INSULATION FOR FIRE RATING AND SOUND ATTENUATION
	TERMA FIBRE INSULATION FOR FIRE RATING AND SOUND ATTENUATION
	RIGID INSUL
	GLASS
	GLASS, STRUCTURAL
	GLASS BLOCK
	GLASS
	CERAMIC TILE

ELECTR. LEGEND

	WIRING, CONCEALED IN WALL OR CEILING
	WIRING, CONCEALED IN FLOOR
	WIRING, HOME RUN TO PANEL
	SURFACE-MOUNTED PANEL BOARD AND CABINET
	INCANDESCENT, OR HALOGEN LIGHT OUTLET
	JUNCTION BOX
	WALL WASHER LIGHT FIXT
	LIGHT SWITCH
	THREE WAY SWITCH
	DIMMER
	WEATHER PROOF
	MOTION SENSOR
	DUPLEX OUTLET
	RANGE OR OWEN OUTLET
	EXIT LIGHT
	DATA OUTLET
	WALL TYPE
	MOTOR / EQUIPMENT
	CABLE TV
	CABLE OUTLET
	BLANKED OUTLET
	FAN HANGER OUTLET

HVAC SYMBOLS

	LINEAR DIFFUSER
	DUCT (W SIZE)
	EXHAUST
	SUPPLY
	WITH MANUAL VOLUME DAMPER
	WITH AUTOMATIC VOLUME DAMPER
	UNIT HEATER GAS OR ELECTRIC
	THERMOSTAT

PLUMBING SYMBOLS

	WASTE OR LEADER ABOVE GRADE
	WASTE OR LEADER BELOW GRADE
	STORM DRAIN
	COLD WATER
	HOT WATER

Ms. Soon Ja Kim
River View Room
Additon

Structural Engineers

Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

ARCHITECTS

Talo -
Green Passive
Architect, P.C.

Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

OWNER:

Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upon-Hudson
NY 10706

PROJECT NAME

River View Room Addition

DRAWING TITLE

ARCHITECTURAL
ELECTR. / HVAC
PLUMBING SYMBOLS

DATE:	xx/xx/xx
PROJECT NO:	Fall 2015 - Kim
DRAWING BY:	T. Talo
CHECK BY:	T. Talo
DWG NO:	A-02
CADD FILE NO:	

Ms. Soon Ja Kim
River View Room
Addition

Structural Engineers

Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

Architects

Talo -
Green Passive
Architect, P.C.

Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

Owner:

Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upon-Hudson
NY 10706

PROJECT NAME

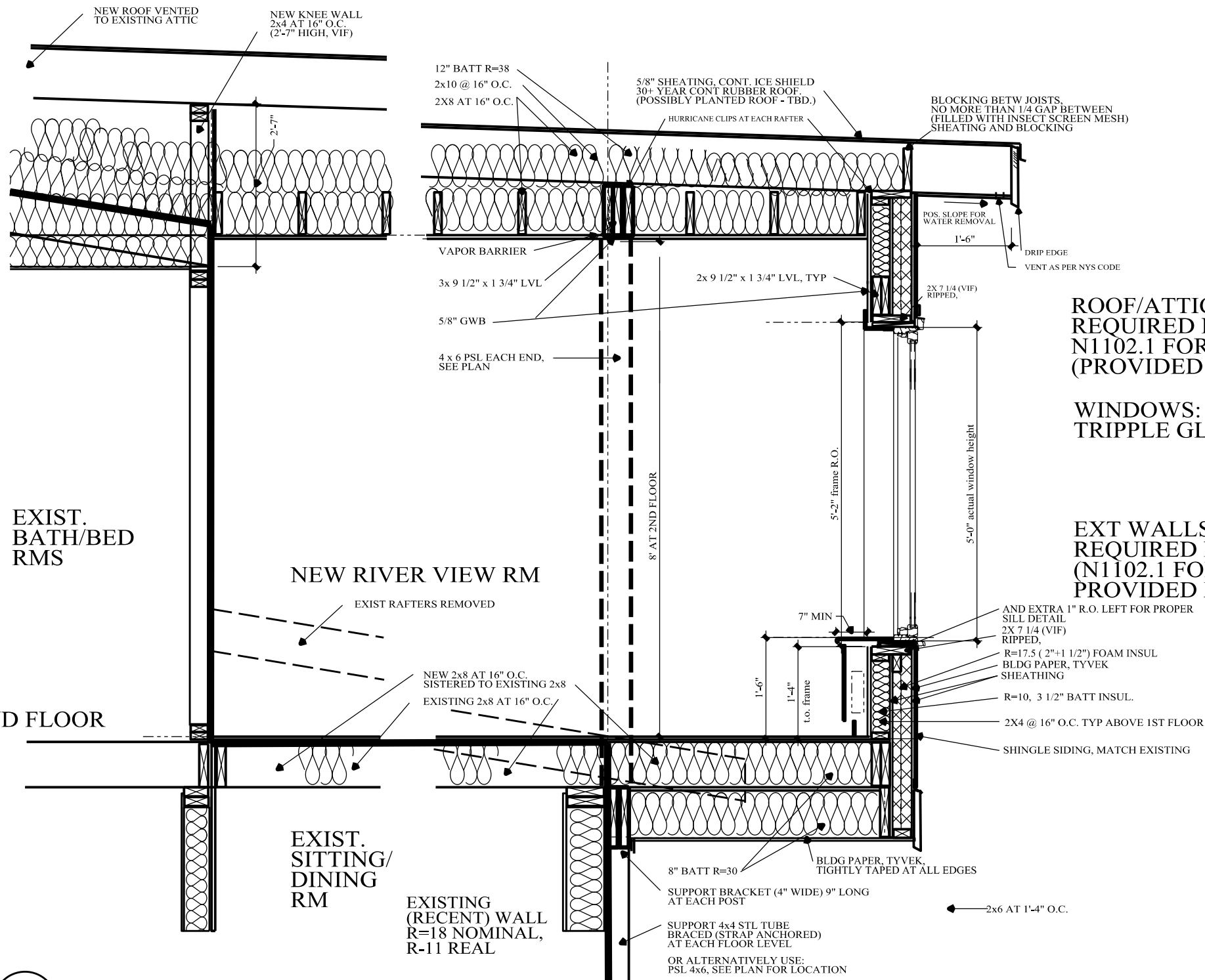
River View Room Addition

DRAWING TITLE

ENERGY NOTES
ROOF
UPPER WALL DETAILS

DATE	xx/xx/xx
PROJECT	Fall 2015 - Kim
DESIGNED BY	T. Talo
CHECKED BY	T. Talo

A-04-D



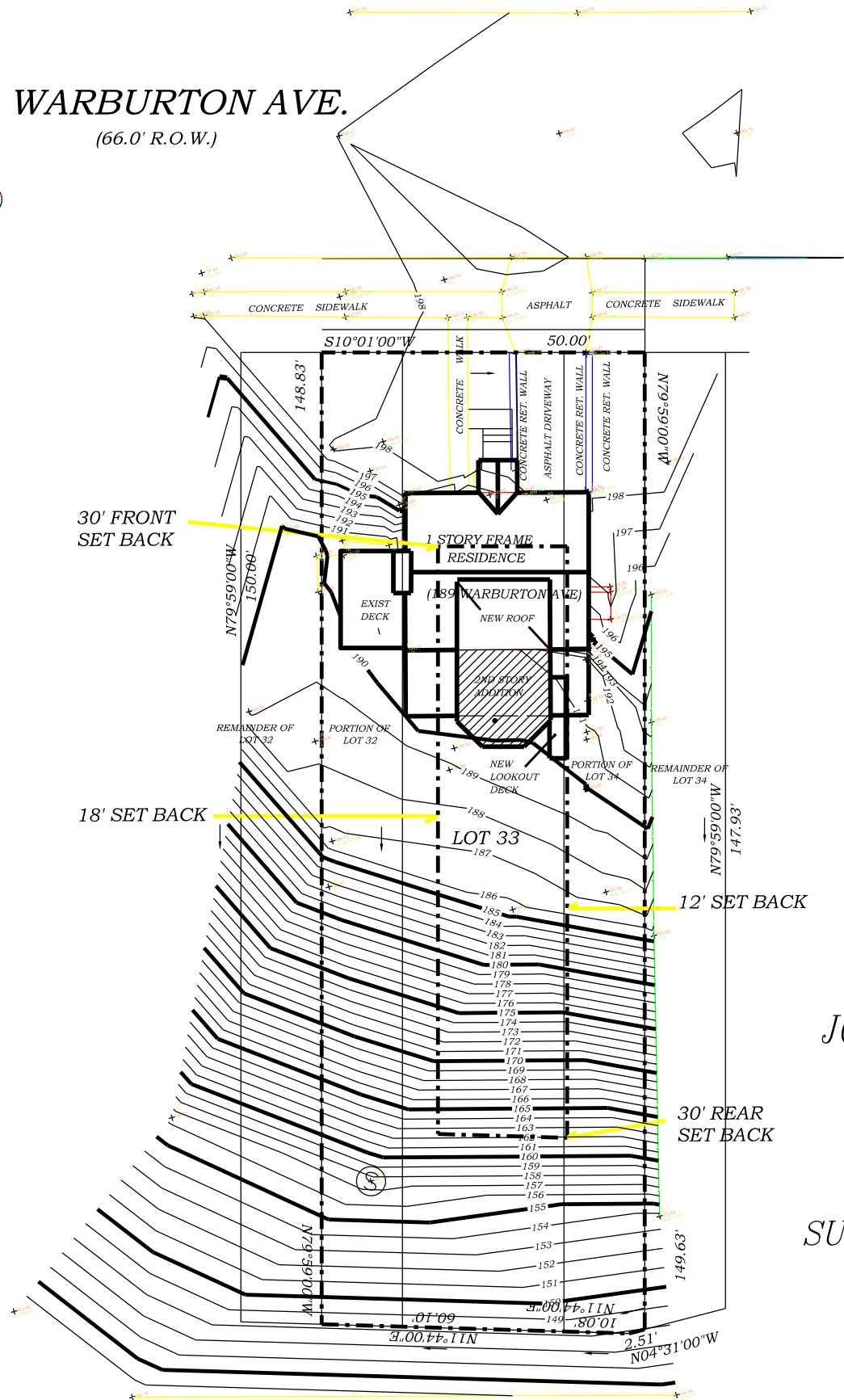
ROOF/ATTIC CEILING
REQUIRED R=38
N1102.1 FOR ZONE 4
(PROVIDED R=68)

WINDOWS:
TRIPPLE GLAZED U=0.1 /R=10 OR BETTER

EXT WALLS - FOR ADDITION:
REQUIRED R=18
(N1102.1 FOR ZONE 4
PROVIDED R=27)

1 SECTION DETAIL NEW 2ND FL WALL AND ROOF + NY STATE ENERGY

WARBURTON AVE.
(66.0' R.O.W.)



ZONING ANALYSIS

LOCATION:	189 WARBURTON AVE, HASTINGS-UPON-HUDSON, NY 10706		
ZONING DISTRICT:	R-10		
BLOCK AND LOT	BLOCK: 607 LOT: 26B, 27, 28A		
Bulk requirement (RS-9)	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000 S.F.	7,444 S.F.	NO CHANGE
LOT WIDTH	100 FEET	50 FEET	NO CHANGE
FRONT YARD DEPTH	30 FEET	16.38 FEET	NO CHANGE, NON -
SIDE YARD WIDTH	12 FT, MIN	8.65 FT, 295 FT	NO CHANGE, NON -
TOTAL OF BOTH SIDE YARDS	30 FT MIN	11.60 FT	NO CHANGE, NON -
PERMITTED OBSTRUCTIONS IN REQUIRED YARDS 295-20(B)	ROOF EAVES MAY NOT PROJECT MORE THAN 2 FEET	NOT APPLICABLE	NOT APPLICABLE
REAR YARD DEPTH	30'	93.23 FEET	88.23 FEET
Maximum height	2.5 STORIES, 35'	1.5 STORIES	NO CHANGE
Maximum building coverage	25% OF LOT AREA 25% OF 7.444 = 1.861 SF	15.8% OF LOT AREA = 1.172 SF	16.85% OF LOT AREA = 1254 SF
Maximum development coverage	35% OF LOT AREA 35% OF 7.444 = 2.605,7 SF	21.2% OF LOT AREA = 1.581,8 SF	22.34% OF LOT AREA = 1663 SF

JOHN J. MULDOON
77 TAPPAN LANDING ROAD
TARRYTOWN, N.Y. 10591
(914) 631-4232

**TOPOGRAPHIC
SURVEY OF PROPERTY**

PREPARED FOR
SOON JA KIM
BEING
HALF OF LOTS 32 AND 34 AND ALL OF LOT 33
ON MAP ENTITLED
"MAP ONE OF PINECREST ON THE HUDSON"
SITUATE
**VILLAGE OF HASTINGS-ON-HUDSON
WESTCHESTER COUNTY, NEW YORK**

SAID MAP FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE,
DIVISION OF LAND RECORDS ON JULY 1, 1909 AS MAP #1867

SURVEYED: JUNE 8, 2010
FINAL SURVEY: OCTOBER 8, 2013
SCALE 1" = 20'

NOTE: VERTICAL DATUM ASSUMED
FIRST FLOOR ELEVATION = 200.0'

Ms. Soon Ja Kim
River View Room
Addition

Structural Engineers
Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

Architects
**Talo -
Green Passive
Architect, P.C.**

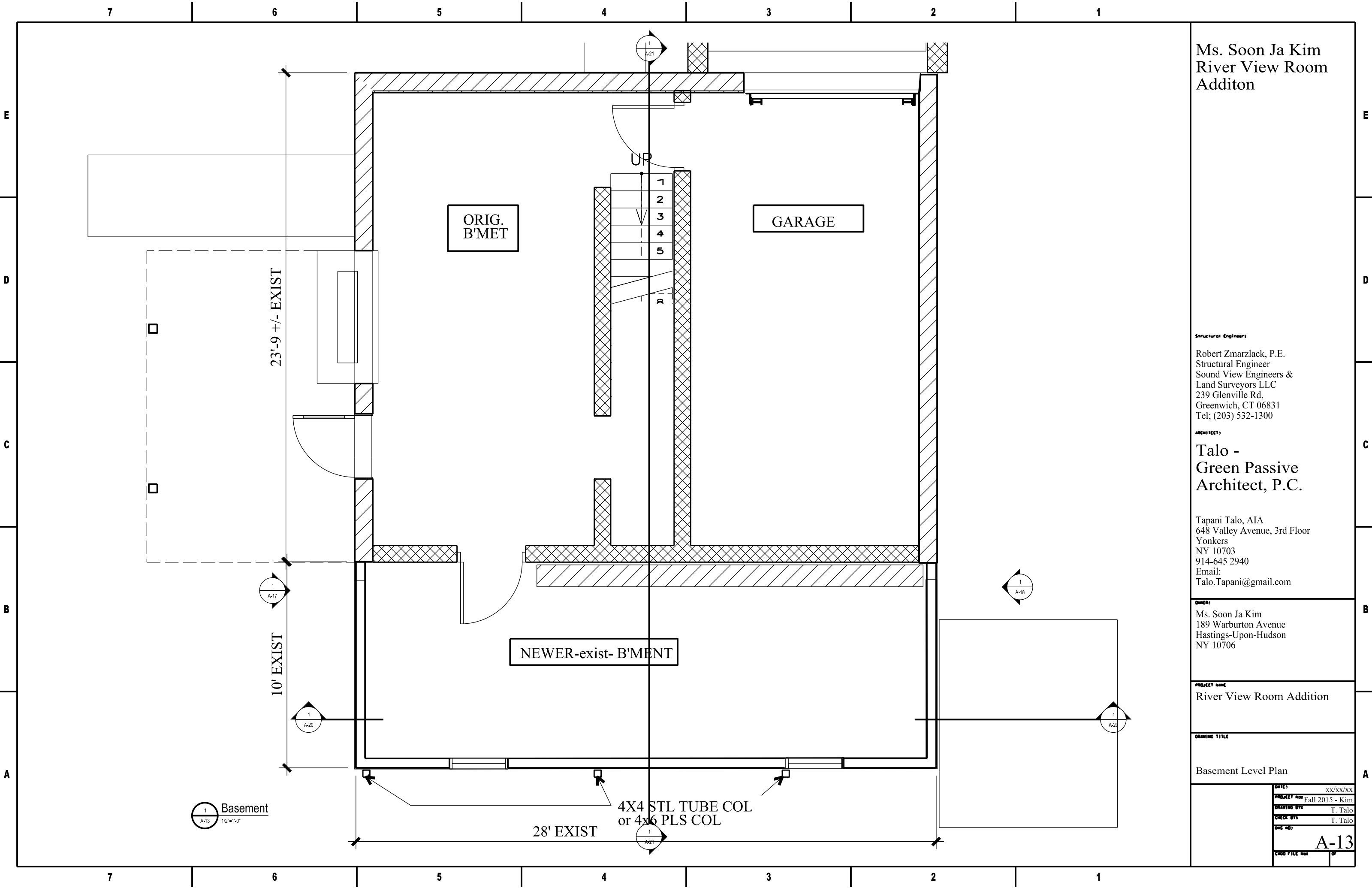
Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

OWNER:
Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upon-Hudson
NY 10706

PROJECT NAME
River View Room Addition

DRAWING TITLE
SITE PLAN
AND
ZONING ANALYSIS

DATE	Jan/4/2016
PROJECT NO	Fall 2015 - Kim
DRAWING BY	T. Talo
CHECK BY	T. Talo
DATE	
FILE NO	A-12



Ms. Soon Ja Kim
River View Room
Additon

Structural Engineers
Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

ARCHITECTS
Talo -
Green Passive
Architect, P.C.

Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

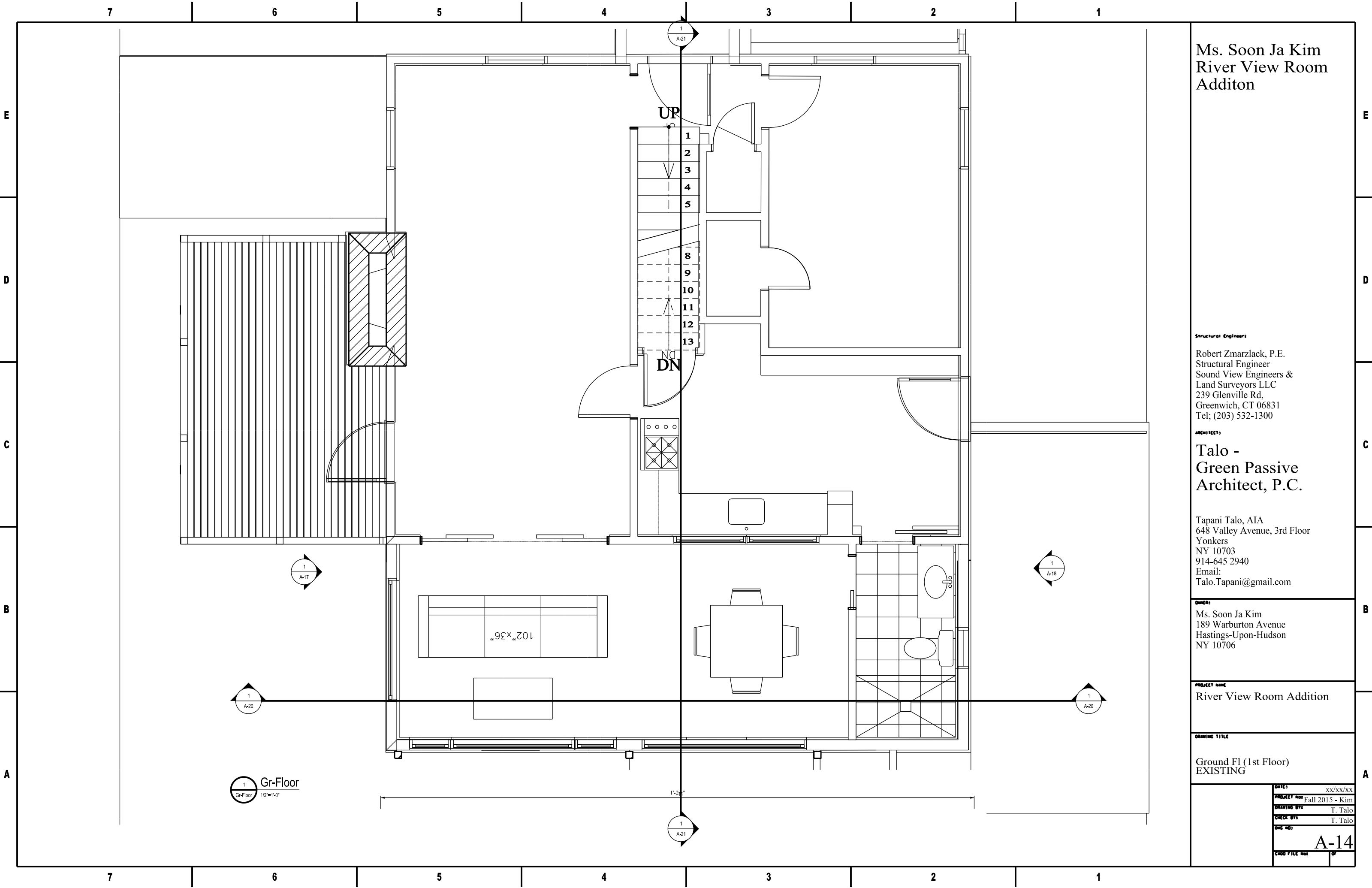
OWNER:
Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upon-Hudson
NY 10706

PROJECT NAME
River View Room Addition

DRAWING TITLE
Basement Level Plan

DATE	xx/xx/xx
PROJECT MOD	Fall 2015 - Kim
DRAWING BY	T. Talo
CHECK BY	T. Talo
DATE	
A-13	
CADD FILE MOD	

Basement
1/2"=1'-0"



Ms. Soon Ja Kim
River View Room
Additon

Structural Engineers
Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

ARCHITECTS
Talo -
Green Passive
Architect, P.C.

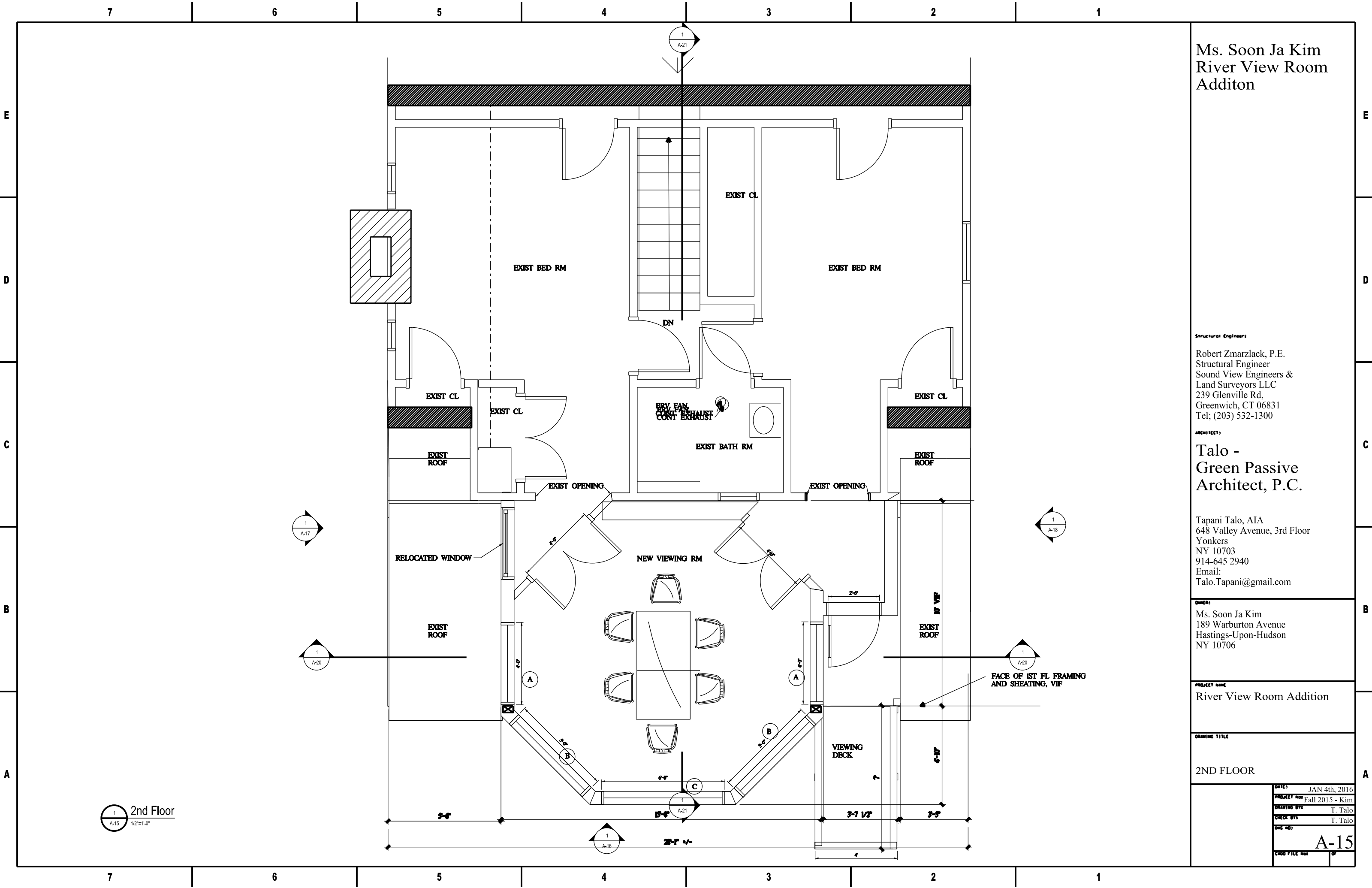
Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

OWNER:
Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upon-Hudson
NY 10706

PROJECT NAME
River View Room Addition

DRAWING TITLE
Ground Fl (1st Floor)
EXISTING

DATE:	xx/xx/xx
PROJECT NO:	Fall 2015 - Kim
DRAWING BY:	T. Talo
CHECK BY:	T. Talo
DATE:	
A-14	
CADD FILE NO:	



Ms. Soon Ja Kim
River View Room
Addition

Structural Engineers
Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

ARCHITECTS
Talo -
Green Passive
Architect, P.C.

Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

OWNER:
Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upon-Hudson
NY 10706

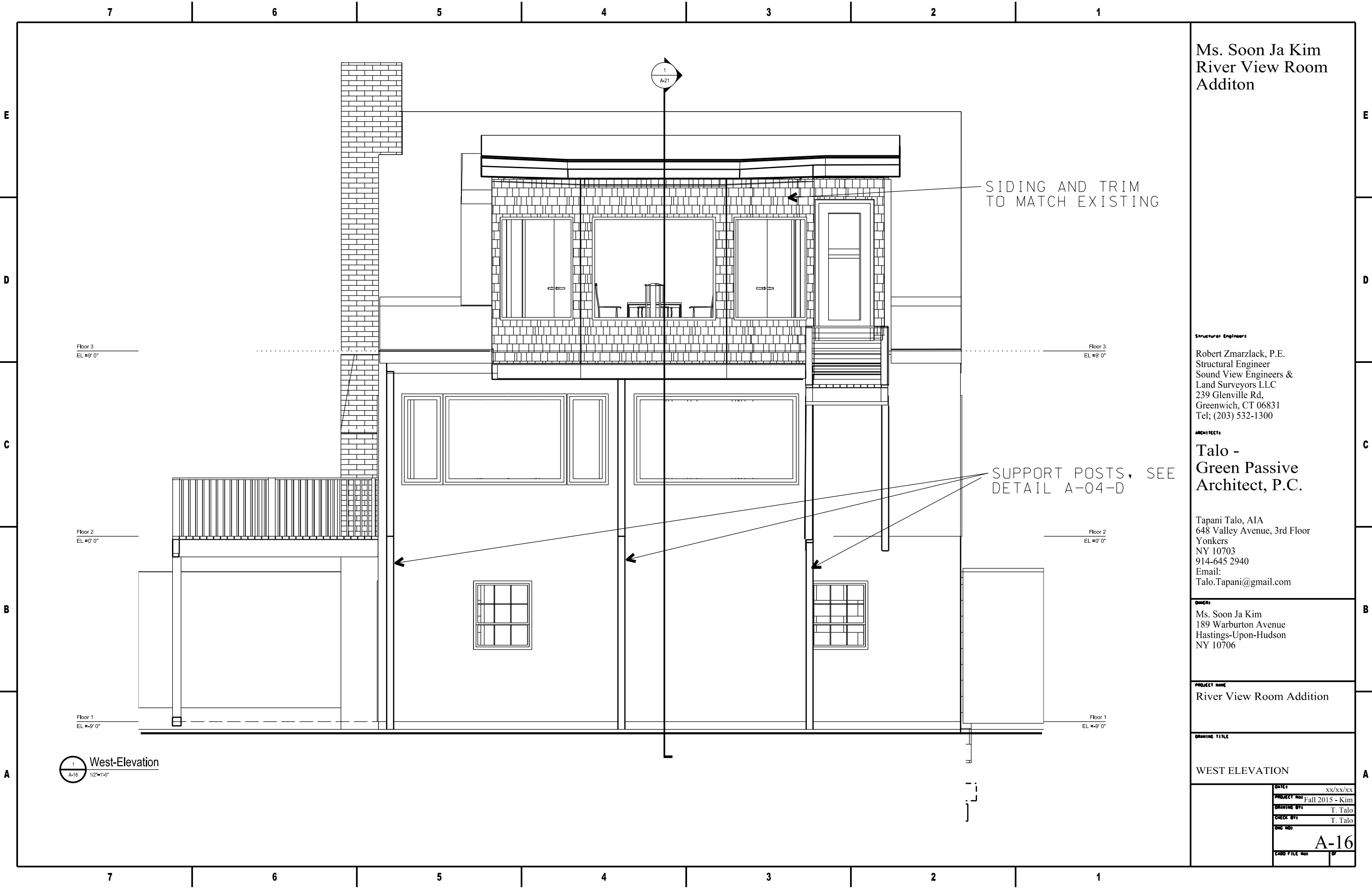
PROJECT NAME
River View Room Addition

DRAWING TITLE
2ND FLOOR

DATE	JAN 4th, 2016
PROJECT MOD	Fall 2015 - Kim
DRAWING BY	T. Talo
CHECK BY	T. Talo
DATE	
CADD FILE NO.	

A-15

1
A-15
1/2"=1'-0"
2nd Floor



Ms. Soon Ja Kim
River View Room
Additon

Structural Engineers
Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

ARCHITECTS
Talo -
Green Passive
Architect, P.C.

Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

OWNER:
Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upon-Hudson
NY 10706

PROJECT NAME
River View Room Addition

DRAWING TITLE
WEST ELEVATION

DATE:	xx/xx/xx
PROJECT NO:	Fall 2015 - Kim
DRAWING BY:	T. Talo
CHECK BY:	T. Talo
DATE:	
FILE NO:	A-16

1
A-16 1/2"=1'-0"
West-Elevation

7 6 5 4 3 2 1

E

D

C

B

A

E

D

C

B

A

Ms. Soon Ja Kim River View Room Addition

Structural Engineers

Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

ARCHITECTS

**Talo -
Green Passive
Architect, P.C.**

Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

OWNER:

Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upon-Hudson
NY 10706

PROJECT NAME:

River View Room Addition

DRAWING TITLE:

NORTH ELEVATION

DATE:	xx/xx/xx
PROJECT NO:	Fall 2015 - Kim
DRAWING BY:	T. Talo
CHECK BY:	T. Talo
DATE:	
FILE NO:	A-17
CADD FILE NO:	

FLOOR 1
EL = 20' 0"

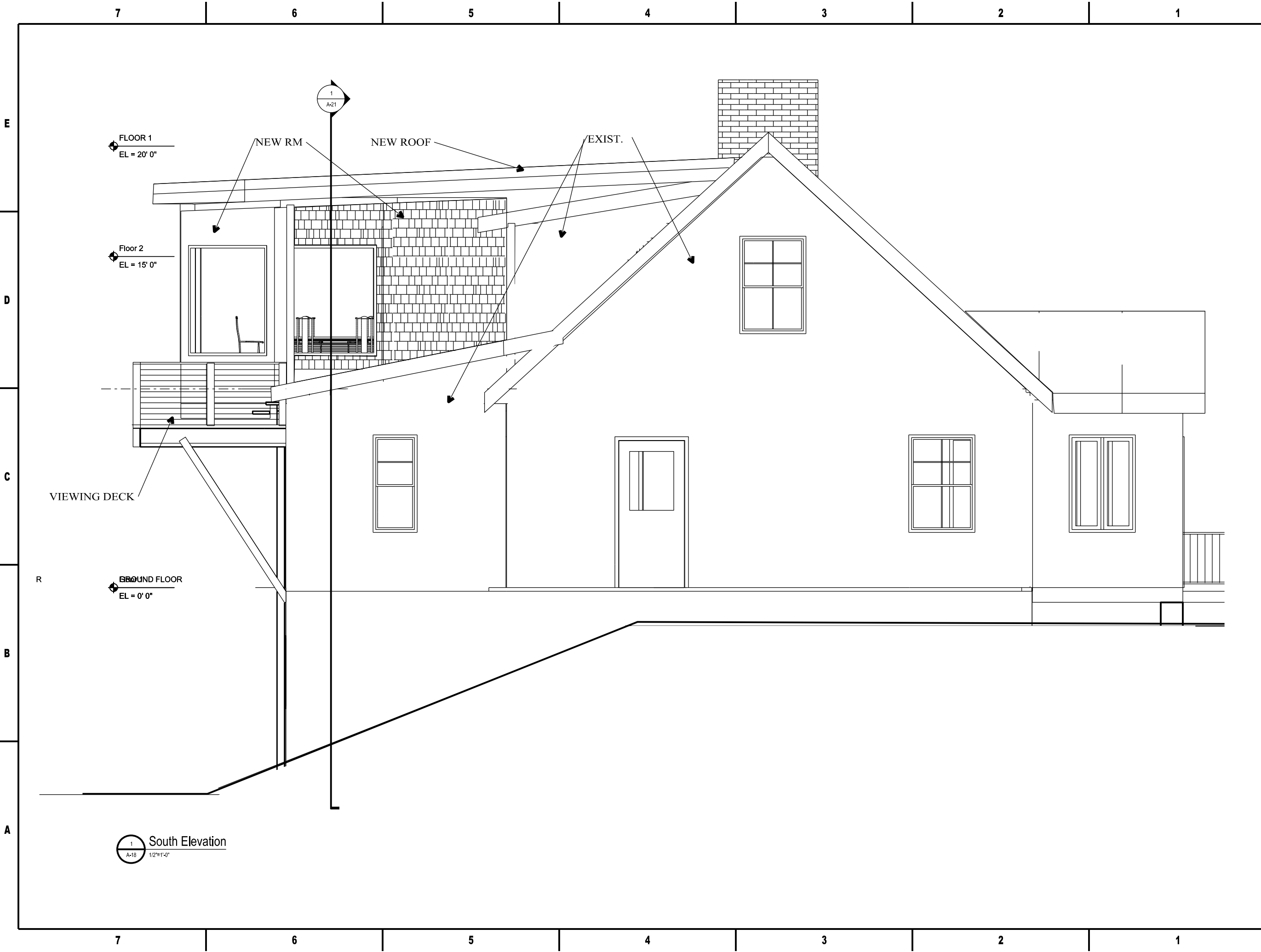
Floor 2
EL = 15' 0"

GROUND FLOOR
EL = 0' 0"



1 North-Elevation
A-17 1/2"=1'-0"

7 6 5 4 3 2 1



Ms. Soon Ja Kim
River View Room
Additon

Structural Engineers
Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

ARCHITECTS
Talo -
Green Passive
Architect, P.C.

Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

OWNER:
Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upon-Hudson
NY 10706

PROJECT NAME
River View Room Addition

DRAWING TITLE
SOUTH ELEVATION

DATE:	JAN / 4 / 2016
PROJECT NO.:	Fall 2015 - Kim
DRAWING BY:	T. Talo
CHECK BY:	T. Talo
DATE:	
NO.:	A-18
CADD FILE NO.:	

Ms. Soon Ja Kim
River View Room
Addition

Structural Engineers

Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

ARCHITECTS

Talo -
Green Passive
Architect, P.C.

Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

OWNER:

Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upon-Hudson
NY 10706

PROJECT NAME

River View Room Addition

DRAWING TITLE

SECTION N-SOUTH
LOOKING EAST

DATE	JAN 4TH -2016
PROJECT NO	Fall 2015 - Kim
DRAWING BY	T. Talo
CHECK BY	T. Talo
DATE	
A-20	
CADD FILE NO	

Section N-S
A-20
1/2"=1'-0"

Floor 3
EL =9' 0"

Floor 2
EL =0' 0"

Floor 1
EL =9' 0"

Floor 3
EL =9' 0"

Floor 2
EL =0' 0"

Floor 1
EL =9' 0"

SEE DETAIL FOR
TYP NOTES FOR FRAMING
AND MATERIALS

NEW 2x10 RAFTERS
OVER ADDITION
NEW 2x8 CEILING JOISTS
@16" O.C.
OVER ADDITION

EXIST ROOF
TO REMAIN

NEW RIVER VIEW RM

2x8 SISTER JOISTS

2'-6"x
6'-8" DOOR,
AND A STORM
DOOR

EXIST ROOF
TO REMAIN

EXIST ROOF
TO REMAIN

SITTING / DINING RM

EXIST. BATHROOM

EXIST BMENT

Section N-S
A-20
1/2"=1'-0"

Floor 3
EL =9' 0"

Floor 2
EL =0' 0"

Floor 1
EL =9' 0"

Floor 3
EL =9' 0"

Floor 2
EL =0' 0"

Floor 1
EL =9' 0"

SEE DETAIL FOR
TYP NOTES FOR FRAMING
AND MATERIALS

NEW 2x10 RAFTERS
OVER ADDITION
NEW 2x8 CEILING JOISTS
@16" O.C.
OVER ADDITION

EXIST ROOF
TO REMAIN

NEW RIVER VIEW RM

2x8 SISTER JOISTS

2'-6"x
6'-8" DOOR,
AND A STORM
DOOR

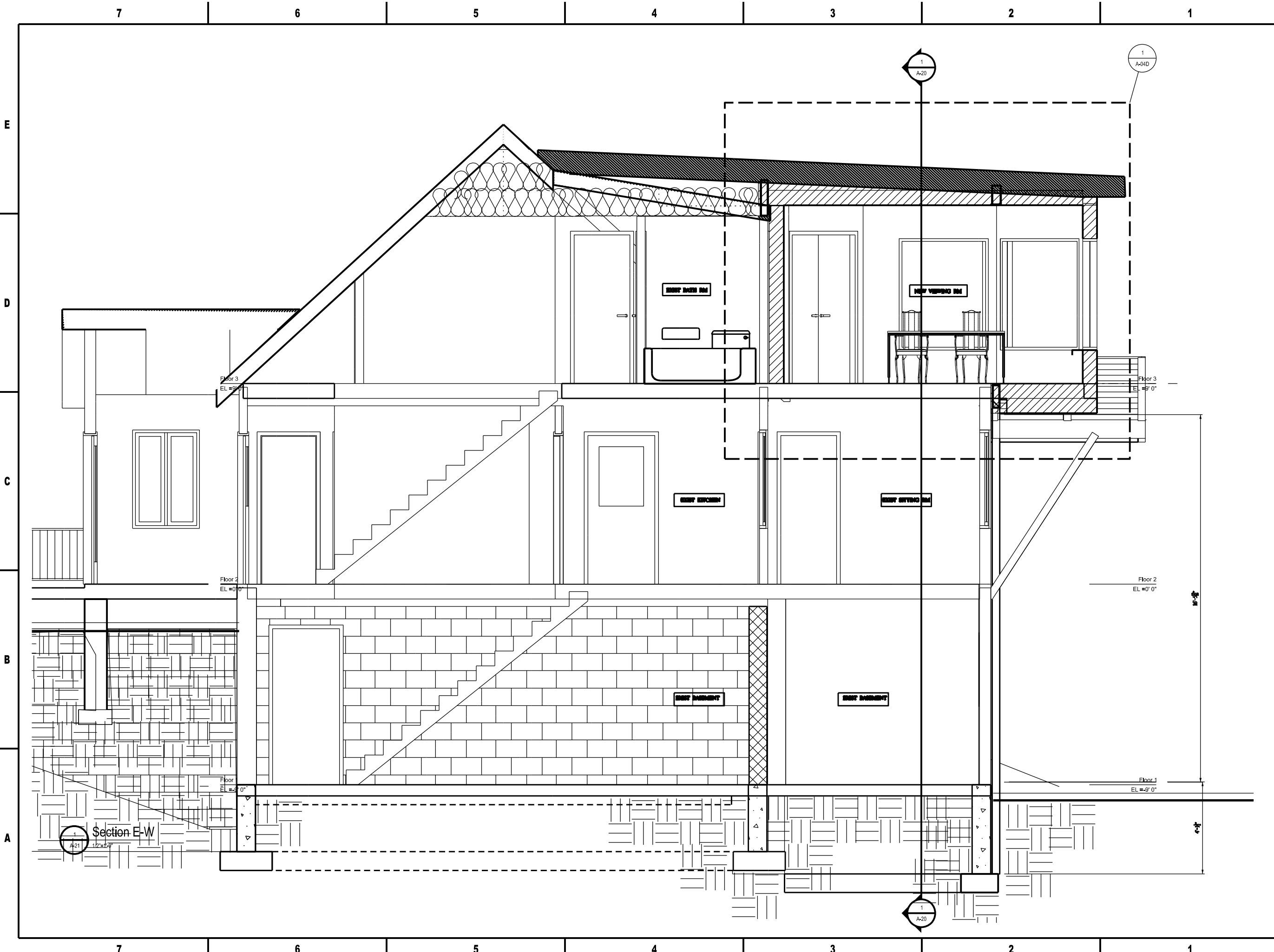
EXIST ROOF
TO REMAIN

EXIST ROOF
TO REMAIN

SITTING / DINING RM

EXIST. BATHROOM

EXIST BMENT



Ms. Soon Ja Kim
River View Room
Addition

Structural Engineers
Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

ARCHITECTS
Talo -
Green Passive
Architect, P.C.

Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

OWNER
Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upon-Hudson
NY 10706

PROJECT NAME
River View Room Addition

DRAWING TITLE
EAST - WEST BUILDING
SECTION
LOOKING SOUTH

DATE	JAN -4TH, 2016
PROJECT NO	Fall 2015 - Kim
DRAWING BY	T. Talo
CHECK BY	T. Talo
DATE	
A-21	
CADD FILE NO	



1. SOUTH EAST VIEW FROM WARBURTON AVE



2. NORTH EAST VIEW FROM WARBURTON AVE



3. NORTH WEST - VIEW FRPOM PRIVATE LAND



4. STRAIGHT ON VIEW FROM WARBURTON AVE

Ms. Soon Ja Kim
River View Room
Additon

Structural Engineers

Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

ARCHITECTS

Talo -
Green Passive
Architect, P.C.

Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

OWNER

Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upou-Hudson
NY 10706

PROJECT NAME

River View Room Addition

DRAWING TITLE

IMAGES - AS IS

DATE:	FEB -4TH, 2016
PROJECT NO:	Fall 2015 - Kim
DRAWING BY:	T. Talo
CHECK BY:	T. Talo
DWG NO:	A-30
CADD FILE NO:	

Google Maps 189 Warburton Ave



Imagery ©2016 Google, Map data ©2016 Google 20 ft

Ms. Soon Ja Kim
River View Room
Additon

Structural Engineers

Robert Zmarzlack, P.E.
Structural Engineer
Sound View Engineers &
Land Surveyors LLC
239 Glenville Rd,
Greenwich, CT 06831
Tel; (203) 532-1300

ARCHITECTS

Talo -
Green Passive
Architect, P.C.

Tapani Talo, AIA
648 Valley Avenue, 3rd Floor
Yonkers
NY 10703
914-645 2940
Email:
Talo.Tapani@gmail.com

OWNER

Ms. Soon Ja Kim
189 Warburton Avenue
Hastings-Upou-Hudson
NY 10706

PROJECT NAME

River View Room Addition

DRAWING TITLE

GUIDE TO IMAGES -
PICTURE TAKING
LOCATIONS

DATE:	FEB-4TH, 2016
PROJECT NO:	Fall 2015 - Kim
DRAWING BY:	T. Talo
CHECK BY:	T. Talo
DWG NO:	A-31
CADD FILE NO:	



MS. SOON JA KIM RESIDENCE ADDITION

GENERAL NOTES IN
ADDITION TO
DRAWINGS PROVIDED
1/2/2015

TAPANI TALO, AIA
TALO - GREEN PASSIVE
ARCHITECT, P.C.
648 VALLEY AVE, 3RD FL
YONKERS, NY 10703
talo.tapani@gmail.com
914-645 2940

Table of Contents

GENERAL CONDITIONS 1

SCOPE OF WORK..... 4

PERFORMANCE OF WORK..... 5

DEMOLITION NOTES.....6

PLUMBING NOTES.....7

ELECTRICAL NOTES.....7

ENERGY NOTES - NY STATE 2010 RESIDENTIAL AND ENERGY CODE - ADDITIONAL CLARIFICATIONS... .8

GENERAL NOTES.....10

MASONRY NOTES.....15

WOOD/FRAMING/CARPENTRY.....17

EROSON NOTES.....19

FINISH NOTES.....20

GENERAL CONDITIONS

1. THE PROVISIONS OF THESE CONSTRUCTION DOCUMENTS , IN WHOLE AND IN PART INCLUDING THESE NOTES AND DRAWINGS APPLY TO ALL PARTIES PERFORMNING WORK FOR THE PROJECT. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONVEY, COORDINATE AND ENSURE PERFORMANCE OF THESE PROVISIONS.
2. ALL SUBCONTRCTORS SHALL COOPERATE IN THE COORDIANTION AND PERFORMANCE OF THE WORK.
3. THE CONTRACTOR SHALL PROVIDE ALL LABOUR, MATERIALS, EQUIPMENT, BONDS, INSURANCE, PERMITS (EXCLUDING GENERAL BUILDING PERMIT), AND INSPECTIONS FOR COMPLETING ALL OF THE WORK.
4. THESE CONSTRUCTION DOCUMENTS ARE INSTUMENTS OF SERVICE FOR THIS PARTICULAR PROJECT. THEY ARE THE SOLE PROPERTY OF THIS FIRM AND SHALL NOT BE OTHERWISE USED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION AND DUE COMPENSATION.
5. THE CONTRACTOR AND OWNER SHALL HOLD HARMLESS THE ARCHITECT FROM DAMAGES OR EXPENCES, INCLUDING LEGAL FEES ARASING OUT OF THE CONTRACTORS PERFORMANCE OF THE WORK.
6. THIS WORK OF THIS PROJECT SHALL BE PERFORMAED AND / OR COORDINATED BY AN EXPERIENCED GENERAL CONTRACTOR, OR CONSTRUCTION MANAGER, WITH AT LEAST FIVE YEARS OF EXPERINCE IN AT LEAST FOUR PROJECTS OF SIMILAR SCOPE AND TYPE.

SCOPE OF WORK

1. THE CONTRACTOR SHALL AQUAINT HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE CARRIED OUT.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING THE WORK OF THIS CONTRACT. WHERE DISCREPANCIES ARE FOUND , NOTIFY THE ARCHITECT IMMEDIATELY.
3. WHERE THE DRAWINGS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS DISAGREE OR CONFLICT WITH EACH OTHER, NOTIFY THE ARCHITECT IMMEDIATELY.
4. THE CONTRACTOR SHALL ALL THE INDICATED WORK AND RELATED WORK, EVEN IF NOT CLEARLY INDICATED THAT MAY REASONABLY CONSIDERED AS NECESSARY FOR COMPLETION OR PERFORMANCE.
5. THE CONTRACTOR SHALL PROTECT AGAINST DAMAGE OR THEFT ALL NEW OR EXISTING CONSTRUCTION, SITE DEVELOPMENT AND SERVICES.
6. THE CONTRACTOR SHALL REPAIR DAMAGE TO HE EXISTING AND / OR NEIGHBORING CONSTRUCTION OR SITES CAUSED BY THE NEW CONSTRUCTIONAT NO COST TO THE OWNER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER AND LEGAL DISPOSAL OF ALL REFUSE AND MAINTAINING THE WORK PLACE IN A SAFE AND ORDERLY CONDITION AT ALL TIMES.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SERVICES AND ASSOCIATED HOOKUPS, COORDINATION AND PERMISSIONS AT HIS OWN COST.
9. THE CONTRACTOR IS CAUTIONED TO MAKE CONTINIUOS OBSERVATIONS OFTHE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK. SHOULD BECOME AWARE OF ANY INVESTIGATION OR STUDY (SUCH AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL DEFLECTIONS, ETC.) AND NOTIFY THE ARCHITECT IMMEDIATELY.
10. FIREPROOF THE GARAGE AND UTILITY ROOMS AS REQUIRED BY LOCAL CODES FIRE RATING WITH 5/8" OR 3/4" FIRE CODE "X" AND SAFING INSULATION FOR REQ R FACTOR AT BOTH CEILING AND WALL PARTITIONS. FOR R VALUES, REFER TO ARCHITECTS SPECIFICATIONS, AS HEATING AND COOLING LOAD CALCULATION ARE BASED ON PASSIVE (HIGER) STANDARD.
11. CRAWL SPACE ACCESS AND VENTILATION SHALL COMPLY WITH SECTION 1210 AND 1211 OF NY STATE CODE.

PERFORMANCE OF WORK

1. ALL WORK SHALL BE TO THE HIGHEST STANDARDS OF THE TRADE. SAMPLES OF WORKMANSHIP SHALL BE REQUIRED (EITHER AGREED PREVIOUS JOBS OR NEW SAMPLES).
2. ALL MATERIALS AND PRODUCTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND CODE REQUIREMENTS, AND AS OTHERWISE INDICATED IN CONTRACT DOCUMENTS.
3. THE CONTRACTOR SHALL MAINTAIN THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS AT THE WORK SITE AT ALL TIMES. EACH TRADE SHALL HAVE MINIMUM OF TWO COMPLETE SETS AT ALL TIMES.
4. ALL MATERIALS AND PRODUCTS SHALL BE NEW AND IN GOOD CONDITION AS SPECIFIED. WHERE APPLICABLE THE CONTRACTOR SHALL PROVIDE THE OWNER WITH COPIES AND ASSIGNMENTS OF ALL GUARANTEES PROVIDED BY THE MANUFACTURER.
5. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO THE FACE OF STUD OR FACE OF MASONRY UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS CLEAR OR CLR SHALL BE USED AS FINISHED SURFACE TO FINISHED SURFACE DIMENSIONS.

DEMOLITION NOTES

1. ALL INDICATED DEMOLITION INCLUDES REQUIRED PATCHING, REPAIR AND MODIFICATIONS AS NECESSARY TO PREPARE FOR NEW WORK AND / OR MATCH EXISTING.
2. DEMOLITION WORK INCLUDES REMOVING ALL DEMOLITION DEBRIS FROM THE SITE IN A LEGAL AND TIMELY MANNER.
3. NOTIFY ARCHITECT IMMEDIATELY IF DEMOLITION REVEALS EXISTING CONDITIONS DIFFERENT FROM THOSE ASSUMED ON DRAWINGS.
4. REMOVAL OF PLUMBING FIXTURES OR PIPES INCLUDES CAPPING OFF ALL SUPPLIES AND WASTE LINES.
5. REMOVAL OF ELECTRICAL FIXTURES OR WORK INCLUDES PROPER TERMINATION OF ALL LINES.
6. COORDINATE WITH PLUMBING FOR RELOCATION OF ALL EXISTING PLUMBING AND /OR GAS PIPING REQUIRED BY DEMOLITION AND / OR NEW WORK INDICATED.
7. COORDINATE WITH ELECTRICAL FOR RELOCATION OF ALL EXISTING WIRE AND /OR OTHER ELECTRICAL WORK REQUIRED BY DEMOLITION AND / OR NEW WORK INDICATED.
8. COORDINATE WITH HVAC FOR RELOCATION OF ALL EXISTING DUCTS AND /OR OTHER SYSTEM COMPONENTS AS WORK REQUIRED BY DEMOLITION AND / OR NEW WORK INDICATED.
9. SHORE UP ALL EXISTING FRAMING BEFORE TOTAL REMOVAL OF THE BEARING WALLS AND BEFORE NEW BEAMS ARE INSTALLED.
10. REFER TO ENGINEERS SPECIFICATIONS AND DRAWINGS ON ALL FRAMING, NEW OR ONES SITED FOR DEMOLITION.

SITWORK / EARTHWORK

1. SITWORK INCLUDES ALL ASPECTS OF SOIL MOVEMENT, DRYWELLS PREPARATION, SOIL CONDITIONING, PAVING, AND GRASS SEEDING ASSOCIATED WITH THE PROJECT.
2. SITE WORK INCLUDES ALL REGULATORY ASPECTS OF THE WORK INCLUDING SOIL RETENTION PROCEDURES, EXCAVATION APPROVALS, AND PERMITS AS MAY BE REQUIRED.
3. SITE WORK INCLUDES ALL SOIL WORK RELATED TO FOUNDATIONS, SLABS, COMPACTION AND REQUIRED RETAINING WALLS.
4. TREAT SOIL WITH APPROVED INSECTICIDES AT FOUNDATION AND CRAWL SPACE AREAS. USE MANUFACTURERS DISTRIBUTION RECOMMENDATIONS.
5. STRIP OFF AND CONSERVE ALL TOP SOIL, USABLE PAVING IN AREAS TO BE DISTURBED.

PLUMBING NOTES:

ALL WORK TO MEET NY STATE 2010 RESIDENTIAL CODE R 306, R 307, AND ANY OTHER HASTINS-UPON HUDSAON VILLAGE RESTRICTIONS.

FOR WASTE NY STATE P2603.1.1

ELECTRICAL NOTES:

CH 33 THRU 42, NY RESIDENTIAL CODE 2010

1. RECEPTABLE PLACEMENT AS PER 3801.2.1 / 12' MAX
2. SMALL APPLIANCE CIRCUITS AS PER E 3801.2 / 2-20 AMP
3. SWITCH LOCATIONS AS PER E3803 /
1 PER HABITABLE ROOM AND BATH ROOMS

ENERGY NOTES - NY STATE 2010 RESIDENTIAL AND ENERGY CODE -

ADDITIONAL CLARIFICATIONS

1. THIS CONSTRUCTION SHALL EXCEED ALL THE NY STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENT REQUIREMENTS.

NY STATE GRAPHIC ILLUSTRATIONS OF ROOF, WALL, FLOOR CONSTRUCTION IS TO BE FOUND ON CHAPTER 11, AND TABLE N1102.1 - **AND IN THIS PROJECT DRAWING A- 04D**

2-a. ALL FRAMED EXTERIOR WALLS , OR WALLS ADJACENT TO UNHEATED SPACES; EXTERIOR CODE R=19 min (WHICH IS ACTUALLY R=11 DUE TO FRAMING) , THUS REAL R-27.5 TO BE PROVIDED.

CONTINUOUS VAPOR BARRIER WITH TAPED TIGHT TO ALL OPENINGS REQUIRED TO HEATED SIDE OF INSULATION.

TYVEK / OR EQUAL APPROVED TAPED CAREFULLY - CONTINUOUSLY - TO ALL PENETRATIONS UNDER EXTERIOR SIDING, UNLESS RAINSCREEN SYSTEM USED.

2-b. ALL ROOF / CEILING ASSEMBLIES; ADJACENT TO EXTERIOR (CODE IS 12" BATT , R+38), and 4 1/2" VENT TOP FOAM INSULATION WITH 5/8 NAILER (ACFoam Nailbase or eq) R=25.6 ; Total R= 63 MINIMUM **OR EQUAL**.

2-c. ALL FLOORS ADJACENT TO OR ABOVE NOT FULLY CONDITIONED SPACE LIKE GARAGE, AND MECH RM (12" BATT); R-38 MINIMUM AND IF TO EXTERIOR ADD 4" RIGID INSULATION MIN.. (OF VALUE OF R=20) AT GARAGE AND ABOVE BOILER THE BATT SHALL BE FIRE SAFING INSUL.

3. ALL SLABS ON GRADE SHALL HAVE 4" - R-20 MIN RIGID INSULATION UNDRNEATH, 4" (R=20 MIN.) ON EXTERIOR VERTICAL EDGE.

4. INSULATE ALL PIES, DUCTS, AND TANKS AS REQUIRED BY NY STATE ENERGY CONSERVATION CONSTRUCTION CODE. NO DUCTS ALLOWED IN UNCONDITIONED SPACE (INCLUDING ATTIC)

5. NY STATE REQUIIRES TO SUPPLY ALL DOORS AND WINDOWS WITH STOPS AND SEALS FOR A MAX INFILTRATION RATE OF 0.5 CFM PER FOOT OR SASH CRACK. USE PASSIVE HOUSE STANDARD INSTEAD.

6. CAULK OR WEATHER STRIP ALL EXTERIOR JOINTS AROUND DOORS AND WINDOWS TO MINIMIZE INFILTRATION. See note 2-A above. IN ADDITION ALLOW AN EXTRA 1/2 OR 3/4 INCH R.O. IN WINDOWS TO CREATE POSITIVE WATER RETENTION AT SILL FLASHING.

7. ALL HVAC EQUIPMENT TO HAVE AN EFFICIENCY OF 90% OR MORE. (Preferably GEOTHERMAL HEATING AND COOLING). PROVIDE HEAT RECOVERY VENTIALATION - VENTED FROM BATHROOMS - TO AVOID EXCESSIVE OPERABLE WINDOWS AND INFILTRATION.

SOLAR PANELS AND EMERGENCY WOOD BURNING FIREPACE FOR POWER LOSS SITUATIONS PREFERRED WHERE POSSIBLE.

8. FOR BATHROOMS WITHOUT EXTERIOR VENTILATION, SHALL BE VENTED TO OUTSIDE VIA HEAT RECOVERY VENTILATOR.

9. LIGHTING TO BE LED

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH LATEST APPLICABLE FEDERAL, STATE, LOCAL AND MUNICIPAL BUILDING CODES, AS WELL AS ANY AND ALL REGULATORY AGENCIES, INCLUDING, BUT NOT LIMITED TO OSHA, ETC.

GENERAL NOTES APPLY TO ALL BUILDINGS COMPLETELY - INTERIORS, EXTERIORS, SITE .

2. THE TERMS "CONSTRUCTION CONTRACTOR", GENERAL CONTRACTOR" AND "CONTRACTOR" SHALL BE UNDERSTOOD TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE.

3. THE GENERAL CONTACTOR SHALL VERIFY ALL FIELD CONDITIONS, DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION, AND AS ANTICIPATED OR INFERRED PRIOR TO STARTING OF ANY OR ALL WORK.

THE ARCHITECT SHALL S BE NOTIFIED OF ANY DISDISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF ANY AND ALL WORK.

4. THE CONTRACTOR SHAL HAVE HAD EXPERIENCE ON AT LEAST THREE PROJECTS INVOLVING QUANTITIES, QUALITIES, AND COMPLEXITIES EQUAL TO THOSE REQUIRED UNDER ALL DIVISIONS DETAILED IN THESE DRAWINGS.

ALL WORKERS PERFORMING UNDER THIS WORK SHALL BE SKILLED TRADES PEOPLE IN THEIR RESPECTIVE TRADES.

5. GENERAL CONTRACTOR SHALL REVIEW AND FAMILIARIZE HIMSELF/HERSELF WITH DRAWINGS & SPECIFICATIONS AND WITH THE CONDITIONS THE PLACE WHERE THE WORK IS TO BE PERFORMED AFFECTING SUCH DRAWINGS AND SPECIFICATIONS, THE GENERAL CONTRACTOR IS RESPONCIBLE TO DISTRIBUTE THE APPROPRIATE DOCUMENTS TO THE SUBCONTRACTORS IN ORDER TO COORDINATE WITH OTHER TRADES AFFECTING THEIR WORK.

6. G.C. SHALL BE RESPONCIBLE TO PICK UP THE BUILDING PERMIT AT THE BUILDING DEPARTMENT OFFICIES, FILING FOR THE PERMIT AND RELATED FEES SHALL BE THE RESPONCIBILITY OF THE OWNER.

7. G. C. SHALL PROVIDE AL THE REQUIRED DOCUMENTS AND CERTIFICATES OF INSPECTION AND SHALL PERFORM ALL THE CONTROLLED INSPECTIONS REQUIRED BY THE DEPARTMENT OF BUILDINGS.

8. UPON COMPLETION OF WORK, THE GENERAL CONTRACTOR SHALL SUBMIT LETTER OF COMPLETION BY THE BUILDING DEPARTMENT AND A CERTIFICATE OF SUBSTANTIAL COMPLETION ON THE PROPER FORM.

9. THE GENERAL CONTRACTOR SHAL SUBMIT IN WRITING ALL PROPOSALS FOR REVIEW AND APPROVAL TO THE ARCHITECTS AND OWNERS REP'S, OFFICES FOR REVIEW AND APPROVAL. NO WORK IS TO PROCEED UNTIL AN AUTHORIZATION TO PROCEED, SIGNED BY THE ARCHITECT AND OWNERS REP'S, IS RETURNED TO THE GENERAL CONTRACTOR.

10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK AND ESTABLISHED SCHEDULES FOR THE OWNERS OWN CONTRACTORS. HE/SHE SHALL AFFORD SUCH CONTRACTORS REASONABLE OPPORTUNITY FOR THE INTRODUCTION AND STORAGE OF THEIR MATERIALS AND EQUIPMENT FOR THE EXECUTION OF THEIR WORK.
11. DRAWINGS ARE NOT TO BE SCALED UNLESS PERMITTED BY THE ARCHITECT; DIMENSIONS SHALL GOVERN.
12. ALL WORK SHALL COMFORM TO THE DRAWINGS AND SPECIFICATIONS AND ALL MATERIAL USED IN THE PROSECUTION OF THE WORK SHALL BE NEW AND OF THE BEST OF THE TYPE SPECIFIED.
13. NO SUBSTITUTIONS OF SPECIFIED MATERIALS SHALL BE MADE WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT. THE ARCHITECT WILL CONSIDER MATERIAL CHANGE REQUEST ON INDIVIDUAL BASIS. CONTRACTOR SHALL SUBMIT SAMPLES AND CUTS FOR WRITTEN APPROVAL BY THE ARCHITECT PRIOR TO THE PROCUREMENT OF ANY SUCH MATERIAL.
14. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED CLEANED AND CONDITIONED AS DIRECTED BY THE MANUFACTURER UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
15. ALL SUBCONTRACTORS SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL THROUGH THE GENERAL CONTRACTOR PRIOR TO WORK BEING PERFORMED, AND IN ACCORDANCE WITH THE PROCEDURE DESCRIBED IN THE CONTRACT DOCUMENTS.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING FREE AND CLEAN WORK AREAS AND STAGING AREAS FOR DELIVERY OF MATERIALS.
17. GENERAL CONTRACTOR IS RESPONSIBLE TO REMOVE FROM PREMISES DAILY ALL WASTE MATERIALS, RUBBISH, WRAPINGS, CRATING AND SALVAGES AS GENERATED BY THE CONSTRUCTION, DEMOLITION AND/OR THE DELIVERY AND INSTALLATION OF ANY PRODUCTS, MATERIALS OR EQUIPMENT BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, AND OWNERS OWN CONTRACTOR.
18. GENERAL CONTRACTOR IS RESPONSIBLE TO THOROUGHLY VACUUM CLEAN ALL CARPETED AREAS, CLEAN ALL FLOORING, MILLWORK, LIGHT FIXTURES, GLASS, ETC.
19. GENERAL CONTRACTOR IS RESPONSIBLE TO PROTECT AS REQUIRED ALL OCCUPIED AREAS WHERE FINISH WORK OR GENERAL CONSTRUCTION IS TO BE PERFORMED, GENERAL CONTRACTOR TO INSTALL ADEQUATE BUILDING PAPER, PROTECTION OF MATERIAL ON ALL FINISHED SURFACES AS MASONITE OR OTHER APPROVED MATERIAL DIRECTED BY THE ARCHITECT PRIOR TO THE OWNERS MOVING DATE, AND SHALL REMOVE SAME FOLLOWING COMPLETION OF THE MOVE.
20. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL THE COSTS INCURRED FOR DAMAGES CAUSED BY HIS / HERS SUBCONTRACTORS.

21. G.C. SHALL HAVE COMPETENT SUPERINDEPENDENT(S) ON THE PREMISES AT ALL TIMES WHEN THE WORK IS IN PROGRESS.

22. G.C. SHALL PROVIDE ALL NECESSARY FASTENERS, SUPPORTS, SHIMMING, FLASH PATCHING, ETC, FOR THE PROPER INSTALLATION OF SUCH ITEMS AND SHALL CONSULT WITH THE OWNERS VENDORS.

23. THE G.C. AND SUBCONTRACTORS SHAL BE REQUIRED TO ATTEND PROJECT MEETINGS AT THE PROJECT SITE WHEN REQUIRED BY THE ARCHITECT AND OWNERS REP., AND PREPARE MEETINGS MINUTES OF SUCH MEETINGS.

24. NO SIGN OR ADVERTISEMENTS WILL BE ALLOWED TO BE DISPALAYED ON THE PREMISES OR ON THE BUILDING - UNLES APPROVED.

25. ELECTRICITY IS AVAILABLE FOR USE, CONTRACTOR SHALL PROVIDE ALL TEMPORARY CONNECTIONS, LIGHTING, AND DISTRIBUTION AS REQUIRED FOR THE EXCECUTION OF THE WORK AND REQUIRED SAFETY.

26. ARRANGE FOR AND PROVIDE AND MAINTAIN TEMPORARY FACILITIES AND CONTROLS AS REQUIRED FOR THE PROPER AND EXPEDIATOUS PROSECUTION OF WORK.

27. BEFORE STARTING ANY WORK RELATING TO EXISTING UTILITIES (ELECTRICAL, SEWER, WATER, HEAT, GAS, FIRE LINES, ETC.) THAT WILL TEMPORARILY DISCONTINUE OR DISRUPT SERVICE WITHIN BUILDING, NOTIFY THE BUILDING OWNER AND OBTAIN APPROVAL IN WRITING BEFORE PROCEEDING WITH THIS PHASE OF WORK.

28. TAKE NECESSARY PRECAUTIONS TO PREVENT DUST FROM RISING. PROTECT UNALTERED PORTIONS OF EXISTING BUILDING AFFECTED BY THE OPERATIONS UNDER THIS SECTION BY DUSTPROOF PARTITIONS AND OTHER ADEQUATE MEANS.

29. MATERIALS OR ITEMS DEMOLISHED AND DESIGNATED TO BE SALVAGED SHALL BE STORED AT THE SITE OR OFF SITE AS DIRECTED BY THE OWNER. ALL OTHER ITEMS BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.

30. PROVIDE TIMELY TEPORARY WEATHER PROTECTION FOR PORTIONS OF THE WORK THAT BECOMES EXPOSED TO THE WEATHER . G.C. SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY INSUFFICIENT PROTECTION.

31. CONTRACTOR SHALL POST ALL APPLICABLE BUILDING PERMITAS IN A VISIBLE LOCATION READY FOR INSPECTION BY THE PROPER AUTHORITIES HAVING JURISDICTION.

32. CONTRACTOR SHALL POST ALL APPLICABLE BUILDING PERMITS IN A VISIBLE LOCATION (WEATHER PROOFED) READY FOR INSPECTION BY THE PRPOER AUTHORITIES HAVING JURISDICTION.

33. NO ALCHOLIC BEVERAGES OR SMOKING WILL BE ALLOWED WITHIN THE PREMISE. CONTRACTOR SHALL BE RESPONSIBLE TO ENFORCE SAME ON ALL SUBCONTRACTORS AND SUBORDINATE SUBCONTRACTORS. G.C. TO DESIGNTE SMOKING AREA IN A FIRE SAFE AREA WITH OWNERS APPROVAL.

34. FIRE STOPPING: CONTROLLED INSPECTIONS : THE CONTRACTOR SHALL FURNISH AND PAY FOR AT THEIR OWN EXPENCE; THE SERVICE OF APPROVED TESTING LABORATORIES OR AGENCIES REQUIRED FOR TESTS AND INSPECTIONS OF ALL FIRESTOPPING MATERIALS AND CONSTRUCTION METHODS SUBJECT TO CONTROLLED INSPECTIONS.

35. THE CONTRACTOR SHALL FURNISH A FIELD PROGRESS SCHEDULE TO THE ARCHITECT AND THE OWNER FOR ALL PHASES OF CONSTRUCTION.

36. THE G.C. SHALL SOLELY RESPONSIBLE TO MAINTAIN HARMONY AMONG ALL TRADES AND AVOID ANY LABOR DISPUTE THAT MAY CAUSE A DELAY IN COMPLETING THE WORK. ANY DAMAGES THE BUILDING OR THE WORK RESULTING FROM LABOR DISPUTE , SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

37. ALL DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ONE, WILL BE BINDING AS IF CALLED FOR BY ALL.

38. TO BE VERIFIED - ALL EXISTING WALLS AND CEILINGS TO REMAIN SHALL BE PLASTER (OF PARIS) PATCHED AND PREPARED FOR PAINTING.

39. ALL DRAWINGS AND CUTS MARKED "REVIEWED', ARE FOR VERIFICATION OF ADHERENCE TO DESIGN INTENT ONLY. THE CONTRACTOR SHALL ASSUME RESPONCIBILITY FOR ALL MEANS AND METHODS AND ERRORS AND OMISSIONS ON THEIR DRAWINGS.

40. WHERE THE TERM "OR EQUAL" IS USED IN SPECIFICATIIONS, IT SHALL BE UNDERSTOOD THAT THE REFERENCE IS MADE TO THE RULING AND JUDGEMENT OF THE ARCHITECT FOR REVIEW AND APPROVAL, ACTUAL SAMPLES OF THE SUBSTITUTIONS SHALL ALSO BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.

41. HEAT AND VENTILATION AS REQUIRED DURING CONSTRUCTION IS NOT AVAILABLE FOR USE. PROVIDE ALL REQUIRED TEMPORARY HEAT AND VENTILATION FOR THE PROPER PROTECTION OF THE WORK AND THE PREMISES.

42. NAME PLATES AND OTHER IDENTIFYING MARKINGS SHALL NOT BE AFFIXED ON EXPOSED SURFACES OF MANUFACTURED ITEMS INSTALLED IN FINISHED SPACES.

43. CARE SHALL BE TAKEN BY WORKERS NOT TO MARK, SOIL OR OTHERWISE DEFACE FINISHED SURFACES. IN THE EVENT THAT FINISHED SURFACE BECOME DEFACED, CLEAN AND RESTORE SUCH SURFACES TO THEIR ORIGINAL CONDITION.

44. FINISH NEW AND ADJACENT EXISTING SURFACES AS SPECIFIED FOR NEW WORK CLEAN EXISTING SURFACES OF DIRT, CREASE, LOOSE PAINT, ETC., BEFORE REFINISHING.

45. THE G.C. SHALL BE RESPONSIBLE FOR ALL ARRANGEMENTS

AND COORDINATION OF DELIVERIES TO THE JOB SITE. ANY HARDSHIP CAUSED BY TRAFFIC CONDITIONS, PARKING RESTRICTIONS, LOADING AND UNLOADING REGULATIONS, PUBLIC WORK, ETC., SHALL BE

TAKEN INTO CONSIDERATION BY THE GENERAL CONTRACTOR DURING HIS BID. THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY SUMMOS, FINES, PENALTIES OR ALIKE DUE TO CONTRACTORS ACTIONS.

46. ALL THE DRAWINGS CREATE AN ENTIRE PACKAGE. ALL TRADES SHALL BE RESPONSIBLE FOR REVIEWING THEIR RESPECTIVE REQUIREMENTS AND COORDINATION THEIR HIDDEN OR EXPOSED WORK WITH OTHER RELATED TRADES. DISTRIBUTION OF THE GENERAL CONTRACTOR. NO CHANGE ORDERS SHALL BE APPROVED IF INFORMATION COULD BE FOUND ANYWHERE WITHIN SAID PACKAGE.

47. THE G.C. SHALL PROVIDE SECURITY OF THE WORK, INCLUDING TOOLS AND UNINSTALLED MATERIALS , PROTECT THE WORK , STORED PRODUCTS, CONSTRUCTION EQUIPMENT AND OWNER'S PROPERTY FROM THEFT AND VANDALISM AND THE PREMISES FROM ENTRY BY AUTHORIZED PERSONNEL UNTIL FINAL ACCEPTANCE BY OWNER.

MASONRY NOTES

1. MASONRY AND CONCRETE WORK INCLUDES ALL CONSTRUCTION INVOLVING STONE, BRICK, CONCRETE MASONRY UNITS AND POURED CONCRETE AND INCLUDES ALL ASSOCIATED MATERIALS AND LABOUR AND EQUIPMENT FOR WORK.

2. CONCRETE AND MASONRY WORK INCLUDES ALL GARAGE, CRAWL SPACE AND BASEMENT SLABS, PATIOS, FOUNDATIONS, AND BUILDING WALLS, RETAINING WALLS, WALKWAYS, OR OTHER WORK THAT APPROPRIATE TO THE TRADE INCLUDING ALL COORDINATION WITH OTHER TRADES AND AS TO EXCAVATION, GRADING, UTILITIES, ETC.

3. MASONRY AND CONCRETE WORK INCLUDES ALL REINFORCING CALLED FOR AS NORMALLY PROVIDED, INCLUDING ALL REBAR, STEEL LINTELS, AND WIRE MESH.

4. ALL CONCRETE SHALL BE MIN. STRENGTH 3000 PSI AT 28 DAYS UNLESS OTHERWISE INDICATED.

ANY HORIZONTAL CONCRETE EXPOSED TO WEATHER INCLUDING PORCHES, STEPS, WALKS AND GARAGE FLOOR SLABS, ARE TO BE OF 3500 PSI CONCRETE IN COMPLIANCE TO TABLE R402.2 FOR SEVERE WEATHER EXPOSURE.

5. ALL MASONRY UNITS AND BRICK ARE TO BE RUNNING BOND, WITH RACKED BRICK JOINTS, UNLESS OTHERWISE INDICATED. ONLY ACCEPTABLE FLASHING MATERIAL IS COPPER, EITHER SOLID OR WITH FABRIC/RUBBER BACKING.

6. PROVIDE FOUNDATION DAMP-PROOFING (2) LAYER HOT ASPHALTIC COATING OR OTHER APPROVED SYSTEMS.

7. PROVIDE RADON MITIGATION MEASURES AS REQUIRED BY LOCAL CODE AND AS CALLED FOR IN THE DRAWINGS.

8. PROVIDE #4 VERTICAL REBAR AT 8'-0" O.C. AT ALL CORNERS AND ON BOTH SIDES OF ALL MASONRY WALL OPENINGS. POUR SOLID AT ALL REBAR LOCATIONS FOR MIN OF 18".

9. THE BOTTOM OF ALL EXTERIOR WALLS, COLUMNS, AND FOOTINGS SHALL BE A MINIMUM 48" BELOW FINISH GRADE, UNLESS OTHERWISE INDICATED ON THE WORKING DRAWINGS.

10. WHEN FINISHED FLOOR IS 2'-0" OR GREATER ABOVE THE FINISHED GRADE, THE FOUNDATION SHALL BE REINFORCED FROM TOP OF FOOTING TO 12" ABOVE THE FLOOR SLABS. FILL BLOCK SOLID WITH CONCRETE AND PROVIDE VERTICAL ROD REINFORCING AT 12' O.C.

11. PROVIDE HORIZONTAL TRUSS -TYPE REINFORCING AT EVERY OTHER BLOCK COURSE.

12. ALL FOOTINGS SHALL BEAR ON VERGIN SOIL OF TWO (2) TONS BEARING CAPACITY.

13. PROVIDE LINTELS OVER MASONRY OPENINGS. STEEL LINTELS SHALL BE TWO (2) 3 1/2" x 3 1/2" by 1/2" UNLESS OTHERWISE INDICATED.

14. DO NOT ERECT MASONRY WALLS WHEN TEMPERATURE IS BELOW 25 DEGREES WITOUT RECEIVING WRITTEN PERMISSION AND SPECIAL REQUIREMENTS FROM THE ARCHITECT. FOR TEMEPERATURES LESS THAN 40 DEGREES BUT MORE THAN 25 DEGREES MAINTAIN MORTAR TEMPERATURE BETWEEN 40 AND 120 DEGREES, HEATING MIXING WATER AS NECESSARY. **MASONRY UNITS SHALL BE HEATED TO A MINIMUM TEMPERATURE OF 40 DEGREES.**

15. WHERE EXPOSED MASONRY MUST BE TRMMED, SAWCUT AT EXPOSED JOINTS.

16. WHERE CHANGES IN THE FOOTING ELEVATION, THE FOOTINGS SHALL BE STEPPED BUT NOT EXCEEDING 2:1 SLOPE.

WOOD, FRAMING AND CAPENTRY

1. ALL WORK SHALL CONFIRM TO ALL STATE AND LOCAL CODES.
2. VERIFY ALL DIMENSIONS AND CONDITIONS ON JOB SITE. SEE GENERAL NOTES AND GENERAL CONDITIONS FOR ADDITIONAL NOTES.
3. ALL STRUCTURAL WOOD MEMBERS SHAL BE NO. 2 DOUGLAS FIR OR SOUTHERN PINE, UNLESS INDICIATED OTHERWISE.
4. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED UNLESS OTHERWISE NOTED ON THE DRAWINGS. (OR THE TYPE APPROVED BY THE ARCHITECT)
5. ALL INTERIOR OR EXTERIOR TRIM SHALL BE PAINT GRADE PINE AND / OR STAIN - GRADE PINE. VERIFY THE FINAL SELECTION WITH ARCHITECT. (AT INTERIOR - POPLAR IS ACCEPTABLE ALTERNATE) FOR EXTERIOR PREFERABLE RIM MATERIAL IS FIRBREGGLASS OR VINYL.
7. PROVIDE SOLID BLOCKING AT ALL CANTILEVERS, PERPENDICULAR WALLS ABOVEAND OTHER CONCENTRATED LOADS. PROVIDE DOUBLE JOISTS RUNNING PARALLEL TO PARTITIONS ABOVE - **SEE STRUCTURAL NOTES AND SIZES.**
8. PROVIDE BRIDGING AT 8'-0" O.C. MAXIMUM.
9. PROVIDE ALL WORK INDICATED AS CABINETRY (NOT IN THIS PROJECT) VANITIES, SHELVES, OR MANTELS, AND /OR COORDIANTE CARPENTRY WITH TILE OR GRANITE WORK AS APPROPRIATE.
10. SILL PLATE SHALL BE (2) 2x6 TREATED LUMBER, FASTEN TO FOUNDATION WALL MINIMUM 8'-0" O.C. WITH A 1/2" DIAMETER x 18" MIN LENGTH BOLT SOLIDLY EMBEDDED IN CONCRETE.
11. ALL FRAMING LUMBER SHALL NO. 2 DOUGLAS FIR OR SOUTHERN PINE WITH MINIMUM Fb OF 1450 P.S.I. AND MIN . E. OF 1,700,000, UNLESS OTHERWISE INDICATED.
12. ALL NAILING SHALL BE IN ACCORDANCE WITH BOCA APPENDIX c.
13. USE ALUMINUM OR GALVANIZD NAILS ONLY ON EXTERIOR WORK.
14. PROVIDE CATS AS REQUIRED, MINIMUM OF 8'-0" O.C.
15. WOOD HEADERS FOR (2) 2x6 AT OPENINGS OF LESS THAN 4'-0", (2) 2x8 AT OPENINGS LESS THAN 5'-0", (2) 2x10 AT OPENINGS LESS THAN 8'-0". UNLESS OTHERWISE INDICATED ON THE PLANS OR STRUCTURAL DRAWINGS.
16. STAIRS, GUARD RAILS, HANDRAILS AT DECKS, BALCONIES OR STAIRCASES SHALL COMPLY WITH SECTION (IN NY City USE 1014.7 AND 1014.9) or STATE/CITY APPLICABLE SECTION R311.5 .6 / R311.5. 6.1, R511.6.2 FOR EACH USER GROUP GUARD RAILS R312, R312.1, R312.2

17. DESIGN LOADS:

FLOORS - 30 PSF LIVE LOAD, ATTIC (UNINHABITED) 20 PSF

10 PSF DEAD LOAD - NOTE LARGE POINT LOADS LIKE BOOK HSLEVES ARE INDICATED ON PLANS.

ROOF - 30 PSF LIVE LOAD IN MANHATTAN AND WESTCHESTER COUNTY

10 PSF DEAD LOAD

18. FOR FASTENING SCHEDULE SEE TABLE 2304.9.1 NEW YORK STATE CODE.

EROSION NOTES:

1. EXISTING GRADE KEPT AS MUCH AS POSSIBLE TO THE REAR (WEST) AND NORTH.

THE ELEVATION TO BRITE IS ABSOLUTE IN RELATION TO FIRST FLOOR.

2. SIZE AND LOCATION OF (XX NUMBER) DRYWELLS ARE TO BE

LOCATED AS SHOWN IN (SEE SITE PLAN) .

ALWAYS AWARE OF THE EXISTING TREES ROOT S. THEY ARE TO BE RETAINED AS INTACT AS POSSIBLE.

THE CAPACITY IS BASED ON THE AREA SHOWN ON SHEET A-XX.

3. THE LEADERS FROM ADDITION (OR OTHER NEW WORK, LIKE PAVING) AND/OR THE NEW DECK ARE ROUTED TO DRY WELLS. SEE DRAINAGE SIZES ON DETAILS.

NOTE : DETAILS AND DRYWELL SPECS can be found on SD sheets

FINISH NOTES:

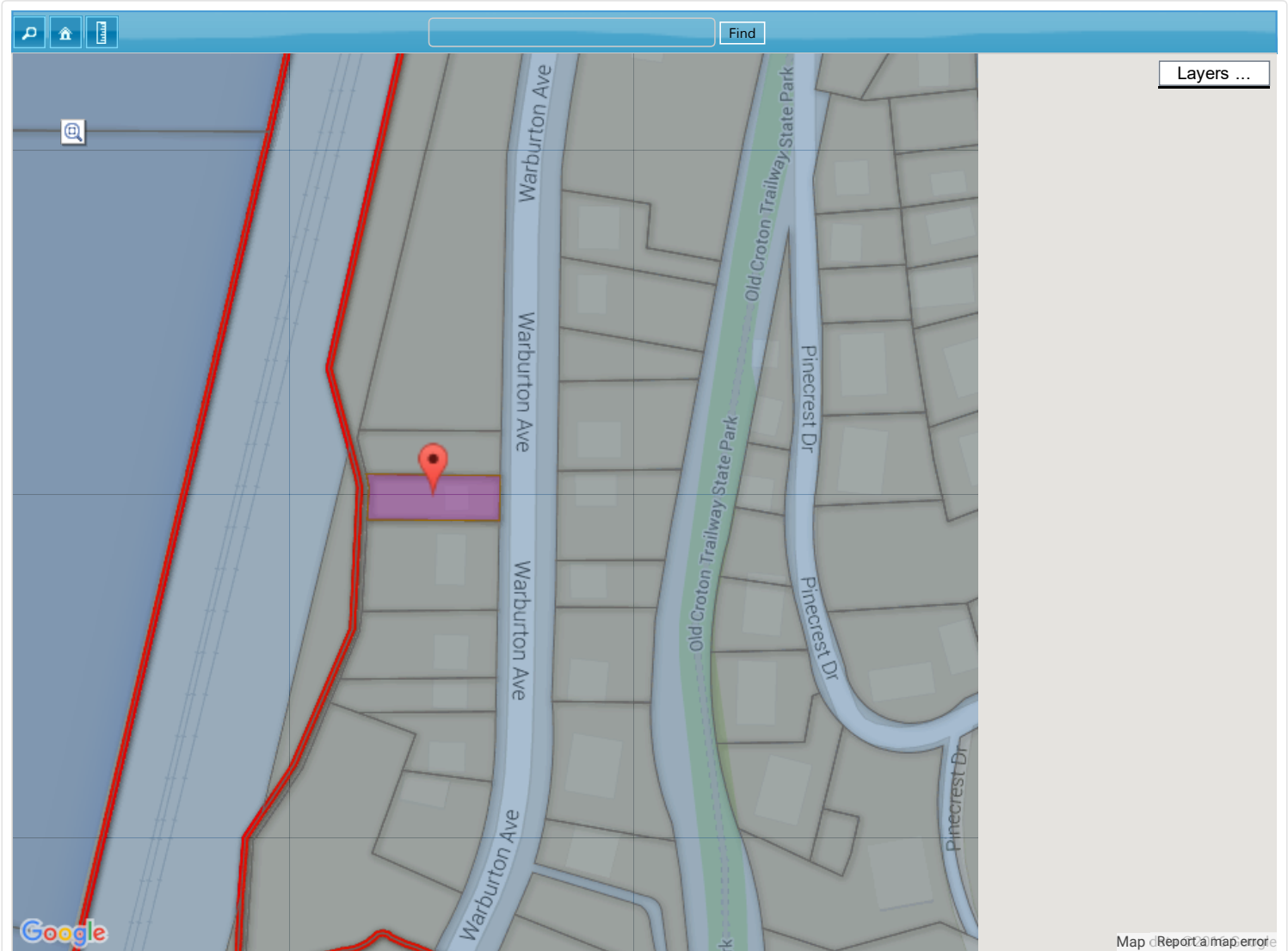
1. DO NOT START ANY APPLICATION OR INSTALLATION OF ANY FINISHED MATERIAL WITHOUT INSURING THE SUBSTRATE IS ACCEPTABLE AND PROPERLY PREPARED.
2. WHERE APPROPRIATE FOR PROPER INSTALLATION OR APPLICATION FINISH WORK INCLUDES ALL REMOVAL OF EXISTING FINISHES INCLUDING WALL COVERINGS(S) PAINT, AND OTHER COATINGS, AND FLOORING MATERIAL(S).
3. ALL FINISHED WORK INCLUDES LEVELING BETWEEN FLOORS.
4. PROVIDE ARCHITECT SAMPLES OF ALL INTERIOR AND EXTERIOR FINISHED MATERIALS FOR ACCEPTANCE BEFORE ORDERING.
5. INSTALLATION OF FINISHES, INTERIOR AND EXTERIOR SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
6. GYPSUM BOARD (5/8" MIN) SHALL BE 'FIBREROCK BRAND' AQUA-TOUGH INTERIOR PANEL BY USG. THE INSTALLATION TAPING, AND SPACKLING (THREE COATS), CLOSETS (TWO COATS), AND ONE COAT IN GARAGE AND MECHANICAL ROOM.

AT BATHROOMS, STUD SPACING MAX 12" O.C., TWO LAYERS OF 5/8" AQUA-TOUGH GWB.
7. PAINTER SHALL PROVIDE (1) COAT PRIMER AND (2) COAT MIN MINIMUM FINISH WITH RALPH LAUREN PAINT, COLOR AND CLOSS AS SPECIFIED BY ARCHITECT.
8. ALL BATHROOMS SHALL HAVE TILE FLOORS AND WALLS, (SHOWER AND TUB AREA TO CLNG) AND OTHER AREAS TO MIN OF 4' AFF (VERIFY WITH DESIGN DRAWINGS FOR SPECIFICS) . TILE TO BE CAPPED BY BULL NOSE OR OTHER TRIM PIECE, AS SELECTED BY ARCHITECT.
9. ALL HARDWARE TO BE SATIN NICKEL FINISH AS SELECTED BY THE ARCHITECT.
10. WOOD FLOOR SHALL BE AT DING ROOM (WHERE INDICATED ON THE PLANS) TO BE PREMIUM OAK, AT UPSTAIRS 3/4" PLYWOOD, AS FINISH WILL BE CARPET.
11. ALL TRIMS TO MATCH THE HOUSE (OR APPROVED SAMPLE) STANDARD, (3") AND 4" BASE (STAIN GRADE AND/OR PAINT GRADE) AS SELECTED BY THE ARCHITECT.
12. ALL WALLS IN THE KITCHEN, LIVING ROOM , LIBRAY, OFFICES, DENS (WHERE SHELVING IS INSTALLED) SHALL HAVE 3/8" MIN DXF BOAR BACKING UNDER GWB.

Property Map



Back



The online GIS is intended to serve only as a reference for research of land use and parcel information. The data is provided in good faith with no warranty or any legal responsibility for its accuracy. **Full Disclaimer**

189 Warburton Ave

Parcel Number	:
4.130-138-11	:
Account Number	:
4087720	:
Legacy Number	:
10 03 0607 26B	:
Block	:
0607	:
Lot	:

26B
 Owner :
 KIM, SOON JA
 Owner Street :
 189 WARBURTON AVE
 Owner City/State :
 HASTINGS ON HUDSON NY, 10706
 Roll Year :
 2011
 Land Value :
 \$1,400
 Total Value :
 \$10,200
 Property Class :
 Single Res
 Acres :
 0.17
 Frnt :
 0
 Depth :
 0
 Market Value :
 \$379,182
 Zoning :

Building Code

Municipal Code

Sale Information

Permits and Approvals

Historical Records

Scanned Documents

Permit Number	Submitted	Type	CO Issued	Applicant	Status	Work Desc	Uploads	Final Certificates
BP2015-161	11/22/2015	Addition	10/23/2015	Edward Weinstein	Closed	Addition of vestibule	Permit	FinalCertificate
EP2015-106	09/12/2015	Electrical	09/22/2015	Jaime Jarufe	Closed	Install Fixtures and receptacles in the Vestibule rough billed on inv 110972 LAM	Application Permit	FinalCertificate
BP2014-2	08/30/2015	Generator	08/05/2015	Soon-Ja Kim	Closed	Installation of a gas fired standby generator	FinalApprovedPlan Permit	FinalCertificate
EP2015-6	01/31/2015	Electrical	01/23/2015	mike fuccella	Closed	TEMP SENT 1/21/15 mv install wiring for new 11 kv generator, new grounding mc 60036	Application Permit	FinalCertificate
ZB2014-8	11/10/2014	Zoning Board Approval		KIM, SOON JA	Open			
PB2014-7	11/10/2014	Planning Board Approval		KIM, SOON JA	Open			
PB2014-6	11/10/2014	Planning Board Approval		KIM, SOON JA	Open			
1687	11/03/2014	Addition		KIM, SOON JA	Open	Removal of an existing stoop. Addition of a vestibule and stoop in location of existing stoop. Variance required for front yard set back (existing non-conforming)	Application	
EP2013-104	07/20/2013	Electrical	10/29/2013	Fabian	Closed	wiring addition and alteration to code	Application	

				Febres			Permit Survey	
PP2014-3		Plumbing	08/05/2015	Jason Smail	Closed	Addition of natural gas feed from existing main to new 11kw generator.	Permit	
PP2013-73		Plumbing	10/02/2013	Emeric Kreiter	Closed	Plumbing new 3 fixture full bath in addition, New gas boiler.	Permit	













